



# AVERY TERRACE

2 and 4 Atherden Street, The Rocks

# CONSERVATION MANAGEMENT PLAN



Prepared by the Sydney Harbour Foreshore Authority

Place Renewal Division, Strategic Planning Team

April 2016 V2.2

Objective ID740487



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FORESHORE  
AUTHORITY



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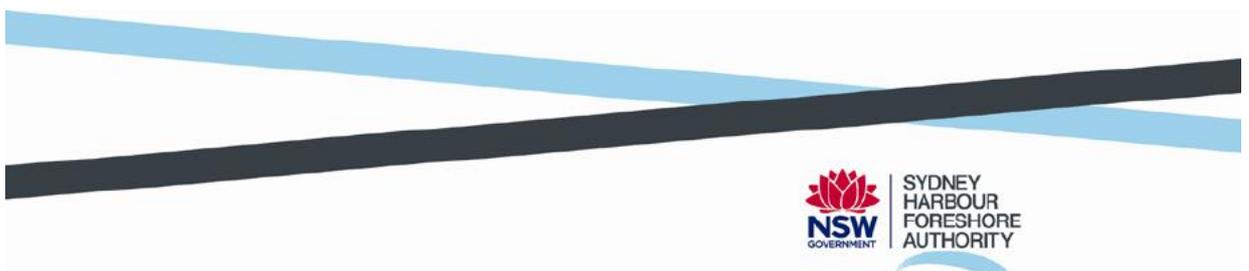
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## EXECUTIVE SUMMARY

The Conservation Management Plan (CMP) for Avery Terrace, located at 2 and 4 Atherden Street, The Rocks, has been updated in 2015 by the Sydney Harbour Foreshore Authority (Foreshore Authority) and is based on the CMP prepared by FORM Architects (aust) Pty Ltd for the Sydney Harbour Foreshore Authority, in 2007.

The CMP for Avery Terrace, 2 and 4 Atherden Street, The Rocks has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2010). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council.

Conservation can be regarded as the management of change. It seeks to safeguard that which is important in the built environment within a process of change and development. One of the functions of this document is to establish criteria, policies and recommendations for the conservation and on-going use of the building in an appropriate and desirable future direction. In this way, future occupants, managers and owners for the place will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals.

Constructed in c1881, Avery Terrace is a rare and representative example of a late Victorian bald faced terrace. It is one of only four remaining constructed in The Rocks. The other remaining terraces are Playfair Terrace opposite, Argyle Terrace in the neighbouring Playfair Street, and Bakers Terrace in Gloucester Street.

As the site remained undeveloped until the construction of Avery Terrace in c1881, the site and building have moderate archaeological research potential in the rear yard and under the rear wing extension, that may contribute to the understanding of early Aboriginal occupation, early colonial and convict settlement and lifestyles of the working class tenants during the late 19<sup>th</sup> and 20<sup>th</sup> centuries.

Avery Terrace has early and ongoing family associations from c1807 to 1993 with Richard Byrne and Margaret Kelly, and their Avery family descendants, who occupied Avery Terrace from c1914 until 1993. Nita McCrae, an Avery family member, has been widely recognised for her role in community activism to protect The Rocks from redevelopment in the 1970s. Nita is remembered along with the Builders Labourers Federation and Jack Munday and commemorated in a plaque in Jack Munday Place, in The Rocks.

This key findings and recommendations of this CMP are:

- Avery Terrace, comprising two individual dwellings are to continue to be managed as a single entity, to ensure consistent and appropriate long term management of the whole building and its heritage fabric, including its presentation and external paint colour scheme, shared rear service wing, external form and materials, rainwater disposal and other services.
- All of the original external features and built form of the two storey main building including the Atherden Street façade, side and rear façades and roofs are to be retained and conserved. The original external features and built form of the original single storey rear kitchen wing are to be retained.
- The later 1975 rear wing extension for the bathrooms and laundries can be removed and replaced with a new single storey addition in the existing footprint, subject to

Heritage Act approval.

- Contemporary materials and design may be used for new work, and designed in a manner in which its location, form, scale, grain, colour and texture respond to the original fabric and spaces. The Heritage Council's publication *Design in Context* should be consulted. This provides guidelines for the design of infill and additions to heritage buildings.
- Continued use of Avery Terrace for individual residential accommodation is the preferred use. Low key commercial uses such as low-scale tourism bed and breakfast accommodation or serviced accommodation, or small-scale retail or commercial office businesses, may also be appropriate.
- The SCRA Scheme Building Site Control Drawing 'XXX' that includes Avery Terrace must be updated to show the entire footprint for Avery terrace (including the 1975 rear wing extension) as an historic item, consistent with the CMP.
- The SCRA scheme remove all existing development potential over Avery Terrace, and only enable single storey redevelopment on the existing footprint of the rear wing extension.

## FREQUENTLY ASKED QUESTIONS (FAQS)

### Introduction

This section of the Conservation Management Plan (CMP) is intended as a guide to prospective lessees of Avery Terrace, 2 and 4 Atherden Street, The Rocks. Avery Terrace is listed on the State Heritage Register (item # 01529). The FAQs set out what can or cannot be achieved with the property. They have been prepared to guide people towards the right property choice and to assist in its management and care. The advice given in this section is a summary only and should be read in conjunction with the full CMP and the policies in section 7.0. The most applicable policy section is referenced in the FAQs, however the reader should be aware that more than one policy section and policy may apply in each situation, and more policies may need to be consulted.

### Background & property significance

Avery Terrace and site are of State heritage significance for their historical associations, social, research, aesthetic, rarity and representativeness values.

The historical and associational significance of Avery Terrace is evident as a place of *significant human activity*, evident through the conservation and continuing use of the residential building as rental accommodation. The site is associated with the initial invasion and colonisation of Sydney Cove in the late 18<sup>th</sup> century, and the establishment of convict settlement and early 19<sup>th</sup> century port facilities. The land was a freehold grant to Robert Campbell Snr, a merchant linked with Campbell & Co, that commenced commercial trade of livestock from 1800. Edward Stanley Ebsworth, a bank manager who acquired the site and constructed Avery Terrace c1881 as a speculative investment as rental housing accommodation for local workers; early and ongoing family associations from c1807 to 1993 with Richard Byrne and Margaret Kelly and their Avery family descendants who occupied Avery Terrace from c1914 until 1993. Nita McCrae, an Avery family member, has been widely recognised for her role in community activism to protect The Rocks from redevelopment in the 1970s. Nita is remembered along with the Builders Labourers Federation and Jack Munday and commemorated in a plaque in Jack Munday Place, in The Rocks.

Avery Terrace is important as one of a group of 19<sup>th</sup> century residential buildings in The Rocks that survived the demolitions and slum clearances that followed land resumptions under the Public Purposes Acquisition Act (1900). Its remarkable survival and intactness is largely due to its government ownership and management for over a century.

Avery Terrace contributes to the community's sense of place, and is important to residents and descendants of The Rocks and Millers Point who participated in the Green Bans. They were able to influence urban renewal projects of the day in ways that lead to the development of tourism as a local industry that could support conservation of historic buildings and provide employment opportunities for local people, which transformed community perceptions of The Rocks as a slum to the 'birthplace of the nation'.

As the site remained undeveloped until the construction of Avery Terrace in c1881, the site and building have moderate archaeological research potential in the rear yard and under the rear wing extension, that may contribute to the understanding of early Aboriginal occupation, early colonial and convict settlement and lifestyles of the working class tenants during the late 19<sup>th</sup> and 20<sup>th</sup> centuries.

Avery terrace contributes to the distinctive and eclectic aesthetic character of housing stock in The Rocks that combines the unique townscape of small buildings and irregular sandstone cliffs. Avery Terrace is sited against the sandstone escarpment and its built form and roofscape is highly visible and overlooked from Gloucester Walk.

Avery Terrace is rare, as one only four remaining examples of a bald-faced, late Victorian terrace constructed in the 1880s in The Rocks. The other terraces are Playfair Terrace opposite, Argyle Terrace in the neighbouring Playfair Street, and Bakers Terrace in Gloucester Street. The high-quality construction and decorative detailing of Avery Terrace is rarely associated with working-class rental housing of the era, and adds to the importance of the structure.

The form, scale, planning, design and detailing of Avery Terrace is a fine and representative example of the late Victorian bald faced terrace architectural style. It is a relatively late example of this style, and few examples of this style were constructed or survive in the Sydney region.

Avery Terrace as part of The Rocks along with Millers Point, contributes to the building stock of this area of Sydney and the is only location in the state which contains a representative collection of modest housing that can be traced.

## Parameters for Change in The Rocks Area

Are there any constraints on the way the property can be used? *Refer to policy section 7.6*

Yes. The terraces were constructed as residential accommodation and are relatively small and on a small site area. Their ongoing use as residential accommodation is the best use. The most sympathetic, low impact commercial use is short term, bed and breakfast accommodation.

The Sydney Cove Redevelopment Authority (SCRA) Scheme controls the permitted uses of the terraces. Whilst a range of uses are possible under the SCRA, many of the allowable uses will adversely impact the heritage significance and may require major and detrimental changes under the Building Code of Australia and the Disability Discrimination Act for fire egress, fire separation and equitable access, and are subject to required statutory approvals.

The introduction of other uses such as commercial office or retail uses may be acceptable, but will be dependent on the ability to introduce suitable upgrades to meet Building Code Australia and accessible access requirements without damaging impacts on the heritage significance, building fabric or spaces.

The terraces are not suitable for use as restaurants or cafes, or where the major new services are required to be introduced for commercial kitchens and associated dry and cool store facilities or the like.

Can adjacent properties be amalgamated for contiguous use? *Refer to policy section 7.6*

No. The party wall separating the terraces cannot be removed to enable amalgamation for contiguous use. The Conservation Management Plan does not allow the removal of significant fabric for the introduction of doorways and openings in original walls. Connecting properties across the party wall introduces the need for fire separation and fire-fighting services that will have a major and unacceptable impact on the building.

## Exterior

What is the view catchment of this property? Why is this relevant to me as a lessee in The Rocks? *Refer to policy section 7.11*

Avery Terrace along with Playfair Terrace in Atherden Street form a cohesive late 19<sup>th</sup> century Victorian terrace group nestled at the base of the sandstone escarpment. Avery Terrace faces south

east towards Playfair Street. Overlooked by the Gloucester Walk, the residential scaled late 19<sup>th</sup> century roofscapes, external walls and rear yards of Avery Terrace have high visibility from many vantage points in The Rocks including George Street.

The high visibility of the terraces, their external walls, rear yards and roofs means that any changes to the external building form and fabric will be evident and cannot be easily hidden from public view. All proposed external changes must be considered within this context.

How does the significance of the rear or side elevations of this building affect its potential for changes? *Refer to policy section 7.11*

The high visibility of Avery Terrace, its roof, external rear and side elevations particularly from Gloucester Walk above the escarpment, means that any changes to the external building fabric and form will be evident and cannot be easily hidden from public view. All proposed external changes will need to be considered within this context.

Can this property have additions to the building at ground or upper levels? *Refer to policy section 7.8*

Yes. A single storey rear wing addition can to be constructed in the footprint of the 1975 rear wing addition (that currently houses the bathrooms and laundries), refer to Figure A over. All new works aspire to design excellence and demonstrate infill principles that respect and complement the form, scale, character and texture of heritage buildings, and also contribute to an exceptional quality of The Rocks townscape.

No alterations or additions can be made to the two storey building or over the single storey rear wing.

The high visibility of Avery Terrace, its roof, external rear and side elevations particularly from Gloucester Walk above the escarpment, means that any changes to the external building fabric and form will be evident and cannot be easily hidden from public view. All proposed external changes will need to be considered within this context.

Can changes to the exterior be introduced (eg new windows and external doors), and if so, where? *Refer to policy section 7.7*

Generally no. All windows and doors to the main two storey building and original single storey kitchen wing must be retained. There is some opportunity to change the 1975 rear wing extension including the windows.

Are there any external features of this property that need to be retained and conserved? *Refer to policy section 7.7*

Yes. All of the original external features and built form of the two storey main building including the Atherden Street façade, side and rear façades, and roofs are to be retained and conserved. The original external features and built form of the single storey rear kitchen wing are to be retained. The later 1975 rear wing extension for the bathroom and laundry can be removed and replaced with a new single storey addition in the existing footprint. The original walls of exceptional significance are to be retained.

Can new balconies, verandahs, decks or roof decks be introduced, and if so, where?

*Refer to policy section 7.8*

No. The rear yards are too small and too flat for rear decks. Due to the heritage significance and high visibility of the two storey main building, it is not possible to add a balcony to the front or rear or a roof deck.

Can new dormer windows or skylights be introduced, and if so where? *Refer to policy section 7.8*

No. New dormer windows cannot be introduced. It may be possible to introduce flat skylights into the single storey rear wing section. The high visibility of Avery Terrace, its roof, external rear and side elevations particularly from Gloucester Walk above the escarpment, means that any changes to the external building fabric and form will be evident and cannot be easily hidden from public view. All proposed external changes will need to be considered within this context.

What opportunities exist for alterations to achieve flat /equitable access for this property?

*Refer to policy section 7.10*

Equitable access into the ground level of No. 2 can be achieved using the existing on grade access through the side gate and passageway, subject to statutory approvals. A small ramp could be placed to enable accessible access through the kitchen entry door.

Permanent equitable access into the ground level of No. 4 cannot be achieved through the front door. However access could be via the side gate and rear yard of No. 2 and removal of the dividing fence, and its possible replacement with a gate. A removable ramp to the front door is possible.

Can this property have off street parking? If so, where? *Refer to policy section 7.6*

No. Due to the site limitations, it is not possible to introduce off street parking for these properties.

Can external aerials or a satellite dish be added? If so, where? *Refer to policy section 7.8*

Yes, subject to statutory approvals. Some new services and sustainability measures including solar panels and solar hot water, antennas and other technology, may be sensitively introduced. Any new fittings should preferably be mounted on the single storey rear wing roof. Any new roof mounted services must not be visible from Atherden Street and should be attached to enable ongoing access for roof maintenance.

How can the security be upgraded? *Refer to policy section 7.8*

Yes, subject to statutory approvals. No.2 already has steel security grilles mounted internally inside the window openings, and a security screen door attached to the outside of the front door.

No. 4 does not currently have any security grilles for windows and doors, but could have a surface mounted security bolt or similar fixtures to No.2.

Remnants of earlier external light fittings are fitted to the external façade of both terraces. The missing lamp shades should be replaced and fittings made good.

A security flood light is currently mounted on a pole at the end of Atherden Street.

If additional security is required, the use of wireless movement detectors is the most acceptable form of security protection.

As technology is continually changing and is likely to be replaced and upgraded every few years, it is essential that security systems have minimal impact on external and internal fabric, and minimal visual intrusion.

Does this property have an important relationship with adjacent buildings which requires consistent presentation across the group? *Refer to policy sections 7.1 & 7.14*

Yes. Dwellings at No. 2 and No.4 Atherden Street were built as pair of terraces known as Avery Terrace. The cohesive street façade presentation of Avery Terrace such as paint colour schemes, the introduction of security grilles or security screen doors is historically and aesthetically important to its presentation and needs to be managed across the whole building. The street façade of Avery Terrace also shares a central downpipe and drainage arrangement that needs to be presented and managed collectively.

