

CONSERVATION MANAGEMENT PLAN



Argyle Terraces, Nos. 13-15 Playfair Street The Rocks

Prepared for Sydney Harbour Foreshore Authority
December 2006

TABLE OF CONTENTS

EXECUTIVE SUMMARY	3
1.0	5
INTRODUCTION	5
1.1	5
1.2	5
1.3	5
1.4	7
1.5	8
1.6	9
1.7	9
1.8	9
2.0	11
DOCUMENTARY EVIDENCE	11
2.1	11
2.2	13
2.3	16
2.4	21
2.5	23
2.6	44
2.7	44
3.0	49
PHYSICAL EVIDENCE	49
3.1	49
3.2	56
3.3	58
3.4	62
3.5	70
4.0	71
ASSESSMENT OF CULTURAL SIGNIFICANCE	71
4.1	71
4.2	73
4.3	74
5.0	77
GRADING OF SIGNIFICANCE	77
5.1	78
5.2	82
6.0	85
CONSTRAINTS, OPPORTUNITIES AND REQUIREMENTS	85
6.1	85
6.2	85
6.3	86
6.4	87
6.5	87
6.6	90
6.7	91
6.8	91

7.0		93
CONSERVATION POLICIES		93
7.1	APPLICATION OF THE BURRA CHARTER	93
7.2	TREATMENT OF FABRIC OF DIFFERENT GRADES OF SIGNIFICANCE	96
7.3	CURRENT AND POTENTIAL FUTURE USE	97
7.4	ASSET MANAGEMENT	98
7.5	MANAGEMENT OF SIGNIFICANCE	102
7.6	NEW WORK POLICIES	111
8.0		117
IMPLEMENTING THE PLAN		117
8.1	MINIMUM STANDARDS OF MAINTENANCE AND REPAIR	117
8.2	SCHEDULE OF CONSERVATION WORKS	118
8.3	ON-GOING MAINTENANCE	118
9.0		121
BIBLIOGRAPHY		121
10.0		123
APPENDIX		123
10.1	SANDS DIRECTORY & TENANCY CARDS	123
10.2	STANDARD EXEMPTIONS UNDER THE NSW HERITAGE ACT	143

Executive Summary

This CMP has been prepared by Perumal Murphy Alessi Pty Ltd on behalf of the Sydney Harbour Foreshore Authority. Its aim is to provide guidelines for the conservation, interpretation and management of the terraces at Nos. 13-15 Playfair Street, The Rocks, to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

The Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, is located on the western side of Playfair Street in the block bounded by Argyle Street to the south and Atherden Street and George Street to the north. Playfair Street, which is a pedestrian street, generally retains a diverse mix of commercial buildings. The Argyle Centre and The Rocks Square development is located to the south of the terrace and Playfair's and Avery Terraces are located to their immediate north.

The Terraces are a pair of two storey buildings constructed in 1883. Constructed for the rental market, the former dwellings featured typical details associated with the 1880s period and typical layout with two rooms on the ground and first floor and single storey, rear "service" wing.

Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, is now included on the *NSW State Heritage Register*, together with 95 other items in The Rocks, individually entered on the register. The adjoining, Playfair Street Terraces, Nos. 17-31 Playfair Street are also listed as a separate item, however, "Argyle Terrace", Nos.13-31 Playfair Street, The Rocks, is listed as one item on the *Register of the National Estate*. "Argyle Terrace", part of the Argyle Precinct, Nos. 13-31 Playfair Street, has also been classified as one item by the National Trust of Australia (NSW).

The buildings continued to be used as residential properties until the 1970s through resumption of the land and managerial changes. In 1970 the Sydney Cove Redevelopment Authority (SCRA) became responsible for the property and initially proposed to demolish the buildings and redevelop the site as a car park. However, a change of plan and approach, in part influenced by the resident action groups and green bans, resulted in what was to be the first "restoration" project undertaken by the SCRA. The buildings, together with Nos. 17-31 Playfair Street and No. 33 Playfair Street, were converted for commercial and retail use. Work carried out at this time included the removal of the rear service areas, kitchen and bathrooms.

The next major conservation works were carried out in the 1990s as a part of the total revitalisation of the precinct. These works included some structural works to the terraces and works to allow restaurant use of Nos. 13 and 15 incorporating commercial kitchen and facilities in the adjacent No. 17. The 1990s works were also supplemented by the conservation and interpretation of the area to the west of the site, Foundation Park, which was also established during the 1970s.

The Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, is historically significant as representative examples of a late Victorian terrace style development that illustrates the high density subdivision pattern that was prevalent during this period, particularly in areas such as The Rocks where residential accommodation in vicinity to places of employment was in demand. The buildings significantly retain their fundamental external character and presentation and make a positive contribution to the Playfair Street streetscape and The Rocks Square precinct in general.

The terraces, which are in good and sound condition, are currently occupied by a restaurant tenancy and are internally connected with No. 17 Playfair Street which contains the restaurant kitchen and amenities.

It is anticipated that the buildings will continue to be occupied and maintained by small scale commercial and retail tenants. In the short term no works are required to the building, however, it is not clear if the restaurant use will be retained. The internal connection between Nos. 15 and 17 Playfair Street may be retained, as the fundamental external character and significance of the buildings is not affected by the connection. The existing openings in the party wall between the two terraces may be retained or infilled depending on tenancy requirements. New openings are discouraged.

The Foreshore Authority have commissioned this study to ensure that the heritage values of the place are maintained and enhanced in the longer term, so that the building can remain a viable asset and continue to make a positive contribution to The Rocks area.

1.0

Introduction

1.1 Context of the Report

This Conservation Management Plan has been prepared in accordance with the brief prepared by the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Foreshore Authority.

The Conservation Management Plan (CMP) for Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council.

1.2 Objectives & Heritage Listing Status

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the Argyle Terrace at Nos. 13-15 Playfair Street, The Rocks, to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

Collectively the buildings at Nos. 13-31 Playfair Street, The Rocks, have also been referred to as "Argyle Terrace". The CMP therefore makes reference to the adjoining terraces, Nos. 17-31 Playfair Street.

Argyle Terrace, Nos. 13-31 Playfair Street, The Rocks¹, is listed on the *Register of the National Estate*, they are also part of the Argyle Precinct² also listed on the *Register of the National Estate*. Nos. 13-31 Playfair Street is also classified as a group by the National Trust of Australia (NSW).

Argyle Terrace, Nos. 13-15 Playfair Street³ are included as a separate item in the NSW State Heritage Register, together with 95 other items in The Rocks now individually entered on *The NSW State Heritage Register*.

1.3 Site Identification

The Argyle Terrace is located on the western side of Playfair Street. Playfair Street is a pedestrian street that is bounded by Argyle Street to the south and Atherden Street and George Street to the north.

The site is bounded by the Playfair Street Terraces at Nos. 17-31 Playfair Street to the south and Foundation Park and the Gloucester Walk to the west.

Foundation Park is a terraced open area that sits on a rock escarpment at the rear of the site. It features foundations and remnant building and interpretive elements relating to the buildings that previously occupied the area to the immediate west of the site.

¹ Australian Heritage Database, Registered (21/10/1980), Place ID: 14258, Place File No. 1/12/036/0315.

² Australian Heritage Database, Registered (21/10/1980), Place ID: 2116, Place File No. 1/12/036/0315.

³ Listing No. 01569 Gazette No. 85.

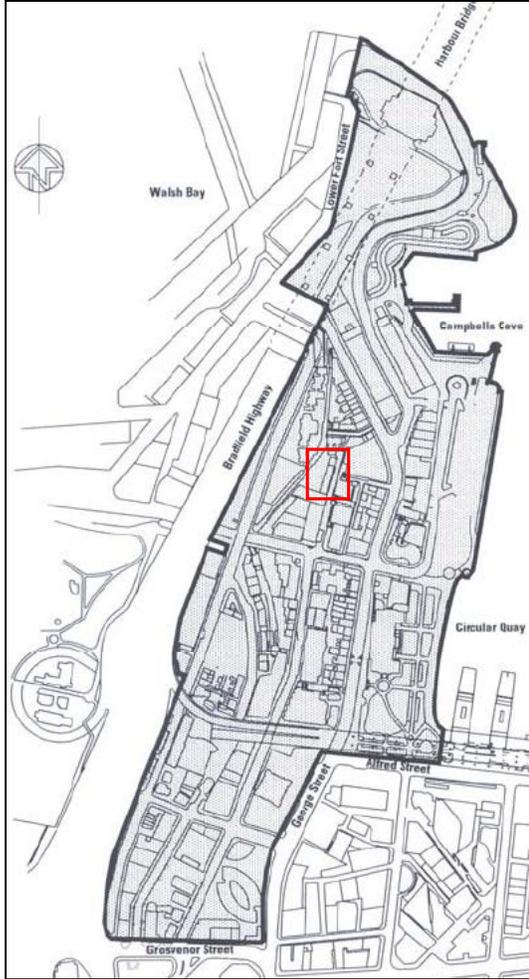


Figure 1.1 Location of Nos. 13-15 and adjacent Nos. 17-31 Playfair Street (highlighted) within the context of The Rocks.

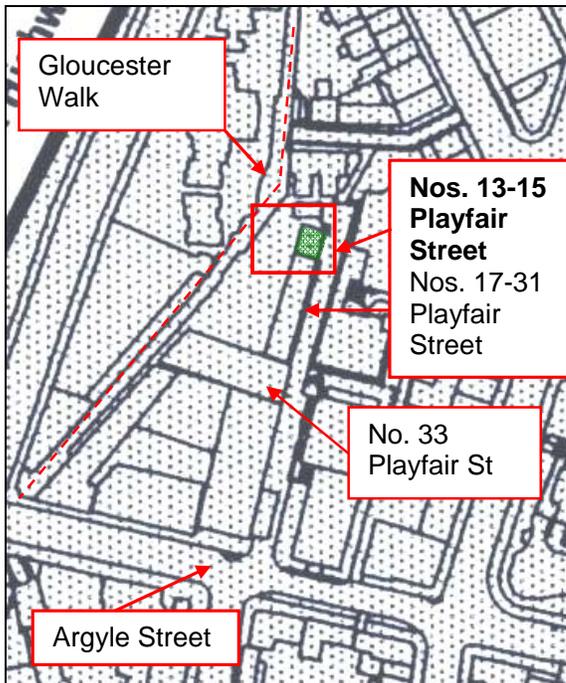


Figure 1.2 Location plan showing the immediate context of the site.



Figure 1.3 Nos. 13-15 Playfair Street.

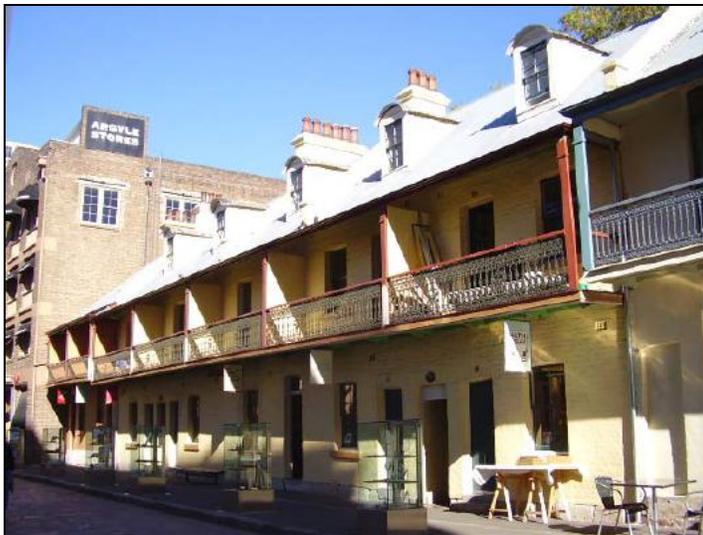


Figure 1.4 The terraces to the immediate south, Nos. 17-31 Playfair Street share historical, visual and physical links with the subject buildings.

1.4 Building Description

“Argyle Terrace”, Nos. 13-15 Playfair Street, is a pair of two storey bald face terraces with parapet which conceals the gabled roof from Playfair Street. The external masonry walls are finished in stucco and painted and feature Italianate details including a central string course, moulded brackets to sills, arched window heads and deep cornice across the parapet. The north and western facades face an open courtyard which is bounded by a rock face below Foundation Park and Gloucester Walk to the west.

The two former dwellings feature two rooms on the ground and two rooms on the first floor and are currently internally connected with No. 17 Playfair Street which features kitchen on the ground floor and amenities on the first floor.

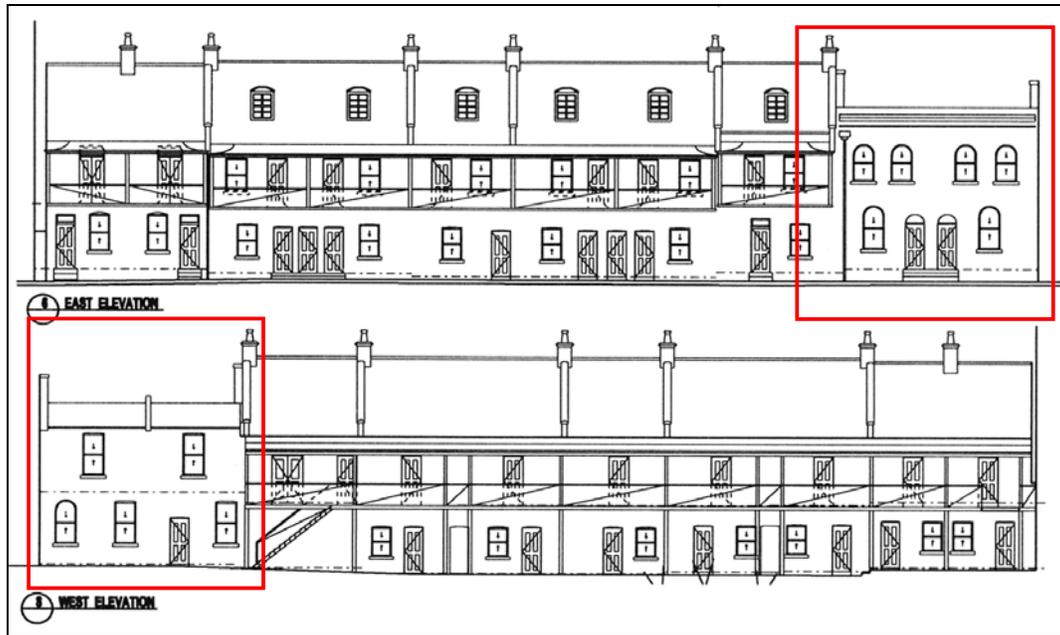


Figure 1.5 The Playfair (east) and rear (west) elevations of the building in the context of other highly significant Victorian development in Playfair Street. (Source: The Foreshore Authority)

1.5 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance*, 1999, known as *The Burra Charter*, the NSW Heritage Office's Guidelines on *Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

The *Preliminary Conservation Plan for The Tara Terrace Group (Argyle Terraces) Playfair Street, The Rocks*, prepared by Tropman & Tropman dated October 1993 has been reviewed and provided a basis for the historical development of the buildings and site (as footnoted). Reference has also been made to the *Statement of Significance and Conservation Guidelines for Argyle Terrace and Foundation Park, Nos. 17-31 Playfair Street, The Rocks*, prepared by Annette Green and Lori Anglin in June 1988.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on available documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the Argyle Terraces.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.6 Documentary and Photographic Sources

Architectural plans of the building and site have been supplied by the Foreshore Authority. All additional research has been undertaken at the Mitchell Library, the NSW Land and Property Information Office, Sydney Water Plan Room and Sydney Harbour Foreshore Authority Library and Archives.

Historical photographs, unless otherwise stated, were sourced from the Foreshore Authority Archives and collections. Contemporary photographs included in this report, unless otherwise stated, were taken by Luisa Alessi of Perumal Murphy Alessi Pty Ltd, Heritage Consultants, in July and August 2006, specifically for the preparation of this report.

1.7 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in Article 1 of *The Burra Charter*. This includes particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, as defined in detail in Section 7.2, **Application of The Burra Charter**, of this report. For terminology used in identification of historic architectural styles and building elements, the Foreshore Authority encourages the use of the terminology as presented in the *Pictorial Guide to Identifying Australian Architecture* (various editions) prepared by Irving, Apperly and Reynolds.

1.8 Authorship

This Conservation Management Plan has been prepared by Luisa Alessi of Perumal Murphy Alessi Pty Ltd, (formerly trading as Perumal Murphy Wu Pty Ltd) Heritage Consultants, and has been reviewed by Spiro Stavis, Principal.

Luisa is a graduate architect with ten years experience in the heritage field. She has prepared a number of assessments and Conservation Management Plans (CMPs) for both the private and public sector including the following CMPs for the Foreshore Authority;

- Sergeants Majors Row at Nos. 33-41 George Street;
- the former Sailors' Home at Nos. 106-108 George Street;
- Reynolds Cottages at Nos. 28-30 Harrington Street; and
- Terraces at Nos. 46-56 Gloucester Street, The Rocks.

2.0

Documentary Evidence

2.1 Thematic History

In order to better understand how the Argyle Terraces developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.⁴ The organising principal for the thematic framework is the dynamism of human activity -

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁵

The State historical themes of Accommodation (Housing), Commerce and Domestic Life were used in this history to guide research questions, interpret the history, and structure the narrative of the development of the Argyle Terraces within the context of the development of The Rocks.

2.1.1 Early development of The Rocks and Playfair Street Precinct

The area regarded today as “The Rocks” stretches along George Street, north of the Cahill Expressway overpass to Dawes Point. However, in its early years until the late 1820s and 1830s, The Rocks was less linear and extended from Church Hill (present day Grosvenor Street) to around Argyle Street to the north.⁶ The area was named “The Rocks” because it was located on a high sandstone outcrop, which significantly was bordered on three sides by deep water anchorages. The topography of the area, its location and shipping that used the anchorages have influenced the physical appearance of the area, street pattern and overall development.⁷

By 1800 George Street itself was a “track” running roughly parallel to the natural shoreline, however, the real focus concentrated on the rocky slopes above, particularly the areas behind the first provision stores in (present day) Grosvenor Street, behind the first General Hospital, on what is now Globe Street and around Harrington and Gloucester Streets.⁸

⁴ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

⁵ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

⁶ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 1.

⁷ Robert A Moore Pty Ltd in association with the Historic Houses Trust, *Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines*, (undated) p. 8.

⁸ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 1.

By the time the first issues of the *Sydney Gazette* appeared in 1803 the area was already well established and a well known quarter of town. The *Gazette* published stories of the drinking and brawling that went on there, but also described the steepness of the area and unusual arrangement of buildings, accessed by little more than “tracks”.⁹

Meehan’s map of the town of Sydney dated 1807 (**Figure 2.1**) shows the general arrangement of the area at this time. The map combines leaseholders (numbered on the plan) with permissive occupants indicated by the thick black edging along the streets and in vicinity of the subject site. Meehan’s map shows the site as part of the garden for the colony’s hospital.

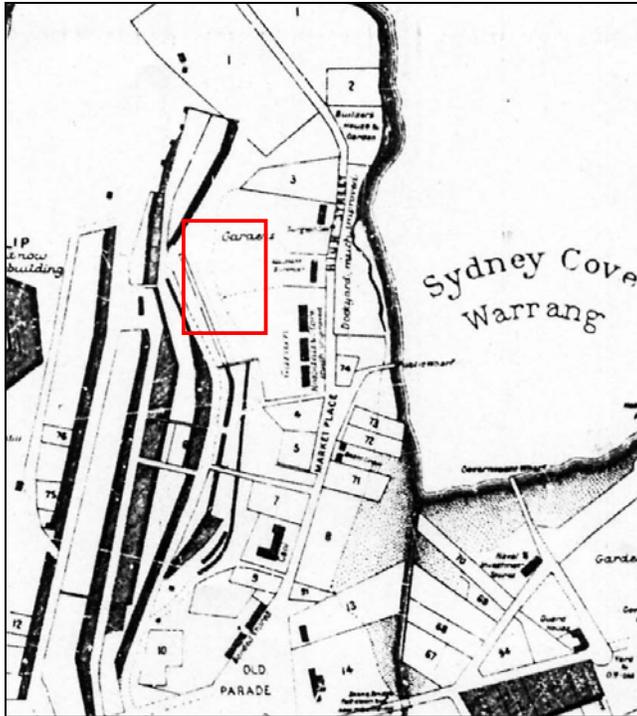


Figure 2.1 Meehan’s Plan of the Town of Sydney, 1807, showing the general arrangement of the area.

(Source: Mitchell Library, Z M2 811.17/1807/1)

In 1810, the rugged footpaths and crooked rows were given a sense of order when Governor Macquarie officially named them, replacing the localised (more descriptive) names with regal or viceregal titles. The main, or High Street, was renamed George Street (after the then reigning monarch) and from the highest ridge in descending order, he proclaimed Princes Street (Windmill Row), Cumberland Street (Church Row), Cambridge Street, Gloucester Street and Harrington Street. A series of cross streets and paths were also named, terminating at Argyle Street.¹⁰

The streets, however, were not all continuous or well marked out. In 1820, Surveyor James Meehan reported that there was no regular line of communication in The Rocks. The rocky ledges of Gloucester, Cambridge and Harrington Streets were discernible at the less inhabited northern end, near Argyle Street, but converged in a muddle in the area further south. Successive surveyors, including Meehan, tactfully left spaces and streets unnamed on the surveys. A mix-up also occurred between Cambridge and Gloucester Streets. Cambridge Street was originally the one below Cumberland Street, however, in the early 1830s Cambridge and Gloucester Streets became intertwined and difficult to separate at the southern end. New surveys and the granting of freehold titles in the 1830s

⁹Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 20.

¹⁰Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 21.

finally solved the confusion by reversing the street names to their present configuration, with Cambridge becoming the lower and Gloucester Street the higher.¹¹

The problems with the early street pattern were complicated by the fact that occupants of the area had simply appropriated allotments and built houses and buildings on them without any official grant or lease. As early as 1802, Governor King had foreseen the problems associated with the non-legal, unrecorded dealings of land ownership, often transferred by verbal agreement. It was not until 1822 that Governor Brisbane commissioned a survey of Sydney and other towns, in an effort to resolve the confusion. The Rocks land, however, had already been appropriated by one means or another and the legitimisation of occupation was not really effected until Governor Darling resolved to begin the long process of granting freehold titles in 1829. More than two decades of slow surveys and investigations, to untangle the rights of the claimants of the land, followed.¹²

Part of Gloucester Street had been formed by 1807 and up to 1836 maps of the area show a number of small buildings in the area. By the mid-1840s the Argyle Cut was being constructed and Gloucester Street was in the process of being extended northwards to George Street. As a result of, or in anticipation of increased access, more intensive development took place along Gloucester Street in the mid 1840s. Town houses and smaller scale terrace houses were being constructed, replacing the earlier single storey cottages. Both sides of the street were being developed and due to the topography of the area, with substantial basements and retaining walls, particularly on the eastern side of the street.¹³

Playfair Street was originally known as Little Gloucester Street and New George Street. It was renamed Playfair Street in 1885. In 1923, it became an extension of Harrington Street, reverting to the name Playfair Street in 1953. "Playfair" recalls Thomas Playfair, carcass butcher, ships providore, Alderman (1875-1893) and Mayor (1885).¹⁴

2.2 Historic Themes – Housing, Commerce & Domestic life

In the early years of European settlement in New South Wales houses were generally free standing. It was not until the 1830s that terrace housing was established as a common form, particularly in the inner city areas. An influx of poor migrants and realisation of the potential financial returns gave land speculators incentive to try and meet the demand for cheap accommodation. Terrace housing was ideal as savings could be made on land, two or more houses could be constructed on lots that previously accommodated one dwelling, and savings could also be made on construction costs with the use of party walls, common chimneys and repetitive detailing.¹⁵

A substantial amount of housing was erected, however, not all of the early terraces were of poor quality. During the late 1830s the emerging middle classes created a demand for good quality town houses in close proximity to the centre of business. In 1837, concern about the structural stability and fire safety of buildings led to the development of a Building Act which also required that party walls were to be of brick and extend beyond the roof surface and combustible materials were to be excluded externally. As a result no timber verandahs were allowed, shingle roofs were banned and timber windows and doors had to be recessed behind the external face of the brickwork. This led to the

¹¹ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 28.

¹² Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 29.

¹³ Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 89.

¹⁴ Fitzgerald, S., *A Guide to Sydney City Street Names*, (1995) p.102.

¹⁵ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 7.

construction of higher a standard of terrace housing by the mid 1840s, however, this was short lived with a decline following the recession of the early 1840s. Public reaction to the Building Act and associated rising building costs also led to amendments to the Act in 1839 and relaxing of the regulations. Timber verandahs were allowed to overhang the street alignments by two and half feet and hardwood shingles were permitted as a roof covering.¹⁶ The pressure for commercial development in the city also began to influence the availability of such prime residential land, which, combined with increasing population maintained the traditional “working class” demographic and character in areas such as The Rocks. The wealthy, professional-merchant class moved out to newly developing suburbs such as Glebe.¹⁷

The housing and accommodation of this period had little regard for planning or sanitation. The emphasis on high returns resulted in minimal standards being developed for the rental market. Simple workingmen’s terraces were mainly constructed in areas such as The Rocks, Surry Hills and Darlinghurst, commonly located within walking distance of main centres of employment. The individual houses were set on allotments which rarely exceeded 4.5m in width and were generally built on or close to the street alignment. They were designed with minimal accommodation with few if any architectural embellishment. The better quality terraces were constructed of brick with lime-wash finish, and later a plain stucco finish was used. Early roofs were clad in timber shingles and later in corrugated iron. The gable roof form was used where no parapet was used. Windows and doors just followed the fashions of the day.¹⁸

In plan, the single storey row terraces comprised two main rooms with possibly a third room and smaller room as a wing to the rear. An attic was sometimes incorporated in the roof space. The two storey version usually comprised two rooms up and downstairs with narrower service wing at the rear. The main entrance typically led directly into the front room. An entrance hall was only used in the larger examples. Fireplaces were usually provided in the two main rooms on the ground floor and possibly in one of the upstairs rooms. A kitchen hearth was sometimes provided in the rear wing. Internally the walls were generally either whitewashed, plastered or lathes with square set cornices. Beaded board ceilings were commonly used in the first floor level with simple joinery throughout.¹⁹

These conditions were well established in the 1860s. The 1870s and 1880s were periods of prosperity, generally with higher living standards in Sydney, however, housing problems remained until the turn of the century. Increased immigrant population and demand for cheap labour led to continued overcrowding and the demand for affordable accommodation resulted in a large increase in residential development. The Rocks continued to support residential, commercial and public land uses mainly due to its location, close to the waterfront and associated activities.²⁰

¹⁶ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 17.

¹⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 8.

¹⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 11.

¹⁹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 11.

²⁰ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 18.

The outbreak of the plague in January 1900 resulted in cleansing operations in the inner suburbs of Sydney and the demolition of a number of cottages and terraces within The Rocks. Part of The Rocks was quarantined and cleansed by the Government in an effort to improve the sanitary conditions. In May 1900, under the *Land for Public Purposes Acquisitions Act*, the quarantined wharf areas and adjacent housing were resumed. This resumption included Millers and Dawes Point but not The Rocks.²¹ However, in December 1900 a further resumption was proclaimed, incorporating all The Rocks and the western shore of Sydney Cove. Unlike the previous resumption this was made under the recent *Public Works Act* which appears to have been to provide for the approaches of the proposed Harbour Bridge, not as a response to the outbreak of the plague.²²

The *Sydney Harbour Act* of 1900 allowed for the formation of the Sydney Harbour Trust which was to maintain and manage the resumed areas. The initial aim was to clean up the resumed areas and redevelop for commercial purposes. The City Improvement Advisory Board was also established in March 1901 to assist in overseeing the resumed area.²³ The Trust soon realised that they had to alter their initial development aim and accommodate the working population displaced by the cleansing operations and demolitions. In the period between 1910 and 1914 over thirty new waterside worker's tenements were erected.²⁴ The Sydney Harbour Trust subsequently was responsible of a portfolio of over 800 properties, rented at market rents, and became the first government housing authority in NSW.²⁵

Throughout this period of change and into the mid-twentieth century The Rocks continued to develop as a working class community which revolved around the activities of the wharves and during the 1920s swelled with the construction of the Sydney Harbour Bridge. The Maritime Service Board (MSB) was formed in 1936 to combine the functions of the Sydney Harbour Trust and other groups responsible for shipping, wharves and maritime activities. They also assumed responsibility for the residential properties managed by the Trust. Some changes were made in the area, such as the narrowing of George Street North and the construction of the Board's new headquarters (now the Museum of Contemporary Art), on a prominent part of the waterfront. However, the maritime activities diminished during the 1960s and 1970s which led to a decline in the traditional population and general decline of the area which in turn led to its reputation as a slum.²⁶

In 1970 the newly formed Sydney Cove Redevelopment Authority started to consider the total redevelopment of The Rocks area, however, the workings of local residents and green bans sought to conserve the historic character and nature of The Rocks for its remaining residents. The primary aim was to protect the rights of the residents but also promotion of the area as a historic precinct. Since that time there has been a mix of conservation and re-development including both commercial and residential uses with emphasis on promoting the area as a tourist destination.²⁷

²¹ Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 134.

²² Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 135.

²³ Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 137.

²⁴ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 5.

²⁵ Department of Housing Website, "About Us - History".

²⁶ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 22.

²⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 5 & 6.

2.3 Initial Development of the Site

The subject land appears to have been largely undeveloped until the 1870s. The street now known as “Playfair Street” was not shown on a plan of the area dated 1868. Since the mid 1870s the street has been known by a number of names:

- New George Street, c.1873 – 1876;
- Little Gloucester Street, c.1877 – 1886;
- Harrington Street, 1923-1953; and
- Playfair Street, from 1953.²⁸

The 1868 plan (**Figure 2.2**) shows the subject land, part of a large block generally bounded by Argyle Street to the south, George Street to east, Union Street to the north and Gloucester Street (now Gloucester Walk) to the west. A laneway cuts through the south eastern portion of the block, accessing the properties fronting George Street and a large building connected to “Flour mills” located opposite the site. The Argyle Stores occupy the south western section of the block.

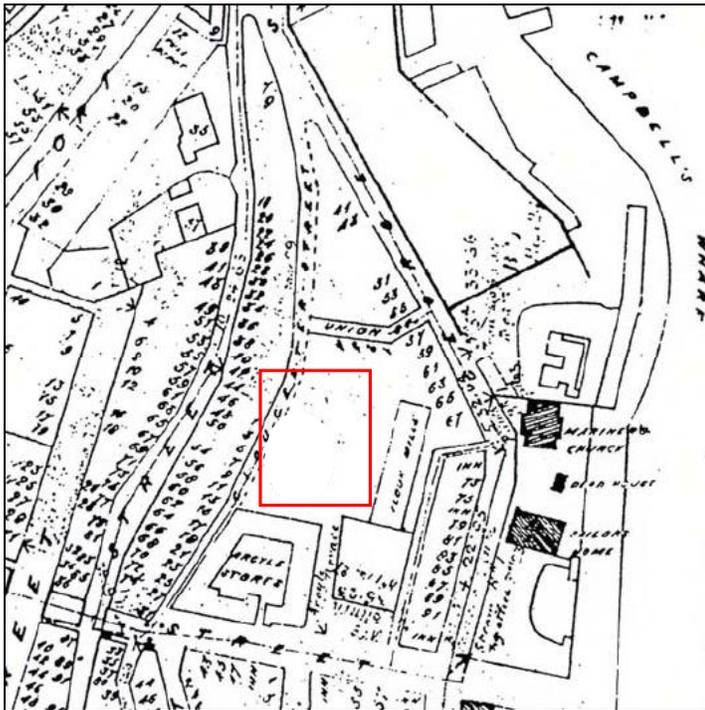


Figure 2.2 1868 Hunt & Stevens Plan showing the subject site, part of a block bounded by Argyle, George, Union and Gloucester Streets.

(Source: City Archives)

The land on the western side of Playfair Street was part of Lot 2 of Section 85 granted to William Carr and John Rogers on 26 October 1838. This land included the southern portion of the site, land now occupied by Nos. 21-31 Playfair Street. In 1839 the land granted to Carr and Rogers was sold to Frederick Wright Unwin. Unwin commenced his “Bonded Stores” in the same year. In 1842 Unwin leased the northern section of his property and continued to develop the southern portion of his site during this time.²⁹ The 1868 Hunt & Stevens map (above) shows Unwin’s, *Argyle Stores* located south of the site with frontage to Argyle Street and central courtyard.

²⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 12.

²⁹ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 22.

In 1870 part of Unwin's land was acquired by William Whaley Billyard³⁰ who by the end of 1871 consolidated this with a grant made on 26 September 1871. This land was sold two years later to Robert Pemberton Richardson of Sydney, an auctioneer.³¹ A Certificate of Title dated December 1874³², shows the land, including the subject sites, (**Figure 2.3**) extending east from Gloucester Street with small frontage to George Street North.

Richardson had by this time subdivided the land, part of DP 143 (**Figure 2.4**), and offered the thirty one allotments for sale at auction on 11 December 1874. The lots were advertised as "*Freehold City Allotments*" about Little Gloucester Street and Mill Street. The plan shows the irregularly shaped allotments on the western side of Little Gloucester Street, generally with 15 feet frontages. The two end allotments, Lots 21 and 31 being a little wider. Lots 4 to 31 were advertised as being suitable as sites "*for residences for small capitalists*".³³

The sale of the adjacent land and subject site were recorded on the Certificate of Title³⁴ as follows:

Lot 21 (Nos. 29-31 Playfair Street)	John Nicholson of Sydney, 6 January 1875
Lots 22 & 23 (Nos. 25-27 Playfair Street)	Bartholomew Higgins of Sydney, Policeman, 6 January 1875
Lot 24 (No. 23 Playfair Street)	John Kearney of Sydney, Policeman, 6 January 1875
Lots 25 & 26 (Nos. 19-21 Playfair Street)	John Murphy of Sydney, Publican, 18 January 1875
Lot 27 (No.17 Playfair Street)	John Murphy of Sydney, Publican, 15 September 1876
Lot 28 (Part Nos.13-15 Playfair Street)	William George of Sydney, Labourer, 2 April 1875
Lot 29 (Part Nos.13-15 Playfair Street)	Magnus George of Sydney, 14 October 1876

Most of these purchasers retained ownership until 1901, when the land was resumed. However, in 1876, Nicholson sold approximately half of Lot 21 (facing Little Gloucester Street) to Enoch Rees, a stonemason of Sydney. Two years later it was again transferred to Michael O'Flaherty, a Coal merchant of Pyrmont. Nicholson retained the western portion of the original allotment until 1898.³⁵ The subject site Lots 28-31, were purchased by Thomas Playfair and by 1879, only these lots remained undeveloped.³⁶

³⁰ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993)

³¹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 12.

³² Department of Lands, Certificate of Title, Volume CXCX Folio 135.

³³ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 14.

³⁴ Department of Lands, Certificate of Title, Volume CXCX Folio 135.

³⁵ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 16.

³⁶ Sydney Harbour Foreshore Authority, Heritage Register, Argyle Terrace, 13-15 Playfair Street, The Rocks.

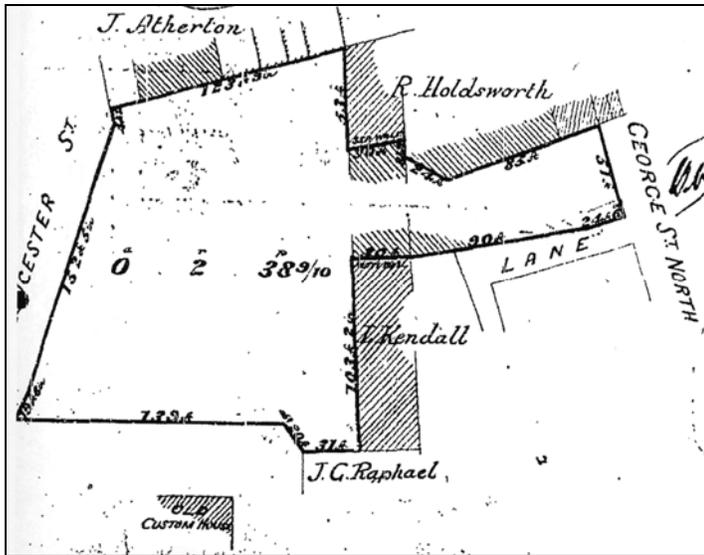


Figure 2.3 Plan of the land consolidated by Richardson illustrated on the Certificate of Title dated December 1874.

(Source: Department of Lands, Volume CXCIV Folio 135)

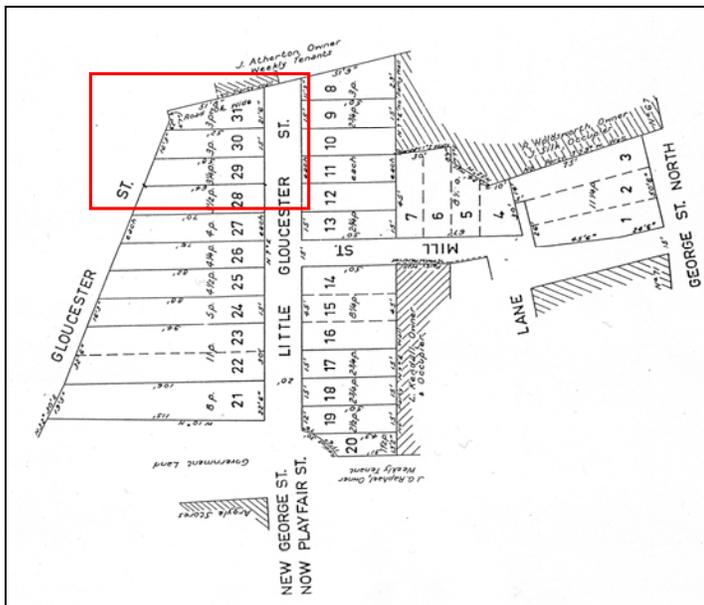


Figure 2.4 The subdivision of the land, DP 143.

(Source: Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 15)

2.3.1 Construction of the buildings

New George Street (now Playfair Street) was first listed in the *Sands Directory* in 1873. In 1875 no residents were listed, however, in the following year a terrace of five houses, probably on Lots 22-26 (Nos. 19-27) had been built and occupied. A sewer plan dated 28th August 1875 (**Figure 2.5**)³⁷ indicates five buildings on the site, in the area between the “Argyle Bond” to the south and “Mill” to the east. In 1876 it would appear that Enoch Rees built a pair of two storey houses, Nos. 29 and 31, after his purchase of the eastern half of the allotment from Nicholson.³⁸ In 1877 the *Sands Directory* notes No. 7 Little Gloucester Street (now No. 17 Playfair Street) was “in course of erection”. It would appear that the single house on Lot 27 (No. 17 Playfair Street) was constructed by John Murphy shortly after his purchase of that block in late 1876.³⁹

³⁷ Sydney Water Plan Room, OCP 78.

³⁸ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 8.

³⁹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 18.

By 1882 a total of nineteen (19) houses had been constructed on Lots 21 to 27, with eight fronting Little Gloucester Street, eight to Gloucester Walk and three in between. The largest developer was John Murphy who erected nine houses on his three allotments, by using the rear yards of Nos. 17-21 Playfair Street.⁴⁰

The c. 1880 Percy Dove plan (**Figure 2.6**), shows the configuration of the buildings south of the subject site at this time. The two storey buildings facing Little Gloucester Street, including Nos. 9-17 (now Nos. 19-27) noted as "Tara Terrace", are constructed to the street alignment with single storey room/annexes and open yards to the rear. The three single storey buildings are shown at the rear of Nos. 17-21 (noted as Nos. 7-11 on the plan). The buildings constructed on the Gloucester Street frontage, now interpreted in Foundation Park are also shown.

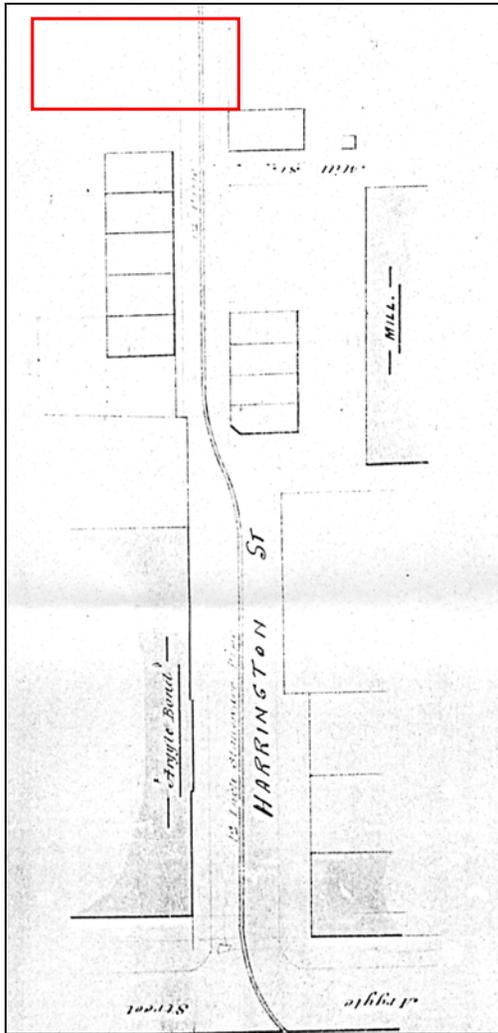


Figure 2.5 1875 sewer plan indicating the presence of five buildings south of the subject site.

(Source: Sydney Water Plan Room)

⁴⁰ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 18.

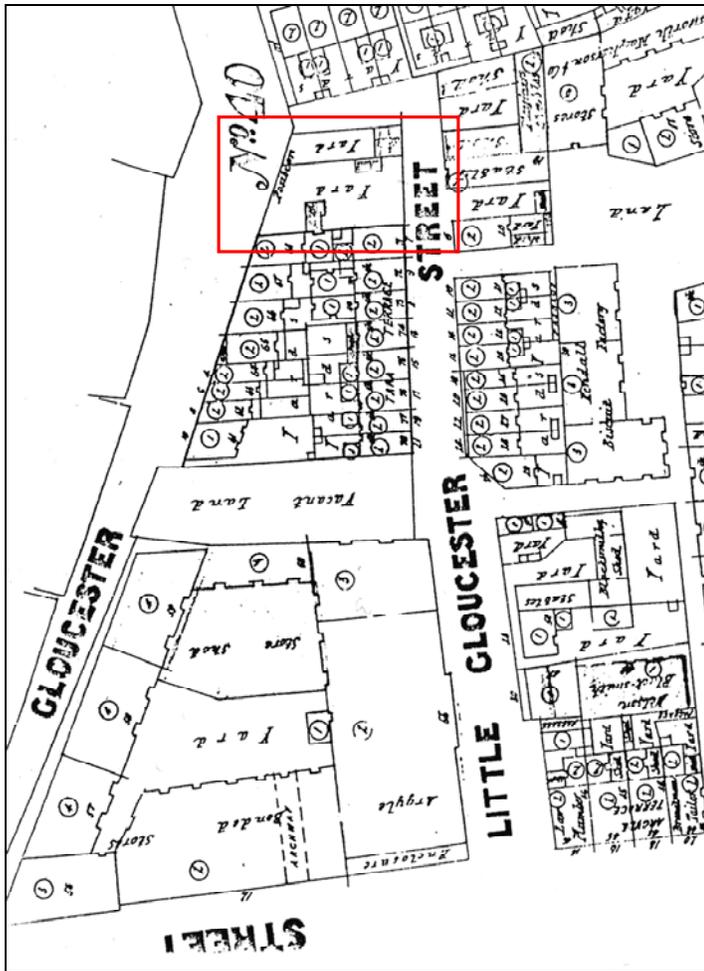


Figure 2.6 Percy Dove plan c. 1880s.

(Source: City of Sydney Archives)

The subject site, now Nos. 13-15 Playfair Street, remained undeveloped at this time. Two sheds are shown abutting the single storey building at the rear of No. 17 and on the north eastern boundary. By 1880 Murphy had also constructed another house immediately behind No. 7 Little Gloucester Street (No. 17 Playfair Street), accessed via a passage, the opening of which is still discernable at the southern end of the ground floor facade of the building.⁴¹

In 1883 Thomas Playfair commenced construction of two tenements known as Nos. 3-5 Gloucester Street (Nos. 13-15 Playfair Street). The building was first rated in June 1884 and in 1891, Nos. 3-5 Playfair Street (Nos. 13-15) were described as two storey houses of five rooms constructed with brick and cement walls and iron roof. No. 1 Playfair Street occupied by Thomas Playfair was described as wood walls and iron roof with sheds and yards.⁴²

The buildings were the last of the grouping of terraces now remaining on the western side of Playfair Street to be constructed. They followed the five houses comprising "Tara Terrace", located south of the subject site (Nos. 19-27), constructed in 1875 which were constructed as typical Victorian workers' terraces. Also Nos. 29 and 31 located further south, which were constructed in 1876 as a pair with similar style and finish to "Tara Terrace", although with French doors on the first floor to access the front balcony overlooking Playfair Street and No. 17 constructed in 1877.

⁴¹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 20.

⁴² Sydney Harbour Foreshore Authority, Heritage Register, Argyle Terrace, 13-15 Playfair Street, The Rocks.

Nos. 13-15 differ and were slightly more elaborate in style and detail. Early photographs indicate that the terrace was originally rendered with parapet, decorative rendered mouldings including cornices and string lines and arched window heads.

The *Sands Directory* indicates that at least three of the houses at the western end of the original allotments, along the Gloucester Street alignment, had been constructed and occupied by 1877. By 1879 seven houses had been built, described as “Erin Terrace”. These were also occupied by a number of tradesmen, including mariners, carpenter and tailor. By 1882 the street numbers had changed to accommodate another three houses, and the *Assessment Books* note that all were constructed of brick with iron roofs. All but two were three storey with five or six rooms (the other two were single storey with three rooms).⁴³

2.4 History of the Occupation of the Site

The houses and other dwellings in the area generally appear to have been developed for the rental market. From the start only one of the neighbouring properties, No. 13 Little Gloucester Street (No. 23 Playfair Street) was occupied by the owner, John Kearney. By 1879 all of the houses along this section of Playfair Street were occupied by tenants who generally remained in occupation for a few years at the most. The *Sands Directory* indicates that these tenants were varied, ranging from a printer to shipwrights and an engineer.⁴⁴ The terraces constructed along the Gloucester Street alignment (now Gloucester Walk) were also generally constructed for the rental market with only two owner occupiers. In 1879 the occupants included two master mariners, a carpenter and a tailor.⁴⁵

The *Sands Directory* indicates that this situation continued until 1901, when all of the allotments were resumed by the Minister for Public Works and the Sydney Harbour Trust became responsible for the site and buildings. The initial aim of the Trust, which was established as a result of the Plague which hit Sydney in early 1900, was to clean up the resumed areas and redevelop them for commercial use. However, the area within the boundaries of the resumption included many residential properties mixed with the wharves and commercial buildings that the Trust intended to use. The Trust gradually had to accept that it would have to take the role of landlord and manage the newly acquired residential properties and their occupants.⁴⁶

The Trust also soon recognised that not all of the newly acquired property was suitable for commercial purposes and the local topography, steep and rocky in places, would potentially be difficult to develop. In addition, the traditional inhabitants of The Rocks area, such as the wharf labourers, continued to need to live in vicinity to their places of employment. Much of the housing in the area had become dilapidated by this time and demolitions and cleansing operations were undertaken by the Trust, however, repairs to the buildings that were retained, it is assumed such as the subject terraces in Playfair Street, and construction of new housing, on land deemed unsuitable for commercial use, was also undertaken from this time.⁴⁷

⁴³ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 25.

⁴⁴ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 20 & 21.

⁴⁵ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 24-25.

⁴⁶ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 21.

⁴⁷ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 21.

The terrace came under the control of the Maritime Services Board in 1936. The MSB made major infrastructure changes in The Rocks area, however, it would appear made little changes to the dwellings.

Despite the changes in the administration much of the area and fabric remained intact until the late 1960s. Much of the city had by this time been taken over for commercial purposes and resident population subsequently thinned. The Rocks became more derelict and public opinion generally regarded the place as a slum and largely favoured demolition and redevelopment.

Two of the four terraces still tenanted by the mid 1970s were occupied by residents who had lived in the street for several decades, during which it appears that very little renovation or modification had taken place. Mr Thomas Kane, the tenant for the four roomed No. 13 Playfair Street, lived there with his daughter and several grandchildren in crowded conditions.⁴⁸

The buildings were transferred to the Sydney Cove Redevelopment Authority in 1970 and along with the neighbouring terraces were originally slated for demolition. Tenders were called and a number of proposals were considered, including the use of the combined site for a carpark.⁴⁹ The decision to demolish the buildings is highlighted by the one *Tenancy Card*⁵⁰ relating to the buildings. The card relates to No. 31 Playfair Street, at this time tenanted by a Mr W Balmain and his mother Mrs Beashel. The entries date from 22 July 1970, at which time the memo notes, “*proposed Playfair Street demolitions – Houses Nos. 13 to 31*”. A subsequent note, dated 28 July 1970 notes, “*Playfair Street – proposed demolition of ten houses 13-31 inclusive for carpark*”. In the later months of 1970 memos and letters were sent pertaining to the relocation of the present tenants and subsequently “*notice to quit*” the premises. The last entry, dated 13 August 1971 alludes to the continuing “problem” with the existing tenant.

Other file notes dated September – November 1970⁵¹ suggest the imminent demolition of the terrace in Playfair Street and relocation of the present tenants. The note dated September 1970 lists the houses and tenants involved and current rental as that time as follows:

No. 13	Mr T Kane	three adults, four children	\$3.60 rental per week
No. 15	vacant		
No. 17	vacant		
No. 19	vacant		
No. 21	vacant		
No. 23	vacant		
No. 25	Mrs N Macklan	plus two children	\$4.30 rental per week
No. 27	Mrs CE Moran	only occupant	\$3.45 rental per week
No. 29	vacant		
No. 31	Mr W Balmain - non-resident, occupied by his mother only.		\$3.30 per week

Three of the four tenants were to be accommodated in the East Rocks area. Mr Kane was to be relocated to No. 50A Gloucester Street, Mrs Macklan to No. 46 Gloucester Street and Mrs Moran to No. 63 Harrington Street. Each of these apparently expressed satisfaction with their new addresses. Mrs Balmain, was to live with her son at Chester Hill, however, the report outlines her unwillingness to leave. However, by November

⁴⁸ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 22.

⁴⁹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 1.

⁵⁰ Foreshore Authority Library.

⁵¹ Foreshore Authority Archives, File No. RE 0505.01.01.

1970, two of the tenants had been relocated and it is assumed that the others followed shortly thereafter.

It was an overseas visit by the SCRA's then Business Manager and Director that brought about a reversal and change of plan. The Director was impressed by the aesthetic and financial returns of refurbishing old and seemingly derelict buildings and on his return called for a reassessment of the situation.⁵² It was decided that the terrace would be retained and from this time the Sydney Cove Redevelopment Authority adapted the remaining houses as commercial premises and developed the rear of the site as Foundation Park. This marked the beginning of the Authority's role in the development of The Rocks as a tourist destination. At the end of the 1970s the character of the area and use and occupation of the buildings was redefined by the refurbishment of Playfair Street as a commercial and tourist zone and pedestrian precinct.⁵³

2.5 Development of Building Components and Site

A Sydney Water Plan dated 1887 (**Figure 2.7**)⁵⁴ illustrates the footprint and configuration of the buildings. Amended in 1895, there was no change indicated on the subject site, however, it would appear that a building was constructed to the north of the buildings (shown hatched) in the time between. The earlier street numbering is clear and the rear "wings" or annexes visible. A detached structure is also shown at the western end of the site, abutting the rock face.

A photograph dated c. 1901 (**Figure 2.8**) shows the context of the buildings and their frontage to Playfair Street. This section of Playfair Street is noticeably narrow with two storey dwellings also located on the eastern side of the street. Another photograph dated 1910 (**Figure 2.9**) also shows the front facades of the terrace.



Figure 2.7 Plan dated 1887, amended in 1895 with no changes to the buildings.

(Source: Sydney Water Plan Room)

⁵² Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 23.

⁵³ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 1.

⁵⁴ Sydney Water Plan Room, PWD 321/1544.

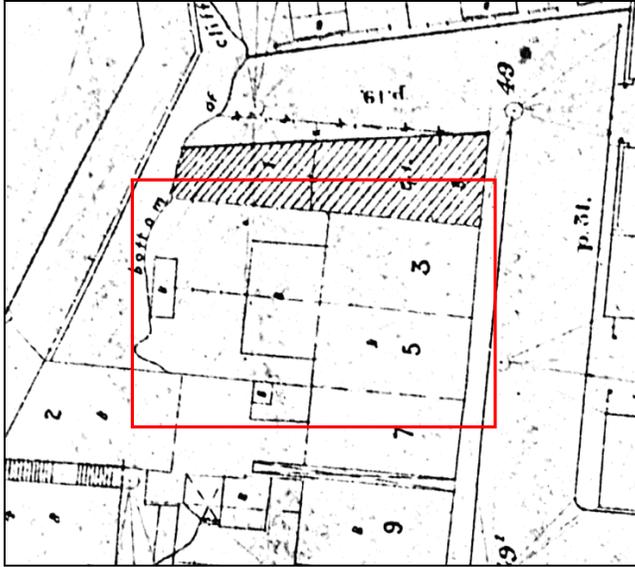


Figure 2.7a Plan dated 1887, amended in 1895 with no changes to the buildings.

(Source: Sydney Water Plan Room)



Figure 2.8 Photograph dated c. 1901 looking north along Playfair Street. The subject buildings are on the far left. Playfair Street is at this time a relatively narrow street flanked by residential development on each side. (Source: Foreshore Authority Archives PS 05)



Figure 2.9 Photograph dated 15 October 1910 looking north along Playfair Street. The subject buildings (just visible at far right) are located at the northern end of a grouping of similarly scaled two storey terraces. (Source: Foreshore Authority Archives PS 06)

An undated Sydney Water plan (**Figure 2.10**)⁵⁵ revised and re-issued in 1925 and withdrawn from use in 1932 indicates no great change to the building outline between 1895 and 1925. The same configuration and building footprint is shown, with the only difference being the addition of another annex constructed between the existing rear wing and outbuilding at the rear of the buildings. Some change is also visible to the buildings to the north of the grouping, noted with “1912”, however, the Cleland Bond Store, which was constructed in 1913–1914⁵⁶ is not shown on the plan.

The terraces built on the eastern side of the street in c. 1875 were apparently demolished during the first quarter of the twentieth century and another row (the original “Argyle Terrace”) facing Argyle Street was demolished at the same time. Following the demolition of the terraces, the eastern side of the street was redeveloped with commercial and warehousing premises. These buildings, which remain today, were constructed well back from the earlier street alignment. In 1921 the demolition of four terraces located at the northern end of Playfair Street enabled the extension of the street to George Street North, thus completing its transition from an access lane to a through road.⁵⁷

A photograph dated 1930 (**Figure 2.11**) shows the rear of the large, multilevel houses along the Gloucester Street alignment (now Gloucester Walk). It is clear that the buildings were constructed with minimal concern for light and air. Most of the houses were vacated by the mid 1930s. The City Engineer gave approval to demolish in 1938 and the work was apparently completed by July the following year.⁵⁸

⁵⁵ Sydney Water Plan Room, Sewer Detail Sheet (Blackwattle) 3767 Old.

⁵⁶ Sydney Harbour Foreshore Authority, Heritage Register.

⁵⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p.39.

⁵⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 25 & Foreshore Authority website, notes on Foundation Park Interpretation.

2.5.1 Maritime Services Board

It is not clear if any works were carried out to the subject buildings during the Maritime Services Board administration, between the years 1936 until 1968. The Tenancy cards indicate that “various works and repairs” were undertaken to No. 15 in 1948 and interiors of No. 13 were “renovated” in 1952. The installation of power points were also carried out around this time, however, details of the work is not known. The cards also refer to the bad condition of No. 15 by this time and problems with the party wall shared with No. 17. As a result No 15 was vacated in 1966.⁵⁹ One photograph of the buildings, dating from the c. 1970s (**Figure 2.12**), indicates their “run-down” state.

Another photograph (**Figure 2.13**), also dating from the c. 1970s shows no great changes to the front façade of the building, although a meter box and associated cabling has been fixed to the wall plane. The ground floor openings also appear to be crudely boarded up. A narrow footpath with sandstone kerbing continues to run across the front of the terraces along this section of the street. The northern end falls and a handrail also runs across the front of Nos. 13-15. The photographs also highlight other changes in the area, such as the demolition of the earlier residential buildings on the eastern side of Playfair Street and the widening of the road.

A photograph of the rear of the buildings also assumed to date from this time (**Figure 2.14**) just shows the rear annexe of the building. The poor condition of the building is clear, part of the roof cladding is missing. The annexes appear to extend to the rock face to the west which is overgrown at this time. A two storey building occupies the rear yard of the neighbouring building, No. 17.

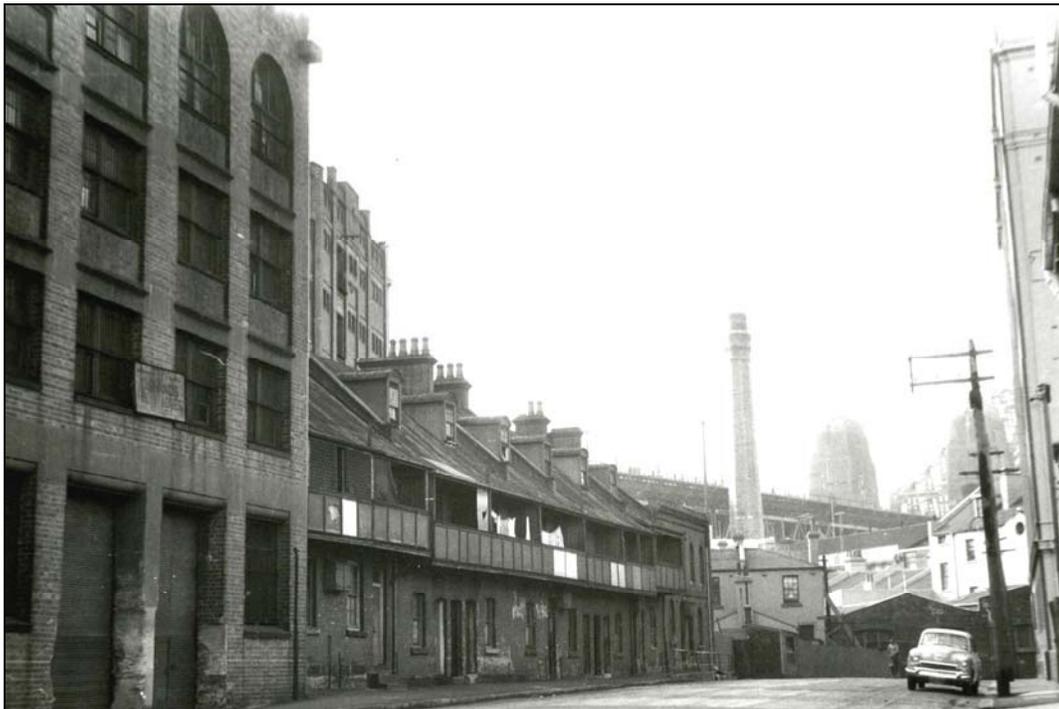


Figure 2.12 *The buildings c.1970s prior to the restoration works. By this time the residential properties opposite the buildings had been demolished, street widened and commercial buildings constructed on the eastern side of Playfair Street (at right). (Source: Foreshore Authority Archives PS 04)*

⁵⁹ Tenancy Cards, Foreshore Authority Archives.



Figure 2.13 The buildings c.1970s prior to the restoration works. (Source: Foreshore Authority Archives PS 01)



Figure 2.14 The rear of the buildings in early 1970s. The later addition to Nos. 13 and 15 is evident at bottom left. It would also appear that a two storey building had been constructed at the rear of No. 17.