Can exposed masonry or stone be painted? *Refer to policy section 7.14*

No. The original front door stone thresholds are not painted and should not be painted.

Existing masonry and stone surfaces that are currently painted can be repainted, such as the stone window sills and fireplace hearth stones.

Exterior stuccoed walls can be repainted in a lime wash that allows the walls to breathe, whilst also protecting the masonry from water penetration.

Existing timberwork can be repainted in a suitable and compatible paint, most likely an oil based enamel.

All repainting will need the approval of the Authority.

Can existing brickwork be rendered? *Refer to policy section 7.14*

No. Any existing brick work without render should remain un-rendered. Adding render to exposed brickwork stops the brickwork from breathing, and causes a build-up of moisture and harmful salts which is unsightly and cause damage to the bricks.

Where can rubbish bins be stored on site? *Refer to policy section 7.6*

The rubbish bin for No.2 can be stored in the rear courtyard and wheeled out via the side gate for collection.

The rubbish bin for No.4 can be stored in the rear courtyard and brought out to the street through the terrace for collection.

Does landscaping work need approval and what guidelines apply? (Eg impact of planting trees on the building fabric, archaeology, and views to and from the property, or in relation to the public domain). *Refer to policy section 7.15*

Landscaping is acceptable providing it is appropriate for the site and rear yard, and will not damage building fabric (eg invasive tree roots).

As the terrace is listed on the State Heritage Register, any landscaping work which will disturb or remove soil below 300mm and may result in the disturbance of archaeological resources requires approval from the Heritage Council of NSW.

## Interior

What interior spaces are significant and should not be changed? *Refer to policy section 7.7*

All of the interior spaces, openings and features in the main building including the ground floor living rooms and first floor bedrooms are significant and are not to be changed. Figure A, over shows what must be retained and what can be changed.

The interior spaces in the rear wing kitchen, laundry and bathroom can be changed. However, intact remnants of the original kitchen hearth and original walls to the outbuildings and WC, are to be retained and can be incorporated into the new design and spaces.

For future flexibility and adaptability any new fit-outs or upgrades to the kitchen, laundry or bathroom should be 'loose fit' to have the minimal impact, subject to statutory approvals. This means that fit-outs can be easily removed and future fit-outs inserted as needed, while leaving the heritage building untouched.

Are there any internal fittings or features that need to be retained, and cannot be modified? *Refer to policy sections 7.7 & 7.8*

Generally all of the significant heritage fabric both inside and out including the window and door openings, fixtures and fittings are to be retained in their current form.

A full list is included in the CMP in 7.7.3, here is a snap shot: Existing door and window hardware including handles, locks and hinges; chimneys, timber mantel pieces and cast iron fireplace grates; ceiling roses and the staircase and balustrades and newel posts are to be retained.

What are possible locations for new bathrooms, laundries or kitchens? *Refer to policy section 7.8*

Avery Terrace was originally built with a rear service wing that accommodated kitchens, while the bathrooms, laundries and WCs were originally located in outbuildings in the rear yard. The rear wing was extended in 1975 to accommodate the current laundries and bathrooms.

The rear wing has undergone the most change over time internally, and offers the most opportunity for internal change. New lessees may want to upgrade or rearrange the existing bathroom, laundry and kitchen configurations. However, due to the small size and layout of these terraces, it is not possible

to introduce new bathrooms, laundries or kitchens into the main two storey building.

Can a lift be inserted? *Refer to policy section 7.10*

No. Due to the small size and layout of the terrace, it is not possible to insert a lift into this building.

Can an internal stair lift be inserted? *Refer to policy section 7.10*

No. Due to the small size and layout of the terrace and the L-shaped internal stairs, it is not possible to insert a chair lift.

How can insulation for climate control or noise abatement be added? *Refer to policy section 7.12*

Yes. Additional roof insulation can be added into the ceiling space above the first floor level in the main building.

Can significant walls be removed? *Refer to policy sections 7.7 & 7.8*

No. Significant internal or external significant walls dating from c1881 must be retained as they are. This includes the remnants of the original kitchen hearth, original walls to the outbuildings and WC are to be retained and can be incorporated into the new design and spaces.

The walls of the 1975 extension to the rear wing (excluding remnant sections of the c1881 outbuildings are to be retained) can be removed and replaced.

Can existing flooring or covers over existing flooring be replaced with new finishes? *Refer to policy section 7.14*

Yes. The existing floor finishes ie ceramic tiles and lino tiles in the existing rear service wing in the kitchens, bathrooms and laundries can be changed.

Do any significant existing floor finishes need to be retained? *Refer to policy section 7.14*

Yes. The wide timber floorboards and pure Tung oil finish (not the fake Tung Oil) in the ground floor rooms and first floor bedrooms be retained. The existing floors and finishes can however be covered over with loose fitting rugs, carpet or linoleum.

Do any significant existing wall finishes need to be retained? *Refer to policy section 7.14*

Yes. The stucco plaster finish, bagged brickwork and paint to the internal walls in the ground floor rooms, original kitchen, and first floor bedrooms must be retained. The existing paint layers are also to be retained as these contain a record of the paint schemes and can be used to inform future paint schemes.

Can the internal lighting of the building be changed? *Refer to policy section 7.16*

Yes. The internal light fittings have been changed previously and can be changed again. Any new light fitting should be installed in the existing central ceiling mounted location.

Can reverse cycle air conditioning be inserted? If so, what type and where? *Refer to policy section 7.12*

Air conditioning is not a preferred option for these dwellings. All other methods of passive sun control such as internal or external blinds, improved ventilation, use of free standing fans, or ceiling fans and heating through free- standing heaters should be investigated and trialled first before air conditioning is considered. All works are subject to statutory approvals.

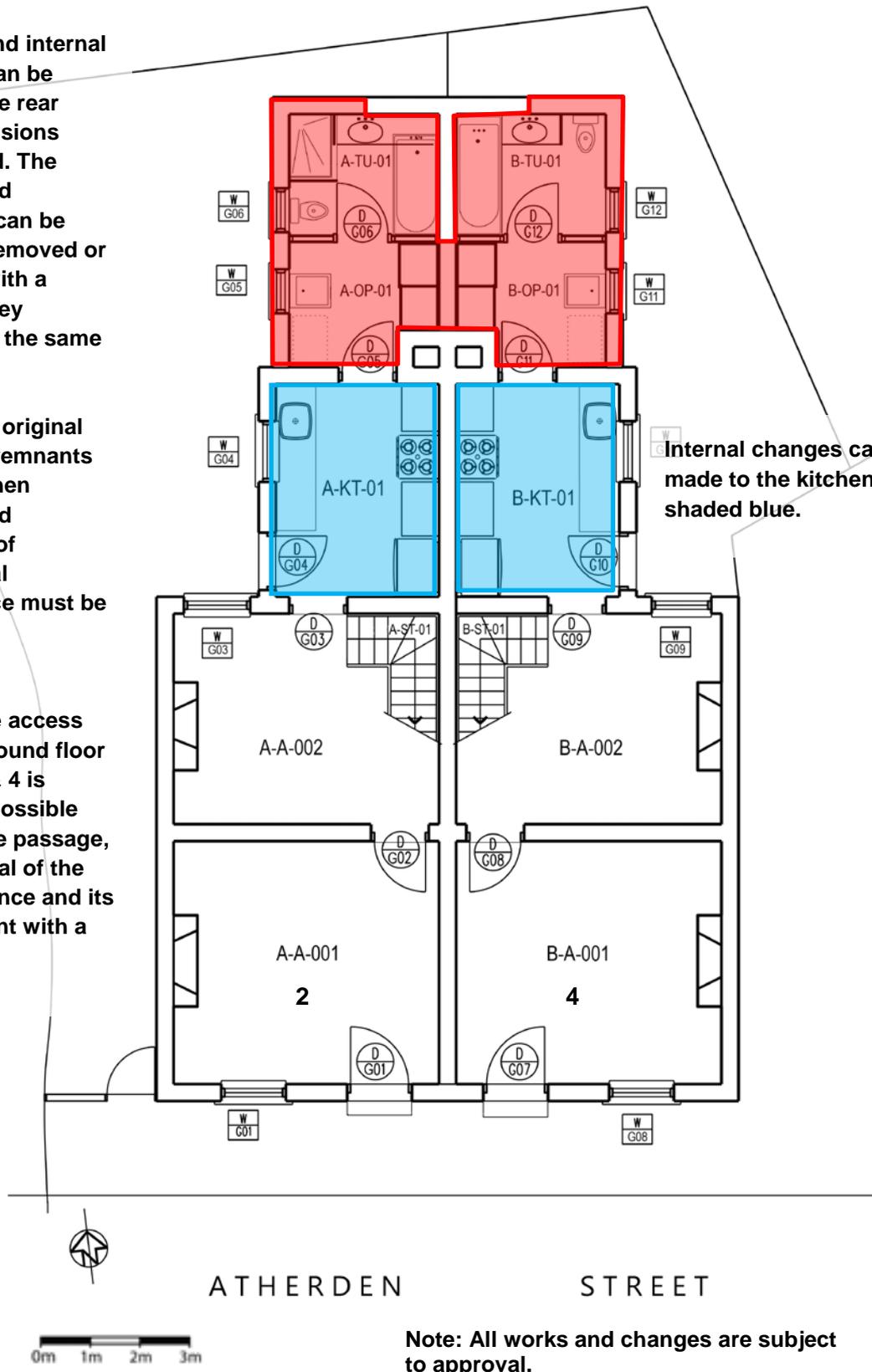
If reverse cycle air conditioning is considered essential for selected spaces, minimising the visual and fabric impact is important. The external condenser unit is not to be visible from Atherden Street or Gloucester Walk and could be placed in the rear yard at ground level clear of the external wall to minimise moisture build up or in the roof space.

External and internal changes can be made to the rear wing extensions shaded red. The laundry and bathroom can be retained, removed or replaced with a single storey addition in the same footprint.

(Note: The original walls and remnants of the kitchen hearths and chimneys of exceptional significance must be retained).

Accessible access into the ground floor of No.s 2 & 4 is currently possible via the side passage, and removal of the dividing fence and its replacement with a gate.

Internal changes can be made to the kitchens shaded blue.



**Note: All works and changes are subject to approval.**

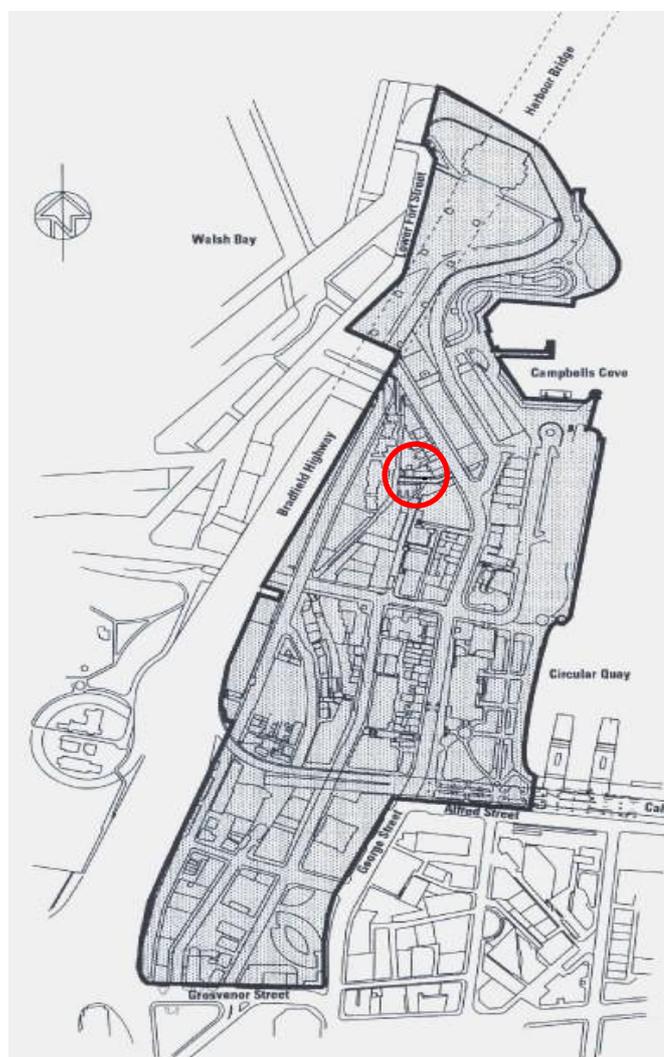
**Figure A** Avery Terrace, 2 and 4 Atherden Street, ground floor plan showing acceptable alterations. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.

# 1.0 INTRODUCTION

## 1.1 Context of the Report

The Conservation Management Plan (CMP) for Avery Terrace, 2 and 4 Atherden Street, The Rocks, has been updated in 2015 by the Sydney Harbour Foreshore Authority (Foreshore Authority) and is based on the CMP prepared by FORM Architects (aust) Pty Ltd for the Sydney Harbour Foreshore Authority, in 2007.

The CMP has been structured to fit within the framework of *The Rocks Heritage Management Plan* (adopted February, 2010). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council.



Avery Terrace,  
2 and 4 Atherden Street,  
The Rocks

**Figure 1.1** Location of *Avery Terrace* within the context of The Rocks. Source: Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2010), p.7. *The Rocks Heritage Management Plan*, adopted April, 2010, may be accessed at <http://www.shfa.nsw.gov.au/content/library/documents/OB9628D6-B745-73FA-E1F20F992872ED23.pdf>

## 1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of Avery Terrace to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

This CMP aims to be a practical document, to guide decisions that may affect the heritage value of the place. It will form a basis for future planning and provide a standard against which to assess the heritage impact of future developments on the building, site and in the vicinity. It must be used when planning any works, both temporary and permanent, that involve alteration to the surviving fabric of the place.

## 1.3 Site and Ownership

Avery Terrace is located at 2 and 4 Atherden Street, The Rocks. The study area is bounded by Atherden Street, the cliff escarpment to the west, and to the rear by the rear yards of Sergeant Majors Row, being a row of terraces that face onto George Street (see Figures 1.2 and 1.3).