(Source: Foreshore Authority Archives PS 09)

2.5.2 SCRA & 1972 Works

Sydney Cove Redevelopment Authority became responsible for the buildings in 1970. It was intended to demolish the buildings and adjacent terraces and “redevelop” the site, however, a change of philosophy resulted in what was the SCRA’s first restoration project. On the rock escarpment behind the buildings and associated open yard, the remnants of the buildings facing the Gloucester Street alignment and Gloucester Walk demolished in 1938 were incorporated into a multi-level park (Foundation Park, opened in 1974).⁶⁰

Fisher Jackson Hudson Pty Ltd Architects were commissioned to adapt the buildings with Nos. 17-33 Playfair Street and the site of Nos. 2-16 Gloucester Street, as mixture of shops and restaurants and extension of the Argyle Arts Centre. Work began on this project in January 1972, but was delayed until May by a Builder’s Labourer’s Federation green ban on the whole of the Authority’s area. The builder was P Kilmore of Bondi Junction.⁶¹

The Fisher Jackson Hudson drawings show the proposed works, noted as “restoration” and adaptation works. The ground floor plan (**Figure 2.15**) shows the configuration and planning of the buildings including the location of internal stairs and walls. More importantly the outline of the early rear wings and annexes, which contained kitchen and bathroom spaces, is also indicated. The line of the rock face and brick paving to the north of the terraces is also shown. Apart from the demolition of the rear wing, the plans, dated 18 October 1971, indicate no changes to the internal layout of the terraces or existing openings. It was proposed to open up the individual small yards behind the buildings and adjoining terraces and create a single, paved courtyard

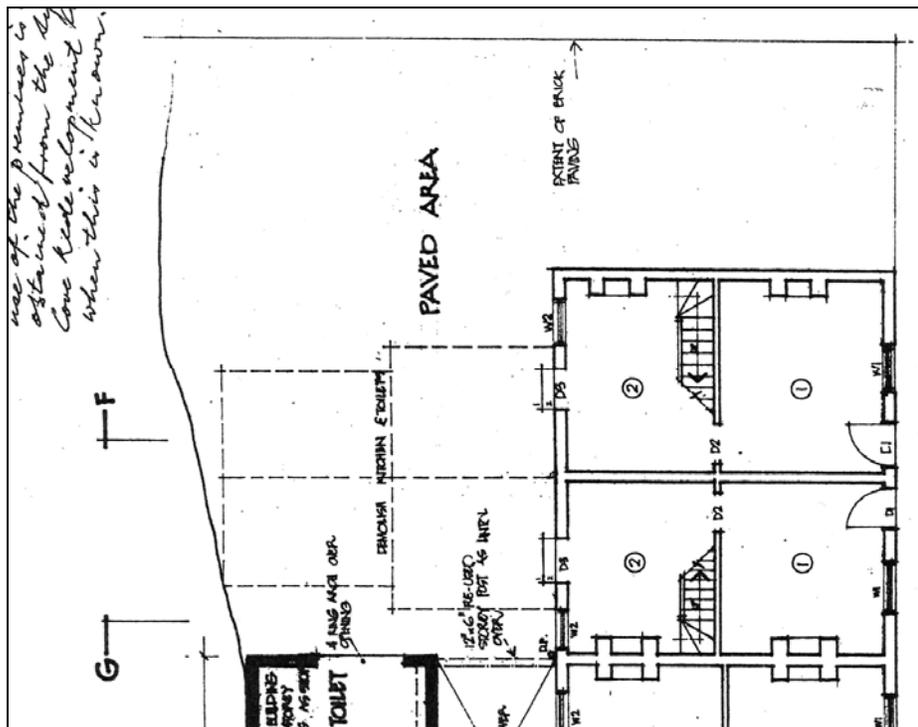


Figure 2.15 1971 Ground Floor Plan prepared by Fisher Jackson Hudson Architects showing the earlier configuration of the building. The outline of the rear wings and annexes are shown dotted. (Source: City Archives 1383/71)

⁶⁰ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 28.

⁶¹ City Archives BA File 1383/71.

The sections indicate some proposed new footings and structural works to the flooring of the ground floor. The 1993 Conservation Plan notes that the sub floor space (about 450mm) was actually excavated at this time and floor space filled to prevent rat infestation. The floor structure was removed and new timber structure was built on brick piers. It also noted that all hardwood floor boarding and floor structure to the ground floor was removed as part of the 1972 works. New flooring also had access panels cut in the eastern rooms. Access panels to the western rooms were carried out as part of the 1993 works. Plasterboard ceilings also added below the early or original lathe and plaster and the plaster finish from the internal walls was removed and walls were bagged and painted as part of these works.⁶²

Revised drawings were prepared by the same architects in 1972 (**Figures 2.16 - 2.19**) and approved in January 1973. Internal changes were proposed and an internal connection with No. 17 is shown. The proposed alterations, which are visible in the fabric today include:

- the removal of the stairs in No. 13 and 15 and stair to first floor in No. 17;
- the removal of part of the cross walls and opening up of ground and first floor spaces in Nos. 13-17;
- the removal of all internal walls at the ground floor level of No. 17, including the wall to the adjacent passage, and removal of the stair;
- the creation of a new opening between Nos. 15 and 17 at both the ground and first floor; and
- new door openings on the ground floor of the western façade.



Figure 2.16 Elevations prepared by Fisher Jackson Hudson Architects indicating 1972 works. (Source: City Archives 1383/71)

West Elevation

East Elevation

⁶² Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 25.

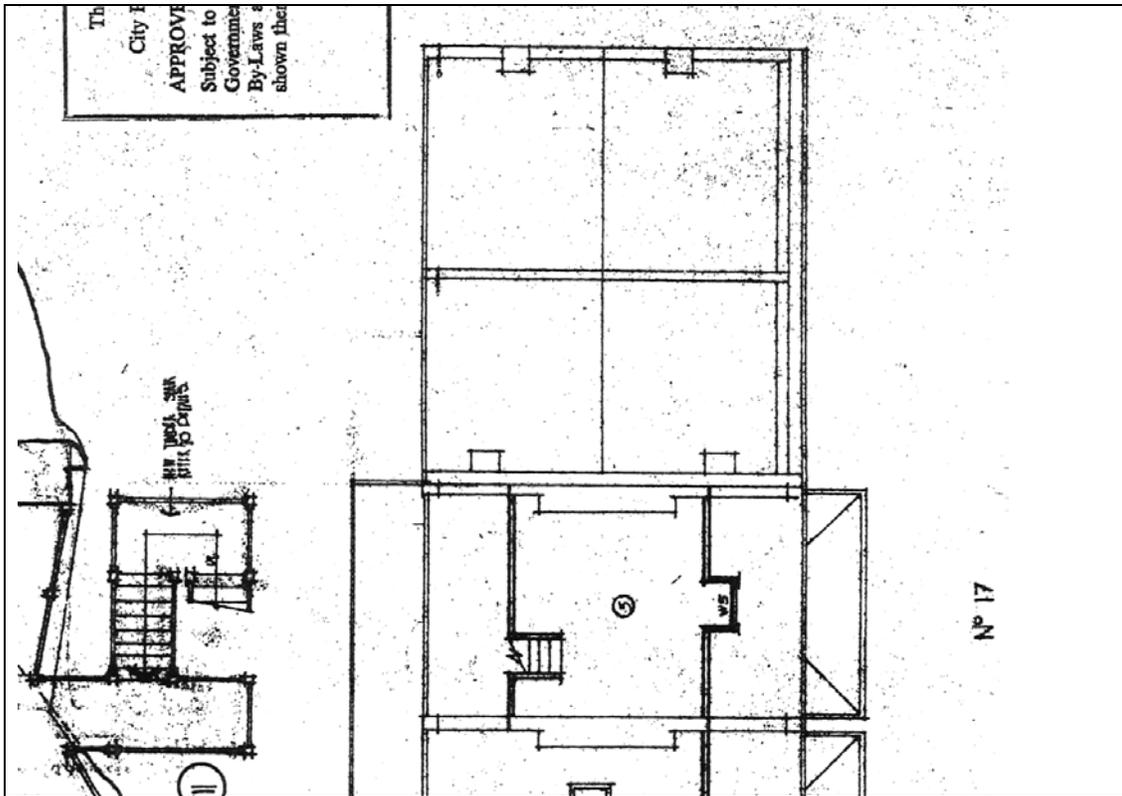


Figure 2.19 Roof plan prepared by Fisher Jackson Hudson Architects. (Source: City Archives 1383/71)

In September 1973 plans were approved for a proposed restaurant in Nos. 13-15 Playfair Street. The plans (**Figure 2.20**)⁶³, prepared by PI Inter Pty Ltd for Mr H Skountzos, show the proposed layout over the combined areas. A kitchen is shown on the ground floor of No. 17. The large openings formed in the party wall between Nos. 13 and 15 and cross walls with nib walls are shown. A spiral stair is also shown in the south western corner of the Dining Room (No. 15). The external stair provides public access to the balcony and upper floor level which comprises lobby and WCs in No. 17 and Reception area and Cocktail bar with store across the combined upper levels of Nos. 13 and 15. Subsequent plans dated 1974 (**Figure 2.21**) were also submitted to Council showing the “existing” restaurant in Nos. 13-17 Playfair Street. A hand written note on the drawing indicates that the spiral stair was only to be used by staff. The rock face at the rear of the building, open yard and a “garage” to the north of the buildings are also shown.

⁶³ City Archives, Drawings 985/1E/73.



Figure 2.20 Plans for proposed restaurant in Nos. 13-17 approved in September 1973. (Source: City Archives)

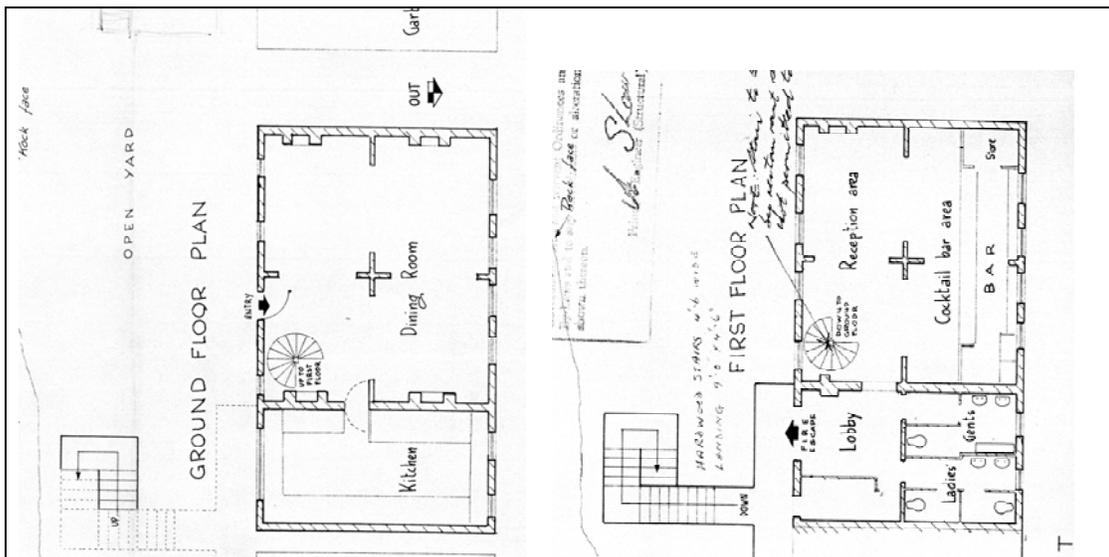


Figure 2.21 Plans dated June 1974 of the restaurant occupying Nos. 13-17 Playfair Street. (Source: City Archives)

Council files note that these works to the buildings were completed, as approved, on 29 July 1974.⁶⁴

The SCRA continued to make improvements to the area from this time. Playfair Street was laid out as a pedestrian precinct and landscaping to Foundation Park and Playfair Street was undertaken by Council on behalf of the SCRA in c. 1975. The SCRA approved works including the supply of thirteen tree containers, supply of soil mixture and appropriate evergreen trees and supply of seven benches together with fixing to the road surface as required.⁶⁵ The street was partially closed off to vehicular traffic and the area opposite the Argyle Stores redeveloped with new buildings. Other changes also included the opening up of the area opposite the site and formation of “The Rocks Square”. The

⁶⁴ City Archives, BA File 1383/71.

⁶⁵ City Archives, File No. 788/78.

nineteenth century building alignment was defined by a shallow sandstone gutter and kerbing, with the narrow footpath on the western side of the street was retained.⁶⁶

A photograph dating from c. 1980s (**Figure 2.22**), shows the newly painted and restored buildings and paving and landscaping to Playfair Street. Nos. 13-15 are painted in a contrasting, darker finish and small canopies over the two front entries. The rendered details, arched windows and mouldings are highlighted in a lighter colour. The face sandstone plinth course has been retained.



Figure 2.22 The buildings c.1980s after restoration works. (Source: Foreshore Authority Archives PS 07)

Another photograph taken of the buildings (**Figure 2.23**)⁶⁷ shows the occupied buildings. Nos. 13-15 is occupied by a restaurant/ bar. The addition of signage and repairs to the rendered northern facade are evident. A gate is also fixed to the northern façade of No. 13. The landscape works and partial closure of the Playfair Street is also evident. A number of bollards and reproduction light fixtures and lamps are located on the western side of the street, associated with the “historic” built context with modern lamps located on the eastern side.

⁶⁶ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 39.

⁶⁷ Foreshore Authority Archives, PS 11.

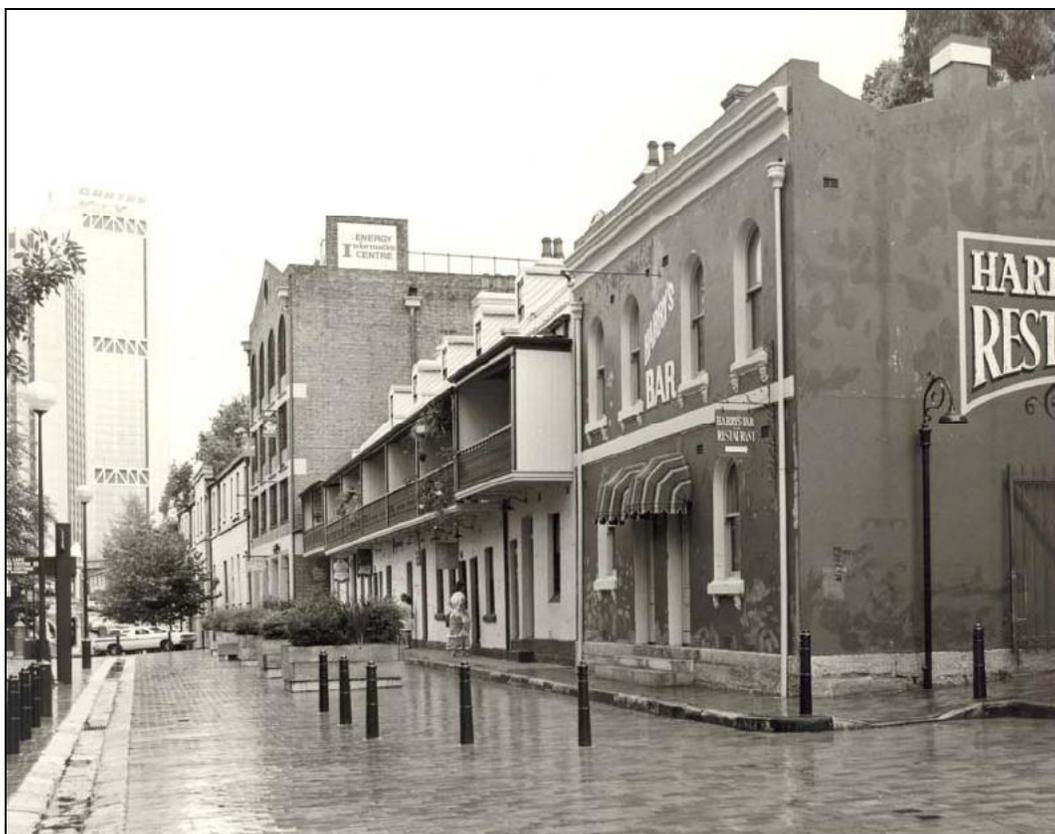


Figure 2.23 The buildings c.1980s after the restoration works. (Source: Foreshore Authority Archives PS 11)

2.5.3 Sydney Cove Authority, 1990s works

In the late 1980s the Sydney Cove Authority was concerned about the under-utilisation of the Playfair Street precinct. By the early 1990s it was considering the future of all the terraces in Playfair Street, as it was realised that some maintenance works, as part of the revitalisation of the area, were required. Notes from a building inspection of the “Playfair Street Terraces”, Nos. 13-31 Playfair Street dated 2 July 1992⁶⁸ noted in addition to general painting, some specific concerns included;

- a large percentage of the front verandah timbers were rotten, especially Nos. 31, 29, 27 and 19;
- several of the front doors to Playfair Street and passageway had cracked and had loose joints;
- guttering to the front verandahs and main roof was corroded;
- flashing to the front verandahs was leaking;
- window frames were cracked;
- the rear wall of No. 17A had a large hole with wires projecting through;
- the rear wall next to door of No. 27A had a large crack;
- a large crack in the north wall of Sorrentos (No. 13, noted that it was an “old” crack which reappeared when the wall was repainted approximately 2 years prior); and
- poor discharge of some of the downpipes.

⁶⁸ Foreshore Authority, Building Inspection, RE 1199.01.01.

Internal items generally related to water leakage and water damage to the east and west walls and ceilings and its affects on the associated paint and timber joinery finishes.

In 1993 a number of studies and reports relating to the proposed maintenance and conservation works to the buildings were commissioned by the Sydney Cove Authority. A report prepared by Orwell & Peter Phillips Architects, dated January 1993, followed along the lines of the 1992 internal report. The purpose of the report was to examine the physical condition of the buildings comprising the "Argyle Terrace" and put forward proposals for remedial works which were in accordance with the conservation objectives for these buildings.⁶⁹ The report referred to the previous inspection and report and highlighted the main issues relating to the structure and water ingress.

Structurally, the report noted considerable cracking of masonry evident in both internal and external walls. Many of these had signs of previous repair and patching. The worst was at the northern of Nos. 13 and 15, where steel ties had been inserted. From the location and appearance of the crack it was deducted that the eastern wall may be sinking for at least the northern half of its length, caused by inadequately consolidated ground and numerous excavations for services in Playfair Street over a period of time. It was recommended that a preliminary geotechnical investigation be carried out.⁷⁰

Structural problems with building timbers were attributed to water damage and affects of water. The water damage was seen as the result of failure of roof plumbing, especially the gutters and downpipes; failure of timber members, chiefly at joints; and failure or lack of a damp proof course (in the case of No. 17, in conjunction with construction of a ground floor concrete slab on fill).

The recommended remedial works included, at a minimum, the replacement of all gutters and downpipes and checking and repair of all flashings, ensuring that compatible materials be used. It noted that the whole of the roof was replaced in 1972 and the present roof, based on Colorbond steel sheet, was then 20 years old. It was therefore considered appropriate to consider full replacement, preferably with galvanised steel in short lengths to represent the traditional appearance of the roof and to ensure compatibility with the original lead flashings. It was considered that much of the damp issues would be "ameliorated" when the rainwater disposal system was made sound.⁷¹

Specific issues were noted on annotated plans of the buildings (**Figures 2.24 & 2.25**). The recommended repair strategy was, as a priority, to attend to the water damage and structural movement. Where timber structure or joinery was rotted, minimum replacement of the material was recommended.

It was also noted that repairs to cracks and internal finishes should be left until the walls had been stabilised and moisture fully dried out. It recommended that cracks be repaired using a flexible material or a soft mortar (no cement) to ensure future movement does not damage adjoining masonry.⁷²

⁶⁹ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1.

⁷⁰ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1.

⁷¹ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1-2.

⁷² Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.3.

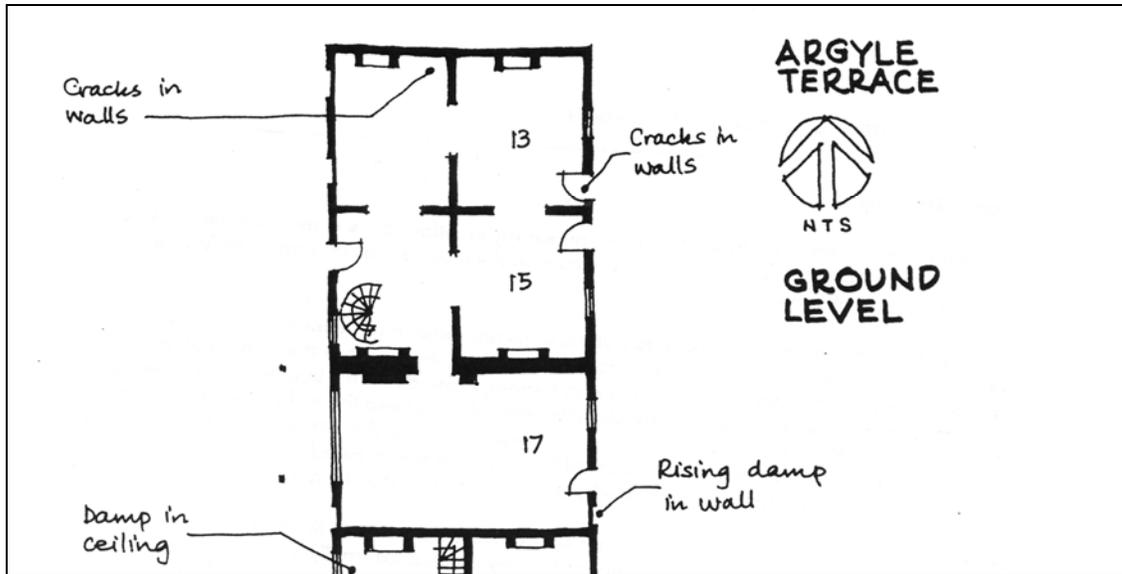


Figure 2.24 The annotated plans prepared by Orwell & Peter Phillips Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

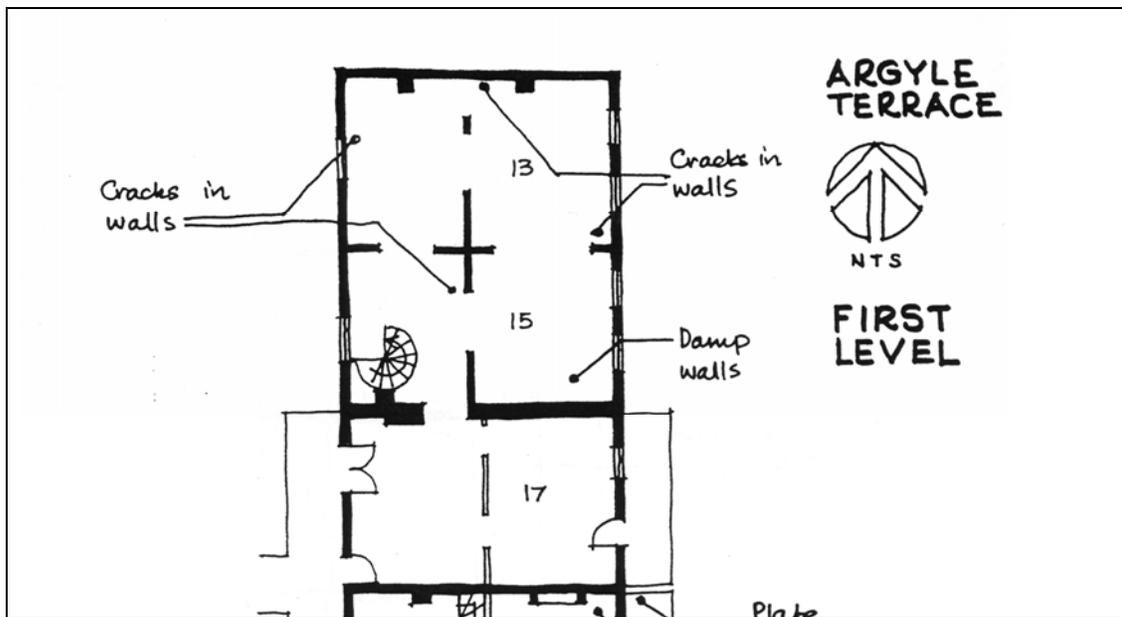


Figure 2.25 The annotated attic plan prepared by Orwell & Peter Phillips Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

As a result of the report's recommendations a geotechnical investigation was undertaken. Prepared by Mahaffey Associates Pty Ltd, the report dated February 1993, provided comments on the foundation condition, the type and bearing levels of footings and the probable causes of settlement which damaged the buildings. It noted that differential settlements are common for the type and age of the buildings. The recent cracking to the eastern and northern walls of No. 13, suggested marked differential settlement of the

north eastern corner of the building. The damage at the time was graded as being slight to moderate and mentioned that “tell-tale” strips had been attached.⁷³

Prior to any stabilisation works being carried out, four bore holes were dug to investigate the situation. Two bore holes were dug at the north eastern and north western corners of No. 13 and two were dug in front of the eastern elevation, one at the southern end in front of No. 31 Playfair Street and one in front of No. 17. The bore holes suggested that the buildings were constructed on land reclaimed by filling over the floor of an abandoned quarry. The geology of the area was Hawkesbury sandstone and the report speculated that the exposed vertical face of sandstone to the west of the terrace may be the excavated face of an earlier quarry. There was a discontinuity between boreholes with footings on both loose fill and sandstone bedrock. The report recommended that underpinning would be required at some stage as a remedial measure to the settlement which in this case was found to be mainly due to mixed foundations; vibration compaction due to seismic event; construction works and heavy traffic in the vicinity; loss of lateral support due to installation of services close to and parallel with the footings; and migration of fines and effects of water seepage.⁷⁴

In early 1993 Tropman and Tropman Architects were commissioned to prepare contract documents on the entire row of terraces including a Conservation Plan and dimensioned measured drawings.⁷⁵ Dated March 1993, the measured drawings (**Figures 2.26 & 2.27**) show the configuration and planning layout of the buildings at this time, including elements such as the spiral stairs in No. 15 added as part of the 1970s works.

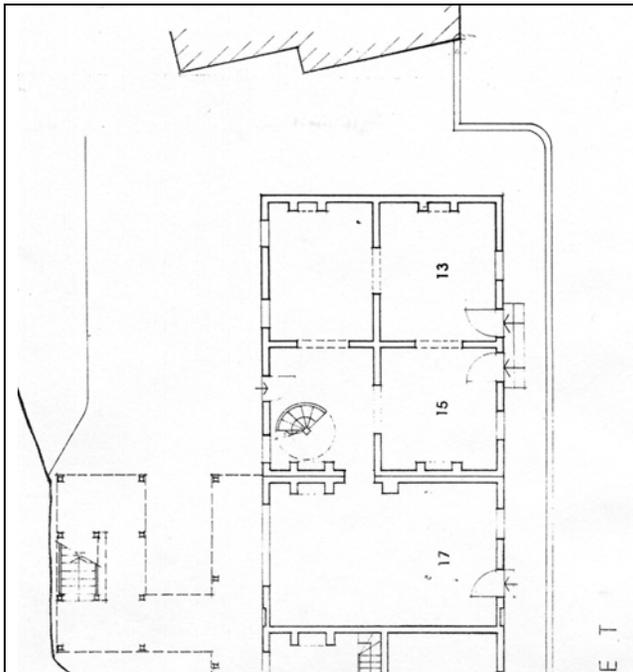


Figure 2.26 The 1993 measured ground floor plan prepared by Tropman & Tropman Architects.

(Source: Foreshore Authority Archives RE 1199.01.01)

⁷³ Mahaffey Associates Pty Ltd incorporating Bemac Laboratories, *Report No. GR181 Geotechnical Investigation of Settlements to the Argyle Terrace 13-31 Playfair Street, The Rocks*, February 1993.

⁷⁴ Mahaffey Associates Pty Ltd incorporating Bemac Laboratories, *Report No. GR181 Geotechnical Investigation of Settlements to the Argyle Terrace 13-31 Playfair Street, The Rocks*, February 1993.

⁷⁵ Foreshore Authority, RE 1199.01.01.

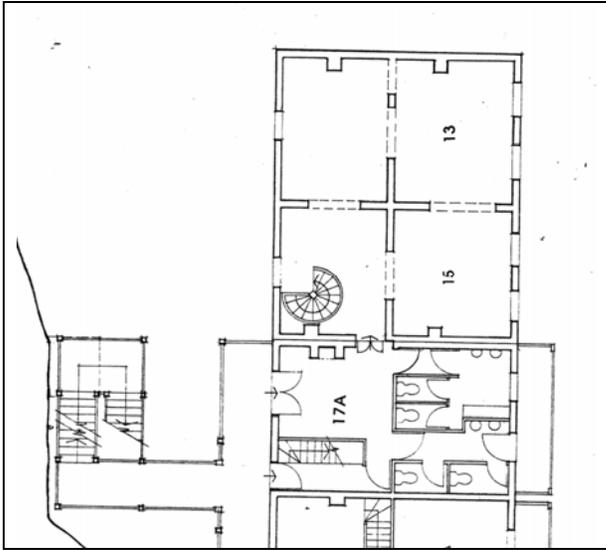


Figure 2.27 The measured first floor plans prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

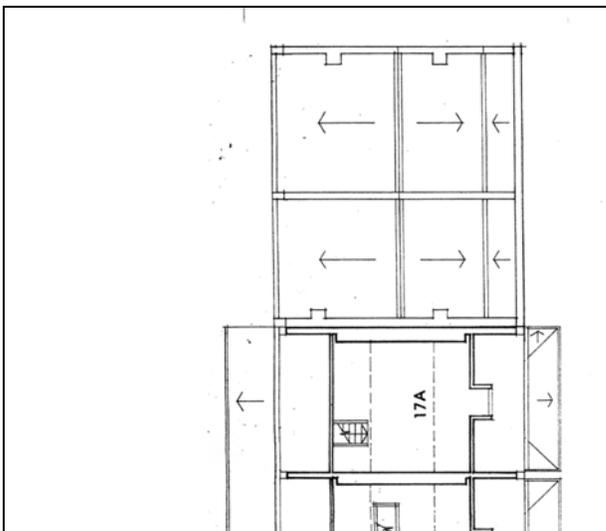


Figure 2.27a The measured first floor (left) and attic (right) plans prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

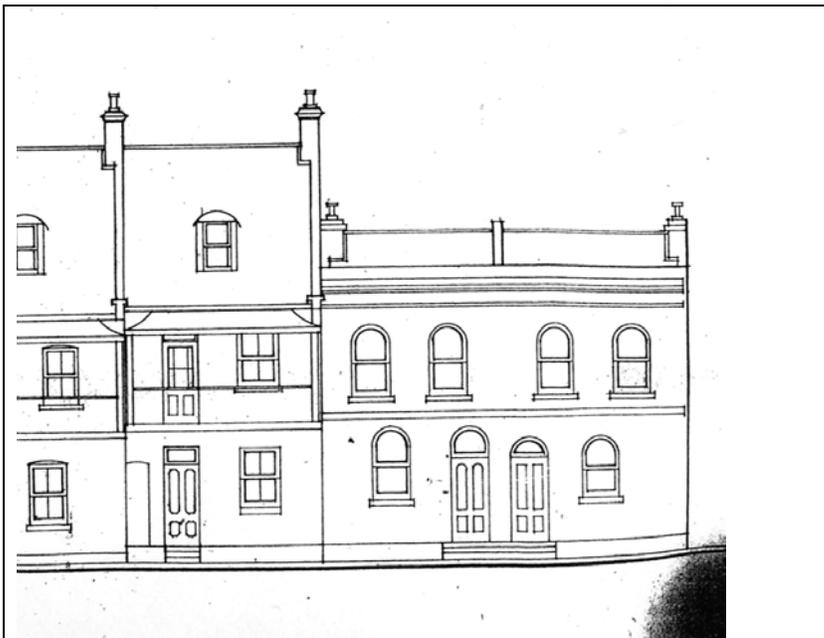


Figure 2.28 The east elevation prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)



Figure 2.29 The west elevation prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

In April 1993, Tropman & Tropman Architects also prepared a scope of necessary works for the Argyle Terraces at Nos. 19-31 Playfair Street, The Rocks. These works, Stage 1 of the over maintenance project, were completed in mid 1993. The remaining terraces, Nos. 13-17 Playfair Street, formerly Sorrento's Restaurant were not included in Stage as there was some uncertainty as to the requirements of a new operator. It was indicated that an operator expressed a willingness to lease the space for an Italian Restaurant. The proposed terms of the lease were to divide the work for fitout and maintenance between the SCA and the operator.⁷⁶

Stage 2 of the works involved Nos. 13-17. The Schedule, dated June 1993, also prepared by Tropman & Tropman Architects⁷⁷ recommended the following external works:

- removal of all vegetation and making good of walls;
- patch all holes, check and replace drummy render and stabilise and repoint brickwork with compo render mix (one part Portland cement, two parts lime putty and ten parts sand);
- patching and repointing of the sandstone base;
- repairs to wall with compo render mix;
- repair and replace roof framing timbers as required;
- check and refix metal sheet roofing and replace all corroded and damaged fixings to match existing;
- removal of existing box gutter to east side and replace and provide box gutter to return up parapet;
- check, refix, reshape and replace stepped lead flashing to parapets to main roof and over flashing to box gutter and then repoint to match existing;
- check, patch and rendered chimneys of flat and profiled surfaces;
- check over and replace rotten tongue and groove verandah flooring to match existing, prepare and finish with three coats of tung oil;
- check over all timbers of the eastern verandah and joists and replace, patch and splice, reglue as required;
- refix all balustrade panels and handrails;
- check, repair and replace roof timbers as required;
- check over and rust proof in situ ogee guttering to eastern verandah;
- check, repair and replace all main floor framing;

⁷⁶ Foreshore Authority, Memo dated 30 June 1993, RE 1199.01.01.

⁷⁷ Tropman & Tropman, *Argyle Terraces 13, 15 & 17 Playfair Street, The Rocks, Stage Two Schedule of External Maintenance Works and Schedule of Internal Maintenance Works*, June 1993.

- check over and refix all metal sheet roofing including ridge capping, replace all corroded fixings to match existing; and
- replacement of existing sarking.

Internally, in addition to provision of new fire services throughout, the works included:

- painting of all surfaces including skirtings, walls windows, doors and ceilings;
- provision of two manholes in the western sub floor areas of each of the terraces;
- vermin proofing and white ant proofing operations to sub floor areas;
- repair and provision of new timber floor framing as required;
- patching and replacement of some timber flooring, finished with three coats of tung oil and sealer;
- patch and repair all skirting, replace as required to match;
- remove any fixings to walls and all metal and recent plugs;
- remove water damaged plasterboard ceilings and replace with new 13mm plasterboard set square;
- remove all exposed cabling and conduits, telephone cables and outlets and associated fixings;
- remove loose door furniture and bolts and make good;
- ease all doors and make good hinges;
- patch, repair and ease all windows, supply glazing bars and elements as required;
- remove any fixings and make good and supply sash catches and lifts as required;
- remove any shelving, mounted display boards and brackets and associated fixings from walls;
- replacement of some of the doors;
- removal of any internal partitions and elements such as blinds;
- refix newell posts, stair banisters and loose timber treads and winders; and
- removal of any carpets and associated fixings and making good floors.

A sketch appended to the Schedule also noted specific works including:

- relocation of distribution boards on ground floor on north western wall of No. 17 and south eastern wall of No. 15;
- demolition of the existing spiral stair and making good of floor and ceiling surfaces in south western section of No. 15;
- brick in of openings on ground floor in cross wall between the eastern and western rooms of the ground floor of No. 13; and
- construction of a new 1000mm wide stair case with details to march on the western side of the cross wall in No. 13.

The works to Nos. 13-17 were carried out by RE Charles Constructions Pty Ltd with works commencing after July 1993. Physical inspection of the building today confirms that these works were carried out. However, works such as the removal of the concrete floor slab in No. 17, recommended by the Phillips report, was apparently not proposed or carried out as the floor slab remains today. A list of variations, dated 21 September 1993 also indicates that the following internal works were also undertaken:

- brick up of reveal between first floor rooms to make opening original size;
- replacement of damaged floor structure to kitchen;
- brick up of window to kitchen;
- re-swing doors to Nos. 13 and 15 east elevation;
- alterations to stairs;
- two additional manholes to first floor;

- supply and provision of window locks;
- replacement of cracked glass; and
- replacement of the curved verandah roof.

Plans dated June 1993 for the “Caminetto Restaurant” (**Figure 2.30**) show the layout of the combined areas. Inspection of the building today indicates that the following proposed works were carried out:

- brick infill of the ground floor cross wall in No. 13, adjacent to the stair;
- rehangng of front entry doors of No. 13;
- provision of brick wall and pizza oven in No. 15;
- brick infill to opening on the ground floor western façade of No. 17;
- addition of cool room in south western section of ground floor of No. 17;
- cut in of a new door on the upper, western wall of No. 15; and
- creation of bar and reception area on the first floor, eastern room of No. 17.

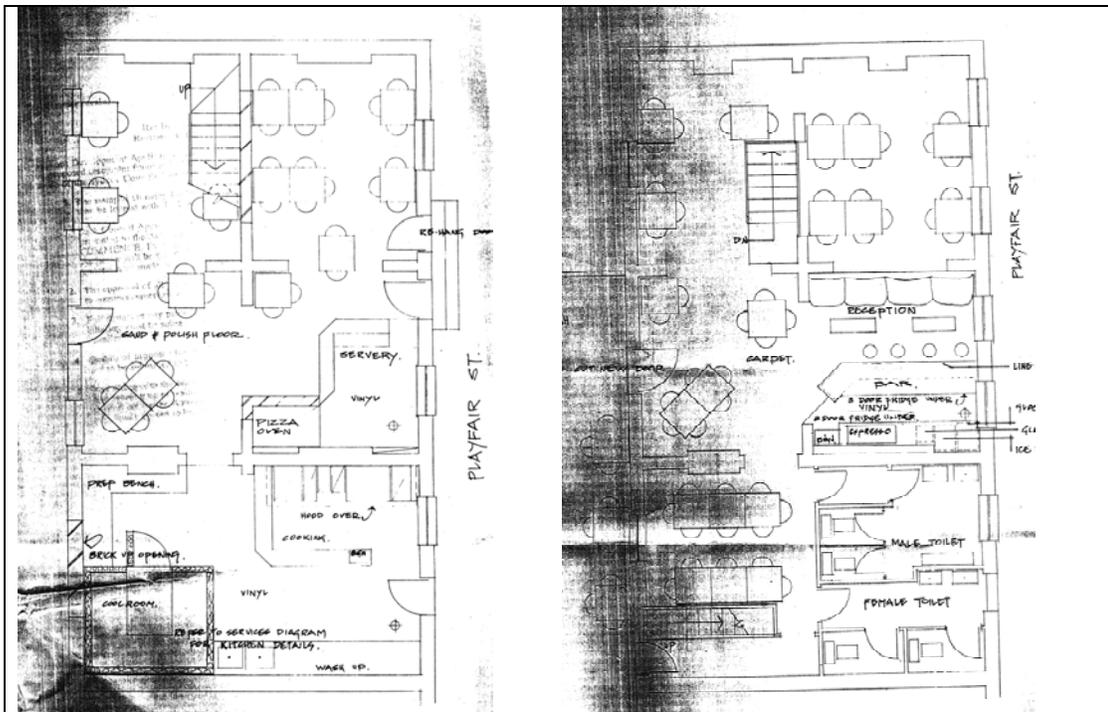


Figure 2.30 The plans for the Caminetto Restaurant in Nos. 13-17. (Source: Foreshore Authority Archives RE 1199.01.01)

Following archaeological excavations from 1993-1995 the SCA undertook to redesign Foundation Park to reveal the cultural significance of the site, whilst retaining its value as an open public space in The Rocks. It would appear that concerns relating to the stability and safety of elements added during the 1970s prompted the works. The primary objectives for the project included revealing, conserving and interpreting the extant fabric in the park and “pragmatic” issues including:

- providing required egress from the top floor of the Argyle Centre to Gloucester Walk;
- reinstating earlier known pedestrian routes in order to link Gloucester Walk and Playfair Street; and

- replacing the “misleading” structure which had been added to the rear of the Playfair Street terraces in the 1970s with one that more “honestly” expressed their adaptation.⁷⁸

The Authority decided to revitalise the Park by incorporating the newly found remains with significant fabric from the 19th century and 1970s in the new design. The archaeological interpretation was the main element in determining the design concept, however, issues such as maintaining much needed open space and pragmatic aims of access and egress were also important. The Authority commissioned renowned Australian landscape sculptor, Peter D Cole, to provide sculptures in the Park area.⁷⁹

The design and documentation of the works was undertaken in September – December 1995.⁸⁰ The “architectural” elements included the construction of the tower, at the southern end of the Park which interprets the form and levels of the terrace that occupied this area, and stairs and handrails (see **Figure 2.31**).⁸¹

It is assumed that the timber structure and deck across the rear of the terraces were replaced as part of these works which was undertaken from February to September 1996.⁸² Stairs were provided to facilitate connection and access through to Playfair Street. Conservation works to the Park area comprised wall conservation, vegetation removal and stabilisation of existing walls.

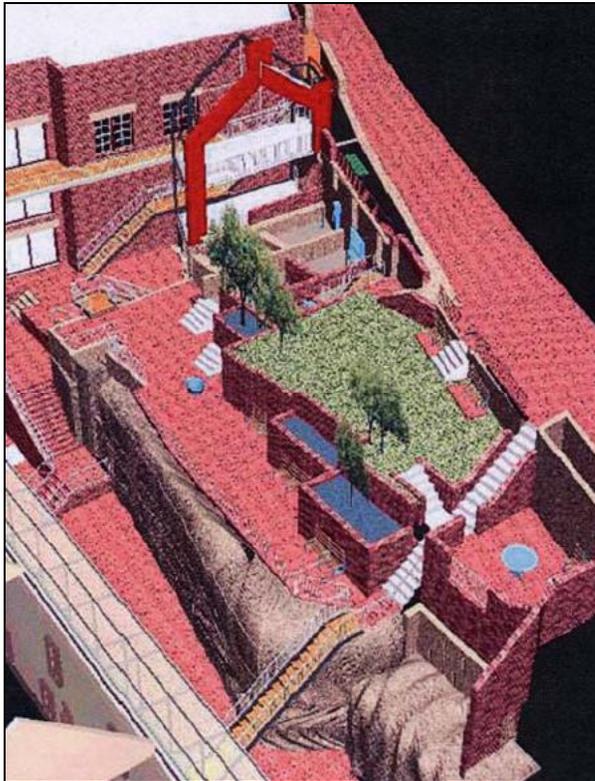


Figure 2.31 CAD image of Foundation Park showing the terraced layout, features, connections and stairs.

(Source: Foreshore Authority Archives Website)

⁷⁸ Foreshore Authority Website, Interpretation of Foundation Park, p. 3.

⁷⁹ Foreshore Authority Website, Interpretation of Foundation Park, p. 3.

⁸⁰ Foreshore Authority Website, Interpretation of Foundation Park, p. 7.

⁸¹ Foreshore Authority Website, Interpretation of Foundation Park, p. 4.

⁸² Foreshore Authority Website, Interpretation of Foundation Park, p. 7.

It would appear that these were the last major works to be carried out to the site. Since this time the Sydney Harbour Foreshore Authority became the registered proprietor of the site and has continued to lease and maintain the place in association with the various tenants. The restaurant use of the combined buildings (including No. 17 Playfair Street) has continued with the open area around the terraces used for outdoor dining space. Sheds and structures along the northern site boundary are used to store moveable outdoor furniture.

2.6 Analysis of History in Context

The documentary evidence indicates that the terraces were constructed as speculative residential buildings, a function which continued until the early 1970s. Since that time, after major adaptive works, the terraces have been leased for commercial and restaurant use in both the ground and upper floor levels. The provision of an external stair and public walkway along the rear of the adjoining terraces (No. 17-31) has allowed separate access to the upper level.

The evidence shows that the street was originally lined with residential development of similar scale with larger, multistorey buildings occupying the slopes of the escarpment behind and to the west of the buildings. The documentary evidence also suggests that the resident population tended to work in the area and as this focus shifted and port activities declined so did the population. The residential properties on the eastern side of Playfair Street and on Argyle Street were replaced with large scale commercial buildings and stores in the early decades of the 20th century. The nature of the streetscape was also altered by the setback of these buildings and widening of the road. The early sandstone flagging and kerbing remains as a reminder of the earlier alignment.

Successive management changes had little effect on the buildings until the 1970s, when it was realised that residential use could not really continue in the immediate context and when the adaptation to commercial premises resulted in some dramatic changes to the rear of the buildings. Whilst the front of the buildings retained their original form and details, all of the rear wings and rear outbuildings were removed and the individual small yards were merged into one single courtyard and paved. Works in the 1990s sought to repair and conserve the building fabric to enable ongoing commercial use. This was supported by landscaping works and revitalisation of the area in front and to the east of the buildings (The Rocks Square) and works to Foundation Park to improve the open public space and pedestrian links and connections in the immediate context.

Since that time the Authority has continued to promote the commercial use and viability of the buildings with the installation of modern display cabinets, street furniture and features in the area in front of the buildings to ensure that the terraces contribute strongly to The Rocks "experience" and that the individual tenancies work as an integrated environment.

2.7 Comparative Analysis

There are a number of late Victorian terraces which exhibit similar characteristics and were constructed around the same period as the subject buildings remaining in Harrington, Gloucester and Atherden Streets, The Rocks. These buildings are now generally used for commercial purposes and like the subject buildings provide a strong visual character to their diverse streetscapes.

The terraces located in the northern end of Harrington Street, closer to the intersection with Argyle Street including Nos. 55-71 and more specifically Nos. 42-52 (**Figure 2.33**) on the eastern side of the street are two storey, bald face terraces with gable roofs and

similar simple openings and multipaned windows. Constructed between 1874 and 1880 they date from a slightly earlier period, however, feature similar scale and form as the subject terraces. Nos. 61-65 Harrington Street (**Figure 2.32**) on the western side of the road feature a similar form but with differing details such as exposed party walls. These were also constructed a little earlier in the c. 1860s.

There are two groups of terraces located to the immediate north of the site in Atherden Street including Playfair's Terrace at Nos. 1-7 Atherden Street and Avery Terrace at Nos. 2-4, which display the most similar characteristics.

Playfair's Terrace (**Figure 2.34**), located on the south western side of the street is a row of four, two storey Victorian terraces each of two bays constructed of stuccoed brick. Constructed in 1880, they are comparable with Nos. 13-15 Playfair Street with their simple parapet with profiled, projecting cornice. Like Nos. 13-15, there is no division between the houses on the front façade, and Playfair's Terrace also feature regular shaped openings and hipped roof behind the parapet. Unlike the subject buildings, these also retain the rear wings and service areas. Avery Terrace (**Figure 2.35**), located opposite, on the north western side of the street is a pair of two storey Victorian terraces also constructed with stuccoed brick with simple pitched roof between projecting party walls. Constructed in 1881, the buildings feature similar scale and some characteristics of the subject buildings.



Figure 2.32 Terraces on the north western side of Harrington Street including nos. 61-65 (mid shot).



Figure 2.33 Nos. 42-52 Harrington Street are two storey, bald face terraces which date from a similar period from the subject terraces and feature similar scale and characteristics to Nos. 17-27 such as the simple nature of the facades and pitched roof, but also differ in that they do not have exposed party walls or balconies.



Figure 2.34 Playfair's Terrace at Nos. 1-7 Atherden Street.



Figure 2.35 Avery Terrace at Nos. 2-4 Atherden Street, The Rocks.

There is a range of Victorian terraces remaining in Gloucester Street, ranging from Susannah Place constructed in the 1840s to more substantial Federation Terraces and tenements at Nos. 46-56 and Nos. 117-117A. However, these buildings differ in many ways to the subject buildings in terms of scale and form. A grouping of terrace buildings generally dating from the mid 1880s to 1890s located at the intersection with Cumberland Street are the closest in age, however, generally are larger buildings and illustrate the prosperity and changes in construction techniques and methods used for residential buildings in the mid to late 1880s.



Figure 2.36 Terraces dating from the 1880s, located near the intersection of Cumberland and Gloucester Streets. The Rocks.

3.0

Physical Evidence

The aim of this chapter is to describe the Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

The site is located on the western side of Playfair Street which runs in a north south direction and is bounded by Argyle Street to the south and Atherden Street to the north. Playfair Street is now entirely a pedestrian street with vehicular traffic limited to service vehicles. The street was partially closed and paved in the 1970s and has since been entirely paved and landscaped as part of The Rocks Square development.

The site is part of a diverse context and streetscape. The built environment ranges from the Argyle Stores building, Nos. 12-20 Argyle Street, which was built in stages from 1826 and now incorporates the Cleland Bond Building at No. 33 Playfair Street constructed in 1913-1914, to The Rocks Centre additions which include a large, partially covered open square dating from the 1980-1990s. The Argyle Stores and Rocks Centre are located on the western and eastern corner respectively of Argyle and Playfair Streets. These buildings are currently undergoing some refurbishment works.

The changes undertaken to the street, including the realignment of the street and more recently constructed buildings opposite the subject site are visible and have been interpreted by the retention of street elements such as the early sandstone gutters and kerbing and the introduction of contrasting paving and street furniture. The pedestrian thoroughfare and open square are linked to Foundation Park and the Gloucester Walk via the two passages in the subject building.



Figure 3.1 The Rocks Centre located on the eastern corner of Playfair and Argyle Street is a two storey face brick building. Originally constructed c. 1924, the building features a more recently constructed addition at the north end facing an open square and now contains a number of retail stores. The length of the building runs along Playfair Street which is a pedestrian street and is lined with market stalls on the weekends.



Figure 3.2 View looking north along Playfair Street from Argyle Street. The Argyle Stores (at left) is a tourist focus with retail, food and beverage outlets and features modern awning and glass enclosure associated with the restaurant/café (Lowenbrau Kellar) located in this section of the building.



Figure 3.3 View looking north along Playfair Street. The terraces, Nos. 17-31 Playfair Street to the immediate south of the site are mid shot. The Cleland Bond Store, No. 33 Playfair Street further south of the site is a four storey, face brick building now part of the Argyle Stores. The building features four bays to Playfair Street with suspended awning over the ground floor entry. The building is currently undergoing refurbishment works.

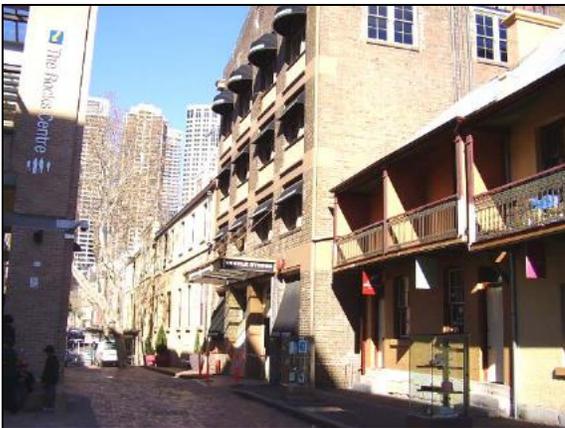


Figure 3.4 The Cleland Bond Store and Argyle Stores occupy the south western section of Playfair Street.

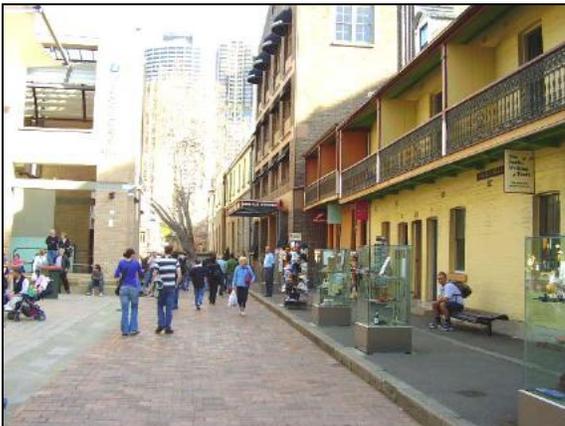


Figure 3.5 View looking south along Playfair Street. To the immediate south of the site are the Playfair Street Terraces, Nos. 17-31.



Figure 3.6 The Playfair Street Terraces to the immediate south of the subject buildings (at right) are a row of two storey terraces constructed in stages between 1875 and 1877.



Figure 3.7 The Rocks Centre is located south east of the subject sites and includes a modern multistorey addition with retail, food and beverage outlets which face The Rocks Square.



Figure 3.8 The Rocks Centre bounds The Rocks Square, a partially covered open space, diagonally opposite the building. Stairs at left provide access to and lead down to George Street North.



Figure 3.9 View of The Rocks Square looking east which features various masonry paving, a structural steel frame supporting the canvas shade cloth and modern street furniture and lighting. A number of food and beverage outlets surround the space.

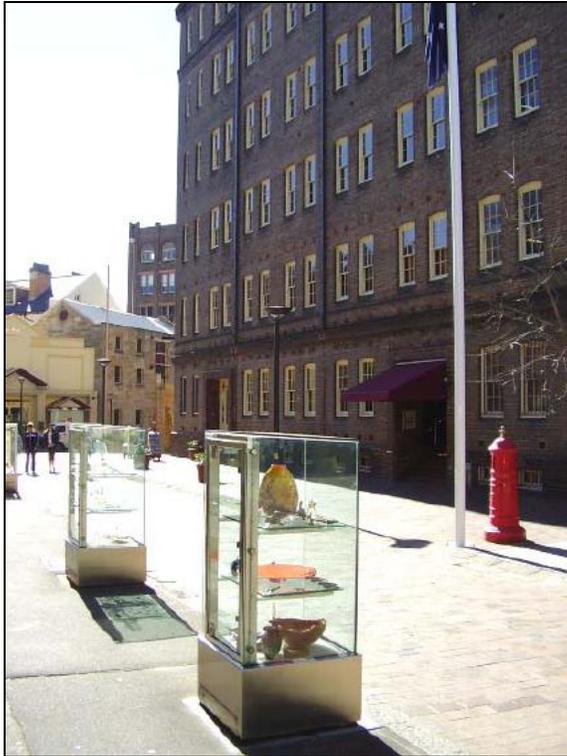


Figure 3.10 View looking north east along Playfair Street. Modern display cabinets have also been added to the street frontage. The former street alignment is interpreted in the various paving materials.



Figure 3.11 Opposite the site is a large five storey face brick former store building constructed in the Federation period.



Figure 3.12 View looking south along Playfair Street from Atherden Road. The varied scale and character of the street is evident. The former street alignment and end of street is also visible.



Figure 3.13 The intersection of Playfair Street and Atherden Road which is bounded by Playfair's Terraces (at left) and a modern infill building (mid shot).



Figure 3.14 View of Atherden Street, looking east toward George Street North. The building context here also varies from the 1880s Playfair's Terraces (at left) to large multistorey Federation period warehouses to modern infill (mid shot).

The subject site extends back, west of Playfair Street and is also bounded by the multilevel Foundation Park and the Gloucester Walk. Foundation Park is a terraced public area that retains remnants of the earlier buildings and development which originally lined this section of Gloucester Street, which has now been converted into a walkway.

The Park area was constructed in the 1970s and following archaeological excavations in the early 1990s, was refurbished and new interpretive components were constructed to recall the former dwellings and way of life. Stairs were also constructed at this time to provide safe access around the site and egress from the Argyle Stores and subject buildings.

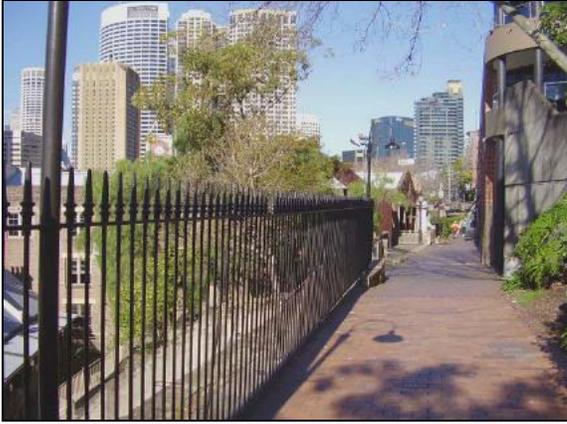


Figure 3.15 View looking south west along Gloucester Walk. The subject buildings are just visible at left.

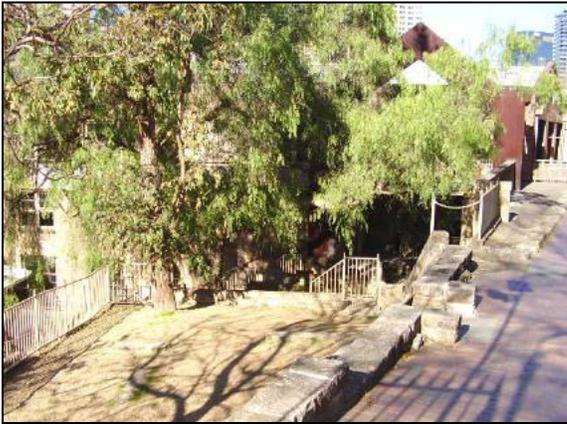


Figure 3.16 View of Foundation Park from Gloucester Walk. The pepper tree remains from the 1970 works. Some trees and shrubs were removed as part of the 1990s works to ensure ongoing conservation of the site elements.



Figure 3.17 Sculptures at the south western corner of the Park interpret the former terrace and dwelling that occupied this area. The "tower" element incorporates a stairwell and platforms below that provide a pedestrian link to Playfair Street but also interpret the various levels of the earlier dwelling.



Figure 3.18 Gloucester Walk continues to connect to Cumberland Street. Signs have also been incorporated to indicate the various pedestrian connections and destinations.



Figure 3.19 View of the “tower” element from the site. The Argyle Store is at left.



Figure 3.20 View of some of the earlier walls and terraced area conserved and “restored” as part of the 1990s works.



Figure 3.21 View of the Park, mid level looking north. The configuration and layout of the various dwellings and living spaces have been interpreted.



Figure 3.22 View of the interpreted spaces, at mid level.

3.2 Nos. 13-15 Playfair Street

The site is located at the north western section of Playfair Street and extends back to a rock face with open combined courtyard between. The terraces are highly visible when looking north and south along Playfair Street, partly due to their scale but also due to the pedestrian nature of Playfair Street, the form and kink in the street, widening of the road and set back of larger developments around the site.

The rear of the buildings and roofscape are also visible when travelling along Gloucester Walk, mainly due to the open nature of Foundation Park.

3.2.1 Building Description

The subject buildings are a pair of bald face terraces with parapet to the main street frontage that conceals the gable roof behind. The masonry external walls are finished in stucco and front façade features Italianate details including string course, decorative moulded brackets to the window sills and deep, profiled cornice. The front façade, which is symmetrical about the two ground floor entry doors, also features arched openings.

The corrugated steel gable roof is visible from the rear façade, which has undergone some changes including the alteration of the ground floor openings, undertaken as part of the 1970s works.

Internally the terraces have also undergone some alterations including the removal of the original stairs connecting the ground and first floors, opening up of walls (1970s works) and reinstatement of the staircase in No. 13 (1990s works). Openings were formed in the walls between No. 15 and No. 17 (part of the 1970s works) and buildings are currently internally connected with No. 17 and combined spaces used as a restaurant.

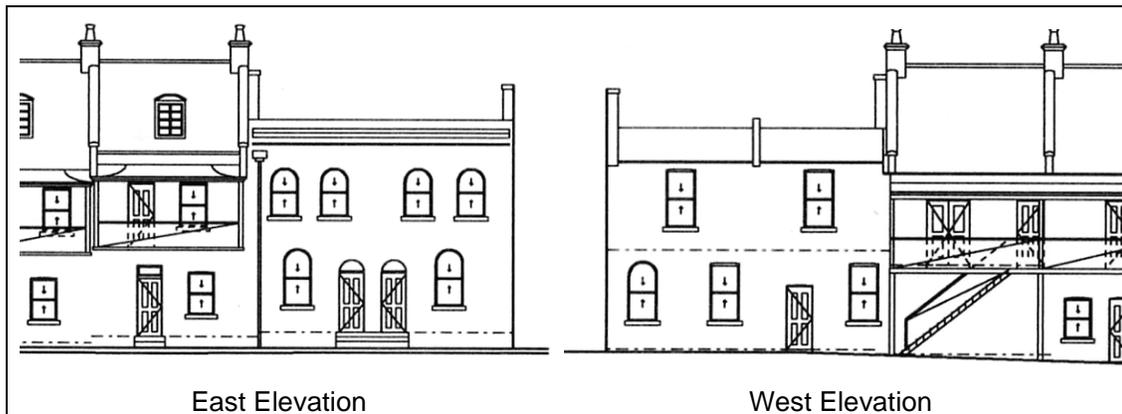


Figure 2.23 Building elevations (Source: Foreshore Authority, 2003).