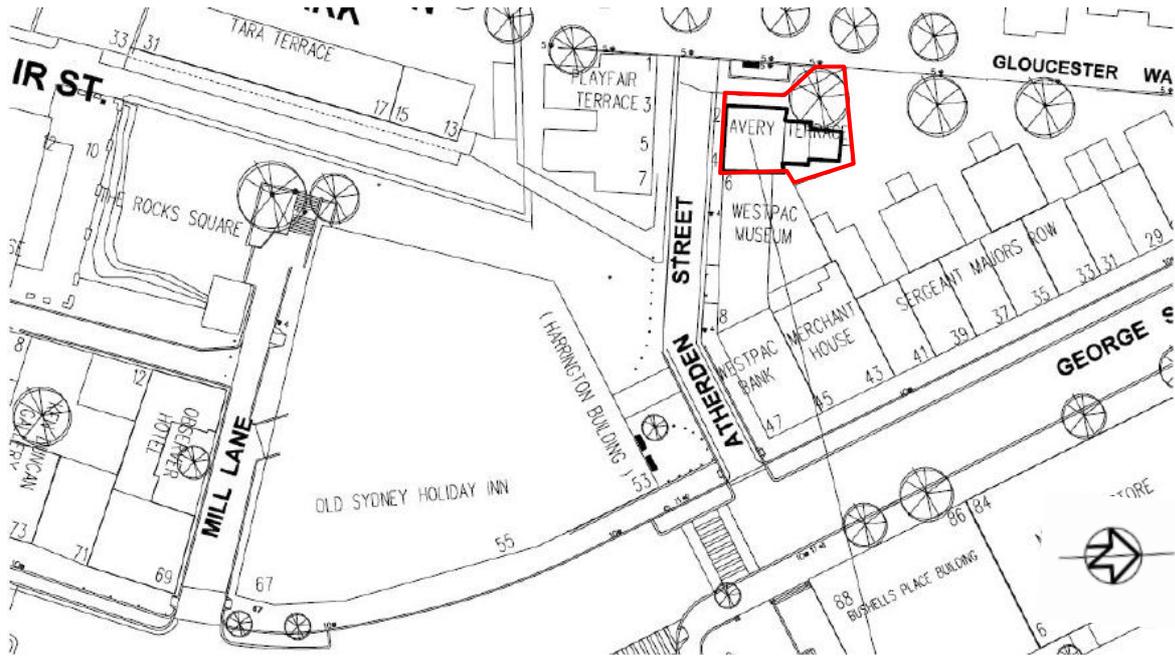
The subject site consists of Lot 7 of DP258607, which is part of a later re-subdivision of the Campbell Estate.

Atherden Street contains terraces on both sides with Avery Terrace (2 and 4 Atherden Street) on the north side and Playfair Terrace (1, 3, 5 & 7) to the south.

The building is owned and managed by The Foreshore Authority and the two residences are currently vacant (2015). The Foreshore Authority is investigating, subject to the recommendations of this CMP, opportunities for future compatible uses and long term leasing of the properties in addition to tenanted residential use.



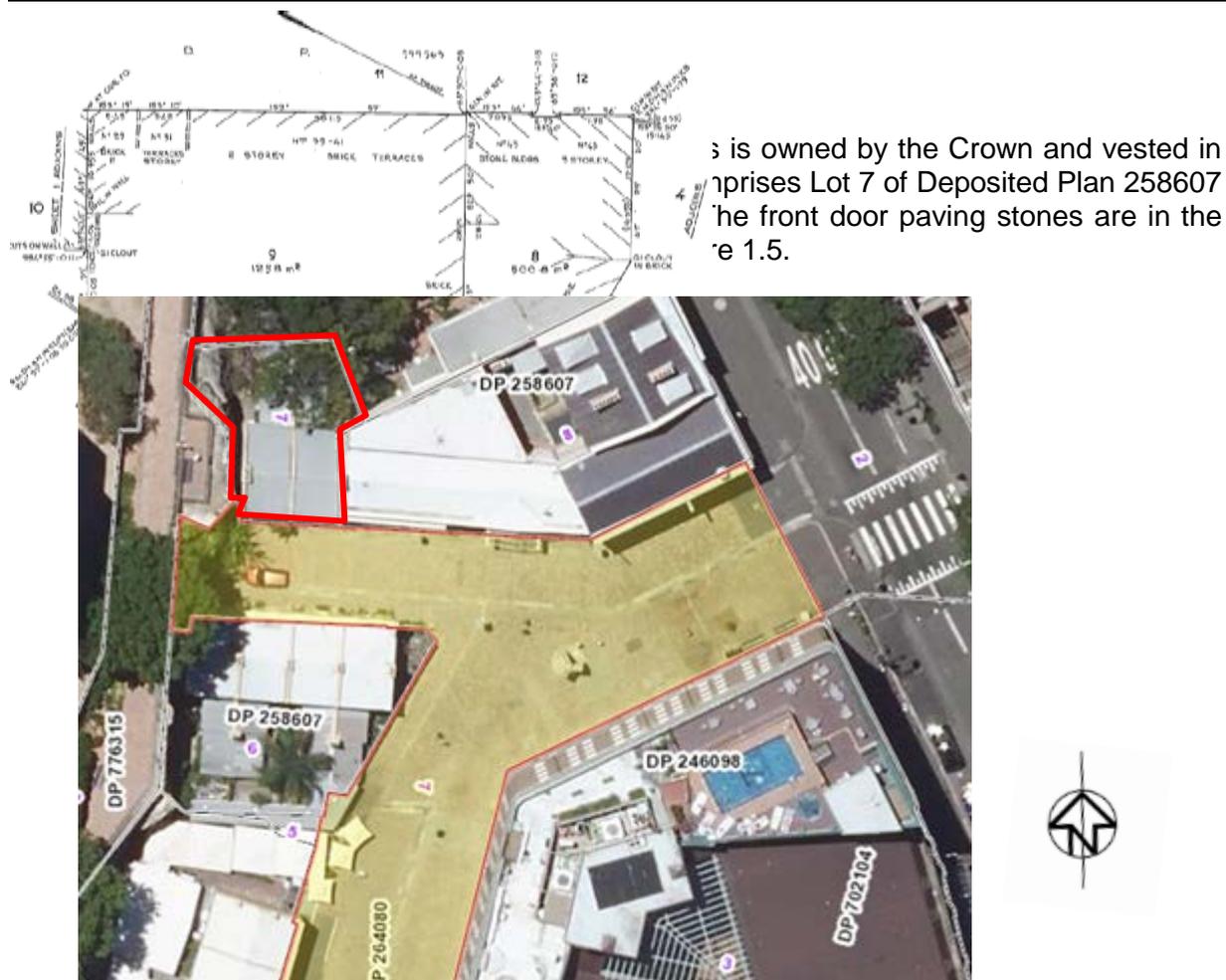
**Figure 1.2:** Aerial photo of Atherden Street with 2 and 4 Atherden Street shown circled in red. Source: Sydney Harbour Foreshore Authority <http://maps.six.nsw.gov.au/> accessed 24 June 2015.



**Figure 1.3** Map showing the location context and site for Avery Terrace at 2 and 4 Atherden Street, The Rocks. The building is outlined in black and the site area is outlined in red. Source: Sydney Harbour Foreshore Authority.



**Figure 1.4:** Avery Terrace, 2 and 4 Atherden Street is its locational context below the escarpment and Gloucester Walk, with the Sirius Building above and Playfair Terrace at 1-7 Atherden Street directly opposite. Source: Sydney Harbor Foreshore Authority, photo by M Stacy 2015.



is owned by the Crown and vested in  
prises Lot 7 of Deposited Plan 258607  
he front door paving stones are in the  
re 1.5.

**Figure 1.5:** Cadastral map showing the site for 2 and 4 Atherden Street, The Rocks (outlined in red), being Lot 7 of DP 258607 and the front door paving stones are in part of Lot 7 of DP 264080. Source: Six maps

## 1.5 Building Description

Avery Terrace is a group of two, two storey dwellings constructed in the late 19th century. They are a rare and externally and internally intact example of a late Victorian Regency bald faced terrace that features restrained decorative detailing. The street frontage features string coursing at the ground and first floor levels, with arched window and door openings. The terrace is sited on the building alignment in Atherden Street, adjacent to the sandstone escarpment and below Gloucester Walk. The building is highly visible at the street level along Atherden Street, and the roofs and rear yards are overlooked from Gloucester Walk.



**Figure 1.6:** Avery Terrace at 2 and 4 Atherden Street, is situated adjacent to the sandstone escarpment with Gloucester Walk above. Source: Sydney Harbour Foreshore Authority, photo by M Stacy 2015.

## 1.6 Heritage Listings

### Statutory Listings

Avery Terrace is listed on the Sydney Harbour Foreshore Authority's **Heritage and Conservation Register (s170 Register)** as an item of state significance.

[http://www.shfa.nsw.gov.au/sydney-About\\_us-Our\\_heritage\\_role-Heritage\\_and\\_Conservation\\_Register.htm&objectid=60](http://www.shfa.nsw.gov.au/sydney-About_us-Our_heritage_role-Heritage_and_Conservation_Register.htm&objectid=60)

2 and 4 Atherden Street is listed on the **State Heritage Register** as 'Avery Terrace, 2 and 4 Atherden Street', Listing Number 01529, Gazette No 85, on 10 May 2002.

<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053144>

The current SHR listing boundary Plan 2779, for Avery Terrace is the current property boundary is Lot 7 and part Lot 7 of DP264080 (see Figure 1.7). The recommended SHR heritage listing boundary shown in Section 4.3, Figure 4.1 aligns with current SHR heritage boundary and includes the terrace buildings, sandstone paving outside front doors to nos 2 and 4 Atherden Street, and rear yards contained within the current boundary fence lines.

2 and 4 Atherden Street is included as an item in the listing for The Rocks Conservation Area on the Sydney Harbour Foreshore Authority **Section 170 Heritage and Conservation Register**. [http://www.shfa.nsw.gov.au/sydney-About\\_us-Our\\_heritage\\_role-Heritage\\_and\\_Conservation\\_Register.htm&objectid=170](http://www.shfa.nsw.gov.au/sydney-About_us-Our_heritage_role-Heritage_and_Conservation_Register.htm&objectid=170)

### Non Statutory Listings

Avery Terrace at 2 and 4 Atherden Street, is included on the Register of the **National Trust of Australia (NSW)**, (classified 1976), item 10328.

2 and 4 Atherden is included in the listing for The Rocks Conservation Area on the Register of the **National Trust of Australia (NSW)**.

The Rocks Conservation Area encompasses the area generally bounded by Circular Quay to the east, all of Walsh Bay and Millers Point to Sussex Street to the north and west, and extends to Grosvenor Street to the south.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

Avery Terrace at 2 and 4 Atherden Street and Playfair's Terrace at 1-7 Atherden Street, are included on the **Register of the National Estate**, Ref No. 1/12/036/0315 in 1980; and as part of the Argyle Precinct.

2 and 4 Atherden Street is included in the listing for The Rocks Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government however, it is indicative of the high cultural values of the place.

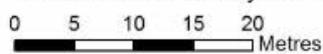
Heritage Council of New South Wales



State Heritage Register - SHR 01529, Plan 2779

Avery Terrace

Gazettal Date: 10 May 2002



Scale: 1:500

Datum/Projection: GCS GDA 1994



Legend

- SHR Curtilage
- Land Parcels
- Railways
- Roads
- LGAs
- Suburbs

**Figure 1.7** The State Heritage Register listing boundary Plan 2779 for Avery Terrace - SHR item 01529. The current SHR boundary is shown in red and is the current lot boundary and includes the front door paving stones as well. Source: Office of Environment and Heritage database listing for Avery Terrace.

## 1.7 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance*, 1999, known as *The Burra Charter*; the NSW Heritage Division's *Guidelines on Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

This Conservation Management Plan is the second CMP prepared for the place, and updates the 2007 CMP prepared by FORM architects (aust) Pty Ltd.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The NSW Heritage Manual explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. The Conservation Plan provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of Avery Terrace.

The constraints and opportunities and policy formulation address relevant management issues, and the role and objectives of the relevant heritage authorities. The policies and guidelines draw upon the work and input of all consultants and their investigations – documentary and physical.

## 1.8 Limitations

The inspection of the building relied on non-intrusive observation to assess its condition and did not involve any physical intervention or removal of fabric.

This CMP does not address in great detail pre contact Aboriginal history, Aboriginal cultural associations or Aboriginal significance of the place. In preparation of this CMP, consultation was not undertaken with stakeholders, key knowledge holders, or the Local Aboriginal Land Council.

## 1.9 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in the Article 1 of *The Burra Charter*. For terminology used in identification of historic architectural styles and building elements, the Foreshore Authority refers to the terminology in the *Pictorial Guide to Identifying Australian Architecture* (various editions) prepared by Irving, Apperly and Reynolds.

In order to achieve a consistency in approach and understanding of the meaning of conservation, a standardised terminology for conservation processes and related actions should be adopted. The terminology in the *Burra Charter* is a suitable basis for this. Article 1 of the *Burra Charter* gives the following definitions<sup>1</sup> -

**Place** means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

**Cultural significance** means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

**Fabric** means all the physical material of the place including components, fixtures, contents, and objects.

**Conservation** means all the processes of looking after a *place* so to retain its *cultural significance*.

**Maintenance** means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

**Preservation** means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

**Restoration** means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

**Reconstruction** means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

**Adaptation** means modifying a *place* to suit the existing use or a proposed use.

**Use** means the functions of a place, as well as the activities and practices that may occur at the place.

**Compatible** use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

**Setting** means the area around a *place*, which may include the visual catchment.

**Related place** means a place that contributes to the *cultural significance* of another place.

Additional terms used in this CMP are defined below.

**Curtilage:** means the area of land surrounding an item or area of heritage significance which is essential for retaining and interpreting its heritage significance. The four types of curtilage are lot boundary, reduced, expanded and composite (*Heritage Curtilages*, NSW Heritage Office, 1996).

**Replacement detail:** means elements of joinery, masonry or other material, internal or external, that replaces in a similar style missing parts of fabric, and which is materially compatible and in scale with the missing fabric, but which is not consistent with *Burra Charter* definitions of restoration or reconstruction.

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<sup>1</sup> *Australia ICOMOS Burra Charter 1999, p. 2.*

**Site:** consists of Avery Terrace residences and rear yards at 2 and 4 Atherden Street, The Rocks.

**Study Area:** means the area bounded by Atherden Street, the cliff escarpment and to the rear by the rear yards of Sergeant Majors Row of terraces that face onto George Street, situated in The Rocks.

**Yard:** an enclosed piece of ground adjoining or surrounded by a building or other structures, accessible from the building and usually from a public thoroughfare such as a lane or passage; in this document, always at the rear or back of a building, hence the 'back yard'.

## 1.10 Documentary and Photographic Sources

The historical information in this CMP was drawn from sources provided by The Foreshore Authority including previous reports, historical maps, plan drawings and photographs. No additional primary research was undertaken.

The following reports and studies utilised or referred to during the preparation of this CMP are contained in 9.0 Bibliography.

Historical photographs, unless otherwise stated, were sourced from the Foreshore Authority Archives and collections. 2015 photos included in this report, unless otherwise stated, were taken by Miriam Stacy of Sydney Harbor Foreshore Authority, specifically for this report.

For the 2015 photos included in section 3.3 - No changes have been made to any exceptionally or highly significant fabric since the photos were taken.

## 1.11 Authorship and Copyright

This 2015 CMP update has been prepared by Miriam Stacy, BSc(Arch), BArch, MHeritCons, GradCertMgt, Heritage Officer with input from Dr Wayne Johnson Archaeologist with the Foreshore Authority's Place Renewal Division, Strategic Planning Team.

All team members have contributed to the statement of significance and the conservation policies for the place.

The 2007 CMP was prepared by FORM architects (aust) Pty Ltd with contributions from the following people: Caroline Plim BA, Assoc Dip Loc & Applied History, Historian; Alice Nguyen, BArch/BSocSci., Architect; Cathy Fisher BSc, MSc, Archaeologist; Jillian Comber, BA., Litt.B., Archaeologist. Caroline Plim and Jillian Comber reviewed and edited the document.

The copyright of this CMP is vested in the Sydney Harbour Foreshore Authority.

## 1.12 Acknowledgments

This Conservation Management Plan (CMP) updates the original CMP written in 2007. The 2007 Conservation Management Plan in respect of 2 and 4 Atherden Street, The Rocks, to which this current 2015 Plan makes reference, was prepared by the FORM architects (aust) Pty Ltd.

## 2.0 DOCUMENTARY EVIDENCE

### 2.1 Thematic History

In order to better understand how Avery Terrace, 2 and 4 Atherden Street, The Rocks, developed, this history has been approached thematically. This method can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The Heritage Division, formerly the NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes<sup>2</sup>. The organising principle for the thematic framework is the dynamism of human activity. The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance<sup>3</sup>.

The State historical themes of New South Wales were used in this history to guide research questions, interpret the history, and structure the narrative of the development of Avery Terrace within the context of the development of The Rocks.

### 2.2 Early development of The Rocks

#### 2.2.1 Indigenous Sydney- The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the Eora, or coastal Darug. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a “clan” (subgroup) known as the Cadigal. Their word for The Rocks- or more specifically the shore where the hospital stood on George Street between Globe St and Argyle St was “Tallawolodah”. The peninsula of land which we now call Dawes Point was “Tarra”, and Sydney Cove itself was “Warrang” or “Warrane”.

Due to the rugged outcrops of rock which later gave the “The Rocks” its name, it is unlikely there was any “permanent” occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal to cook fish.

From archaeological evidence excavated in 1989, a campfire was on the site of the ANA Hotel, indicating that a small group of Cadigal had, some 500 years ago, stopped on the site and cooked a meal of rock oysters, bream, snapper and other shell fish, no doubt taking in the views over the harbour. In the 1870s it was recorded that a carving of a whale could be seen on the rock at Dawes Point, although this appears to have been buried soon after in c1880 when the seawall was constructed.

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<sup>2</sup> Both the Australian Heritage Commission (National) and the Heritage Division, formerly NSW Heritage Office (State) identified themes for research relating to places of heritage significance.

<sup>3</sup> Heritage Division, formerly the NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce (2002).

### **2.2.2 The Convict Settlement (1788-1820)**

After the arrival of the Europeans in 1788, the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. Along George Street the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory, and, in 1791 a fort (Dawes Point Battery) was constructed. In 1810 the streets of The Rocks were formalized and generally given the names they bear today.

As the colony grew the rough convict huts were replaced by modest houses, and also a few mansions. From the archaeological excavations that have been carried out over the past 10 years it has become evident that the lives of the convicts was far different than the general view of many people. These convicts were often trades people from Britain's cities, and large numbers of political prisoners exiled after the Irish rebellion in the 1790s. They appear to have had a far better lifestyle in Sydney than they would have expected in Europe. They ate well off fine china and expensive oriental porcelain, and furnished their houses with fine figurines and exotic curios. Many made substantial fortunes from investing in ships trading with Asia and the Pacific.

As Sydney expanded in the 1790s, the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area were forced to register the land they occupied and pay a fee to the colonial secretary.

### **2.2.3 The Port Town (1800-1900)**

Following the opening up of Sydney to free settlement after 1822, the government surveyors surveyed and issued titles to the land in The Rocks and other parts of Sydney. Long-term occupants were granted title of ownership to their land. As Sydney underwent a population boom between 1839 and the 1850s, due to assisted immigration and then the gold rushes, many old-time occupants subdivided their lands, either selling off portions or else retaining them as landlords.

From c1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets. By the late 19th century The Rocks had become run down and overcrowded, the dozens of pubs being seen as meeting places for criminal gangs, and the back streets the haunts of prostitutes. In short, it was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean the area up. Of the 103 deaths attributed to the plague, only three occurred in The Rocks. The entire area was bought up ("Resumed") by the Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) which then demolished hundreds of houses considered to be uninhabitable.

### **2.2.4 Redevelopment (1900-current)**

The newly formed State Government Housing Board designed and built "workers" housing in 1911-13 in a move to keep tighter control on the area. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of "terrace" housing as being unhealthy; this being the period of sub-urban expansion and the development of the "Garden Suburb"

ideal. The First World War halted much of the Government's redevelopment plans for the area and effectively stopped further demolition.

In the inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War & Glenmore), and some NSW Government offices (Housing Board, Dept. of Labour and Industry, State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair's butchers, Bushell's, Cadbury's) and all relied on locally-based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953 and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932, saw the demolition of some 400 houses in Princes Street, Upper Fort Street and the western side of Cumberland Street. Princes Street itself disappeared from the map.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c1932-1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex St (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as the post-war immigration gateway to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development. Between 1971 and 1973 the Government gave in to their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable. Local residents were re-housed in the area, and the former Victorian residential terraces of George, Playfair, Gloucester and Harrington Streets were converted to commercial uses. The area south of the Cahill Expressway, known as the "sacrificial zone" was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

## 2.3 Development of the precinct

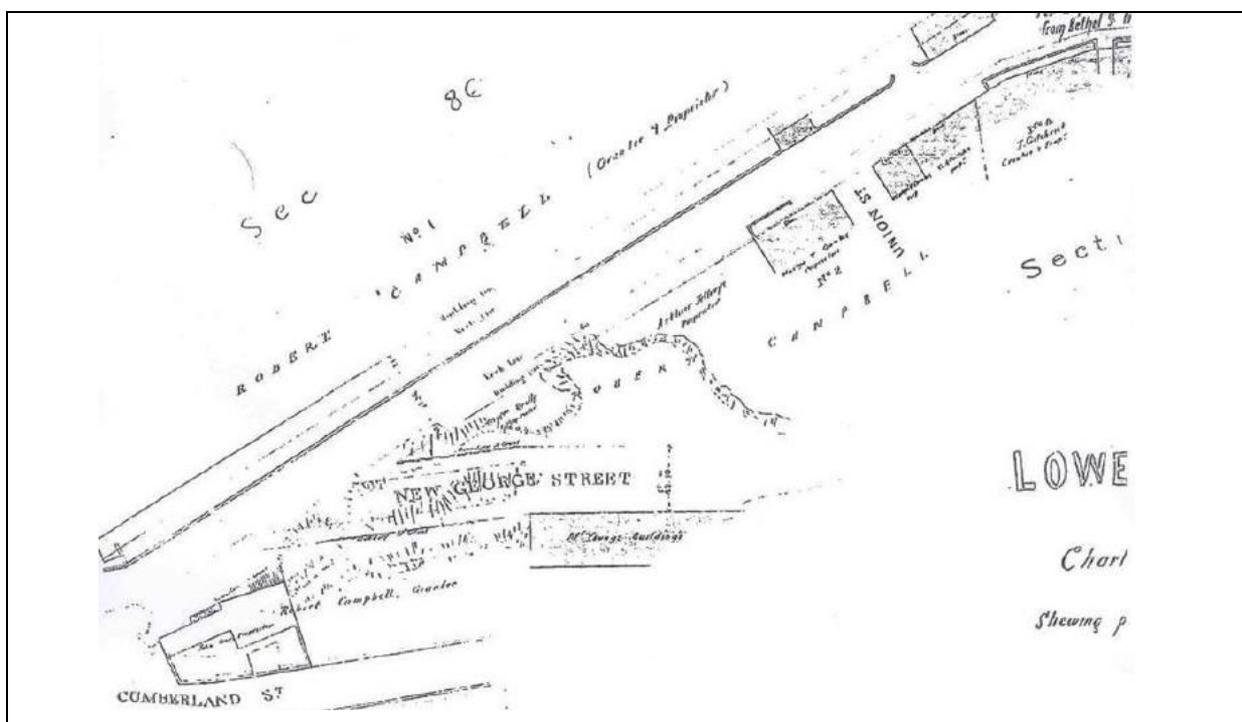
Avery Terrace is sited on land that formed part of an 1834 land grant to Robert Campbell Senior (Lands Dept. – Titles). A plan of Campbell's grant of that date clearly shows the current rocky spine of The Rocks extending over the site of the terraces (Figure 2.1). In the mid to late 19th century Atherden Street, formerly known as Union Street, extended from George Street at its eastern boundary to the sandstone escarpment at its western end. In 1841 Union Street formed the boundary between the lots subdivided by Campbell around this time. The eastern end of Union Street is documented on an 1849 road alignment plan of George Street (Figure 2.2). The plan indicates that much of Campbell's grant on which the site is located is still undeveloped.

The first houses in Union Street were built by George Atherden, Robert Campbell's overseer, c.1856 on the south side of the street (City of Sydney Archives, Assessment Books). A Trigonometrical plan of 1856 (Figure 2.3) shows Atherden's buildings, and the site of Nos 2-4 across the road as vacant. The stone cottages appear on Percy Dove's c.1880 plan reproduced below (Figure 2.4). At the time, Playfair Street to the south was named Little Gloucester Street. On the north side of the small street, directly opposite the cottages were a number of sheds at the rear of a building on the corner of George and Union Streets owned

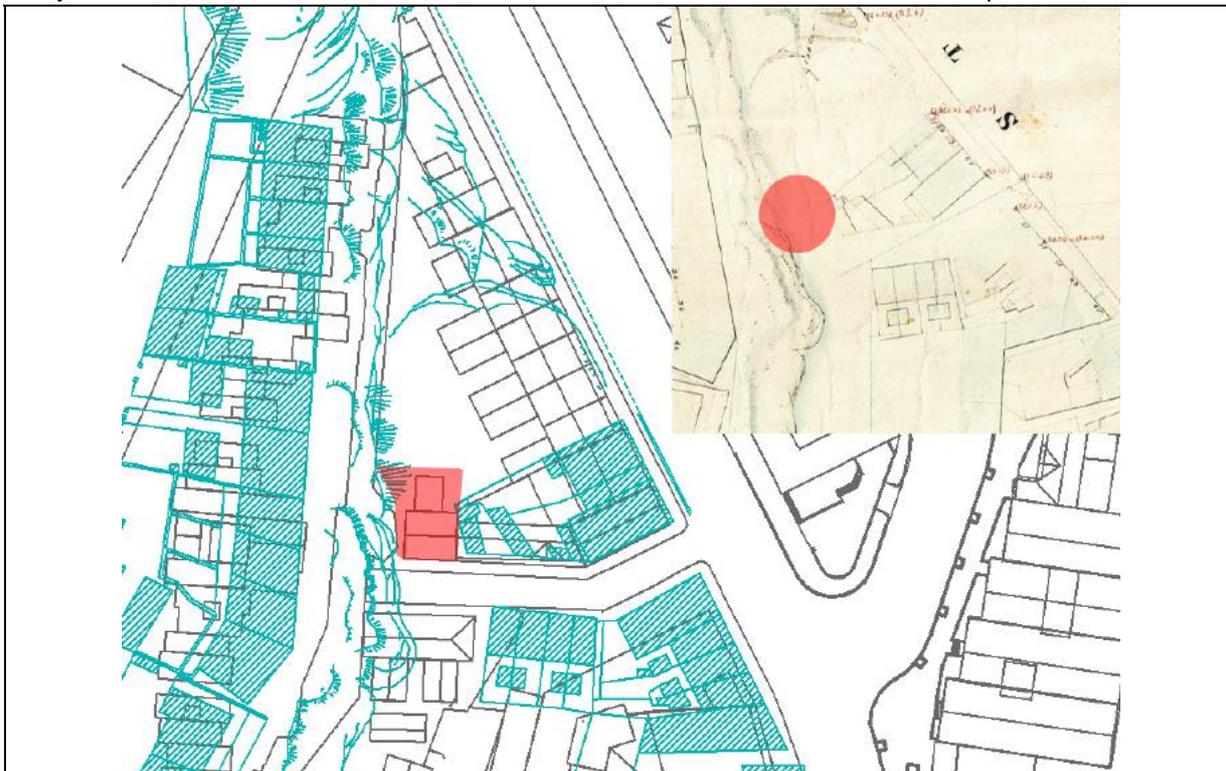
by Martyn & Coombes. The site on which the sheds were located was known as 6-8 Atherden Street.



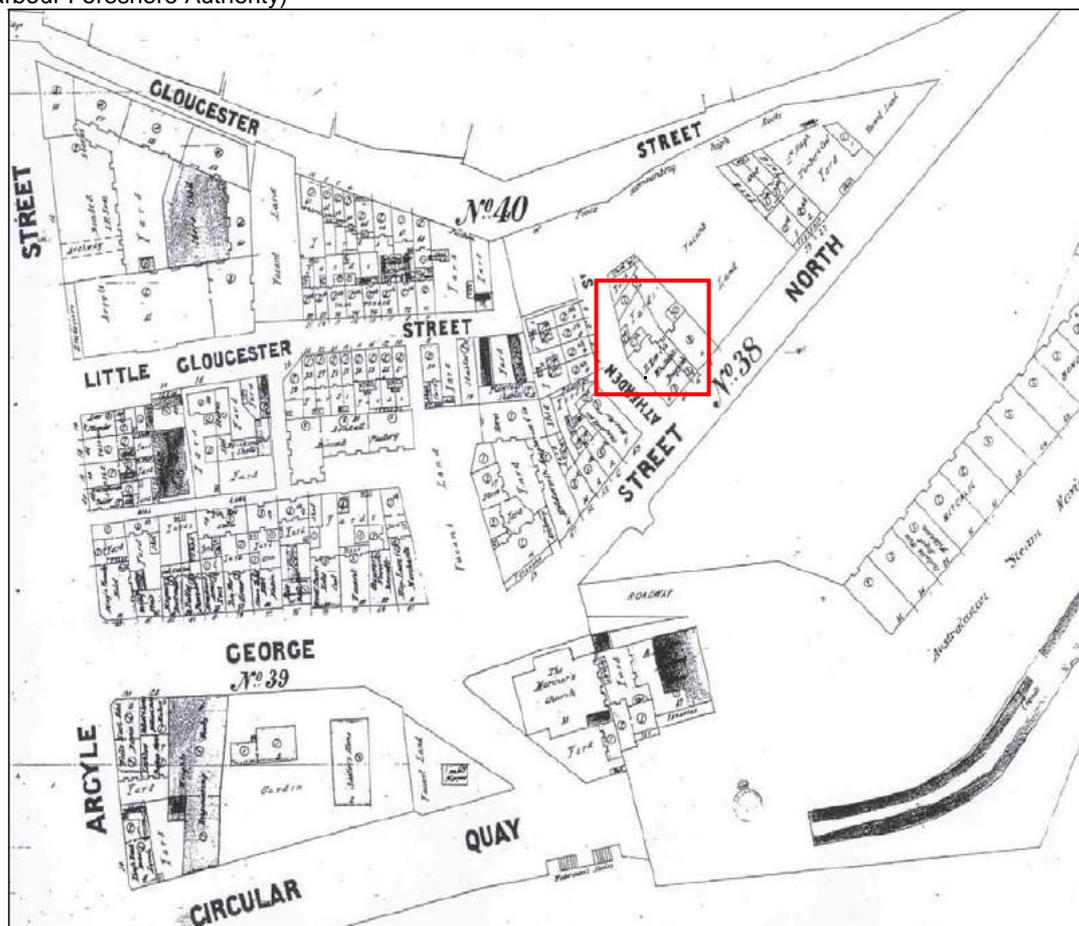
**Figure 2.1:** Site of 2-4 Atherden Street in 1834 (shaded in red) on tracing of original (inset, site circled) superimposed on the modern street plan. The rocky nature and extent of rock is indicated on the site prior to quarrying. Source (original): Mitchell Library 398A. (Tracing Sydney Harbour Foreshore Authority)