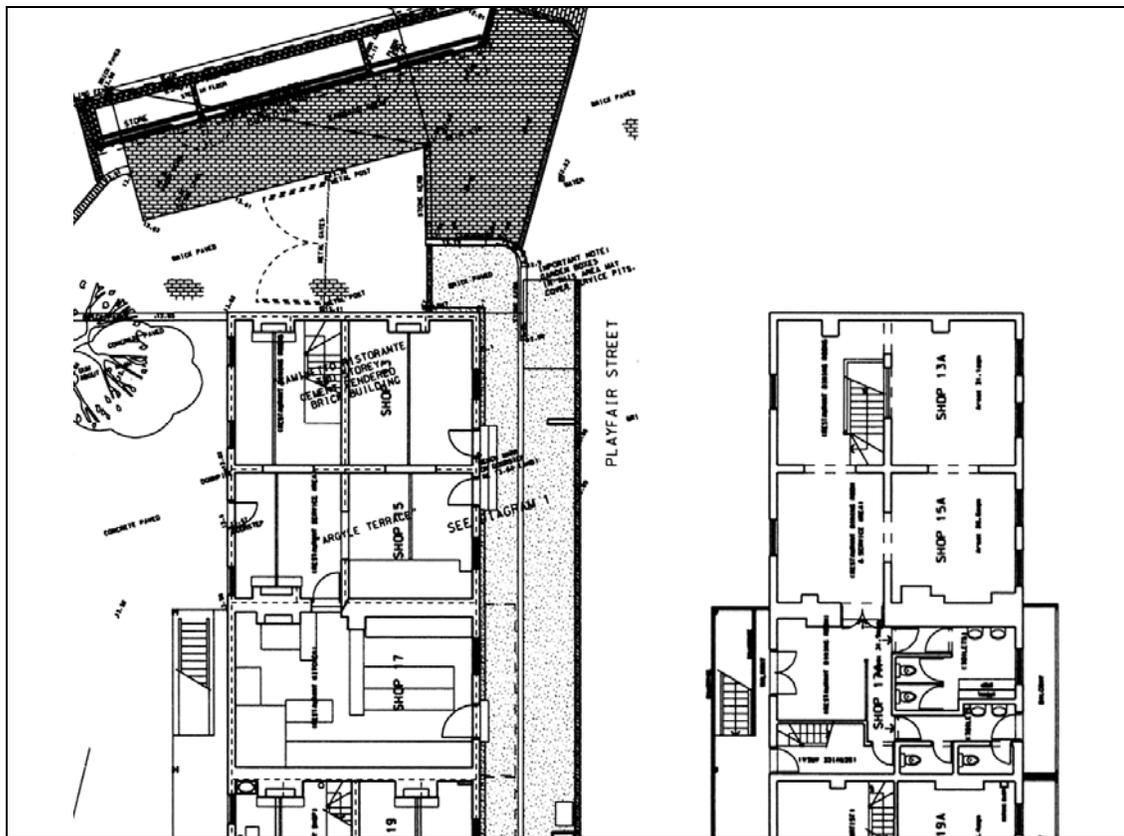


Figure 2.24 Ground and First Floor Plans Nos. 13-17 Playfair Street (Source: Foreshore Authority, 2003).



Figure 2.25 Roof Plan (Source: Foreshore Authority, 2003).

The following description will generally refer to the condition of the spaces and fabric of the building. The condition assessment in this report uses the following categories:

Condition Ratings	Description
Excellent	Building or fabric element has no defects. Condition and appearance are as new.
Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exist.
Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

3.3 Identification of Fabric - External

The Playfair Street, eastern elevation appears to have retained its original form and details. The face sandstone plinth, rendered mouldings and arched openings are all assumed to be original. Elements such as the rainwater heads and downpipes, windows and doors and two bottom sandstone steps at the entry doors have been repaired and replaced as part of the 1970s or 1990s works to the building. It is interesting to note that the two door openings are not identical. The fanlight over the southern door, to No. 15 is deeper and springing point of the arch is set higher than the adjacent opening to No. 13. It is not clear if this is original, however, this detail is visible in a photograph of the building taken prior to the 1970s works (**Figure 2.13**).



Figure 3.26 Nos. 13 and 15 Playfair Street.



Figure 3.27 No. 13-15 Playfair Street is located at the northern end of a continuous row of mid to late 19th century terraces.

The rendered building sits on the original face stone plinth and also features original rendered mouldings and window sills. It is assumed that elements such as the entry doors and bottom two steps, rainwater heads and downpipes have been replaced.

The changes to street level and pedestrian footpaths are in front of the building.

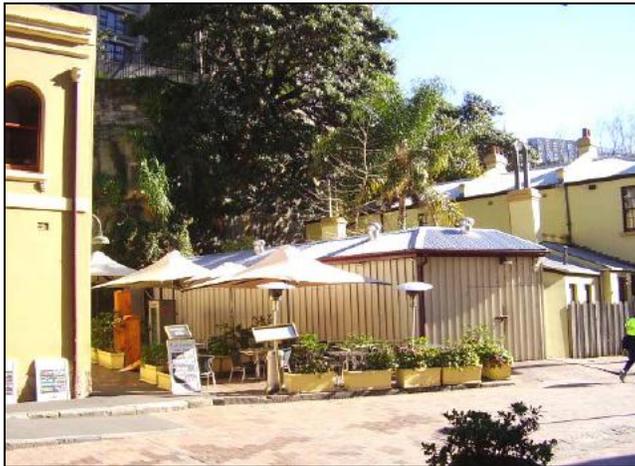


Figure 3.28 The solid northern façade faces an open area which provides open air dining space for the restaurant tenancy in Nos. 13-17.



Figure 3.29 The open air dining space features modern brick paving and removable furniture. The space is bounded by profiled steel sheds and storage structures also partly used by the restaurant tenants.



Figure 3.30 The dining area extends around to the rear of the buildings and is bounded by the rock face and Gloucester Walk (above).



Figure 3.31 Looking down from Gloucester Walk to the open area to the immediate north of Nos. 13-15.

The solid, parapeted wall returns along the northern face of No. 13 and features two simple chimneys which have been capped.



Figure 3.32 Nos. 13-15 features simple gable roof with central and end exposed party walls. The end walls each feature simple square chimneys. The roof, walls and chimneys appear to be in very good condition.

The roof cladding, which dates from the 1990s works, is also in very good condition.

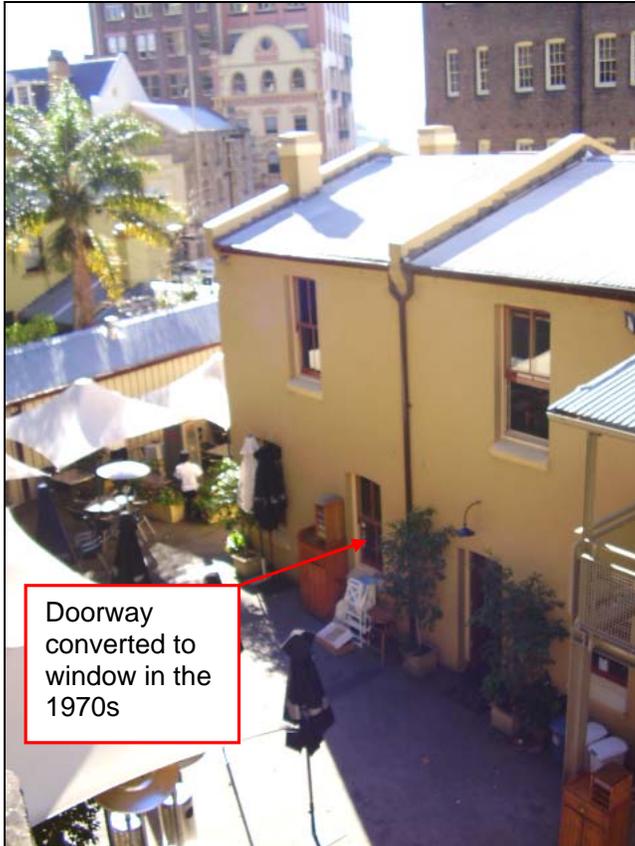


Figure 3.33 The rear facade of Nos. 13-15 is simply finished with simple window and door openings. The rear wings and outbuildings were removed and rear yards combined with the rear yards of Nos. 17-31 as part of the 1970s works.

Other works undertaken as part of the 1970s works include the conversion of the original rear doorway to No. 13 to a window. It would appear that the other openings are original although windows and doors have been successively repaired and replaced.

Elements such as gutters and downpipes have also been replaced and external lighting added as part of the 1990s works.



Figure 3.34 View of the open courtyard at the rear of the row of terraces on the western side of Playfair Street. The courtyard was opened up and formed as part of the 1970s works. The former boundary and fence lines are interpreted by brick paving.

The linking stair with Foundation Park and Gloucester Walk and steel framed deck were added in the 1990s.

3.4 Identification of Fabric – Internal

The interiors of Nos. 13-17 have been combined to form one tenancy currently occupied by an Italian Restaurant, with main entry at the rear of No. 15. Internally the terraces are generally detailed and finished similarly and in good condition and well maintained by the tenant.



Figure 3.35 View of the “reception” area and entry in the western room of No. 15, looking south from western room of No. 13. The large opening was formed and lintel added as part of the 1970s works. The space features timber floors with bagged walls and simple ceilings. Modern fixtures and furniture have been added. The counter is located in an area that was fitted with a spiral stair in the 1970s which was removed as part of the 1990s works.



Figure 3.36 The northern wall of the front, eastern room of No. 13 retains its original dimension and features such as the original chimney breast with arched fireplace opening. A cement screed and step has been added to the hearth. The space features timber floors, which appear in sound and good condition, painted and bagged brick walls and simple plasterboard ceiling. An exposed beam runs across the centre of the ceilings. Modern lighting and ceiling fans and services have also been added to the ceiling all assumed to date from the 1990s works.



Figure 3.37 View looking south to the front, eastern room of No. 15 which is similarly finished and features brick encased pizza oven and modern bar and joinery added as part of the 1990s fitout. The opening was enlarged and beam added as part of the 1970s works.



Figure 3.38 View of the western room of No. 13 looking north. The northern wall also features original chimney breast with arched opening and cemented hearth. A carpeted timber stair, which extends up the western face of the centre wall, was reinstated as part of the 1990s works.

Base of stair



Figure 3.39 The timber stair in No. 13 reinstated as part of the 1990s works.

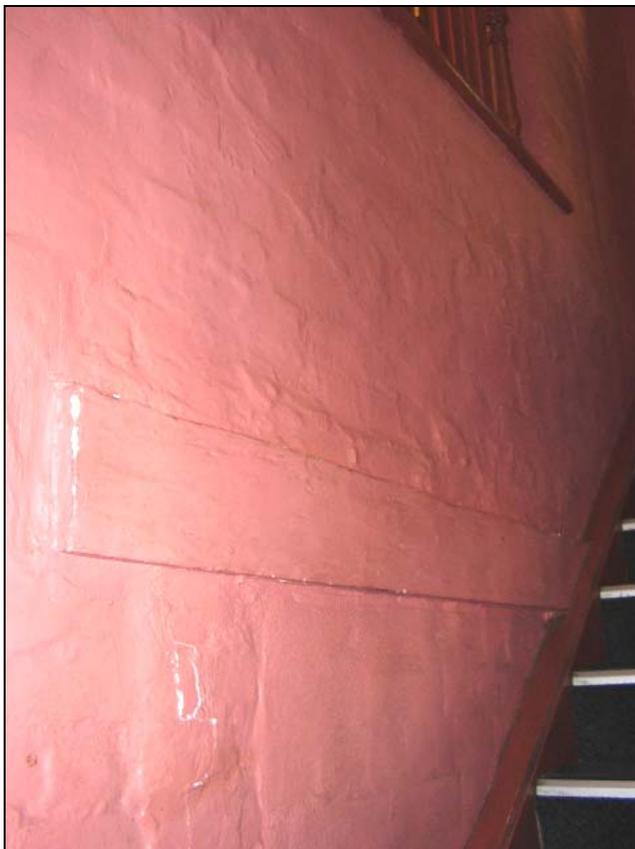


Figure 3.40 The cross wall in No. 13 retains evidence of an opening formed as part of the 1970s works. The opening was infilled when the stair was reinstated as part of the 1990s works.



Figure 3.41 The upper, western room of No. 13 looking north. The chimney breast is evident on the northern wall.



Figure 3.42 The upper, front, eastern room of No. 13 features double hung windows with arched heads overlooking Playfair Street.



Figure 3.43 The front, eastern room of No. 13 looking north. The northern wall also retains the chimney breast. The upper level is similarly finished with carpeted timber floors, timber skirtings and simple ceilings.



Figure 3.44 View of the front eastern room of No. 15 which features modern bar and joinery. The opening was formed as part of the 1970s works.



Figure 3.45 Detail of the window. Note the modern services and fixtures fixed to the ceilings.



Figure 3.46 View of enlarged opening and doorway leading to the rear, western room of No. 17. The transition between the two buildings is evident with a change in floor level and "step".

The restaurant kitchen, public amenities and staff area and store room are located within No. 17 Playfair Street. Openings were formed in the walls between No. 15 and No. 17 as part of the 1970s works. Several restaurants have continued to occupy the combined areas since that time.



Figure 3.47 View of the female WCs added to the front, eastern room of No. 17 as part of the 1970s works. The bathrooms, which feature lightweight stud walls and ceramic tile finishes to floors and walls have been upgraded with modern fixtures and features appear to be in good condition.



Figure 3.48 Narrow, timber stair access to the attic over No. 17. The stair, which features simple turned timber newell post and simple square balustrade is located in the rear, western room of No. 17. The stairwell is also partially enclosed by timber boarded partition. The stairwell and associated elements appear to be in good condition. The stair treads are slightly worn and retain evidence of several coats of paint and finishes.



Figure 3.49 View of the attic and dormer window on the eastern roof slope of No. 17 Playfair Street.



Figure 3.50 View of the northern wall and attic space which is simply finished with timber floors, plaster walls and raked ceiling which are in fair condition. A crack is visible to the right of the exhaust duct.



Figure 3.51 A fan and services have been added to the attic space. The space requires additional ventilation as the mechanical equipment generates some heat in the confined area.



Figure 3.52 View of the kitchen in the ground floor of No. 17. The south western corner features a cool room added as part of the 1990 restaurant fitout/refurbishment.



Figure 3.53 View of the ground floor kitchen looking east to the Playfair Street façade. The space features vinyl floor finish on concrete floor slab, ceramic tiles to the walls and modern stainless steel fixtures and fittings. The kitchen was originally created as part of the 1970s works to the building. The space now incorporates the open passage that existed between Nos. 17 and 19.

3.5 Ability of Fabric to Represent Historic Themes

The State historical themes of Accommodation (Housing), Commerce and Domestic Life were used in the history to outline and structure the narrative of the development of the Argyle and Playfair Street Terraces within the context of the development of The Rocks.

The building fabric represents this historic theme of housing by the retention of the fundamental scale and form of the buildings and use of standard “residential” building elements and components such as bagged and rendered brick, timber windows and doors and details on the verandahs and use of a standard layout of the time.

The changes to the form and fabric of the terraces, such as the removal of the rear “service” wings, kitchen and bathrooms, and opening up of the individual rear yards and “modernisation” of the internal spaces represents the changing requirements and shift away from residential, domestic use of the area to commercial use in this locality.

The “commercial” uses of the building have been incorporated and work relatively successfully within the buildings.

4.0

Assessment of Cultural Significance

4.1 Assessment of Significance

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 13-15 Playfair Street are historically significant as representative examples of late Victorian terrace development that was constructed during this period, particularly in areas such as The Rocks where residences in vicinity to places of employment were in demand. Together with the Atherden Street terraces and remnants in Foundation Park, they demonstrate the subdivision pattern that occurred in the period between 1870 and mid 1880s.

The terraces are representative of relatively simple, high density speculative developments which were built during the mid to late Victorian period by developers keen to maximise profits.

The site of the terrace, which extends back to the rock face to the west, and adjacent Foundation Park is significant as it emphasises the difficulties faced when developing in The Rocks precinct due to the topography of the area.

The buildings are part of a group that were the first restoration and revitalisation works undertaken by the Sydney Cove Redevelopment Authority, commencing in 1972. The project represented a shift in both the philosophy of the organisation and general approach and understanding of the history and development of the area. The resultant changes to the buildings and area are significant as they represent a shift away from the predominantly residential use of the immediate vicinity to commercial and public use of the area.

Criterion (b) - An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW’s cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 13-15 Playfair Street are associated with a number of government bodies who administered and later undertook major works to the buildings. These include the Sydney Harbour Trust, Maritime Services Board, Sydney Cove Redevelopment Authority and Sydney Cove Authority.

Nos. 13-15 are associated with Thomas Playfair, local businessman, Alderman and Mayor, who owned the land and constructed the buildings as speculative dwellings.

Criterion (c) - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 13-15 Playfair Street demonstrate the changes in architectural style during the 1880s with the simple Italianate decoration of the front façade in contrast with the simple and undecorated style of the adjacent terraces constructed during the 1870s (Nos. 17-31).

Despite the demolition of the rear wings and some internal walls and features the terraces retain a sense of their original two room configuration on each floor, original spatial qualities and simplicity of the interior and lack of decoration, expected for speculative type development.

The terraces are prominent elements in the Playfair streetscape primarily due to their smaller scale and location. Together with the adjacent Playfair Street Terraces (Nos. 17-31) they represent the mid to late Victorian development of the area and make a positive contribution to varied character and nature of the precinct.

Criterion (d) - An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The Terraces at Nos. 13-15 are associated with a number of tenants, residential and more recently commercial occupants of no particular note.

The buildings were part of a development that became a slum that was, after some intervention, improved and revitalised so that the buildings could continue to be part of the social and economic life of The Rocks and Sydney in general.

The buildings have some association with the work of local community groups and green bans which brought about a change of philosophy and regard for the existing built environment in The Rocks and contributed to the decision to retain and restore the buildings. The works undertaken in the 1970s became part of what was the first "restoration" project undertaken by the SCRA.

Criterion (e) - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 13-15, despite some adaptive works, retain their fundamental form and character and many features of workers' terraces erected in Sydney during the late Victorian period. With Nos. 17-31 Playfair Street, they also demonstrate the changes of style in low scale residential accommodation between the 1870s and 1880s.

The buildings and site have scientific and research potential because of the archaeological resources that may remain below the floor and "backyard" areas that may demonstrate the living conditions and construction techniques of modest dwellings in the late 19th century.

Their location and current use make them easily accessible to the public and contributes to their understanding. The connecting stair, walkway and platforms of Foundation Park and Gloucester Walk also assist the appreciation of the buildings and site.

Criterion (f) - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

There are a number of terraces constructed in the mid to late 19th century remaining in The Rocks area, however, with the Atherden Street Terraces, the terraces are one of the few groupings of modest, speculative dwellings with Italianate details remaining in The Rocks area. Similar examples, however, remain in other inner city suburbs such as Paddington and Surry Hills.

With Nos. 17-31, Nos. 13-15 Playfair Street are the only "residential" scaled buildings now remaining in Playfair Street which is now characterised by larger commercial buildings. With the Atherden Street Terraces these form an important reminder of the predominantly residential character of the immediate area.

Criterion (g) - An item is important in demonstrating the principal characteristics of a class of NSW's

- cultural or natural places; or**
- cultural or natural environments.**

(or a class of the local area's

- cultural or natural places; or**
- cultural or natural environments)**

Whilst the rear of the buildings have been altered and buildings are now used for commercial purposes the Terraces are good representative examples of late 19th century workers' and speculatively built dwellings that retain their fundamental "residential" form and character and relationship to the street.

4.2 Statement of Significance

The Argyle Terrace, Nos. 13-15 Playfair Street and site are of State significance for their historical and scientific values. The site and buildings are of State significance for their contribution to the character and qualities of the precinct and are significant for their contribution to The Rocks, which is of State Heritage Significance in its own right.

The Terraces at Nos. 13-15 Playfair Street are good examples of terrace style development and subdivision pattern that occurred in the mid to late Victorian period in Sydney. Constructed for the rental market, the buildings indicate the provision of minimal space to maximise profit. The buildings demonstrate the changes in architectural style during the 1880s, with the decorative features of the facades being in contrast with the simple and undecorated style of the neighbouring terraces, Nos. 17-31 constructed a little earlier in the 1870s.

Despite the demolition of the rear wings and some internal walls and features the terraces retain a sense of their original two room configuration on each floor, original spatial qualities and simplicity of the interior.

The subject buildings with the Atherden Street Terraces, is one of the only grouping of modest, speculative type terraces with Italianate details remaining in The Rocks area, although similar examples remain in other inner city suburbs such as Paddington and Surry Hills. With the Atherden Street Terraces these form an important reminder of the predominantly residential character of the immediate area.

4.3 Curtilage

The Argyle Terraces, Nos. 13-15 Playfair Street are part of Lot 8 DP 246098. The Lot, as indicated on the plan (**Figure 4.1**) extends across the front building line of Nos. 13-15 and also includes the adjoining terraces, Nos. 17-31 Playfair Street, and No. 33 Playfair Street. The boundary line follows the rock face and Foundation Park walls to the west of the site and includes the open area to the north of Nos. 13-15 Playfair Street.

The recommended curtilage of the Terraces can be defined by the line of the rock face to the west of the buildings, the rear boundaries of Nos. 1-7 Atherden Street to the north and the adjacent footpaths along the Playfair Street frontage. This curtilage also includes Nos. 17-31 which share a close relationship with the buildings interns of physical connection and period of construction. The curtilage represents the original site proportions and remaining "residential" character and development in Playfair Street.

The visual curtilage is far broader with views of the dwellings currently from the south from the intersection of Playfair and Argyle Streets and north from Atherden Street and George Street North. There are also views to the buildings through the Rocks Square and adjacent stair and laneway to George Street and along Gloucester Walk. The expanded curtilage may also include Foundation Park, on the escarpment, to the immediate west of the site and buildings, Playfair Street and The Rock Square.

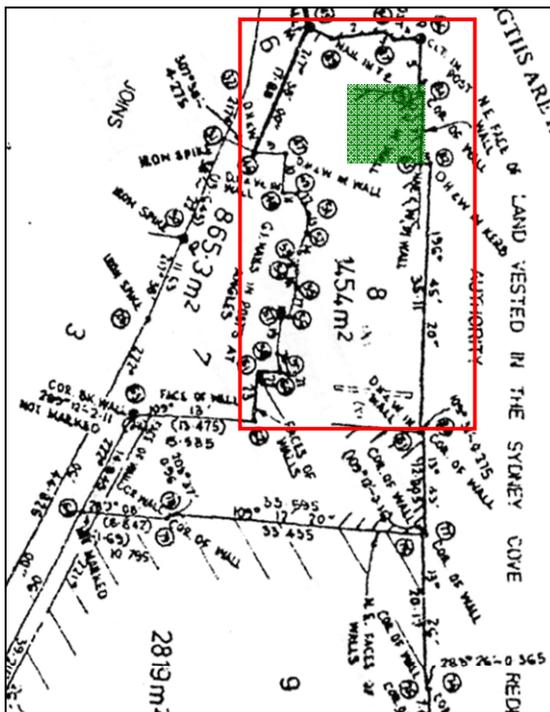


Figure 4.1 Lot 8 of DP 246098 which includes the open area to the north of Nos. 13-15, Nos. 17-33 Playfair Street to the south of the terraces and combined courtyard to the rear of these buildings. The approximate location and form of No. 13-15 is shaded.

(Source: Department of Lands)



Figure 4.2 The recommended curtilage of the buildings follows the line of the rock face to the west, incorporates the open area to the north of the terrace grouping and also includes the original footpath in front of the buildings.

The expanded curtilage includes the open space around the terraces including Foundation Park, Playfair Street and The Rocks Square (at right).

(Source: Foreshore Authority)

5.0

Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item (or the degree to which the significance of the item would be diminished if the component were removed or altered). The Terraces at Nos. 13-15 Playfair Street have been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness and general condition
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

In accordance with the NSW HO Guidelines for Assessing Heritage Significance, the standard NSW HO five-grade system has been modified to assess individual contribution of each element to the overall significance of the item. The following five grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

LITTLE SIGNIFICANCE

Includes fabric generally neutral in heritage value. Also includes most of the fabric associated with recent alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

INTRUSIVE

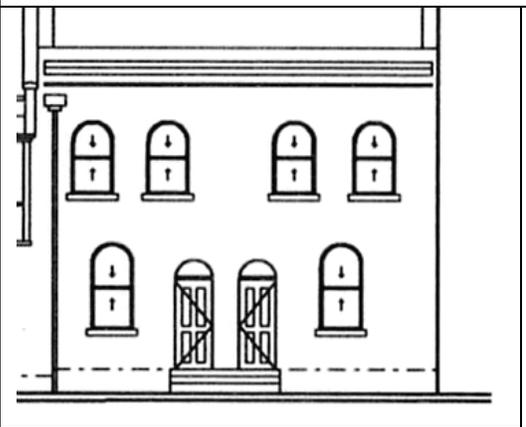
Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this

category would directly increase the overall heritage value of the item. It is anticipated that much of the fabric created in the recent decades may be in this category.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of the Argyle Terrace, Nos. 13-15 Playfair Street, and its various elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

5.1 Grading of Significant Elements and Spaces

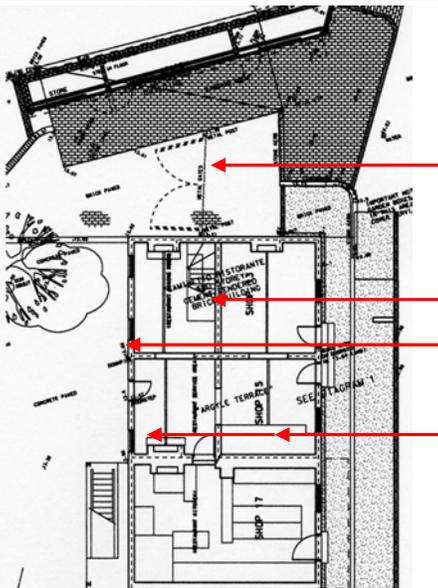
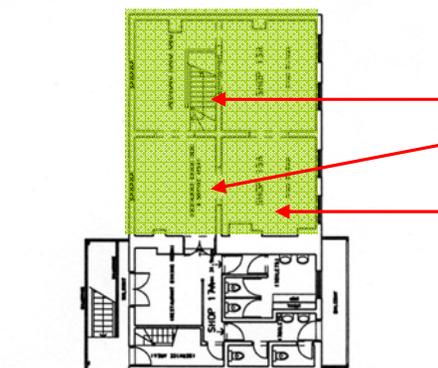
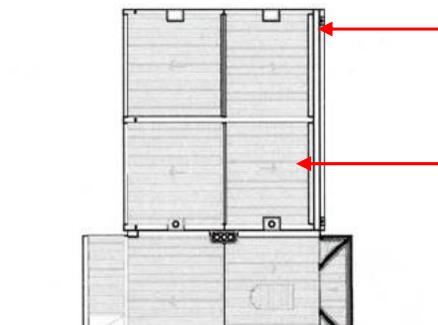
External Elements

Eastern (Playfair Street) façade and side elevations	Level of Significance
	
<ul style="list-style-type: none"> ▪ The overall form, height and scale of the façade including the brick wall, parapets, gable roof, and chimneys. ▪ The original details of the façade including rendered cornice, arched openings, decorative moulded brackets to the window sills, window sills, string course and face sandstone plinth/ base course of the buildings. ▪ The existing opening pattern. ▪ The sandstone kerbing in front of the building. 	<p>EXCEPTIONAL</p>
<ul style="list-style-type: none"> ▪ The painted rendered finish to Nos. 13-15. ▪ The double hung timber framed windows. ▪ The sandstone door threshold. 	<p>HIGH</p>
<ul style="list-style-type: none"> ▪ The timber roof framing. ▪ The panelled entry doors and toplights. 	<p>MODERATE</p>

Eastern (Playfair Street) façade and side elevations	Level of Significance
<ul style="list-style-type: none"> ▪ The roof cladding. ▪ The rainwater heads and downpipes which have been replaced. ▪ The simple sandstone steps. ▪ The signage fixed to the building. ▪ The pebble buffer and asphalted pedestrian footpath in front of the buildings. ▪ The modern display cabinets and signage on the footpath in front of the buildings. ▪ The planter boxes and removable furniture. ▪ The storage sheds to the north of the terrace. 	LITTLE
<ul style="list-style-type: none"> ▪ The various removable signs placed in front of the building. 	INTRUSIVE
Western (rear) façade	Level of Significance
 	
<ul style="list-style-type: none"> ▪ The overall form, height and scale of the façade including the exposed party walls, chimneys, the two upper window sills and brick arches over openings. ▪ The roof form, but not roof framing or cladding. ▪ The pattern of openings which interprets the original openings. 	EXCEPTIONAL
<ul style="list-style-type: none"> ▪ The open nature of the rear courtyard and space to the north of the buildings. ▪ The rendered finish to the wall. ▪ The upper windows, northern and southern windows on the ground floor. 	HIGH
<ul style="list-style-type: none"> ▪ The rear door. 	MODERATE
<ul style="list-style-type: none"> ▪ The roof framing, cladding, gutters and downpipes. ▪ The central timber window on the ground floor which was originally a door opening and rear door. ▪ Removable furniture and planter boxes placed in front of the wall and around the courtyard. ▪ The brick and hard paving on the surrounding courtyard. ▪ The external lighting fixed to the facade. 	LITTLE

5.1.2 Interior Spaces and Elements

Ground & First Floor	Level of Significance
<p>Nil. The building has undergone some change and adaptive works but retains sense of its original spatial character and simple finishes.</p>	<p>EXCEPTIONAL</p>
<ul style="list-style-type: none"> ▪ The two roomed nature and internal walls of the ground and first floor. ▪ The chimney breasts and fireplaces but not the concrete screed and steps to the hearths. ▪ The location and form of the stair in No. 13 but not the fabric. 	<p>HIGH</p>
<ul style="list-style-type: none"> ▪ The timber skirtings and architraves. ▪ The timber doors. ▪ The timber floor framing and boarding which has been patched and repaired. ▪ The bagged finish to the walls. 	<p>MODERATE</p>
<ul style="list-style-type: none"> ▪ The plasterboard ceiling finish and services. ▪ The carpet floor finishes. ▪ The openings made in the party walls between Nos. 13 and 15 and Nos. 15 and 17 and enlarged openings and associated lintels/beams in the cross walls (1970s). ▪ The fabric of the stair in No. 13 reinstated in the 1990s. ▪ The painted wall finish. ▪ The timber counters and bars and moveable furniture including refrigerators and display cabinets. ▪ Modern lights and services, fixtures and fittings. ▪ The brick pizza oven and associated counter on the ground floor of No. 15 (1990s). 	<p>LITTLE</p>
<ul style="list-style-type: none"> ▪ Nil. 	<p>INTRUSIVE</p>

<p>Ground Floor</p> 	<p>Open Area – HIGH Paving and moveable furniture – LITTLE</p> <p>Two rooms on ground floor - HIGH Stair reinstated in 1990s – LITTLE Door opening converted to window in 1970s – LITTLE Timber joinery and pizza oven dating from 1990s - LITTLE</p>
<p>First Floor</p> 	<p>Two rooms on first floor - HIGH</p> <p>Stair location and form reinstated in 1990s – HIGH, fabric - LITTLE Openings in party and cross walls - LITTLE Joinery added in 1990s - LITTLE</p>
<p>Roof</p> 	<p>Parapets & Chimneys – EXCEPTIONAL</p> <p>Roof form – EXCEPTIONAL Roof cladding - LITTLE</p>

5.2 Schedule of Significant Elements

SCHEDULE OF SIGNIFICANT ELEMENTS		
Nos. 13-15 Playfair Street, The Rocks		
Building or Site element	Condition	Significance
EXTERNAL		
WALLS		
Rendered brick external walls	Good	Exceptional
Brick party walls and chimneys	Good	Exceptional
Parapet, profiled cornice, string course, arched opening heads, window sills and brackets	Good	Exceptional
Sandstone plinth/ base	Good	Exceptional
External wall finish	Good	High
Windows – timber framed double hung	Good	High
Double hung windows	Good	High
Panelled doors and toplights	Good	Moderate
Sandstone entry door thresholds	Good	High
Sandstone steps	Good	Little
ROOF		
Roof framing	Unknown	Moderate
Roof Cladding	Good	Little
Rainwater heads, gutters and downpipes	Good	Little
REAR YARD & COURTYARDS		
Brick paving and hard surface	Good	Little
Associated sheds to the north of the buildings	Good	Little

SCHEDULE OF SIGNIFICANT ELEMENTS			
Nos. 13-15 Playfair Street, The Rocks			
Building or Site element	Condition	Significance	
INTERNAL			
WALLS			
Wall finish	Good	Moderate	
Paint finishes	Good	Little	
Openings in party and cross walls and lintels	Good	Little	
Timber joinery	Skirtings	Good	Moderate
	Architraves	Good	Moderate
	Windows (East façade)	Good	High
	Windows (West)	Good	High
	Window (central ground floor, West façade)	Good	Little
	Doors	Good	Moderate
FLOOR			
Timber floor framing	Unknown	Moderate	
Timber floor boards	Good	Moderate	
Carpet floor finishes	Good	Little	
CEILINGS			
Ceiling beams	Good	Moderate	
Plasterboard cladding and tracks	Good	Little	
FEATURES			
Fireplaces and breasts	Good	High	
Fireplace hearths	Good	Little	
Timber stair and balustrades	Good	High/Little	
SERVICES			
Modern fixtures and fittings, including lighting	Good	Little	

6.0

Constraints, Opportunities and Requirements

This section outlines various major issues involved in the preparation of the conservation guidelines for the site. It takes into consideration matters arising from the statement of significance, procedural constraints imposed by cultural conservation methodology such as that of the Australia ICOMOS *Burra Charter*. It identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from the Statement of Significance

Considering the Statement of Significance, the following issues need to be addressed in the conservation guidelines.

- Highly significant components of the Argyle Terrace Nos. 13-15 Playfair Street and should be retained and conserved and should continue to be used principally for retail and commercial purposes.
- All components of Argyle Terrace Nos. 13-15 Playfair Street should exemplify and reflect all significant periods of its development.
- No new work or activity should be carried out, which will detract from or obscure physical evidence of the major phases of development of the site and building components.
- No works or activity should be carried out that will obscure or detract from physical evidence of the occupation and use of the site and its building components.
- No building or landscaping should detract from the Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks.
- New works or activities at the place should enhance its significant historic character.
- Aspects of the Argyle Terrace Nos. 13-15 Playfair which contribute to the visual character of The Rocks should be conserved and not obscured in any future development.
- Nos. 15 and 17 should continue to look like separate terraces despite the internal connection between the two buildings.

6.2 Issues Arising from Physical Condition of the Place

Nos. 13-15 Playfair Street, The Rocks, appears to be in good and sound condition and appropriately maintained by the current occupants. The last major works to the buildings were undertaken in the 1990s.

Since that time it would appear that the exterior and interior of the buildings have been painted and well maintained. The current connection between Nos. 15 and 17 can be retained, given that the overall significance of the buildings is not affected by the existing openings. Some works may be required in the long term should the tenancy change. These works may include the infill of openings in the party wall between Nos. 15 and 17.

6.3 Sydney Harbour Foreshore Authority

The Rocks is managed by the Sydney Harbour Foreshore Authority, which was constituted on 1 February 1999 under the Sydney Harbour Foreshore Act, 1998. The Rocks area is, therefore, not within the jurisdiction of the Council of the City of Sydney.

The principle functions of the Foreshore Authority are stated in its Act as follows:

- (a) to protect and enhance the natural and cultural heritage of the foreshore area;
- (b) to promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- (c) to promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in The Rocks, The Rocks Heritage Management Plan (adopted February, 2002) has been prepared to provide a firm basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.3.1 Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

1. To add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites
5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

It is understood that the Authority proposes to continue to use the Argyle Terrace, Nos. 13-15 Playfair Street for small scale commercial use. In the short term the current situation is not likely to change and connection with No. 17 will be retained. In the mid to long term infill of the current openings in the party wall between Nos. 15 and 17 can be considered to allow on-going and practical use of the tenancy spaces.

6.4 Asset Owner's Requirements of the Foreshore Authority

The Rocks is seen as an important precinct within the Foreshore Authority's area of influence due to its contribution to Australia's heritage and to the character and enjoyment of Sydney for all. The Argyle Terraces at Nos. 13-15 Playfair Street are significant as they contribute strongly to that character. The terraces have been used as a restaurant since the early 1970s. It has been recognised that they provide an important heritage and commercial component to the precinct.

It is understood that any fitout and elements such as lighting are considered to be the responsibility of the lessees, however, the Authority provides guidelines regarding layout of furniture, lighting, signage and even wall fixing details.

6.5 Heritage Management Framework

6.5.1 NSW Government TAM Guidelines

The Total Asset Management Manual prepared by NSW Government's Asset Management Committee requires that: "*Sustainable management of heritage values should be treated by an agency as part of its core business*". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require 'planning use of heritage assets to maximise their service delivery while protecting their cultural values'.

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

6.5.2 Environmental Planning Instruments (EPIs)

There are three principle EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks, and these are as follows:

A. State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 Million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the Act (development under \$5 million) has been delegated from the Minister to the Sydney Harbour Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

B. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks, however it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of the potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

C. Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

The SCRA Scheme does not have any further development provisions nor does it specifically identify Heritage Items.

6.5.3 New South Wales Heritage Act

Heritage and Conservation Register

Section 170 of the *NSW Heritage Act* requires a 'government instrumentality' such as the Foreshore Authority to 'establish and keep a register entitled the *Heritage and Conservation Register*. The register must be reviewed annually, and amended if necessary.

The register must contain items, under the ownership or control of the Foreshore Authority, that are or could be listed in the *NSW State Heritage Register* or could be subject to an Interim Heritage Order, or which are listed as an item of environmental heritage in an environmental planning instrument.

Under Section 170A of the *Heritage Act* the Authority must provide a minimum of 14 days notice to the Heritage Council before removing any item from the Register, transferring ownership of any item, ceasing to occupy or demolish any item. The Authority must also maintain and manage the item in accordance with any principles or guidelines for State owned heritage assets approved by the Minister or the Heritage Council (see also 6.4.1 NSW Government TAM Guidelines).

Sydney Harbour Foreshore Authority has prepared a Section 170 Register, which has been endorsed by the NSW Heritage Council. Those items on the Section 170 Register assessed as being of State significance (94 items) were listed on the State Heritage Register in May 2002 (see below).

State Heritage Register (SHR)

The Argyle Terrace, Nos. 13-15 Playfair Street is listed on the *NSW State Heritage Register* (SHR No. 01525). This listing recognises the site as being of State significance and provides statutory protection under the *NSW Heritage Act (1977)*.

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for any of the following works to the item:

- (a) demolish the building or work,
- (b) damage or despoil the place, precinct or land, or any part of the place, precinct or land,
- (c) move, damage or destroy the relic or moveable object,
- (d) excavate any land for the purpose of exposing or moving the relic,
- (e) carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct,
- (f) alter the building, work, relic or moveable object,
- (g) display any notice or advertisement on the place, building, work, relic, moveable object or land, or in the precinct,
- (h) damage or destroy any tree or other vegetation on or remove any tree or other vegetation from the place, precinct or land.

Unless an item constitutes a danger to its occupants or the public, demolition of a State Heritage Register item is *prohibited* under the Heritage Act. An element of a State Heritage Register item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). Authority has been delegated to the Foreshore Authority to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the NSW Heritage Office, or from the Foreshore Authority for minor works.

Archaeological Management

Under Section 57(1) of the Heritage Act (see above) Heritage Council approval is required to move, damage, or destroy a relic listed on the State Heritage Register, or to excavate or disturb land which is listed on the State Heritage Register and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as -

Any deposit, object or material evidence

- (a) *which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and*
- (b) *which is 50 or more years old.*

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications (see above) extends to archaeological works.

Standard Exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

A revised Schedule of Standard Exemptions was gazetted in March 2006, and contains guidelines to determine whether particular works will be covered by a standard exemption. In this case, an Exemption Notification Form (not a Section 60 application) must be completed providing sufficient detail to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to Standard Exemptions in Section 10.0 of this report.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item (see Standard Exemption No.6). Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a Conservation Management Strategy endorsed under delegation by the Executive Director, Tennant and Asset Management Services, Sydney Harbour Foreshore Authority. The wording of site specific exemptions in a CMP must be discussed with the Heritage Office and agreed upon prior to Heritage Council endorsement. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites (see Heritage Office CMP Review & Endorsement Strategy, 2005). Currently, there are **no** site specific exemptions for The Argyle Terrace Nos. 13-15 Playfair Street.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover weatherproofing, fire protection, security and essential maintenance.

6.6 Community Groups

6.6.1 National Trust of Australia (NSW)

The buildings have been classified by the Trust as part of a grouping. "The Argyle Terrace", Nos. 13-31 Playfair Street, The Rocks, is noted on the classification card,

however, the National Trust of Australia (NSW) Register notes Nos. 13-33 Playfair Street, The Rocks.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.7 Building Regulations

The Building Code of Australia is concerned with establishing uniform building regulations across Australia. The Code is implemented in NSW through the Local Government Act 1993. Generally, minimum standards are required to be reached in building works.

The main provisions of the Code concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities.

An assessment of compliance of the complex with the Code has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the Building Code of Australia in heritage buildings, proposals must ensure that significance fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.8 Baseline Archaeological Assessment

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan* in 1991 (Inventory Nos. 42)⁸³ and in the Foreshore Authority's S.170 Heritage Register (B101, AR042).

6.8.1 Below Ground

The historical development of the site indicates European occupation since the early 1800s. Deep features such as wells and cesspits may be present in the former yards, although the yards are now covered with hard surface and paving.

The Rocks and Millers Point Archaeological Management Plan notes the condition of the below ground archaeological remains as being "partly disturbed".⁸⁴ The recommendation for the below ground archaeological remains was for an archaeological watching brief or monitoring programme.⁸⁵

The potential for below ground archaeological resources around the site and below the buildings is undetermined. It would appear that some disturbance occurred during the demolitions on the site during the 1970s. It is not clear formal archaeological assessment has been made or sub-floor area investigated, however some structural works have been undertaken.

⁸³ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), prepared for SCA and Department of Planning.

⁸⁴ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Map – Condition of below ground archaeological remains.

⁸⁵ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Inventory No. 42 & 43.

The area to the west of the site and Foundation Park was thoroughly investigated and interpreted during the 1990s.

6.8.2 Above Ground

The roof and between-floor spaces may contain archaeological relics. Disturbance of such relics should be minimised. If they do need to be removed, this should only be done by, or under the direction of, a qualified archaeologist. Locations should be recorded and items conserved, catalogued and stored in accordance with the Foreshore Authority and NSW Heritage Office Guidelines.

The roof has been repaired and cladding replaced in the 1970s and 1990s. Some structural works were also carried out to the footings of the building in the 1990s and floors also repaired. The potential for above ground resources may therefore be low due to the scale of internal alterations and works to the floors and subfloor areas, however, in the case of any major works the buildings should be monitored by a qualified archaeologist.

7.0

Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is important in the built environment within a process of change and development. As such, it is one of the functions of this document to establish criteria, policies and recommendations of the conservation, on-going use of the buildings as an appropriate and desirable future direction. In this way the owners and managers of the place/buildings will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals against the criteria.

The following section identifies **Policies** and **Guidelines** as the two basic mechanism, with which to achieve the conservation and on-going use of the subject complex in the context of the adaptive re-use and necessary upgrade of the various building components. A brief **Background** provides the context for each of the policies. The **Policies** identify basic conservation guidelines, which are required to be met. They are supported by **Guidelines** and in places they should be clearly identified by the proponent and discussed in any Development Application submission.

This section contains general policies that are structured under five major headings with sub policies relating to more specific issues. The first major policy, and especially its sub policy 7.2. *Treatment of fabric of different grades of significance*, should be used as a basis for decision making, to enable future planning for each building and external and internal element to be made with due regard to the significance of the fabric in question.

7.1 Application of the Burra Charter

The *Australia ICOMOS Burra Charter 1999*,⁸⁶ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national, state and regional significance are undertaken.

As Nos. 13-15 Playfair Street, The Rocks, is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of the *Burra Charter*.

7.1.1 Consistent Terminology

In order to achieve a consistency in approach and understanding of the meaning of conservation by all those involved a standardised terminology for conservation processes and related actions should be adopted. The terminology in the *Burra Charter* is a suitable basis for this. Article 1 of the *Burra Charter* gives the following definitions⁸⁷ -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

⁸⁶ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

⁸⁷ *Australia ICOMOS Burra Charter 1999, p. 2.*

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the *place* itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

7.1.2 Conservation Principles arising from the Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric

Location (Article 9)

A building or work should remain in its historical location.

Contents

(Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change

(Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation

(Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work

(Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place. New work should be readily identifiable as such on close inspection.

Use and Conserving use

(Article 7)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

(Article 23)

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing change

(Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of fabric

(Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for decisions

(Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, supervision and implementation

(Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records

(Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed fabric
(Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7.2 Treatment of Fabric of Different Grades of Significance

The building components of the Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, has been carefully assessed to identify the differing levels of contribution each makes to the significance of the overall site. The grading utilises a five-tier system of values: exceptional significance, high significance, moderate significance, little significance and intrusive.

The grading of significance of the various elements of the Stores is a valuable planning tool, and it assists in developing a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and their various elements. All elements of moderate or higher level of significance should be subjected to ongoing monitoring and maintenance programme.

1. Elements identified as being of **Exceptional** significance should be retained and conserved *in situ*. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by The *Burra Charter*.
2. Elements identified as being of **High** significance should also generally be retained and conserved *in situ* subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by The *Burra Charter* is permissible, provided that level of significance of each element is retained.
3. Where the fabric is of **Moderate** significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.
4. Elements assessed as of **Little** significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role and/ or are in poor condition. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.
5. Elements identified as **Intrusive** can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These items need not be addressed immediately.

It is recommended that a minimalist approach be taken in removing fabric graded as of **little significance** or **intrusive**, and it be limited to protecting and enhancing fabric of greater cultural significance, or allowing practical use of the building.

7.3 Current and Potential Future Use

Background

Nos. 13-15 Playfair Street, The Rocks, were constructed as speculative residential rental accommodation in the late 19th century.

The Terraces continued to be used for residential purposes until the 1970s when they were converted for commercial use. The Foreshore Authority currently leases the buildings for restaurant use (with No. 17 Playfair Street which contains commercial kitchen and amenities) and it is anticipated the buildings will continue to be used for commercial purposes into the long term.

The buildings are no longer suitable for residential use due to the removal of the amenities areas of all the buildings as part of the 1970s works to the buildings. In this grouping only No. 17 Playfair Street contains kitchen and WC facilities in the building envelope. Incorporation of additional amenities into the existing envelopes is not necessarily warranted due to commercial nature of the immediate precinct or recommended due to the impact on the building fabric. Reinstatement of the rear service wings may be considered, however, it is not anticipated or recommended given the location and size of the buildings. Retention of the internal connection with No. 17 is considered acceptable, provided that the buildings continue to read as separate terraces externally.

Policy

A sympathetic use, preferably small scale commercial and retail, should be maintained to ensure the ongoing use and viability of the buildings. Any uses of the building should firstly seek to retain the existing spatial qualities and character of the building and not obscure its historic nature and associations.

Guidelines

1. Future use of the building should take into consideration the identified cultural significance of the place.
2. Future use of the place should take into account the curtilage of the item.
3. Use of the place should be compatible with the spatial qualities and fabric of the existing structure without requiring extensive alterations and works within the existing building envelope.
4. The existing openings between No. 15 and 17 Playfair Street may be retained or infilled depending on tenancy requirements. No new openings should be made.
5. Additional services or special features may not be appropriate if the design of these elements places excessive stress on the character and significance of the place and its building fabric and spaces.
6. Any change of use should have regard to potential opportunities for public access to the building, however, such activities within the building should be developed in a way that enables the heritage value of the buildings and site to be showcased and not obscured by these uses.

7.4 Asset Management

7.4.1 Sydney Harbour Foreshore Authority responsibilities

Background

The Argyle Terrace Nos. 13-15 Playfair Street, as part of The Rocks, is owned by the Crown and vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy

Sydney Harbour Foreshore Authority shall retain management of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, as a single entity within the overall context of The Rocks precinct.

Guidelines

1. Sydney Harbour Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
2. Sydney Harbour Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks,
3. The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority and tenants of the buildings.
4. The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
5. All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.
6. A program of regular monitoring should be established, covering both the physical changes within the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, and visitor experience issues, and be incorporated, where relevant, into management decisions.
7. The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.4.2 TAM Plans and CMPs

Background

This Conservation Management Plan (CMP) will be one of documents used by the asset owners, managers and tenants for management and maintenance of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and TAM Plans. In the preparation of this CMP, all the relevant asset management documents were included.

Policy

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property.

Guidelines

1. The Authority should include findings of this CMP, particularly Chapter 8 – *Implementation*, into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks.

7.4.3 Adoption, Endorsement and Review of the CMP⁸⁸

Background

The Conservation Management Plan (CMP) for the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to progressively respond to changing situations if they are to remain relevant.

Policy

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every five to ten years.

Guidelines

1. Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the NSW Heritage Office.
2. Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.

⁸⁸ Adoption (the Foreshore Authority), Endorsement (NSW Heritage Council) and Review (the Foreshore Authority)

3. Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
4. Irrespective of the requirement to review the document every 5 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.4.4 Required Approvals

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric.

It is essential that before any change to the item, the Foreshore Authority is consulted in order to determine which approvals will be required, and what documentation will be needed. Approvals for works are required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the Minister. Applications are to be made to the Sydney Harbour Foreshore Authority, and will be processed by the Authority.

In some instance, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Sydney Harbour Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

Under the Heritage Act, works which may affect the significance of the site require a Section 60 application. The Foreshore Authority has delegation from the Heritage Council to approve minor Section 60 applications. Applicants should first confirm with the Foreshore Authority whether the proposed works fall within the Foreshore Authority's delegation, or whether application is to be made to the Heritage Council.

The Standard Exemptions for minor works to State Heritage Register items apply to the Terraces (see Section 10.0). Sydney Harbour Foreshore Authority also has delegation to approve Standard Exemption applications. Applicants should first confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Forms for development applications, Section 60 applications (minor works) and Standard Exemption applications are available from the Foreshore Authority.

Policy

Before doing work to any part of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, or lodging a development application or a Section 60 application, the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority.

Guidelines

1. Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal. Where necessary, a Heritage Impact

Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.

2. Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.

7.4.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected/ approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance, and the sensitive fabric and spaces, and can be installed and removed without impact.

Guidelines

1. Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority consent to the proposed development. This includes completion of the Schedules of Works as per the Chapter 8 – *Implementation* of this CMP.
2. Tenants should be aware of Sydney Harbour Foreshore Authority policies and be provided with a *Tenancy Manual* that clearly outlines the guidelines for the use and fitting out of the spaces and obligations of the tenant and the Foreshore Authority.
3. The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of owner's consent.

7.4.6 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The attitudes, skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy

Appropriate conservation skills and experience should be available within project teams to deal with any programs of conservation and upgrading of the building components of Nos. 13-15 Playfair Street, The Rocks.

Guidelines

1. Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, archaeologists, architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
2. Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.5 Management of Significance

7.5.1 Retention of Significance

Background

The Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, was constructed in 1883. They continued to be used for residential purposes despite resumptions and changes of management until the 1970s, when they were converted for commercial use in recognition of a shift in the use and demographic of the local area. With their immediate neighbours, they represent the 19th century development and subdivision of the area and through adaptation have so far continued to play an active and historic role in The Rocks Square precinct.

Policy

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

1. The existing external architectural character and imagery of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should be retained and conserved. Conservation should be undertaken in the context of the on-going use of the building components as small scale commercial and retail premises.
2. The conservation, adaptation and maintenance of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should be approached with the general principle of changing "as much as necessary but as little as possible".
3. Structural alteration to the building components, which impact on the integrity or significance of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should not occur.
4. Future uses should be compatible with the nature and significance of the building components and should enable the Argyle Terrace Nos. 13-15 Playfair Street, to remain a vital and important component within The Rocks precinct.
5. Internal alterations and renovations are acceptable within the context of compatible use, however they should not impact on the significance of the internal original fabric and spatial qualities of the building, or the external façade.

6. No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be highly visible from Playfair Street or Gloucester Walk or impact negatively on the façades of the building. Some services are acceptable provided that they are discretely integrated and do not damage or detract from the highly significant building fabric or imagery of the buildings.
7. Evidence of the progressive evolution of the Argyle Terrace Nos. 13-15 Playfair, The Rocks, should be respected and retained.

7.5.2 Minimum Standards of Maintenance and Repair

Background

Section 119 of the NSW Heritage Act requires the owner of the building, work or relic listed on the State Heritage Register to ensure that the item is maintained and repaired to standards that are not less than the Minimum Standards imposed by the 1999 Amendments to the NSW Heritage Act.

While it is estimated that the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, will be tenanted most of the time and that many Standards (e.g. for Inspection) will be automatically complied with, it is also appreciated that regardless of tenancy of the property, it is the asset owner's responsibility to assure the auditable compliance with these Standards, and therefore the actual maintenance will need to be undertaken by the Foreshore Authority rather than the tenant.

Policy

Sydney Harbour Foreshore Authority as the asset owner is to assure that the item is maintained and repaired to standards that are not less than the Minimum Standards imposed by the 1999 Amendments to the NSW Heritage Act.

Guidelines

1. Sydney Harbour Foreshore Authority is liable for the execution of works required for the compliance with minimum Standards of Maintenance and Repair, as identified in the Section 8.2 of this CMP – *Minimum Standards of Maintenance and Repair*.
2. As part of the tenancy contracts, the Foreshore Authority may require tenants to execute the required works and provide an auditable trace of the completion of required works.
3. Prolonged vacancies may arise, and that in this eventuality the Foreshore Authority will be liable for compliance with the additional Standards for untenanted properties.

7.5.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary.

In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

The existing building fabric of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, both internally and externally, is in good condition and generally well maintained.

Policy

Extant building fabric, both internally and externally should be retained and conserved, in accordance with the levels of significance identified in Section 5.0 Grading of Significance of this CMP and in accordance with particular actions specified in the Section 8.2 – Schedule of Conservation Works of this CMP.

Guidelines

1. Original external and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
2. No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of High or Exceptional level of significance.
3. Decayed building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
4. Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should not be so well matched as to be impossible to read on close inspection.
5. All structural elements should be retained as existing and left exposed, with appropriate maintenance. No structural members should be removed, other than to re-instate significant architectural elements.
6. All original doors, windows, floors, balustrades, staircases and associated landings should be retained, with appropriate maintenance.
7. Where it is clear that original or significant fabric has been removed it is considered appropriate to adaptively reconstruct based on extant fabric.
8. While the Foreshore Authority is liable for the execution of works identified in the *Section 8.2 –Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
9. Fabric, which is of exceptional or high significance but is hazardous, should be replaced with a suitable modern material.

7.5.4 Conservation of Significant Spaces

Background

The Terraces retain the two main rooms and sense of their original internal configuration and layout. The works of the 1970s made some changes, such as the opening up of the spaces through the making and enlargement of openings in the party and cross walls to

facilitate the commercial use. The works of the 1990s sought to improve the relationship between various spaces and reinstate some lost fabric and building elements to improve the use and interpretation of the buildings.

Policy

The spatial qualities of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks contribute to its significance and interpretation and therefore should be conserved, as part of the on-going use, on-going management and any future development strategy.

Guidelines

1. The two roomed nature of the ground and first floor of the terraces should be retained and conserved.
2. The interconnecting timber stairs in No. 13 should also be retained to enable the practical and connection to the upper floor and interpret the original relationship between levels and spaces.
3. Partial infill of the enlarged openings in the cross walls on the ground and first floors and infill of the openings in the party walls may be considered, providing that the existing lintels and evidence of the openings are retained in recognition of the evolution of the buildings.
4. The reinstatement of lost elements, such as the stair between the ground and first floors of No. 15, is permissible provided that these elements are located in the earlier position shown on earlier drawings of the building and that there is no impact on any highly significant fabric.
5. The open courtyard to the north and west of the buildings should also be retained and conserved. Continued interpretation of the former boundary and fence lines by the use of paving and landscapes is encouraged provided the space is to remain "open".

7.5.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 4.5 of this CMP –Grading of Significant Elements, and managed in accordance with Section 7.3.1 above –Treatment of Fabric of Different Grades of Significance.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of the Argyle Terrace Nos. 13-15 Playfair, The Rocks. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

ELEMENT SPECIFIC CONSERVATION POLICIES NOS. 13-15 PLAYFAIR STREET, THE ROCKS			
Ref. No.	Element	Significance Level	Policy
GENERALLY			
	Building character and spatial organisation generally	High	Retain overall form, scale and character of the exterior and character of the ground, first floor levels.
1	External Walls, parapets and chimneys	Exceptional	<ul style="list-style-type: none"> ▪ Retain existing height and form and decorative details to the east façade. Openings on the east and upper west façade to be retained and conserved. ▪ Openings to the lower western façade to be retained, some adaptive works to central window may be permissible. ▪ Sandstone base/plinth course to be retained and conserved and remain face stone. ▪ Render, painted finish to be retained.
2	Roof and roof plumbing	Exceptional/ Little	<ul style="list-style-type: none"> ▪ Existing roof form to be retained. ▪ Roof framing, cladding, flashing, gutters and downpipes to be repaired or replaced to match as required.
3	Internal Walls	High	<ul style="list-style-type: none"> ▪ Retain and conserve internal walls, no new openings are permissible, infill of enlarged openings permissible. ▪ A simple bagged and painted finish to be retained. ▪ Timber skirtings and architraves to be retained, repaired or replaced to match as required.
4	Flooring - Timber	Moderate	Retain framing and floorboards, patch, repair or replace as required.
5	Flooring - Carpet	Little	Retain or remove as required. Timber floor as above. If carpet is to be removed, repair and finish to match ground floor.
6	Entry and rear doors	Moderate	Retain and repair or replace to match as required.
7	Windows	High/ Moderate	Retain and conserve, repair or replace elements to match as required.
8	Timber Stairs	Little	Retain and conserve a stair in this location, repair and replace fabric as required.
9	Ceilings	Little	Patch and repair, or replace as required.

Additional Guidelines for Conservation of Significant Stonework

1. Deteriorated significant stonework is to be repaired or reconstructed to match the original fabric of the stone plinth, using face stone of appropriate colour and texture, however a minimalist approach to repairs should be taken and works performed only after all other options have been explored.
2. For repairs to the stone plinth, appropriate mortar of should be used, e.g. sections built using hydraulic mortar should be repaired only with hydraulic mortar used. All visible new mortar used must visually match the original.
3. The strength of mortar used in repairs should not exceed the strength of stone. This is to assure that, in case of eventual wall cracking, mortar breaks first and stone blocks are preserved.
4. In case of surface damages to the historic stone built fabric (graffiti, weathering) only non-abrasive methods of intervention should be used in recovering the original finish. In case of weathering stains, warm soap wash may be sufficient.
5. In the case of graffiti and mortar stains, specialist professional organisations experienced in working with historic fabric should be contacted for advice. The Foreshore Authority's heritage staff should evaluate what technique is appropriate to the case. Where there is repeated graffiti occurrence, special products such as transparent protective films and coatings will be considered.
6. Proposed methods should be evaluated by the Foreshore Authority heritage staff for suitability. Trials may be required to determine the most appropriate method.