**Figure 2.2:** Part of a 'Plan of Lower George Street' prepared by the council in 1849. Source: City of Sydney Archives, City Engineers Dept. 53A-61/2



**Figure 2.3:** Site of 2-4 Atherden Street in 1856 (shaded in red) on tracing of original (inset, site circled) superimposed on the modern street plan. By this date the site of the terraces had largely been quarried of its stone. Source (original): Sydney City Council Archives, 1855 (sic) by Hugh Channey, surveyor. (Tracing Sydney Harbour Foreshore Authority)



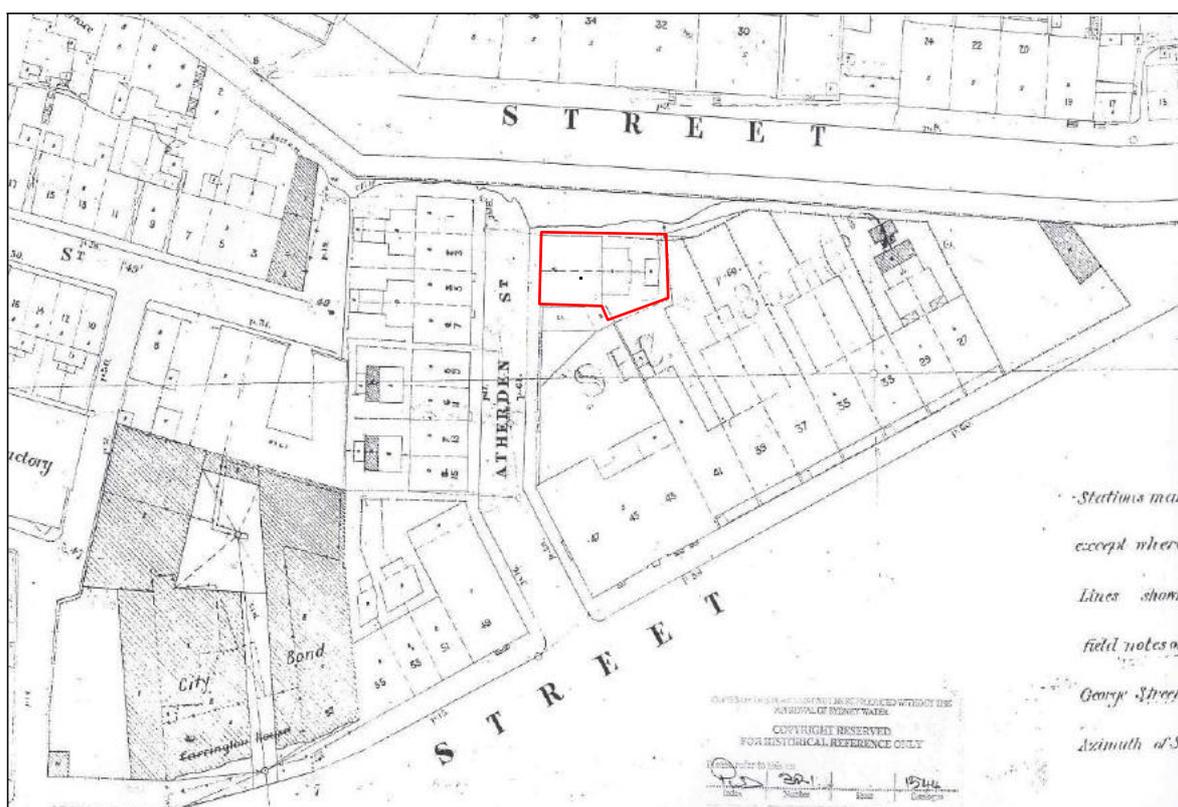
**Figure 2.4:** Part of Percy Dove's Plans of Sydney showing Atherden Street and George Atherden's cottages, c1880, shown within the red box. Source: SLNSW ML MAV/FM4/10685 Frame Nos. 1-65

Atherden Street was extended to the cliff face following the construction of Playfair and Avery Terraces at its western end. A laneway or right-of-way provided access to what is now Playfair Street, although for a short period of time it was known as Harrington Street. Dove later updated the plan to show the footprint of Avery Terrace, built c1881, as recorded on the Public Works Department Plan below (Figure 2.5).

The Darling Harbour Resumptions of 1901 made no immediate changes to Atherden Street, although the plans provide a valuable and detailed record of the buildings in the vicinity of Atherden Street, and the area generally (Figure 2.6).

As part of the gradual redevelopment of The Rocks in 1921 the four, single-storey, stone cottages on the south side of Atherden Street, were demolished to allow for the extension of Playfair Street through to George Street in 1922. The road alterations effectively left 'Atherton Place', as a much shortened *cul de sac* extending from Playfair Street (or Harrington Street as it was known c1930s) at its eastern end, to the sandstone escarpment to the west. The configuration of Atherton Place c1960s is illustrated in the Figure 2.7.

No changes in the street alignment have been made to this precinct since the 1960s. Plans to 'pedestrianise' The Rocks commenced in the 1970s and involved the trial closure in 1973 of Atherden Street and Playfair Street to vehicular traffic. Closure was approved in 1974 and the roadways were transferred to the Sydney Cove Redevelopment Authority<sup>4</sup>. In 2014 Atherden Street is used as a shared pedestrian and vehicular precinct.



**Figure 2.5:** Configuration of Atherden Street c.1887-1895 as shown on a Public Works Department Plan No. 321/1544, Prepared by Surveyor S. Mills, 28 Dec 1887. Revised by Surveyor Madsen c.1895 but no changes recorded for the subject property. The red outline indicates the site location. Source: Sydney Water Plan Management

<sup>4</sup> City of Sydney Archives NCRS Files 1686/1973; and P549-19.  
Report prepared by Sydney Harbour Foreshore Authority  
Place Renewal Division, Strategic Planning Team

For the purposes of this report the Atherden Street precinct consists of the street itself and the two terraces of houses:

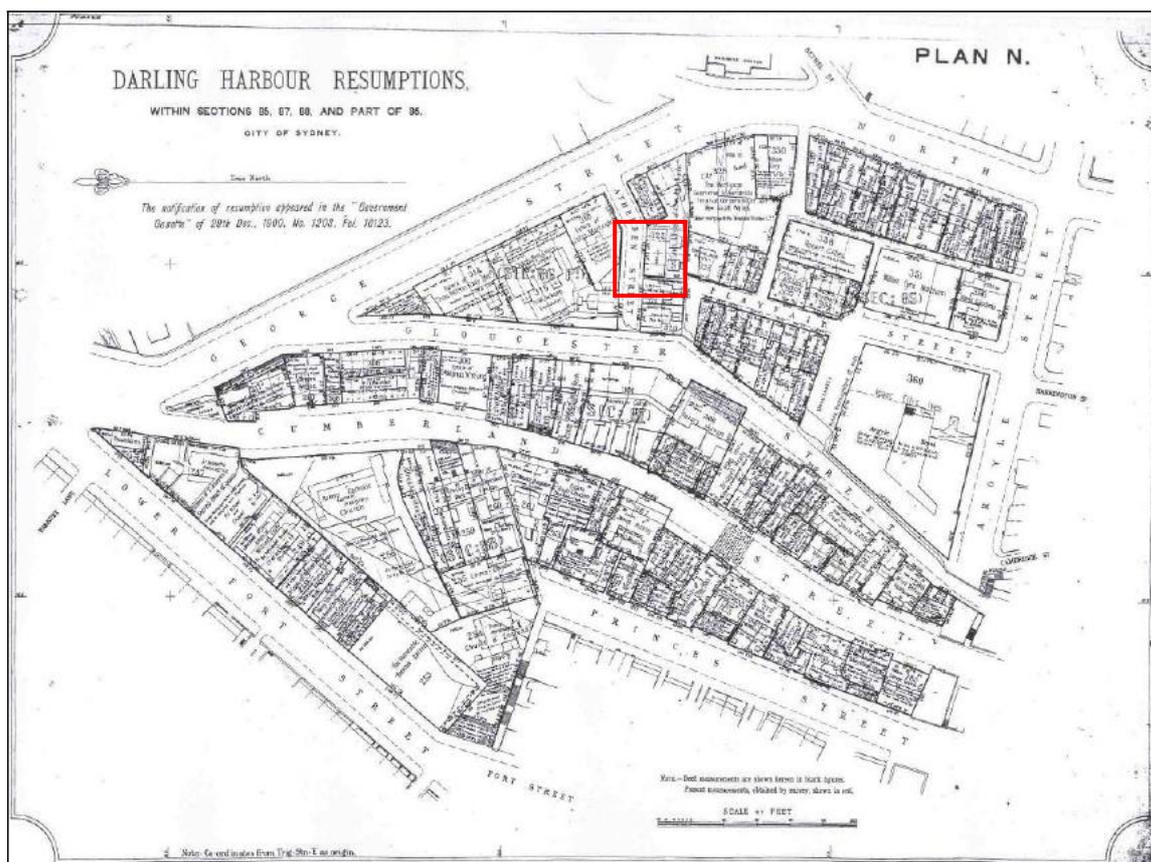
- Playfair Terrace, 1, 3, 5 and 7 Atherden Street, on the southern side of the street and accessible from Playfair Street; and
- Avery Terrace, 2 and 4 Atherden Street, on the northern side of the street backing onto a right-of way on the northern boundary.

Both terraces have a long history of residential tenancy, and have never been owner-occupied. Playfair and Avery Terraces were in private ownership until the Darling Harbour Resumption Act of 1900. This led to their purchase by the NSW Public Works Department in the next decade. Following their purchase they and surrounding properties were administered by the NSW Public Works Department followed by the Maritime Services Board (formerly the Sydney Harbour Trust), Sydney Cove Redevelopment Authority, and most recently the Sydney Harbour Foreshores Authority.

Avery Terrace and Playfair Terrace are located on land granted to Robert Campbell Senior in 1834, and are connected through several tenants in the late 19<sup>th</sup> and early 20<sup>th</sup> centuries. It was not uncommon for tenants to move from one house to another, from year-to-year. One such family was the Avery family. Circa 1928-9 the Averys were living in four of the six Atherden Street houses and swapping houses from time-to-time<sup>5</sup>.

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<sup>5</sup> *Sands Directory*; Sydney Municipal Council Assessment Records NCRS 17; Lands Dept –Land Titles  
Report prepared by Sydney Harbour Foreshore Authority  
Place Renewal Division, Strategic Planning Team



**Figure 2.6:** Part plan of Darling Harbour Resumptions 1900-02, the site indicated by the red box. Source: City of Sydney Archives, 'Plan N', Darling Harbour – The Rocks Resumptions Plans, James S. Mollison, Assistant Engineer, 1900-02.



**Figure 2.7:** Part of a c.1960s Detail Sheet No.2 of the City of Sydney prepared by the City Building Surveyors Department Cartographic Branch. The site is indicated by the red box. Source: City of Sydney Archives

Avery Terrace shares a common history with 33-41 George Street, both of which are located on land purchased by Edward Stanley Ebsworth in 1878. Circa 1880, Ebsworth commissioned the construction of a terrace of five houses on George Street and c1881 commissioned the more modestly detailed Atherden Street, Avery Terrace. Both properties were purchased by the Sydney Real Estate Bank Ltd in 1888<sup>6</sup>.

Nita McCrae, an activist in the 1970s, who campaigned to preserve the historic residential precinct in The Rocks, is also associated with the 20<sup>th</sup> century history of both properties. Descended from the Avery family, McCrae grew up in 4 Atherden Street, eventually leasing the house in her own name until c1969-70, when she moved to 35 George Street, now known as Sergeant Majors Row. Many meetings of the Millers Point Action Group and Rocks Resident Action Group took place in the George Street house and in 1996 a plaque paying tribute to McCrae's role in preserving The Rocks' residential precinct was affixed to it.

A building to house the Westpac Museum, now vacant, was built beside Avery Terrace in 1986, and its slightly larger scale, form and detailing changes the commercial atmosphere that persisted in the area until the late 20th century.

In more recent times the occupations of Avery Terrace's tenants have changed, consistent with changes to The Rocks in the last 30 years. The location of the houses in close proximity to Sydney's central business district continues to provide numerous advantages to those who live and work here.



**Figure 2.8** Warehouse at 6-8 Atherden Street c.1985, prior to the construction of a new building in 1986 (Figure 23) and its lease to Westpac to house their museum; Source: Foreshore Authority Archives, Avery Terrace, Image File No.163586

<sup>6</sup> Lands Dept, Land Titles  
Report prepared by Sydney Harbour Foreshore Authority  
Place Renewal Division, Strategic Planning Team



**Figure 2.9** Avery Terrace at 2 and 4 Atherden Street beside the Westpac Museum at 6-8 Atherden Street constructed in 1986, photographed in 2007 (left) and now vacant (2016). Source: Sydney Harbor Foreshore Authority, FORM architects P/L (left image) and M Stacy (right image).

## 2.4 Historic Themes

In the early years of European settlement in New South Wales, houses were generally free standing. It was not until the 1830s that terrace housing was established as a common form, particularly in the inner city areas. An influx of poor migrants and realisation of the potential financial returns gave land speculators incentive to try and meet the demand for cheap accommodation. Terrace housing was ideal as savings could be made on land, as two or more houses could be constructed on lots that previously accommodated one dwelling. Savings could also be made on construction costs with the use of party walls, common chimneys and repetitive detailing.<sup>7</sup>

During the late 1830s a number of changes emerged. In 1837, concern about the structural stability and fire safety of buildings led to the development of a Building Act which required that party walls were to be of brick and extend beyond the roof surface. Combustible materials were to be excluded externally. As a result, no timber verandahs were allowed, shingle roofs were banned and timber windows and doors had to be recessed behind the external face of the brickwork. A slightly higher standard of terrace housing emerged; however, this was short lived with a decline following the recession of the early 1840s. Public reaction to the Building Act and rising building costs resulted in amendments to the Act in 1839 and relaxing of some of the regulations.<sup>8</sup>

The increased density resulted in rapid disappearance of gardens in the front and rear of the buildings and smaller, utilitarian yards. Previously cottage gardens were utilised to grow fruit and vegetables. By the 1840s it seems that the residents of The Rocks relied on purchased goods from the numerous local corner shops. Susannah Place, Nos. 58-64 Gloucester Street, indicates the way housing was developing in the 1840s, with the lack of front yard and garden (No. 64, retains the original rear yard), and built form maximising the site.<sup>9</sup>

<sup>7</sup> Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 7

<sup>8</sup> Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993), p17.

<sup>9</sup> Green, A, Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p11.