Additional Guidelines for Conservation of Rendered and Painted Built Fabric

1. Missing or damaged rendered and painted built sections should be repaired or reconstructed to match the original. For these repairs and reconstructions, a suitable mortar and render type should be used (analysis of existing fabric may be required). All visible new surfaces must visually match the existing/original in colour and texture.
2. In case of surface damage to the rendered brick wall (graffiti, weathering), both non-abrasive and abrasive methods of intervention should be considered. Generally, in case of damage by graffiti, both removing of stains and repainting may be adequate. The adequacy of a particular technique used should be verified by the Foreshore Authority's heritage staff.

Additional Guidelines for Conservation of Roofing and Guttering

1. The activities of maintenance and repair of roofs are exempted from seeking approval under S.60 of the Heritage Act, under the Standard Exemptions, on the proviso that the work re-uses existing materials or is restoration.
2. Repairs to missing or damaged sections of the roofing are acceptable given that the roofing has been replaced at least two times. Repairs to corrugated metal and guttering may involve replacement of larger sections of roofing. Missing or damaged sections of roofing should be replaced by adequate fabric to match the previous condition. Corrugated metal sheeting is the preferred material. Visual presentation (colour, texture) and form of the corrugated metal must be considered.

Additional Guidelines for Conservation of Plumbing, Electrical and Other Services

1. Repairs to missing or damaged sections of services should avoid impacting significant fabric. Missing or damaged sections of fabric of significant historic services should be replaced to match the original condition wherever such action is technologically feasible and compliant with Health and Safety requirements.
2. Hazardous elements, such as lead or lead-joined pipes, need to be replaced with modern pipes. The presentation of fabric visible in interior or exterior of the building must not be altered in colour, texture or form.

7.5.6 Archaeological Monitoring

Background

Detailed assessment of the archaeological potential of the site has not been carried out, however, *The Rocks and Millers Point Archaeological Management Plan* (1991) noted that the condition of the above ground remains were “*minor to part disturbance*” and that the below ground archaeological remains would be “*partly disturbed*”.⁸⁹ The recommendation for both the above ground and below archaeological remains was for an archaeological watching brief or monitoring programme.⁹⁰

A Section 60 application would be required where relics may be disturbed.

Policy

A formal Archaeological Assessment of the site and buildings should be carried out in the context of any future major alterations or works to the buildings. Any works involving excavation of the site should be carried out under archaeological supervision by a qualified archaeologist.

Guidelines

1. A formal Archaeological Assessment of the above and below ground archaeological resources for the site and buildings should be carried out.
2. Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan* (1991), and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any ground disturbance on the property in the future be subject to archaeological monitoring.

7.5.7 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be

⁸⁹ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Maps – Above ground archaeological sites and Condition of below ground archaeological remains.

⁹⁰ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Inventory No. 42 & 43.

implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy

The significant fabric the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3, Ongoing Maintenance.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

1. The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority and its tenants.
2. In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
3. Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
4. Inspection and maintenance works should only be conducted by those with professional knowledge and experience of buildings and materials.
5. No maintenance work or repairs should negatively impact on significant fabric.
6. Maintenance and repair works are to be carried out by tradespeople with demonstrated heritage skills, experience and knowledge.
7. While the Foreshore Authority is liable for the execution of works identified in the *Section 8.3 –Schedule of On-going Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.

7.5.8 Controls on Intervention

Background

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy

Intervention into building fabric for non-conservation purposes should generally be restricted to approved programs of re-use or upgrading of service areas and facilities.

Guidelines

1. Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
2. Limited intervention for exploratory or research purposes should generally be restricted to approved programs of re-use, or upgrading of service areas and facilities.
3. Intervention should not be detrimental to the original fabric.
4. Existing service areas may be upgraded. Any upgrading is subject to the proper approval process.
5. New internal floor coverings are permissible, but should have minimal impact on the floor structure.

7.5.9 Retention of Fixtures and Fittings

Background

It would appear that "restoration" works of the 1970s and "conservation" works of the 1990s resulted in the replacement of most of the earlier fixtures and fittings in the terraces. However items such timber skirtings and lintels over the enlarged openings should be retained as part of the buildings' development and for interpretive reasons.

Policy

Features and fixtures associated with the site's ongoing use should be retained and preserved.

Guidelines

1. The retention of these features and fixtures could be considered as part of the design work for future adaptive re-use programs.

7.5.10 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception the significance of the place.

Due to its history, significance and setting in The Rocks area, Nos. 13-15 Playfair Street, The Rocks, is capable of being interpreted for promotional and educational purposes.

Policy

The heritage significance fabric of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should be interpreted on site by appropriate methods such as signage and paving elements.

Guidelines

1. One of the primary components of the conservation management of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
2. The ongoing management the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
3. In making significance accessible, the Foreshore Authority should take into account of the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
4. Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks.
5. Interpretation at the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should take into account all periods of development and occupation in the context of the history of The Rocks area under the management of the Foreshore Authority, and be presented in an accurate and insightful manner.
6. Interpretation should take into account all the historic phases of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks.

7.6 New Work Policies

7.6.1 Integration of New Work

Background

Due to the significance of the Argyle Terrace, Nos. 13-15 Playfair Street, The Rocks, scope for new development is limited. Ideally, external alterations or additions should not occur, except minor additions for services, where these can be concealed from public view. Within the general principles outlined above in this Conservation Management Plan, some relatively minor internal alterations and additions could occur. These should generally be confined to less significant areas and should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components.

Policy

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, where possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

1. When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.

2. Any new development should be carried out within the existing building envelopes, or original footprint of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks (refer to 1970s plans in **Figures 2.7 & 2.15**).
3. Period detailing should only be used for elements for which there is clear evidence of the original detail (either remaining in the fabric or in documents).
4. Where there is no evidence of the original detail, it is not necessary/appropriate to invent a period detail (unless the original character of the space is to be recreated and the new element is required to blend in).
5. Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
6. Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.

7.6.2 Integration of Services

Background

The installation of services is an intrinsic component of the contemporary functioning and viability of buildings. It is recognised that periodic upgrading of services within the building components may be required.

Policy

The extension or alteration of existing services in the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, must be carefully considered and limited in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

1. Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces or potential archaeological resources.
2. Areas previously modified for services such as the ground and first floors of No. 17, should be re-used, in preference to modifying intact fabric.
3. The surface mounting of services is preferable to chasing services into significant fabric, in particular face brickwork, stonework and timber.
4. Brackets or fixings for services should not damage significant fabric.

7.6.3 Ordinance Compliance

The *Building Code of Australia* is the operative building ordinance in New South Wales for the conservation and re-use of heritage buildings.

In terms of on-going use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is

essential that the cultural values of the buildings and the overall complex be not degraded by inappropriate responses to meeting ordinance requirements.

Policy

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should focus of responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

1. Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
2. Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
3. Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
4. When dealing with disability access issues, refer to the document "Access to Heritage Buildings for People with Disabilities" prepared by E.J. Martin (Cox), August 1997.

7.6.4 Waste Minimisation and Disposal of Waste During and After Works

Background

Historic fabric removed during construction works should be assessed to separate material that can be re-used or that should be retained as sample for potential future reuse and repair. Waste created during construction works must be managed in accordance with legislative requirements.

Policy

The general approach to waste management is based on the avoidance, minimisation, reuse, recycling of waste and disposal hierarchy. In implementation of this CMP, principles of Environmentally Sustainable Development and relevant legislation will be applied, particularly provisions of the Protection of the Environment Administration Act 1991 and the related regulative.

Guidelines

1. In construction works to the site, all waste material and disposal activities will be in accordance with the provisions of the POEA Act 1991, POEO Act 1997, the WARR Act 2001 and the EPAs Waste Assessment Guidelines.
2. Where feasible, waste is to be recycled. If recycling is inappropriate, waste is to be removed to an authorised waste disposal depot.

3. Removal and disposal of all hazardous wastes on site in accordance with state and national regulations and guidelines and best practice for the removal of these materials.
4. During intervention into historic fabric, remove the fabric carefully and assess its suitability for reuse. Any removed historic fabric that is assessed as suitable for reuse should be stored at the site for the duration of works, and used for minor and major repair of historic fabric as necessary.

7.6.5 Signage and External Lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, as a whole. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Guidelines

1. Signs and external lighting must be consistent with the relevant Sydney Harbour Foreshore Authority policies for signage and lighting in The Rocks.
2. Suitably located signs that provide a legible and clear message and contribute to the vitality of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, are encouraged.
3. Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
4. Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
5. It is not necessary to attempt to create or recreate an "historic" character in the signage, but modern standardised "trademark" signage is not appropriate.
6. Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.
7. The illumination of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.

7.6.6 New Services and Other Relevant Foreshore Authority's Policies

Background

In addition to specific requirements for new work as presented in this Section, all new work has to comply with other relevant Foreshore Authority Planning Policies to assure grant of consent to the proposal.

Policy

Any proposed work to the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, will fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Guidelines

1. In addition to the Foreshore Authority Policies for Lighting and Signage, as presented in this Section, all new work will comply with the Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

8.0

Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks, and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of Nos. 13-15 Playfair Street, The Rocks, with their provisions are those for *Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security*.

It is considered that the current arrangements fully satisfy Standards for the above. To assure compliance with the Minimum Standards of Maintenance and Repair on the site of Nos. 13-15 Playfair Street, The Rocks, the following works need to be undertaken:

MINIMUM STANDARDS OF MAINTENANCE AND REPAIR Nos. 13-15 Playfair Street, The Rocks	
INSPECTION	
<ul style="list-style-type: none">The buildings should be regularly inspected annually to check for the potential presence of vermin. The expected issues relate to the timber floor and joinery including stairs.	
ESSENTIAL MAINTENANCE AND REPAIR AND WEATHER PROTECTION	
<ul style="list-style-type: none">The roof cladding and flashing to be inspected annually and repaired as required.Window functioning and doors to be inspected annually and repaired as required.Window frames and sashes to be painted in accordance with the Schedule and any ingress of water monitored.	
FIRE PROTECTION	
<ul style="list-style-type: none">Check and repair functioning of all entry door locks annually to ensure safe egress from the building in case of fire.	
SECURITY	
<ul style="list-style-type: none">Check and provide adequate and functioning locks to all entry door locks.Check and provide adequate and functioning locks to all windows.	

8.2 Schedule of Conservation Works

The following *Schedule of Conservation Works* describes work that should be implemented to preserve the significant fabric of the Argyle Terrace Nos. 13-15 Playfair Street, The Rocks. The works should be undertaken within the next year i.e. all works need to be completed before June 2007 to assure ongoing retention of the significant fabric.

SCHEDULE OF CONSERVATION WORKS			
Nos. 13-15 Playfair Street, The Rocks			
Element	Condition	Significance Level	Action/Treatment
External			
Entry Doors	Good	Moderate	Check and repair minor defects in timber work and locks.
Timber Windows	Fair to good	Moderate	Check functioning of all windows and repair and replace defective members and sash cords. Sand back timber sills, frames and sashes, seal around windows, prepare and paint in appropriate colour.
Internal			
No specific works noted			

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of (here insert the name of the heritage item). Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

ON-GOING MAINTENANCE SCHEDULE			
Nos. 13-15 Playfair Street, The Rocks			
Building or Site element	Every Year	Every 5 years	Every 10 years
GENERALLY			
OVERALL BUILDING	Monitor condition, general cleaning. Check security and general safety.		
EXTERNAL			
SITE ELEMENTS			
STONE KERBING	Monitor condition and general cleaning with (non abrasive water)	Inspect the condition and wear and tear and treat/ repair accordingly.	
LOOSE FILL AT BASE OF EASTERN FACADES	Monitor condition	Retain and ensure loose fill as required.	
EXTERNAL BRICK & ASPALT PAVING	Clean down	Check condition, replace bricks and repair as required	
SHEDS	Retain or replace as required.		
STREET & EXTERNAL FURNITURE	Monitor condition	Retain or replace as required.	
WALLS			
RENDERED BRICKWORK	Monitor condition	Clean down, repair and refinish to match and paint as required.	
PARAPET	Monitor condition and check capping	Clean down, treat, patch and repair as required.	
RENDERED DETAILS	Monitor condition.	Clean down, patch and repair as required.	
WINDOW SILLS	Monitor condition, repair as required.		
EXTERNAL ELEMENTS			
TIMBER WINDOWS & DOORS	Monitor condition and repair as required.	Clean down, sand back, patch and fill as required, prepare and paint.	Replace members as required.
ROOFING			
TIMBER ROOF FRAMING	Access roof space and check condition of timbers and ingress of any water. Repair and replace as required.		
CORRUGATED STEEL CLADDING & FLASHINGS	Monitor condition		Inspect, repair or replace as required.
CHIMNEYS & TERRACOTTA POTS	Monitor condition and repair as required.		Inspect, repair or replace pots as required.
STORMWATER DISPOSAL			
GUTTERS, RAINWATER HEADS & DOWNPIPES	Monitor condition and remove any debris or foliage from heads and pipes.		Inspect, repair or replace as required.

ON-GOING MAINTENANCE SCHEDULE			
Nos. 13-15 Playfair Street, The Rocks			
Building or Site element	Every Year	Every 5 years	Every 10 years
INTERNAL			
GENERALLY			
BAGGED WALLS & BREASTS	Monitor condition, patch and repair and repaint as required		Clean down, patch & repair render as required, sand back, prepare & paint.
PAINTED BRICK WALLS	Monitor condition		Clean down, prepare & paint
LIGHTWEIGHT WALLS & TIMBER PANELLING	Monitor condition and repair as required		Clean down, patch, repair & replace as required. Prepare & paint.
CEILINGS	Monitor condition		Clean down, sand back, prepare & paint
TIMBER FLOOR STRUCTURE	Monitor condition, patch and repair/replace as required. Seek specialist advice regarding rot and vermin.		
FLOOR BOARDS	Monitor condition, patch and repair/ replace as required. Seek specialist advice regarding rot and vermin.		
JOINERY	Monitor condition, patch and repair as required		Sand back, patch & fill & replace members as required, prepare and paint
TIMBER STAIR & BALUSTRADE No 13	Monitor condition, patch and repair as required.		Sand back, repair & replace members as required, prepare and paint.
SERVICE AREAS No. 17 ONLY	Monitor condition and check sanitary installations.		Upgrade as required
SERVICES			
MECHANICAL No. 17	Inspect, repair as required		Replace and upgrade as required.
ELECTRICAL	Inspect, repair as required		Replace and upgrade as required.
PLUMBING No. 17	Inspect, Repair as required		Replace and upgrade as required.

9.0

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10.0

Appendix

10.1 Sands Directory & Tenancy Cards⁹¹

1871	No street listed for location	Gloucester Street Vacant to No. 44
1872	Missing	
1873	New George Street Nelson, William - Shipsmith Bayshaw, William	Gloucester Street Vacant up to Argyle Stores
1874	Missing	
1875	New George Street	Gloucester Street Vacant Land Argyle Stores Argyle Bridge
1876	Little Gloucester Street Vacant Land 9 Humphreys, Edward - Shipwright 11 Hector, William - Printer 13 Kearney, John 15 Macbeath, Benjamin - Boat builder 17 Ray, Henry – Coppersmith Vacant Land Argyle Stores	
1877	Nothing under Little Gloucester, Playfair, Harrington, Little George or New George Street	Gloucester Street 2 Green, Edward 4 Hughes, Henry Vacant Land 12 Nicholson, John Brown, James Vacant Land and Bridge
1878	Missing	
1879	Little Gloucester Street 7 Georgeson, William 9 McClusky, Hugh 11 Baxter, James – Joiner 13 Parsonage, George – Bookbinder 15 McBeath, Benjamin - Boat builder 17 Brown, Peter 19 Woodley, Arthur – Blacksmith 21 Holland, George Vacant Land Argyle Stores	Gloucester Street 2 Green, Edward 4 Murphy, David 6 Kearney John Erin Terrace 8 Featherbridge, J. – Master Mariner 10 Duggan, James – Carpenter 12 Ireland, Robert 14 Nicholson, Henry – Master Mariner

⁹¹Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) and Foreshore Authority Archives.

1880	Little Gloucester Street	Gloucester Street
	Vacant land	2 Green, Edward
	7 Georgeson, William	4 Murphy, David
	9 McClusky, Hugh	6 Kearney, John
	11 Baxter, James – Joiner	Erin Terrace
	13 Parsonage, George – Bootmaker	8 Featherbridge, J. – Master Mariner
	15 McBeath, Benjamin	10 Duggan, James – Carpenter
	19 Woodley, Arthur – Blacksmith	12 Ireland, Robert
	21 Holland, George	14 Nicholson, Henry – Master Mariner
	Vacant land	Vacant land
Argyle stores		
1881	Little Gloucester Street	Gloucester Street
	Vacant land	2 Green, Edward
	7 George, William	4 Murphy, David
	9 McClusky, Hugh	6 Kearney, John
	11 Naylor, Charles – Engineer	8 Featherbridge, J. – Master Mariner
	13 Parsonage, George	10 Holland, George – Engine Driver
	15 McBeath, Benjamin – Boat builder	12 Ireland, Robert
	17 Brown, Peter Charles – Mariner	14 Nicholas, Henry – Mariner
	19 Woodley, Mrs Mary Ann	Vacant land
	21 Frances, Mrs Elizabeth - Laundress	
1882	Little Gloucester Street	Gloucester Street
	7 Georgeson, William	2 Wilkes, William – Watchmaker
	9 McClusky, Hugh – Draftsman	Doherty, Theophilus
	11 Thompson, John	Adair, Hugh
	13 Kookoosachi, Constantine	4 Tong, Hong
	15 McBeath, Benjamin – Boat builder	6 Kaller, Otto – Waterman
	17 Robins, Peter	8 Kearney, John
	19 Kelch, Luis	10 Coombes, Joseph – Rope maker
	21 Harnett, David – Carpenter	12 Nock, Mrs Ellen
	Vacant land	14 Ireland, Robert
	16 3No. Tenants	
	Vacant land	
	Bridge and stairs to Argyle Street	
1883	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Glass, D. – Master Mariner
	9 McClusky, Hugh	4 Elliot, Richard
	11 Thompson, John	6 Keller, Otto
	13 White, Edward	8 Kearney, John
	15 McBeath, Benjamin	10 Higgins, B.
	17 Robbins, Peter	12 Knock, Ellen
	19 Welch, Lewis	14 Ireland, Robert
	21 Finney, Jesse	
1884	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Vacant
	9 McClusky, H.	4 Vacant
	11 Thompson, George – Stevedore	6 Keller, Otto
	13 White, Edward	8 Kearney, John
	15 Simpson, William	10 Higgins, Bartholomew
	17 Burns, John	12 Knock, Mrs Ellen
	19 Tattersal, James	14 Ireland, Robert
	21 Richardson, John	16 2No. tenants
1885	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Coster, Mrs
	9 Curran, Manus	4 White, Edward
	11 Clarke, Thomas	6 Keller, Otto
	13 Hunter, Thomas	8 Kearney, John
	15 Cameron, Hugh	10 Higgins, Bartholomew
	17 Burns, John	12 Knock, Mrs Ellen
	19 Simpson, William	14 Ireland, Robert
	21 Riteraw, John	16 3No. tenants

1886	Nothing under Playfair, little Gloucester, Little George or Harrington Streets	Gloucester Street 2 Coster, William 4 White, Edward 6 Haines, Stephen 8 Kearney, John 10 Higgins, Bartholomew 12 Knock, Mrs Ellen 14 Ireland, Robert – Tailor 16 3No. tenants
1888	Playfair Street 3 Grant, William – Master Mariner 5 Allen, James 7 George, William 9 Brown, Thomas 11 Davidson, John – Shipwright 13 Hunter, Thomas – Master Mariner 15 Reid, Mrs 17 Brennan, John 19 McGrath, Charles 21 Morris, Thomas	Gloucester Street 2 Costler, William 4 White, Edward 6 Haines, Stephen 8 Kearney, John 10 Higgins, Bartholomew 12 Knock, Mrs Helen 14 Ireland, Robert
1889	Playfair Street 3 Riley, James 5 Canns, Samuel – Restaurant 7 George, William 9 George, Mrs Dunston, Mrs 11 Beashell, Richard 15 Foley, Martin 17 Brennan, John 19 Strong, Augustus 21 Morris, Thomas – Master Mariner	Gloucester Street 2 Hanlvan, Michael 4 Torkelson, Canute 6 Haines, Stephen – Engineer 8 Kearney, John 10 Higgins, Bartholomew 12 Knock, Mrs Ellen 14 Ireland, Robert
1890	Playfair Street 3 Holmes, George 5 Young, Isaac 7 George, William 9 Brown, Thomas 11 Coglán, John 13 Garren, Lewis 15 Foley, martin 17 Brennan, John 19 Strong, Augustus 21 Morris, Thomas – Master Mariner	Gloucester Street 2 Hanivan, M 4 Torkelson, Auguste 6 Haines, Stephen – Engineer 8 Kearney, John 10 Higgins, B. 12 Nock, Mrs Ellen 14 Ireland, Robert
1891	Playfair Street 3 Carey, Patrick 5 Young, Isaac 7 George, William 11 Coglán, John 13 Garren, Lewis 15 Foley, Martin 17 Brennan, John 19 Strong, Augustus 21 Morris, Thomas – Master Mariner	Gloucester Street 2 Hanivan, Michael 4 Barrow, Henry 6 Haines, Stephen – Engineer 8 Kearney, John 10 Higgins, B. 12 Nock, Mrs Ellen 14 Ireland, Robert

1892	Playfair Street 3 Wells, William 5 Humphreys, Albert 7 Simpson, William 9 O'Shanna-sey, Mrs 11 Coglán, Joseph 13 Garren, Lewis 15 Foley, Martin 17 Brennan, John 19 Strong, Augustus 21 Young, Isaac	Gloucester Street 2 Hannivan, Michael 4 Barrow, Henry 6 Haines, Stephen 8 Kearney, John 10 Higgins, B. 12 Nock, Mrs Ellen 14 Ireland, Robert
1893	Playfair Street 3 Stausbury, Joseph 5 Martis, Albert 7 Simpson, William 9 Holmes, George 11 Coghlan, Joseph 13 Garren, Lewis 15 Foley, Martin 17 Brennan, John 19 King, Mrs Elizabeth 21 Youngs, Isaac Argyle Street	Gloucester Street 2 Hannivan, M. – Carpenter 8 Kearney, John 10 Higgins, B. 12 Nock, Mrs Ellen 14 Ireland, Robert
1894	Playfair Street 5 Simpson, Henry 7 Holmes, George 19 King, Mrs E. 21 Young, Isaac Argyle Street 11 Coghlan, Joseph 13 Garren, Lewis 15 Foley, Martin 17 Brennan, John	Gloucester Street 2 Hannivan, Michael – Carpenter 4 Elliot, James 8 Kearney Kearney, Mrs Annie 10 Higgins, B – Senior Sargeant of Police 12 Nock, Mrs Ellen 14 Ireland, Robert
1895	Playfair Street 3 Brennan, John 5 Simpson, Benjamin 7 Graham, Francis 9 Roberge, William 11 Coghlan, Thomas 13 Garren, Louis 15 Foley, Martin 17 McClafferty, Dennis 21 Young, Isaac	Gloucester Street 2 Hanafin, M. 4 Elliot, James 6 Anderson, Mrs Amy 8 Kearney, John 10 Carson, Robert 12 Brodrick, John 14 Ireland, Robert
1896	Playfair Street 3 Brennan, John 5 Simpson, Benjamin 7 Graham, Francis 9 Roberge, William Argyle Street 11 Coghlan, Joseph 15 Garren, Lewis 21 Young, Isaac	Gloucester Street 2 Hanafin, M 4 Elliot, James 6 Anderson, Mrs Amy 8 Kearney, Mrs Annie 10 Carson, Robert 12 Ifield, Stephen 14 Ireland, Robert

1897 Playfair Street

3 Brennan, John
5 Simpson, Benjamin
7 Graham, Francis
9 Roberge, William
11 Coghlan, Joseph
13 Garren, Lewis
15 Wilson, Thomas
19 Holmes, George
21 Gordon, Charles

1898 Playfair Street

5 Simpson, Benjamin
7 Graham, Francis
McCombie, Mrs
9 Anderson, Albert
11 Coghlan, Joseph
13 Garel, Lewis
15 Wilson, Thomas
17 Patten, Thomas
19 Read, Walter
21 Gordon, Charles

1899 Playfair Street

5 Bjornsen, Edwin
5 Holmes, George
7 Graham, Francis
McCombie, Mrs
9 Lochart, William
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Sims, William

1900 Playfair Street

5 Bjornsen, Edwin
5 Elliot, James – Engineer
7 Graham, Francis
McCombie, Mrs
9 Avery, William E.
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 McBride, James
21 Brown, Thomas

1901 Playfair Street

3 Bjornsen, Edwin
5 Elliot, James T. – Engineer
7 Grace, Henry
9 Godfrey, Alfred
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Anderson, Albert
21 Brown, Thomas

Gloucester Street

2 Hanafin, Michael
4 Elliot, James
6 Anderson, Mrs Amy
8 Kearney, Mrs Annie
10 Carson, Robert
12 Edwards, J.
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael
4 Elliot, James
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael – Carpenter
4 Elliot, James
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael – Carpenter
4 Hewitt, Charles
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
Paddon, Thomas
14 Ireland, Robert - Tailor

Gloucester Street

2 Hanafin, M.
4 Johnstone, Leslie
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Smythe, William
12 Paddon, Thomas
14 Ireland, Robert
16 Sullivan, James

1902 Playfair Street

3 Bjornsen, Edwin
5 Chant, David
7 Grace, Henry
9 Morton, Sydney
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Anderson, Albert
21 Noble, Edwin

1903 Playfair Street

3 George, William
5 Champ, David
7 Gaudron, C.
7 ½ Avery, William
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin

1904 Playfair Street

3 Alner, Henry
5 Champ, David
7 Baikle, William
11 Llamand, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
17 Simpson, Benjamin
19 Noble, Edward
21 George, William

1905 Playfair Street

5 Champ, David
11 Llamand, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
17 Simpson, Benjamin
19 Noble, Edward
21 George, William

1906 Playfair Street

5 Champ, David
7 Sedgwick, Mrs Ellen
9 Avery, William
11 Llamond, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
21 George, William

1907 Playfair Street

3 Paice, Henry
5 Champ, Mrs Mary J.
9 Garel, Louis
11 Thomson, Charles
21 George, William

Gloucester Street

2 Hanafin, Michael
4 Johnstone, Leslie
6 Murphy, Mrs Elizabeth
8 Kearney, Mrs Anna M.
10 Smythe, William
12 McEwan, Samuel
Paddon, Thomas
14 Ireland, Robert
16 Sullivan, James

Gloucester Street

2 Hanafin, Michael
4 Johnstone, Leslie
6 Murphy, Patrick
8 Hewitt, Charles
10 Smythe, William
12 McEwan, Samuel
14 Paddon, Thomas
14 Ireland, Mrs Margaret
16 Sullivan, James

Gloucester Street

2 Hanafin, Michael
4 Janafin, Joseph
6 Hartup, C. M.
8 Sedgwick, Mrs Nellie
Campbell, Mrs Kate
12 Dubron, James
14 Ireland, Mrs Margaret
16 Sullivan, James

Gloucester Street

2 Hanafin, Michael
4 Hanafin, Joseph
6 Parrett, Alexander J.
12 Ireland, Mrs M.
14 Buckley, George
16 Sullivan, James

Gloucester Street

2 Hanafin, Michael
4 Mackellar, Duncan
6 Fawcett, Mrs M. J.
Hoben, William J.
8 Lang, Charles
10 Roach, Thomas
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 Kindland, Charles J.
4 Mackellor, Duncan
6 McDougall, Alexander
8 Long, Charles
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

1908 Playfair Street

3 Paice, Henry
9 Olston, Augustus
11 Simpson, Benjamin
13 Garel, Louis Senoir
21 George, William

1909 Playfair Street

3 Paice, Mrs Mary Jane
5 Moran, Thomas Henry
7 Silver, Joseph
9 Parrot, David
11 Kane, Thomas
13 Garel, Louise Senior
15 Nolan, Mrs Catherine
19 Alexander, Mrs M.
21 George, William

1910 Playfair Street

3 Paice, Mrs Mary Jane
5 Garel, Louis Junior
9 Perrot, David
11 Kane, Thomas
13 Garel, Louis Senior
15 Nolan, Mrs Catherine
17 Hasler, David
19 Alexander, Mrs M.
21 George, William

1911 Playfair Street

1912 Playfair Street

3 Paice, Mrs Mary Jane
5 Hasler, David
7 Champ, Mrs Mary
9 Silver, Joseph
13 Garel, Mrs Louis
15 McSherry, Phillip G.
17 Morrissey, William
19 Alexander, Joseph
21 George, William

1913 Playfair Street

3 Paice, Mrs Mary Jane
5 Naulls, W. J.
7 Ryan, John H.
9 Silver, Joseph
11 Kane, Thomas
13 Garel, Louis
15 McSherry, Phillip G.
17 Scott, John
19 Griffiths, James
21 George, William

Gloucester Street

2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Aubin, George L.
8 Roche, Lombard T.
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Aubin, George L.
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs. M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Barker, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Gregory, W. J.
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Barker, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Butler, James
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Butler, James
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

1914 Playfair Street

Gloucester Street

- 2 Edwell, Charles
- 4 Butler, James
- 6 Bradshaw, George
- 8 Roche, Lombard
- 10 Hansen, Silva
- 12 Winter, Thomas H.
- 14 Birkley, Walter
- 16 Sullivan, James

1915 Playfair Street

Gloucester Street

- 3 Kane, Thomas M.
- 5 Naulls, Walter J.
- 7 Ryan, Mrs Mary
- 9 Silver, Joseph
- 11 Kane, Thomas
- 13 Garel, Mrs Catherine
- 17 Scott, John
- 19 Brown, Charles
- 21 George, William

- 2 Mendham, Thomas
- 4 Wyatt, Henry
- 6 Bradshaw, George
- 8 Roche, Lombard
- 10 Hansen, Silva
- 12 Winter, Thomas H.
- 14 Pampton, Mrs E.
- 16 Sullivan, James

1920 Playfair Street

Gloucester Street

- 3 Kane, T. M. Junior
- 5 Naulls, Mrs Emily
- 7 Ryan, Mrs Mary
- 9 Silver, Joseph
- 11 Seige, Mrs Elizabeth
- 13 Garel, Michael
- 15 Hartley, E. D.
- 19 Jurgens, Joseph
- 21 George, William Robert

1925 Playfair Street

Gloucester Street

- 13 Kane, Thomas
- 15 Maulls, Mrs Emily
- 17 Ryan, Mary Jane
- 19 Marshall, George
- 21 Seage, Mrs Elizabeth
- 23 Silva, Joseph
- 25 Hartley, Mrs Lillian
- 27 Scott, John Henry
Harrington Street
- 31 George, William R.