The terraces constructed in areas such as The Rocks, Surry Hills and Darlinghurst, during this period, were generally designed with minimal accommodation and little if any architectural embellishment. The better quality terraces were constructed of brick with lime-wash finish, and later a plain stucco finish was used. Early roofs were clad in timber shingles and later in corrugated iron. The gable roof form was used without a parapet. Windows and doors followed the fashions of the day. Internally the walls were generally either whitewashed, plastered, or laths with square set cornices. Beaded board ceilings were commonly used in the first floor level with simple joinery throughout.<sup>10</sup>

In plan, the two storey row terraces usually comprised two rooms on both levels with narrower service wing at the rear. The main entrance typically led directly into the front room. An entrance hall was only used in the larger examples. Fireplaces were usually provided in the two main rooms on the ground floor and possibly in one of the upstairs rooms. A kitchen hearth was sometimes provided in the rear wing.<sup>11</sup> Buildings were generally constructed exactly to the property boundary to maximise floor space and unlike the earlier, single storey cottages, faced the street address, and not Sydney Cove.<sup>12</sup>

Improvements were made in the 1880s, when a higher quality of building was generally being constructed due to the general confidence and affluence of the time, however, the recession of the 1890s resulted in a return to more modest styles of housing. It is in this context that the subject buildings were constructed in c. 1892.

It was the outbreak of the plague in January 1900 that necessitated an effort to improve the sanitary conditions in affected areas such as The Rocks. A house to house recording was undertaken and notices were issued to buildings that were to be "cleansed". The cleansing involved lime washing all ceilings, whitening walls previously whitened, lime washing all cellar, basement and outhouse walls, scrubbing all timberwork, floor boards and floorcloths with a carbolic solution. All sanitary fixtures were flushed with hot water, then carbolic solution and then dressed with solid disinfectant, lime chloride. All makeshift buildings were condemned and garbage, ashes and stable bedding removed and destroyed.<sup>13</sup>

A number of buildings in Gloucester Street, some relatively close to the site, were demolished. It is assumed that the subject buildings were retained, due to their recent construction, building materials and form. The buildings were constructed of solid materials and were separated by masonry party walls which continued up the height of the buildings, past the roof space. Substantial brick buildings such as Susannah Place, which was also constructed with party walls and a few earlier buildings, such as Reynolds Cottages in Harrington Street, also may have survived due to their stone and brick construction materials.<sup>14</sup>

The Sydney Harbour Trust and later Maritime Service Board (MSB) were responsible for shipping, wharves and maritime activities. They also assumed responsibility for a number of residential properties including the subject buildings. The maritime activities diminished during the 1960s and 1970s and led to a decline in the traditional population and reputation of the area as a slum.<sup>15</sup>

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<sup>10</sup> Green, A, Anglin, L, *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, p11.

<sup>11</sup> *Ibid*, p11

<sup>12</sup> Boyd, N, *Gloucester Street, The Rocks A Study of its Development and Construction, (1997) Thesis*, p98.

<sup>13</sup> *Ibid*, p133

<sup>14</sup> *Ibid*, p152

<sup>15</sup> Tropman & Tropman Architects, *Argyle Terrace Conservation Plan, (August 1993)*, p22.

In 1970 the newly formed Sydney Cove Redevelopment Authority started to consider the total redevelopment of The Rocks area. Strong local opposition resulted in the formation of The Rocks Residents Group. The local residents also enlisted the support of the NSW Builder' Labourers Federation who imposed a "Green Ban" on all demolitions in the area.

In 1973 The Rocks Resident Groups with a group of interested professionals and academics produced "The People's Plan" which advocated alternative developments for the area and sought to conserve the historic character and nature of The Rocks.<sup>16</sup> The primary aim was to protect the rights of the residents but also promotion of the area as a historic precinct.

In 1988 SCRA changed its name to the Sydney Cove Authority, signifying its change of attitude and philosophy.<sup>17</sup> The main aim now was to adapt buildings worthy of retention, generally for commercial use, so that they would remain as viable components of the area. Development sites were identified for associated commercial and leisure uses, such as hotels, bars and restaurants. The subject buildings were located in such an area deemed appropriate for development as a hotel. The buildings were combined by the opening up of internal party walls and adapted to a pub, taking advantage of its prime corner site. Since that time The Rocks has experienced a mix of conservation and re-development with a range of uses with emphasis on promoting the area as a tourist destination. The buildings have continued to contribute to the historic character and leisure in the precinct as a pub (since 1992) and through its association and use with the adjacent hotel complex.

## 2.5 Initial Development of the Site

An modern composite map purporting to show The Rocks in 1802 (and therefore not wholly trustworthy), (Figure 10) shows the site as part of that granted to Captain Waterhouse; with lessee, Robert Campbell<sup>18</sup>. Waterhouse was a distinguished officer in the Royal Navy and had been given a number of grants including this one at Sydney Cove. Waterhouse returned to England in 1800, possibly forfeiting the land shown in the map below.<sup>19</sup>

As Grace Karskens has pointed out in her extensive research of The Rocks, in the early years of settlement this part of the young colony was largely the preserve of the huts of convict men and women and the 'unofficial side' of the town<sup>20</sup>. Robert Campbell Senior and other entrepreneurs soon developed the area for their mercantile interests, adding wharfs and stores to the craggy headland.

Campbell's lease was recorded on a map prepared in 1807 (Figure 11) by James Meehan, the Assistant Surveyor of Lands for the colony of NSW (Meehan 1807). Campbell used the site west of the 'High Street' (later George Street North or Lower George Street) and another closer to the western shore of the harbour to operate wharves and a successful mercantile business. Campbell & Co. operated in the colony from 1800 despite not having formal authorisation from the British government. By 1804 the firm was heavily engaged in NSW trade, with its Sydney warehouses storing goods valued at

<sup>16</sup> Historic Houses Trust, *Susannah Place 1844, A Museum in the Making*, (1993).

<sup>17</sup> Robert Moore Pty Ltd in association with the Historic Houses Trust, *Conservation Analysis & Guidelines*, (1989), p14

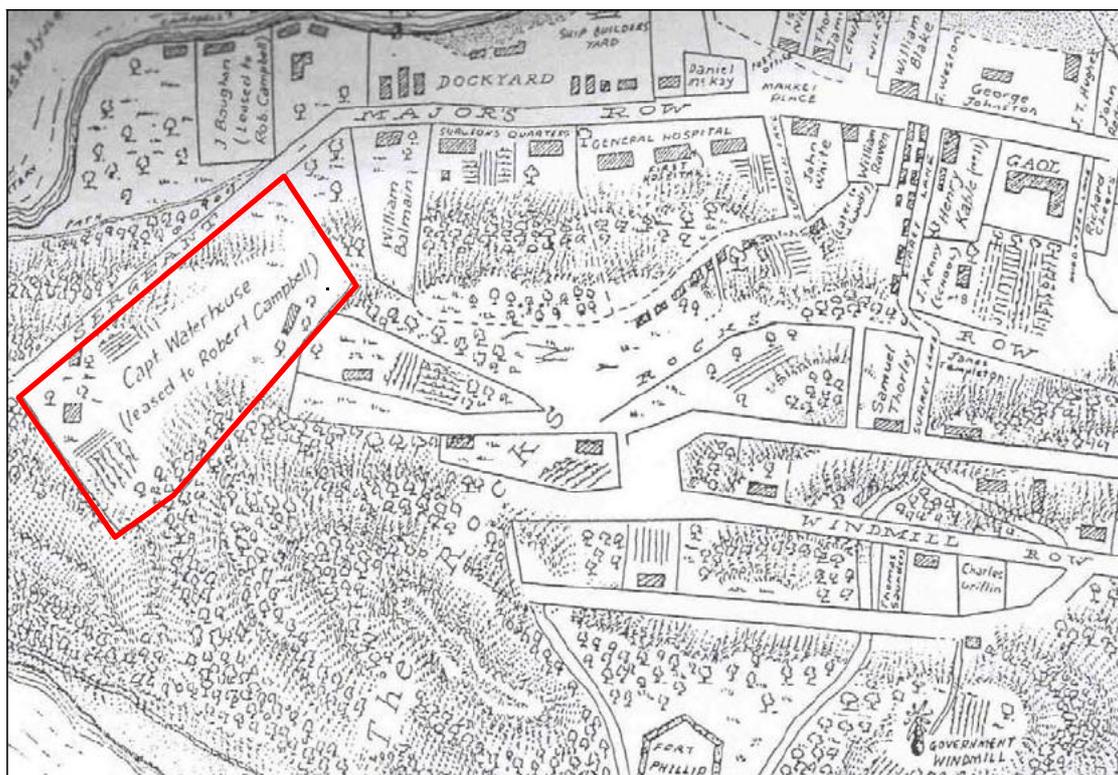
<sup>18</sup> Karskens, G., *George Street North, The Rocks, Sydney: An historical and archaeological study 1788-1980s, prepared for Conybeare, Morrison and Partners and Sydney Cove Authority, Nov 1989 (ML Q994.4006/36), Figure 4, n.p.*

<sup>19</sup> Parsons, V., *Henry Waterhouse (1770-1812)*, in Pike (Gen Ed), 1967. *Australian Dictionary of Biography, Volume 2: 1788-1850, p573-574.*

<sup>20</sup> Karskens, G., *Tourists and Pilgrims: (Re)visiting The Rocks*, p32.

£50,000 and transporting livestock<sup>21</sup>. From 1827 Campbell Senior's two eldest sons took a larger role in company operations, becoming partners in 1828.<sup>22</sup>

On 16 October 1834 Lot 1 (2 roods 15 perches), Lot 2 (3 roods 34 perches, later known as Lot 1), Lot 3 (3 roods 25.5 perches) and Lot 4 (2 roods 5 perches) were formally granted to Robert Campbell Snr 'to promote the Establishment of Towns in the Colony of NSW' (Figure 2.8). The grant was subject to conditions including the construction within three years of a permanent dwelling house with appropriate drainage on each allotment and payment of a 'Quit Rent' over nine-years (refer to Land Titles Schedule in the Appendices). Campbell used some of the land for his own business needs, leasing other parts for trade and port associated activities. It was one of a number of land grants acquired by Campbell in NSW.



**Figure 2.10:** Part of a tracing of a c.1802-9 map of Sydney (creator of the map unknown). Campbell's lease is shown adjacent to Sergeant Majors Row, later renamed George Street. Source: Karskens 1989: n.p. Fig 4

In early 1841 Robert Campbell Snr subdivided Lot 1 in preparation for sale. The site was roughly triangular-shaped and bound by George Street North on its eastern side, and by New George Street (later renamed Gloucester Walk) to the west. Its western boundary was dominated by a long sandstone bluff running north-south along the peninsula, reducing in height toward Dawes Point to the north. The bluff separated Campbell's Lot 1 and Lot 2 further to the west. It has been argued that around this time Campbell was preparing his affairs for the settlement of his estate to his heirs also selling land at Petersham in 1837 and South Ashfield in 1841. Campbell was willing to accept £40,000 for his property of more than four acres adjacent to the wharf and including

<sup>21</sup> Steven, M., *Robert Campbell (1769-1846)* in Douglas Pike (Gen Ed), 1966, *Australian Dictionary of Biography, Volume 1: 1788-1850*, p202-6.

<sup>22</sup> Newman, C.E.T., *The Spirit of Wharf House: Campbell enterprise from Calcutta to Canberra, 1788-1930*, p133.

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Warehouses.<sup>23</sup>

Auctioneer Mr Thomas Stubbs described the land 'At Campbell's Wharf, Opposite the Entrance Gate' as,

*All that well adapted and valuable plot of ground of the Estate of R. Campbell, Esq., M.C., and now subdivided into Six Building Allotments, open and immediately accessible to all the general shipping, Custom House, Bonded Warehouse, and harbour business of the trade and port of Sydney. (It commands all the shipping lying in Sydney Cove (The Australian 22 May 1841).*

The property, to be auctioned on 2 June 1841, bounded George Street and a short street 'charted out as Union-street' (later renamed Atherden St). In a prime position it,

*...sketches a carriage way and approach from Campbell's Wharf and George-street, to a proposed parallel extension of George-street, forking off from Essex-street, through Argyle-street, passing the Custom House, and joining Lower George-street again.*

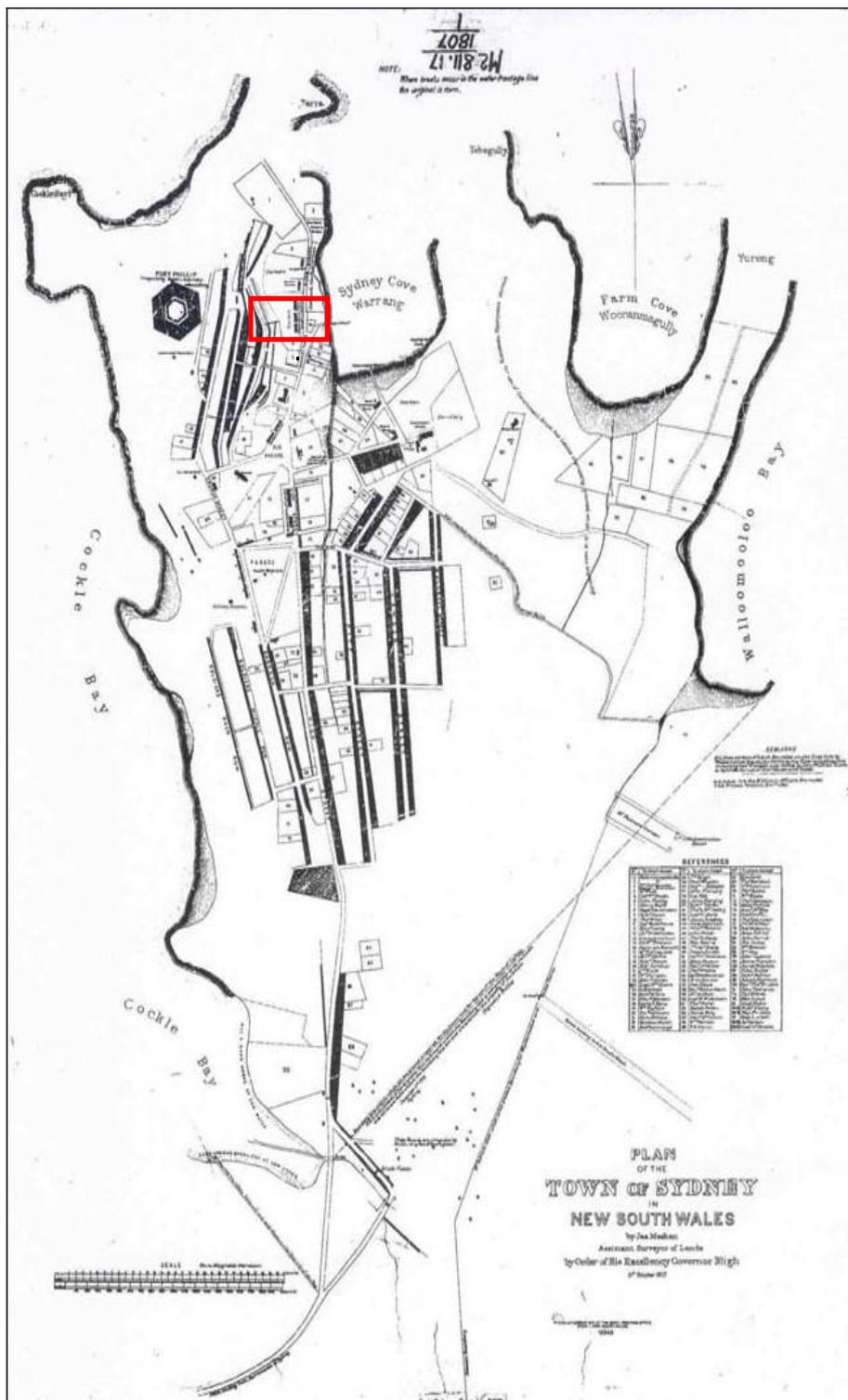
The land was well-positioned for the construction of 'properly built warehouses', for which there was a strong demand. The land was reported to have realised an average of £16 per foot, however Land Titles indicate that Lots 9 and 10 remained unsold.<sup>24</sup> Lots 1 and 2 were purchased by George Atherden, a wharfinger of Sydney, who in 1878 was to purchase Lots 9 and 10 (11 perches to the south-west corner of Campbell's grant), that are the subject of this report. By 1856 Atherden had constructed four stone cottages facing Union Street. They were listed in the City of Sydney Assessment Books (Gipps Ward) from 1858.<sup>25</sup>

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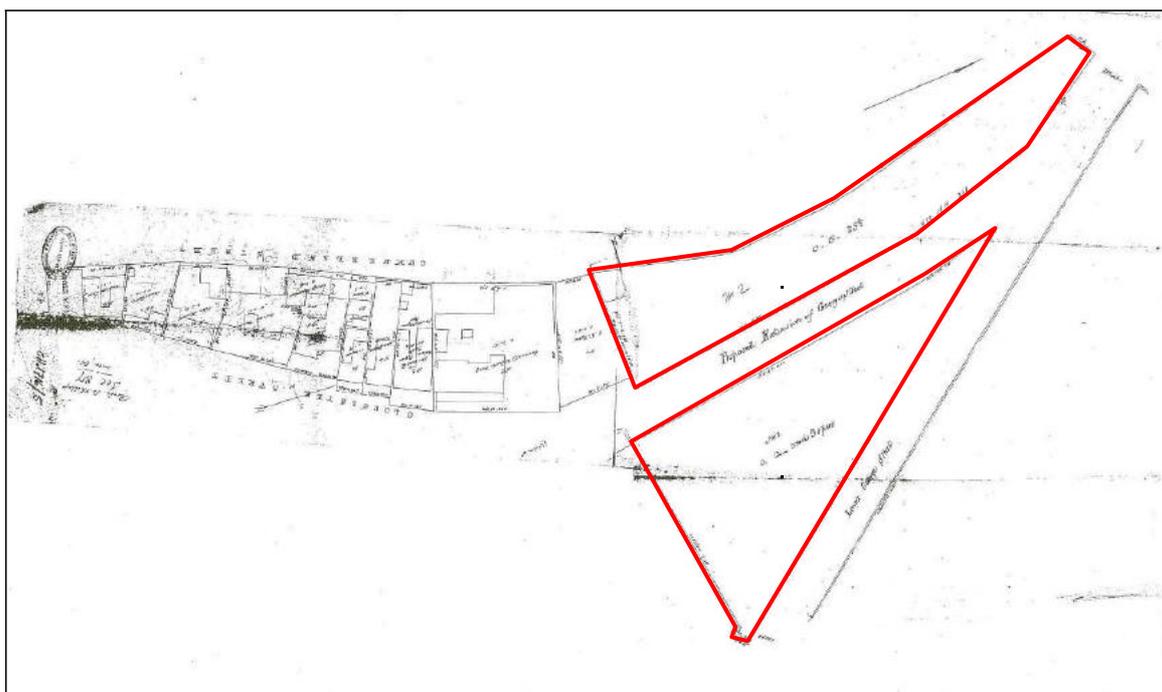
<sup>23</sup> Newman, *ibid*, p167.

<sup>24</sup> *The Australian*, 5 June 1841.

<sup>25</sup> City of Sydney Archives, Detail Sheets 1856, NCRS 502/33.



**Figure 2.11:** 'Plan of the Town of Sydney in New South Wales', by James Meehan, Assistant Surveyor of Lands, dated 31 October 1807. Atherden Street is in the red box. Source: Mitchell Library, SLNSW M2 811.17/1807/1



**Figure 2.12:** Plan showing the extent of Campbell's Lots 1 and 2, outlined in red, as they appeared c.1835.  
Source: ML Subdivision Plans City of Sydney SP811.1716/5

Robert Campbell Senior died at Duntroon on 15 April 1846. After the payment of a number of legacies his estate was divided into six parts. Five parts to his four surviving sons, John, Robert, Charles and George Campbell, and his unmarried daughter, Sarah Ives Campbell; and the sixth part to Arthur Jeffreys (1811-1861), his son-in-law, on the proviso that he provide for Sarah Campbell, Arthur's wife. The will created a complex trust ensuring the future wealth of Campbell's heirs and successors. The estate included substantial acreages throughout New South Wales, as well as the residue of the George Street site and Lots 9 and 10.<sup>26</sup>

More of the George Street property was offered for sale by George Campbell in 1847. A plan below shows the allotments already sold and the residue (Figure 2.13). In 1848 the heirs to Campbell's estate agreed to partition the landholdings amongst the shareholders, with the 1 rood 32.5 perch residue of the George Street North allotment allocated to Arthur Jeffreys. The land remained part of the trust, and was left to 'the use of his brothers-in-law'. An 1849 road alignment plan (part of which is shown below at Figure 2.12)) confirms Arthur Jeffreys ownership of the land by at this time, as well as the lots that had been sold and the buildings constructed along George Street. Union Street is shown near the southern end of the site, bound on the north and south by buildings owned by Martyn and Coombes. George Atherden's premises are indicated on the southern boundary of Campbell's Lot 2.<sup>27</sup>

<sup>26</sup> Newman, *ibid*, p170.

<sup>27</sup> City Engineers' Dept, S3A – 61/2, City of Sydney Archives.

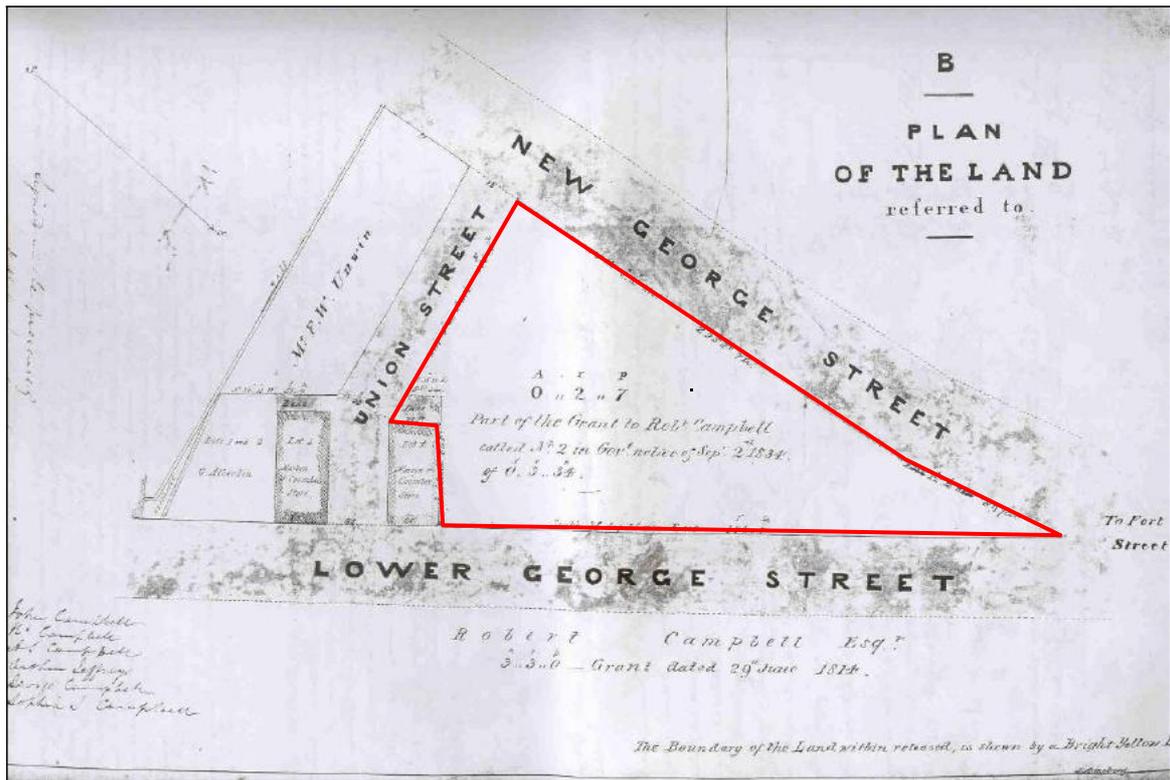


Figure 2.13: Plan of Campbell's landholding west of Lower George Street as shown in a conveyance dated 19 Feb 1847. Source: Lands Dept. Old Systems Land Titles Bk 13 No.21

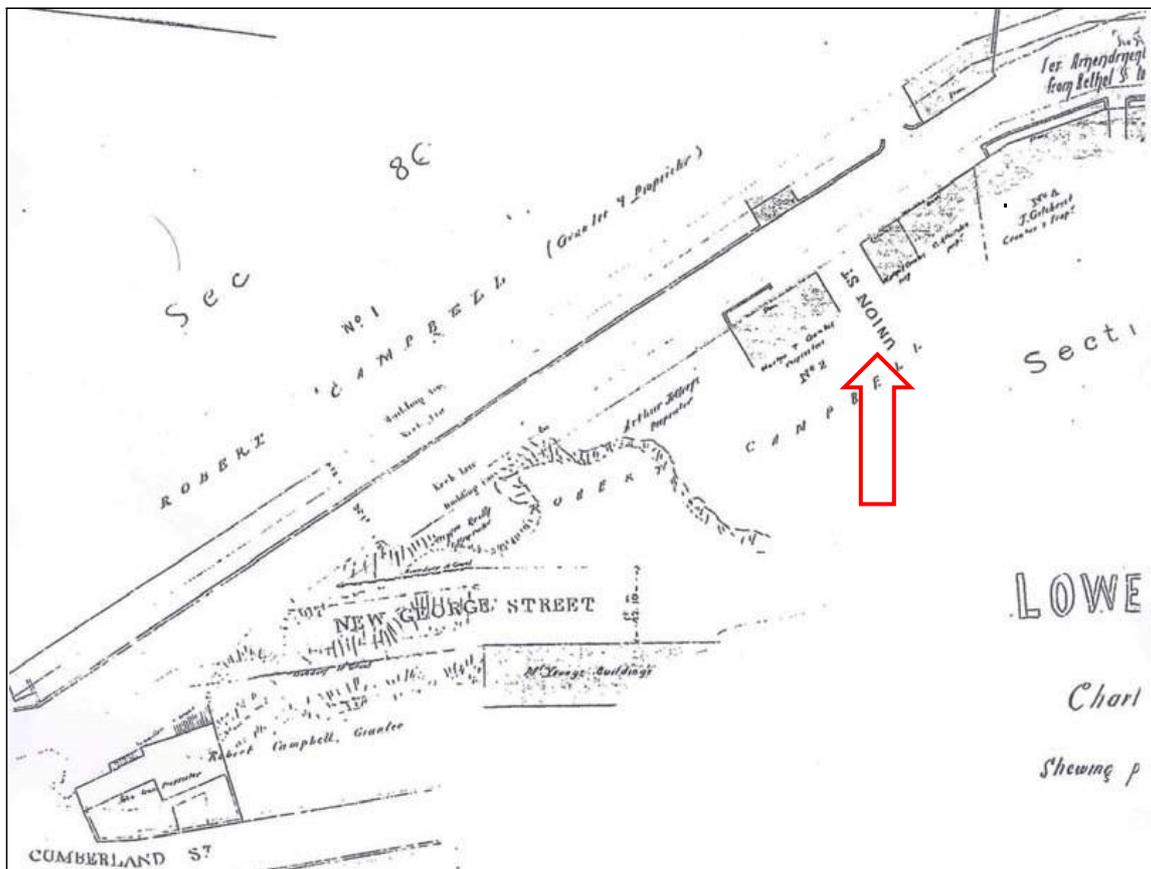
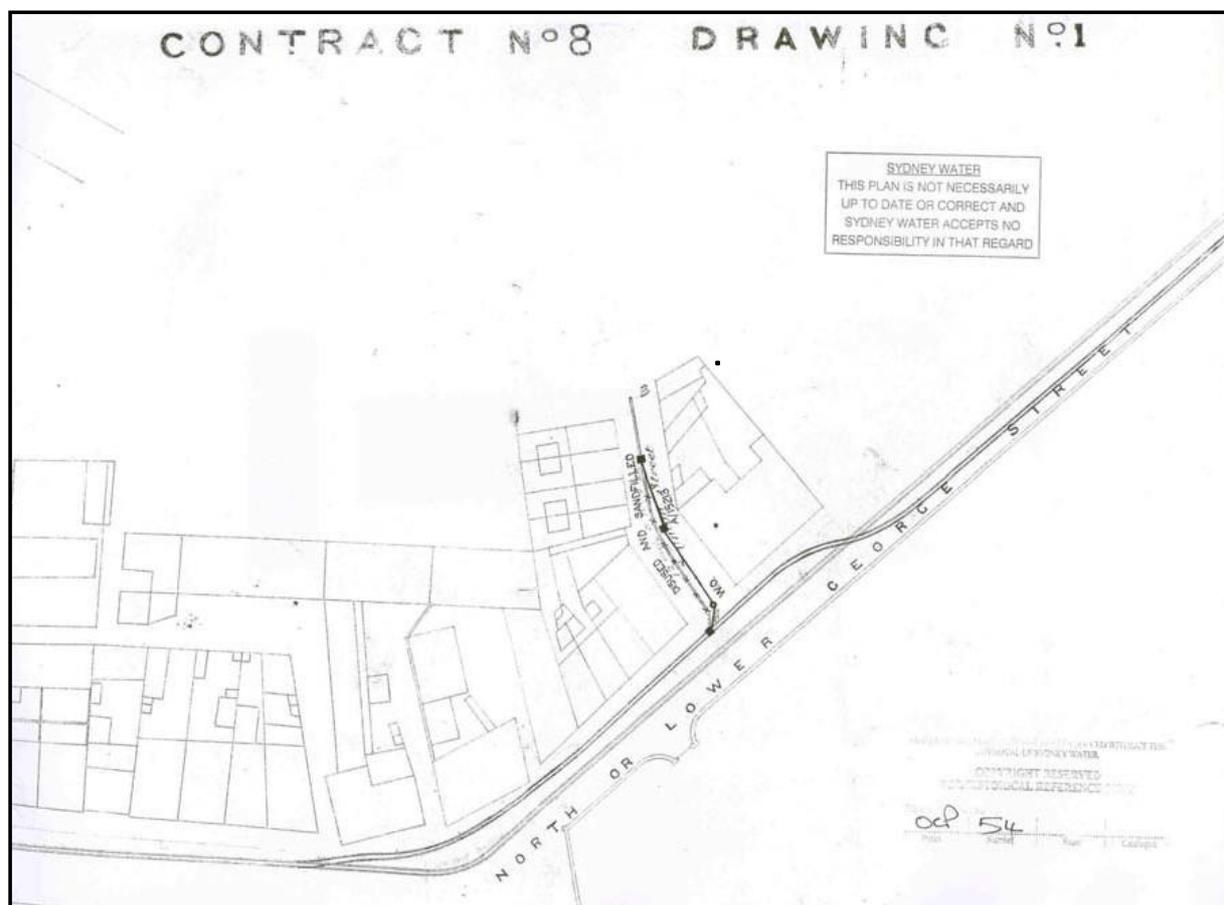