- 2 McDowell, James
- 4 Dickinson, Mrs. H.
- 6 Bradshaw, George
- 8 Hutton, Albert E.
- 10 McDonald, Roderick
- 12 O'Brien, Patrick
- 14 Reynolds, Charles
- 16 Innis, John

1930 Harrington Street

Gloucester Street

- 13 Kane, Thomas
- 15 Naulls, Mrs Emily
- 17 Ryan, Mary J.
- 19 Marshall, George
- 21 Seage, Mrs Elizabeth
- 23 Silva, Joseph
- 25 Hartley, Mrs Lillian
- 27 Scott, John H.
- 29 Scott, George
- 31 George, William

- 2 Soderstrom, O.
- 4 Dickinson, Mrs H.
- 6 Light, Charles J.
- 8 Moran, Mrs Kathleen
- 10 Kidd, David
- 12 McBride, John
- 14 McCarthy, Sydney
- 16 Innis, John

1933	Harrington Street	Gloucester Street
	13 Kane, Thomas	2 Soderstrom, O.
	15 Naulls, Mrs Emily	4 Dickinson, Mrs Hannah
	17 Evan, Mary J	6 Knight, Charles J.
	19 Kidd, James	10 Kidd, David
	21 Seage, Mrs Elizabeth	14 McCarthy, Sydney
	23 Silva, Joseph	
	25 Bonnette, George	
	27 Scott, John H.	
	29 Moran, Mrs Catherine	
	31 George, William	
1934	Harrington Street	
	13 Kane, Thomas	
	15 Avery, James	
	17 Ryan, Mrs Mary J	
	19 Kidd, D	
	21 Gray, Earnest	
	23 Bonnette, George	
	25 Hartley, Mrs Lillian	
	27 Moran, WJ	
	29 Moran, WJ	
	31 George, M	
1935	Harrington Street	
	13 Kane, Thomas	
	15 Pierson, James	
	17 Ryan, Mrs Mary J	
	19 Kidd, D	
	21 Gray, Earnest	
	23 Bonnette, George	
	25 Hartley, Mrs Lillian	
	27 Moran, WJ	
	29 Moran, WJ	
	31 George, M	
1936	Harrington Street	
	13 Kane, Thomas	
	15 Scotland, John	
	17 Ryan, Mrs Mary J	
	19 Kidd, D	
	21 Gray, Earnest	
	23 Bonnette, George	
	25 Hartley, Mrs Lillian	
	27 Moran, WJ	
	29 Moran, WJ	
	31 George, M	
1937	Harrington Street	
	13 Kane, Thomas	
	15 Scotland, John	
	17 Ryan, Mrs Mary J	
	19 Kidd, D	
	21 Lowe, Emily Margaret	
	23 Priz Vincent	
	25 Hartley, Mrs Lillian	
	27 Moran, WJ	
	29 Lopez, John/ Warwick, Humphrey/ Richards, Frank	
	31 Gibson, Constance Pearl	

- 1938 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Craig, Caroline
23 Priz Vincent
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Richards, Frank
31 Gibson, Constance Pearl
- 1939 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Remfrey, Joseph Earnest
23 Priz Vincent
25 Manning, FW
27 Moran, WJ
29 Richards, Frank
31 Gibson, Constance Pearl
- 1940 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Manning, FW
27 Moran, WJ
29 Richards, Frank
31 Sing, William Augustus
- 1941 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Frank
31 Turner, John Joseph/ Dixon Gladys
- 1942 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Frank
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)

- 1943 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1944 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1945 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1946 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)

- 1947 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1948 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1949 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1950 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1951 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1952 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1953 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Seale D
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1954 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1955 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1956 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1957 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1958 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1959 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1960 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1961 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1962 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, Catherine Eileen
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

1963	Harrington Street	
	13 Kane, Thomas	13
	15 Crow, Joseph Leslie Carl	15
	17 Avery, William J	17
	19 Kidd, Albert Graham	19
	21 Cocksedge, Reginald George Henry	21
	23 Connelly, JP	23
	25 Macklin Nellie	25
	27 Moran, Catherine Eileen	27
	29 Richards, Grace Elizabeth (died 1963)	29
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	31
1964	Harrington Street	
	13 Kane, Thomas	
	15 Schlede, Rolf Carl	
	17 Avery, William J	
	19 Kidd, Albert Graham	
	21 Cocksedge, Reginald George Henry	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	
1965	Harrington Street	
	13 Kane, Thomas	
	15 Schlede, Rolf Carl	
	17 Avery, William J	
	19 Kidd, Albert Graham	
	21 Cocksedge, Reginald George Henry	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	
1966	Harrington Street	
	13 Kane, Thomas	
	15 Vacant ?	
	17 Vacant ?	
	19 Kidd, Albert Graham	
	21	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	

Tenancy Cards for Nos. 13-15 Playfair Street (formerly Harrington Street).

No. 13 Harrington Street

1929	March	TM Kane: - Agreement for installation of Gas Stove.
1930	July October	City Council: Notice to paint and renovate as directed. A/c: Cost of painting and repairing No. 13/31 £234/1/2.
1931	February	T Kane: - explanation re failure to pay rental.
1935	April August Nov/ Dec	(DR) Rental arrears file of TM Kane. RP Dept Tenancy File of the TM Kane. City Council: Notice to repair and renovate as required.
1937	January	DR: - Rental Arrears of TM Kane.
1938	February	A/c: reglazing square of glass cost 7/1
1939	June	DR: - Indebtedness of TM Kane.
1947	February September	Town Clerk: Notice to conserve (?) paved portion of yard and to be paved affectively to carry off all rain and waste water. TM Kane: - reporting fanlight in front door broken.
1950	September	PO: Reglaze one square of glass in front room window 15/-
1952	March May August	Records: - Insurance file Engineer in Chief to review valuation of premises. PO: Renovate interior of premises £43-10-0 PO: Install Power point in front room £4-5-0
1954	November	SCC: Certain electrical installations require attention.
1955	May	PO: Rent increase from £1.5.6 pw to £1.8.6 pw for J Kane from 7/3/55
1957	January	? Asking is it possible for Bd to install a chip heater for bath at premises.
1958	April June June/July September	T Kane – requesting permission to install bath heater Eng: Cost to install bath heater £61.0.0 recoverable PO:- tenant T Kane requests installation of electric light in bathroom and toilet. PO: tenant T Kane requests additional power point in laundry
1959	December	Eng: - Advsg cost to paint out Dining and front room on ground floor is £43/-/-
1962	April May	Mrs A Spankes - req her name be again placed on ballot. PO: Tenant T Kane requests additional power point in front room. Est cost £1.5.0.

No 13

Name of Tenant	Nature of Tenancy	Period	Rental	Rates	Water	In'ce
KANE - Thomas	Attornment dated 27/3/53 in respect to premises No. 13 Harrington Street for use as a private residence as from 30/6/52 at £1.3.0 pw			27	11	006
"	WT	30/6/52	£1.3.0 pw	Bd	Bd	Bd
"	WT	23/9/57	£1.16.0 pw	"	"	"
	Vacated 15 Sep 70					

Note Tenant relocated to 50A Gloucester Street see file D200.

No. 15 Harrington Street

1928	July	Eng: Seepage of water is caused by defective water table gully in Gloucester Street. Repairs necessary.
	September	City Council: Replying to above. Gullies tested and found OK, suggesting defective water mains or ordinary seepage the cause.
1932	October	JC Petersen: Appln for transfer from No. 35 Harrington Street.
	October	S Coal Jumpers Union: Asking that Petersen be allowed to transfer.
	December	PO: Sarah Elizabeth martin signing attornment @ 18/- week.
1933	December	James Avery : - Applying for tenancy at 18/- pw or if electric light installed 19/- pw.
1934	January	Asking repairs to fuel stove and windows.
	March	Front door is off hinges, asking urgent repairs.
	May	Rental arrears of J Avery, £3.16.0 due 20/2/34.
	August	J Avery: Has vacated and will liquidate indebtedness by instalments.
	August	Eng: Reptg inspection on vacating premises satisfactory.
	September	J Avery: - Promising weekly instalment in reduction of vacated arrears.
1935	Jan/ Feb	PO: James Pierson signing attorn. 19/- pw from 4/2/35.
	March	Eng: tenants request for erection of partition is not recommended.
	June	PO: Rental arrears file of J Pierson. £3.14.0 due to 2/6/35
	July	Eng: Reptg inspection on tenant vacating, reglazing 5/-.
	July	J Pierson: A/c for arrears to be forwarded
	September	A/c Fordg cost 4/7 of reglazing on vacating by Pierson recoverable
1936	May/June	PO: John Scotland signing attorn. 19/- pw from 1/6/36.
1937	March	(DR) Rental arrears file of J Avery (late tenant)
	September	Eng: - Recov cost reglazing 7/- J Scotland
1939	September	Town Clerk: notice to renovate premises.

1947	Feb	Town Clerk: Notice to cause WC cistern to be protected by smooth iron corner to prevent access of rats.
1948	February February March Feb/ June May/ July	Indebtedness of J Scotland – Rental arrears. PO:- CW Sylward signing attornment at 19/- pw as from 8/3/48. Eng: Electrical installation in good order as far as late tenant is concerned. Eng: Various works and repairs to premises. Job. Z 6519 Est Cost £66.10.- Eng: Connect gas stove £2. Job Z8634. Recoverable from tenant.
1950	July/Aug	PO: Reglaze one square of glass window sash of front room 15/6 recov
1951	July/Aug March	PO: RG Sylward signing attorn as from 3/9/51 at 19/- pw PO: Instal tenants bath heater £6 recov.
1952	March August December	Records: Insurance file, Engineer-in-Chief to review valuation of premises. RE Sylward: Advising that she is residing in this house whilst her son is away. PO: JS Hainey signing attorn as from 1/12/52 at £1/3/0 Eng: reglaze one square of glass and plug off disused gas service etc £5.10.0 (recov) PO: JSC Crow signing attorn as from 12/12/52 at £1/3/0
1953	February	JL Crow: Appln to transfer tenancy to either 32 or 36a High Street
1954	November	(Mrs) R Crow: Askg when her son can transfer from No. 15 Playfair Street.
1955	February April May September	PO: Instal additional power outlet est £9/10/0 J Crow: House has not been renovated for 20 years, woodwork on windows and doors has shrunk away from the walls and new back and front doors are required. PO: rent increase from £1.5.0 pw to £1.8.0 pw for J Crow from 7/3/55 J Crow: Appln for transfer to another house.
1956	June	J Crow: The wall between Nos, 15 and 17 Harrington Street is in a very bad condition and asking that something e done as soon as possible to rectify it.
1957	September October October	PO: Advising of trouble & derogatory statements. Insinuations of PO open to bribery. Advises institution of proceedings to evict tenant J Crow. JCrow: renewing application for transfer to another house. Asking for Mr Kirckaldie statements to be overlooked. Complaining of shocking condition of house. Enclosed photos. J Crow: Setting out details of the situation causing notice to quit being served. Details of Mr Kirckaldie's interviews. Apology to Mr Kirchaldie.

	November	PO: JLC Crow signing attornment as from 28/11/57 at £1/15/- pw
	November	Treasury: Per Mrs Sloss MLA a letter from Mr Crow and petition from residents complaining about rental increases while homes are in a poor state. Request report for Premier.
1958	February	J Crow: Asking Bd to inspect wall and back of premises. Condition dangerous.
1959	September	Engs: Advising tenant J Crow requests painting of kitchen est cost £16.
1962	May	PO: Advg tenant J Crow requests additional power point. Est cost £8.10.0
1963	September	F/R: tenancy CLC Crow
	October	D Carroll Advg he has been offered tenancy to this premises but applying for consideration to be allowed to remain on ballot list due to the condition of the premises
	December	PO: RC Schlede signing attornment from 13/12/63 at £2/5/- pw
1965	July	Eng: report No. 15 is in danger due to a wall in No.17 which is ready to fall it is not felt that No. 15 tenants be found new premises.
	September	R Schlede: - fwdg complaint concerning the above matter.
	August/ Sept	City Council: - Asking Bd to confirm that No. 16 was vacated 6 th October 1963 and re-let on 16 Dec 1963
	September	Chief Surveyor: 54A Gloucester St: - Renovation necessary to transfer Mr R Schlede from 15 Playfair St.
1968		Uninhabitable and vacant.

No 15

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
CROW Joseph Leslie Carl	Vacated premises on 6 th October 1963			27	03	014
SCLEDE – Rolfe Carl	Attornment dated 13/12/63 in respect of premises No. 15 Playfair St for use as a Private Residence as from 15/12/63 at £2.5.0 pw					
“ “	WT	16/12/63	£2.5.0 pw	Bd	Bd	Bd
	Vacated 15 Sep 70					

Premises vacated 31/10/65. transferred to 54A Gloucester Street.

10.2 Standard Exemptions under the NSW Heritage Act

The following is a Schedule of Standard Exemptions, produced by the NSW Heritage Office, that apply to the buildings.

10.2.1 General Conditions

1. These general conditions apply to all of the following Exemptions.
2. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the NSW Heritage Office including *"The Maintenance of Heritage Assets: A Practical Guide" 1998*, *"Moveable Heritage Principles" 2000* and *"The Heritage Council Policy on Managing Change to Heritage Items"*.
3. The following standard Exemptions do not apply to anything affecting relics, places, items or sites if heritage significance to Aboriginal peoples or which affects traditional access by Aboriginal people.
4. The Executive Director, Director and Managers employed by the Heritage Office, Department of Planning; the Executive Director, Tenant and Asset Management Service, employed by the Sydney Harbour Foreshore; the Executive Director Cultural Heritage employed by the Department of Environment and Conservation; and the Director of Planning employed by the Sydney City Council may perform any of the function of the Director-General of the Department of Planning (Director-General) under these exemptions.

The authorisation to the Executive Director, Tenant and Asset Management Services of the Sydney Harbour Foreshore Authority is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Executive Director, Tenant and Asset Management Services.

The authorisation to the Executive Director Cultural Heritage of the Department of Environment and Conservation is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemption is satisfied, must not be carried out by the Executive Director Cultural Heritage.

The authorisation to the Director of Planning, Sydney City Council is restricted to land for which the Council is the delegated approval body under section 169 of the heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Director of Planning, Sydney City Council.

5. In these Exemptions, words shall be given the same meaning as in the *Heritage Act 1977* ("the Act") unless the contrary intention appears from the context of the exemption.
6. Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

Guidelines

In addition to the above guidelines listed in paragraph two, the Heritage Council adopted further guidelines on 7 April 2004 for use in interpreting and applying standard exemptions.

If it is unclear whether proposed development satisfies the requirements of these exemptions, an application will be required under Section 60 of the Heritage Act.

10.2.2 Standard Exemption 1: Maintenance and Cleaning

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- (a) the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
- (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

Guidelines

Maintenance is distinguished from repairs, restoration and reconstruction as it does not involve the removal of or damage to existing fabric or the introduction of new materials. It is a continuing process of protective care. Typical maintenance activity includes:

- *the removal of vegetation and litter from gutters and drainage systems;*
- *resecuring and tightening fixings of loose elements of building fabric;*
- *lubricating equipment and services which have moving parts;*
- *the application of protective coatings such as limewash, polish, oils and waxes to surfaces which have previously had such coatings applied; and*
- *cleaning by the removal of surface deposits using methods other than aggressive mechanical or chemical techniques such as high pressure, high temperature or strong solvents which may affect the substrate.*

This standard exemption applied to the maintenance of all types of heritage items including buildings, works, landscapes; cemeteries and movable heritage. Reference should be made to other relevant standard exemptions (#12, 14 and 17) for particular types of items.

10.2.3 Standard Exemption 2: Repairs

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

- (a) the replacement of services such as cabling, plumbing, wiring and fire services that used existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
- (b) the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

Guidelines

This standard exemption is not intended to allow the cumulative replacement of large amounts or a high proportion of the fabric of the item. If replacement of large amounts of fabric is necessary, an application will be required to be submitted under s 60 of the Heritage Act. If there is uncertainty about whether the proposed extent of repair is exempt from approval, advice should be sought from the NSW Heritage Office.

Repairs should have detailed specifications and carried out by licensed tradespeople with experience in the conservation of heritage buildings. It is essential that the composition of elements of the fabric such as renders, mortars, timber species and metal types remain the same to assist with matching appearance and avoiding chemical incompatibility.

Repair may involve reconstruction which means returning an item to a known earlier state. This may involve the use of new or recycled materials.

Reconstruction must satisfy a four-part test to qualify for exemption from approval:

- 1. The nature of the earlier state being reconstructed must be known. Where there is conjecture about the earlier state of the fabric or where it is proposed to change the appearance, material or method of fixing of the fabric an application under s 60 of the Heritage Act will be required.*
- 2. The replacement of fabric must be matching in appearance and method of fixing. The use of salvaged or recycled fabric can be a valuable resource in matching appearance in preference to the use of new fabric which may appear obtrusive. However the damage to other heritage buildings by the salvaging of fabric for*

reuse is unacceptable. Salvaged materials must be judiciously sourced so as not to encourage secondary damage to other heritage resources. The use of artificial ageing techniques to assist the matching of new with original fabric is only advocated where there is an obtrusive mismatch of materials which negatively impacts on the heritage significance of the item. Ideally, new and original fabric should be subtly discernable on close examination to assist interpretation of the history of change to the building.

3. *The fabric being replaced must be beyond further maintenance. The replacement of fabric may only occur where fabric is missing or it is so damaged or deteriorated that is beyond further maintenance. In many cases the judgement about the level of deterioration and the effectiveness of further maintenance will require the advice of a person who is suitably experienced in similar heritage conservation projects. If it is unclear that the fabric is beyond further maintenance, its replacement will require the submission of an application under s 60 of the Heritage Act.*
4. *Significant fabric must not be damaged or removed. In all cases of repair, the damage or removal of significant fabric is not permitted without approval. Significant fabric is that which contributes to the heritage significance of the item. The identification of the level of significance of fabric will usually require the advice of a person who is suitably experienced in similar heritage conservation projects. The damage or removal of significant fabric will require the submission on an application under s 60 of the Heritage Act.*

New material used in repairs should where possible be date stamped in a location which is not conspicuous but is legible on close examination. Archival recording of removed and replacement fabric is advocated and should be used interpretive displays where practicable.

10.2.4 Standard Exemption 3: Painting

1. Painting does not require approval under s. 57(1) of the Act if the painting:
 - (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
 - (b) involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting;
 - (c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.
2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:
 - (a) the Director-General is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
 - (b) the person proposing to undertake the painting has received a notice advising that the Director-General is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director-General and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director-General shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

Guidelines

Painting of surfaces which have not been previously been painted such as face brickwork, stone, concrete or galvanised iron is likely to adversely affect the heritage significance of the item and is not exempt from approval under this standard exemption. Likewise, the stripping of paint coatings which intended to be protective may expose the substrate to damage and cause the loss of historical record and significance of the building. In cases where surface preparation has revealed significant historic paint layers, repainting should facilitate the interpretation of the evolution of the building by displaying appropriately located sample patches of historic paint schemes. This information should also be examined if it is proposed to recreate earlier finishes or paint schemes.

Paint removal of failed layers to achieve a stable base for repainting is exempt from approval but intervention should be minimised to avoid the loss of the significant historical record. Where old paint layers are sound they should be left undisturbed. The removal of paint with a high content of lead or other hazardous materials requires considerable care and use of experienced tradespeople as its disturbance can create health hazards. If the removal of such paint layers will adversely affect the heritage significance of the item, an application will be required under section 60 of the Heritage Act.

Reference should be made to The Maintenance Series, NSW Heritage Office, particularly Information Sheets 6.2 Removing Paint from Old Buildings, 7.2 Paint Finishes and 7.3 Basic Limewash (available on line at www.heritage.nsw.gov.au).

10.2.5 Standard Exemption 4: Excavation

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director-General is satisfied:

- (a) where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that there is little likelihood of there being any relics in the land or that any relics in the land are unlikely to have State or local heritage significance; or
- (b) where the excavation or disturbance of land will have a minor impact on the archaeological resource; or
- (c) where the excavation or disturbance of land involves only the removal of fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director-General and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director-General

is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director-General shall notify the applicant.

NOTE 1: Any excavation with the potential to affect Aboriginal objects should be referred to the Director-General of the Department of Environment and Conservation.

NOTE 2: If any Aboriginal objects are discovered on the site, excavation or disturbance is to cease and the Department of Environment and Conservation is to be informed in accordance with s 91 of the National Parks and Wildlife Act, 1974.

NOTE 3: This exemption does not allow the removal of State significant relics.

NOTE 4: Where substantial intact archaeological relics of State or local significance, not identified in the archaeological assessment or statement required by this exemption, are unexpectedly discovered during excavation, work must cease in the affected area and the Heritage Office must be notified in writing in accordance with s 146 of the Act. Depending on the nature of the discovery, additional assessment and possibly an excavation permit may be required prior to the recommencement of excavation in the affected area.

Guidelines

Excavation or disturbance to which clause 1(c) applies only involves the removal of unstratified fill material of minor heritage significance. Such fill will have been deposited in a single episode.

10.2.6 Standard Exemption 5: Restoration

1. Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under s. 57(1) of the Act.

2. The following restoration does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director-General is satisfied:

- (a) the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.

3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director-General and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director-General shall notify the applicant.

Guidelines

Restoration in accordance with clause 1 of this standard exemption does not involve the removal of fabric and only relates to the return of fabric which has been removed to storage or has been dislodged from its original location.

10.2.7 Standard Exemption 6: Development Endorsed By The Heritage Council Or Director-General

1. Minor development specifically identified as exempt development which does not materially impact on heritage significance, by a conservation policy or strategy within a conservation management plan which has been endorsed by the Heritage Council of NSW or by a conservation management strategy endorsed by the Director-General does not require approval under s. 57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed development. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1, the Director-General shall notify the applicant.

Guidelines

This standard exemption does not exempt development that is consistent with a conservation policy or strategy contained in an endorsed conservation management plan or interim conservation management strategy other than development that is specifically identified as exempt development in that conservation plan or strategy.

10.2.8 Standard Exemption 7: Minor Activities With No Adverse Impact On Heritage Significance

1. Anything which in the opinion of the Director-General is of a minor nature and will not adversely affect the heritage significance of the item does not require approval under s.57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed activity. If the Director-General is satisfied that the proposed activity meets the criteria set out in paragraph 1, the Director-General shall notify the applicant.

Guidelines

This standard exemption has the potential to relate to a wide range of minor development. In determining whether a proposed development is minor the Director may have regard to the context of the particular heritage item such as its size and setting. For instance a development may be considered to be minor in the context of Prospect Reservoir's 1200ha curtilage whereas a similar proposal affecting an item on a smaller site may not be considered to be minor.

In order to assess whether a proposal has an adverse affect on heritage significance it is necessary to submit a clear and concise statement of the item's heritage significance and an assessment of whether a proposal impacts on that significance.

10.2.9 Standard Exemption 8: Non-Significant Fabric

1. The following development does not require approval under s.57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:

- (a) the alteration of the building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed development. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a), the Director-General shall notify the applicant.

Guidelines

In order to assess the level of significance of fabric it is necessary to submit a clear and concise statement of the item's heritage significance and to grade the fabric of the place in accordance with its association with or impact on that significance. It may not always be concluded that more recent fabric is of less or no heritage significance.

10.2.10 Standard Exemption 9: Change Of Use

1. The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director-General is satisfied:

- (a) the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; or
- (b) the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant association with the item by current users;

2. A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director-General and describe the changes proposed. If the Director-General is satisfied that the proposed development meets the criteria set out on paragraph 1(a) or (b), the Director-General shall notify the applicant.

Guidelines

For the purposes of this standard exemption any change of use which is inconsistent with specific conditions of any previous approval or consent such as hours of operation or nature of conduct of an activity requires approval under section 57 (1) or the modification of an approval under section 65A of the Heritage Act.

10.2.11 Standard Exemption 11: Temporary Structures

1 The erection of temporary structures does not require approval under s. 57(1) of the Act, providing that the Director-General is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director-General is satisfied:

- (a) the structure will be erected and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 months;
- (b) the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological feature of its curtilage or obstruct significant views of and from heritage items.

2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director-General and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director-General is satisfied that the proposed development meets the criteria set out paragraphs 1(a) and 1(b) the Director-General shall notify the applicant.

Guidelines

The cumulative impact of the multiple use of this standard exemption will be considered by the Director in the assessment of simultaneous construction of a number of temporary structures or a succession of temporary structures which may have a prolonged adverse impact on the heritage significance of the item.

10.2.12 Standard Exemption 12: Landscape Maintenance

1. Landscape maintenance which is of the type described below does not require approval under s 57 (1) of the Act:

- (a) weeding, watering, mowing, top-dressing, pest control and fertilising necessary for the continued health of plants, without damage or major alterations to layout, contours, plant species or other significance landscape features;
- (b) pruning to control size, improve shape, flowering or fruiting and the removal of diseased, dead or dangerous material, not exceeding 20% of the crown of a tree within the period of 2 years; or
- (c) tree surgery by a qualified horticulturist or tree surgeon necessary for the health of those plants.

NOTE 1: In relation to cemeteries, landscape features include monuments, grave markers, grave surrounds, fencing, path edging and the like.

Guidelines

Landscape features and garden are fundamental to the setting of heritage items and are important to the appreciation of the heritage significance. Landscape setting is by its nature evolving and often requires more regular maintenance than other elements of heritage fabric. Horticultural advice may be required to ensure a regime of maintenance appropriate to the retention of heritage significance of a place. General advice about landscape maintenance is provided by The Maintenance of Heritage Assets A Practical Guide Information Sheet 9.1 Heritage Gardens and Grounds (printed versions available from the NSW Heritage Office).

10.2.13 Standard Exemption 13: Signage

1. The erection of signage which is of the types described in (a) or (b) below does not require approval under s 57(1) of the Act:

- (a) temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
- (b) a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;

2. The erection of signage which is of the types described in (a) or (b) below does not require approval under s 57(1) of the Act provided that the Director-General is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect is has received a notice advising that the Director-General is satisfied:

- (a) the erection of non-illuminating signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
- (b) signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;

3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director-General and describe the nature and purpose of the advertising or signage. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director-General shall notify the applicant.

4. Signage of the kind described in paragraph 1 and 2 must:

- (a) not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
- (b) be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
- (c) be able to be later removed without causing damage to the significant fabric of the item; and
- (d) reuse existing fixing points or insert fixings within joints without damage to adjacent masonry.

Guidelines

In addition to the requirement do clause 4 of the standard exemptions, signage may be controlled by development control plans or signage policies prepared by the relevant local council (also in this case Sydney Harbour Foreshore Authority). The operation of the standard exemptions do not effect the requirements for consent by local councils or the need to satisfy any signage policies which may have been adopted by them.

Additional forms of signage not addressed by this standard exemption may not require approval under section 57 (1) of the Heritage Act if they satisfy the requirements of other standard exemptions such as Standard Exemption 7 (Minor Activities with no Adverse Impact on Heritage Significance) or Standard Exemption 8 (Non-significant Fabric).

Signage in accordance with clause 2(a) of the standard exemption for the purpose of assisting the interpretation of heritage significance:

- *requires approval under section 57 (1) of the Heritage Act if additional information is provided which is unrelated to heritage interpretation such as commercial promotion or sponsorship; and*
- *must be in accordance with Interpreting Heritage Places and Items published by the NSW Heritage Office available online.*

10.2.14 Standard Exemption 15: Compliance with Minimum Standards and Orders

1. Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the *Heritage Regulation 1999* or an order issued under either:

- (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or
- (b) section 121S of the *Environmental Planning and Assessment Act 1979* regarding an order which is consistent with a submission by the Heritage Council under section 121S(6) of the Act;

does not require approval under s. 57(1) of the Act.

Guidelines

This standard exemption is intended to facilitate and expedite compliance with orders and minimum standards of maintenance and repair.

The Minimum Standards of Maintenance and Repair replaced the “wilful neglect” provisions of the Heritage Act in 1999. The minimum standards are contained in Part 3 of the heritage Regulation 1999 and are reproduced in the Heritage Information Series published by the NSW Heritage Office. The minimum standards only apply to items listed on the State Heritage Register and relate to:

- *weather protection;*
- *fire protection;*
- *security; and*
- *essential maintenance and repair to prevent serious or irreparable damage.*

Maintenance and repair which exceed the minimum standards in the Regulation may be exempt from approval under other standard exemptions (refer to #1 and #2).

Orders under s 121S (6) of the EP&A Act are those given by a council or other consent authority in relation to an item listed on the State Heritage Register, land to which an interim heritage order applies or a heritage item listed under an environmental planning instrument. Orders must not be given in relation to items listed on the State Heritage Register or land to which an interim heritage order relates unless the consent authority has given notice of it to the heritage Council and considered any submission made by it.

10.2.15 Standard Exemption 16: Safety and Security

1. The following development does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:

- (a) the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
- (b) development, including emergency stabilisation, necessary to secure safety where a building or part of a building has been irreparably damaged or destabilised and poses a safety risk to its users of the public.

2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director-General and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director-General shall notify the applicant.

Guidelines

Development exempt under this standard exemption must be for the temporary or emergency securing of safety for the users or the public. Permanent upgrading of site or building security may be exempt under other standard exemptions such as #7 (Minor Activities with no Adverse Impact on heritage Significance) or #8 (Non-Significant Fabric). Development described in 1 (b) of this exemption is intended to apply in circumstances where there has been damage caused by a sudden change in circumstances of the building such as a catastrophic event, rather than safety risks which may arise from ongoing neglect or maintenance.

Emergency maintenance and repairs such as required following a storm event may be exempt under other standard exemptions such as #1 (Maintenance and Cleaning) and #2 (Repairs). More intrusive means of upgrading security which may damage significance fabric will require the submission of an application under section 60 of the Heritage Act.

Development in accordance with this exemption must be undertaken with minimal intervention to significant fabric.