Figure 2.14: Part of the 'Plan of Lower George street from Charlotte Place to Fort Street 1849' showing Union Street Source: City Engineers' Dept., S3A – 61/2, City of Sydney Archives

Arthur Jeffreys died in England in 1861 leaving his interests in the Campbell Estate to his son, John Jeffreys. Primary sources of this period confirm that Lots 9 and 10 remained vacant until the early 1880s.<sup>28</sup>

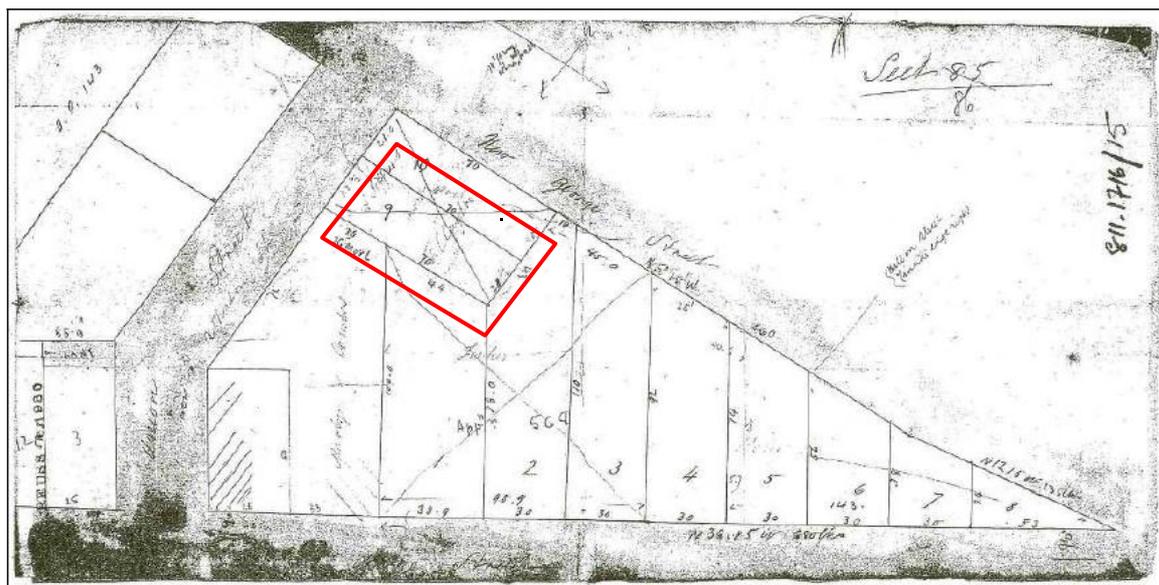


**Figure 2.15:** Sydney Water plan known as 'Old Council Plan No.54' (1873) showing two sheds to the east of what were later known as Lots 9 & 10. The sheds are shown on 1887 Public Works Department plans as being of galvanized iron. Source: Sydney Water Plan Management

In 1873 a conveyance was made between John and George Campbell and John Jeffreys of Fernhill, England, in accordance with Arthur's will. By this time land titles indicate that it was the sole remaining allotment of Campbell's grant in The Rocks and known as Lots 9 & 10 (11 perches) (Figure 2.15). This is confirmed by an undated sketch titled Section 86 (Figure 2.16) located with City of Sydney Subdivision Plans in the Mitchell Library.<sup>29</sup> In February 1878, ending a long period of ownership by the Campbell family, George Atherden purchased Lots 9 and 10, adding to his substantial land and business interests in The Rocks, at this location. The allotments are shown in a sketch shown below at Figure 16. Circa c.1875-6 the Union Street had been renamed Atherden Street after George Atherden who owned property on the south side of the street and lots facing George Street.

<sup>28</sup> City Engineer's Trig Survey c.1854-65; City of Sydney Assessment Books, Gipps Ward NCRS 17; Detail Sheets NCRS502/33; Dove's c.1880 Plans MAV/FM4/10685.

<sup>29</sup> City of Sydney subdivision Plans in the Mitchell Library, SP811.1716/15.



**Figure 2.16:** Undated sketch of Allotments 1 to 10 of Campbell's Grant of 3 roods 34 perches in the City of Sydney, titled 'Section 86'. Lots 9 and 10 indicated by arrow. Source: ML Subdivision Plans – City of Sydney SP811.1716/15

## 2.6 History of the Occupation of the Site

In October 1878 George Atherden sold Lots 9 and 10 to Edward Stanley Ebsworth (1832-1901). A month prior to this Ebsworth had purchased land nearby, facing George Street, commencing c.1880 the construction of five terraces at the George Street site.<sup>30</sup> By c.1881-1882 Ebsworth had built a terrace on the Union Street allotment. Sydney Municipal Council's Assessment Books indicate that the Union Street terrace consisted of two, two-storey, four-roomed residences constructed of brick with slate roofs.

Edward Stanley Ebsworth was born on 19 February 1832 at Port Stephens, the son of James Edward and Anne C. Ebsworth. The family was well-off, with James an assistant commissioner for the Australian Agricultural Company in Australia. Edward's grandfather, father and father's cousins were involved with wool broking with connections to the Australian Agricultural Co. in both England and Australia<sup>31</sup>. Edward S. Ebsworth worked with the Australian Joint Stock Bank and then as a manager with the Bank of New South Wales from 1862, retiring in 1893 at a salary of £450 per annum. Many of his postings were in Queensland and NSW regional areas. From 1875 Ebsworth worked in Sydney and for his last decade of service at Head Office<sup>32</sup>.

The Atherden Street terrace, although not as ornate as the George Street terrace, or in such a prominent position, was a modestly scaled and detailed bald-faced Victorian Style residential structure, typical of the period. The brickwork was stuccoed and the roof a simple pitched gable over the main, two-storey section of the house. The terrace was built close to the escarpment rising to Gloucester Walk and opposite a row of four similarly modest houses that had been built in 1880 by Thomas Playfair, on the south- side of the street.<sup>33</sup> The terraces at the west end of Atherden Street would have stood in contrast to the single-storey,

<sup>30</sup> Foreshore Authority Heritage Register, online, 33-41 George Street.

<sup>31</sup> Walsh, G.P., *Frederick Louis Ebsworth (1816-1884)*, in Douglas Pike, (Gen Ed), 1972. *Australian Dictionary of Biography, Volume 4: 1851-1890*, p127.

<sup>32</sup> Records of the Bank of New South Wales, Westpac Banking Corporation Historical Services, Record of Service.

<sup>33</sup> National Trust Classification Card Argyle Group: Atherton Place 1975; Foreshore Authority Register 1-7 Atherden Street. Report prepared by Sydney Harbour Foreshore Authority Place Renewal Division, Strategic Planning Team

stone cottages built by Atherden in the 1850s immediately to the east of number 1-7 Atherden Street.

By 1882 Ebsworth had leased No.2 Atherden Street to Walter Bell, and No.4 to George Cook<sup>34</sup>. The gross annual rating was £52 for each property. Numbers 2 and 4 first appear in the Sands Directory in 1883 showing Mr Bell's occupation as sailmaker and Cook's as a wharfinger, consistent with the demography of the area at this time.<sup>35</sup> Nineteenth-century architectural plans or illustrations of the terrace have not been located despite searches of available indexes in the Mitchell Library and other archives.

Like many of the rental properties in The Rocks area, in the 19th century the tenants of the Atherden Street houses tended to be one to three years at the most. A few tenants returned at various time to live in other houses in Atherden Street. At this time the population of The Rocks was diverse, including high numbers of immigrants, often with trades related to maritime and wharf activities. A brief survey of the names and occupations of Atherden Street tenants listed in the *Sands Directory* provides an indication of the backgrounds of Rocks residents of the period. Atherden Street residents included sailmaker, wharfinger, master mariner, waterman and storeman. A few had trades such as painter, engineer and blacksmith; while a number are shown as clerks. Women's occupations shown include laundress and dressmaker. Unfortunately the *Sands Directory* does not indicate the diversity of women's occupations in the 19th century as women were only listed when the woman was the sole adult occupant or householder.

The Sydney Real Estate Bank Limited represented by Leonard Dodds, purchased the two properties from Ebsworth in 1888 and they continued to be leased. The bank had mortgaged the properties by 1889 and transferred them to the Perpetual Trustee Company Ltd in 1892. No records for the Sydney Real Estate Bank Limited or its representatives have been located in library, archival collections, or the Australian Securities and Investment Commission Database. Council Assessment Books indicate that from c.1896 the Perpetual Trustee Co. was the owner of 2 and 4 Atherden Street.<sup>36</sup>

Increasing unsanitary conditions in some parts of the city, and an outbreak of bubonic plague in late summer of 1900, resulted in a large-scale resumption of land by the Public Works Department of NSW. As shown in the Figure 2.17 below, one of the resumed areas extended from Darling Harbour to The Rocks bordering on Circular Quay and including Atherden Street<sup>37</sup>.

The aim was to selectively demolish substandard or badly planned residential and commercial buildings, followed by the replanning of some areas and selected rebuilding. A Royal Commission was appointed to gather expert evidence on the best way to effect the 'Improvement of the City of Sydney and its suburbs' and its conclusions were published in 1909<sup>38</sup>. On 3 October 1903 Lots 9 and 10 were resumed under the Act 'in connection with a system of Public Wharves approaches thereto at Darling Harbour and the waters at Port Jackson'. The Sydney Real Estate Bank Ltd, the owner of this and a number of adjacent sites (33-41 George St), had gone into voluntary liquidation in 1893 and the Perpetual Trustee Co Ltd was now the 'mortgagee in possession'. The Atherden and George Street properties were valued at a total of £7250, an amount accepted by the liquidator as full compensation.

The NSW Government became the official owner and landlord for the resumed properties. A

<sup>34</sup> Assessment Books, Gipps Ward NCRS 17

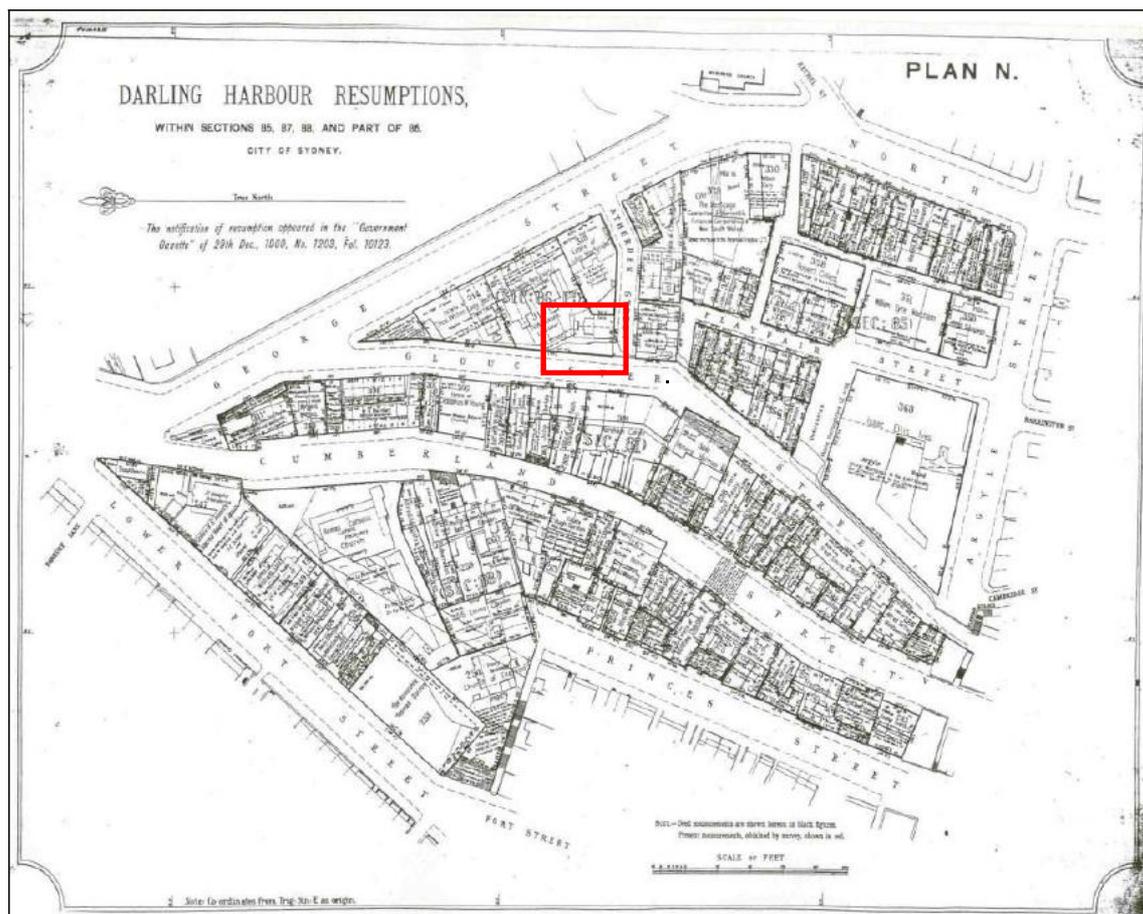
<sup>35</sup> Sands Directory

<sup>36</sup> City of Sydney Archives NCRS 17

<sup>37</sup> Lands for Public Purposes Acquisition Act Gazetted 29 Dec 1900, NSW Govt Gazettes.

<sup>38</sup> Ashton, P., & Waterson, D., *Sydney Takes Shape: A History in Maps*, 2000, p48.

small number of residential and commercial sites were put up for auction with 99 leases by the Government in 1905; however this did not include any in Atherden Street<sup>39</sup> .



**Figure 2.17:** Part of 'Plan N' of the 'Darling Harbour Resumptions' showing a portion of Section 86 in the City of Sydney, Gazetted 29 Dec 1900. Source City of Sydney Archives, Darling Harbour and The Rocks Resumption Plans dated 1900-1902

Resumption records relating to the valuation and assessment of the houses in Atherden Street have not been located and it can only be assumed that their construction and condition were assessed by the Public Works Department as being satisfactory and to be retained. In 1918 the Sydney Harbour Trust (known from 1936 as the Maritime Services Board) took over administration of resumed properties in the Darling Harbour – Rocks area.<sup>40</sup>

The remodelling of The Rocks was carried out gradually although some of it was never realised. Although numbers 2 and 4 Atherden Street and numbers 1-7 remained intact, four stone cottages, built by George Atherden in 1855 on the south side of the street at its eastern end, were demolished by the Sydney City Council in 1920-1. This allowed for the continuation of Harrington Street (this section later renamed Playfair St in 1953) to George Street via Atherden Street; as well as for road widening.<sup>41</sup> Circa 1922-23 Atherden Street was renamed Atherton Place<sup>42</sup> the name referring only to the length of roadway from Playfair Street to the cliff face

<sup>39</sup> Observatory Hill Lands ML Subdivision Plans SP811.1714.

<sup>40</sup> Sydney Municipal Council Assessment Books NCRS 17).

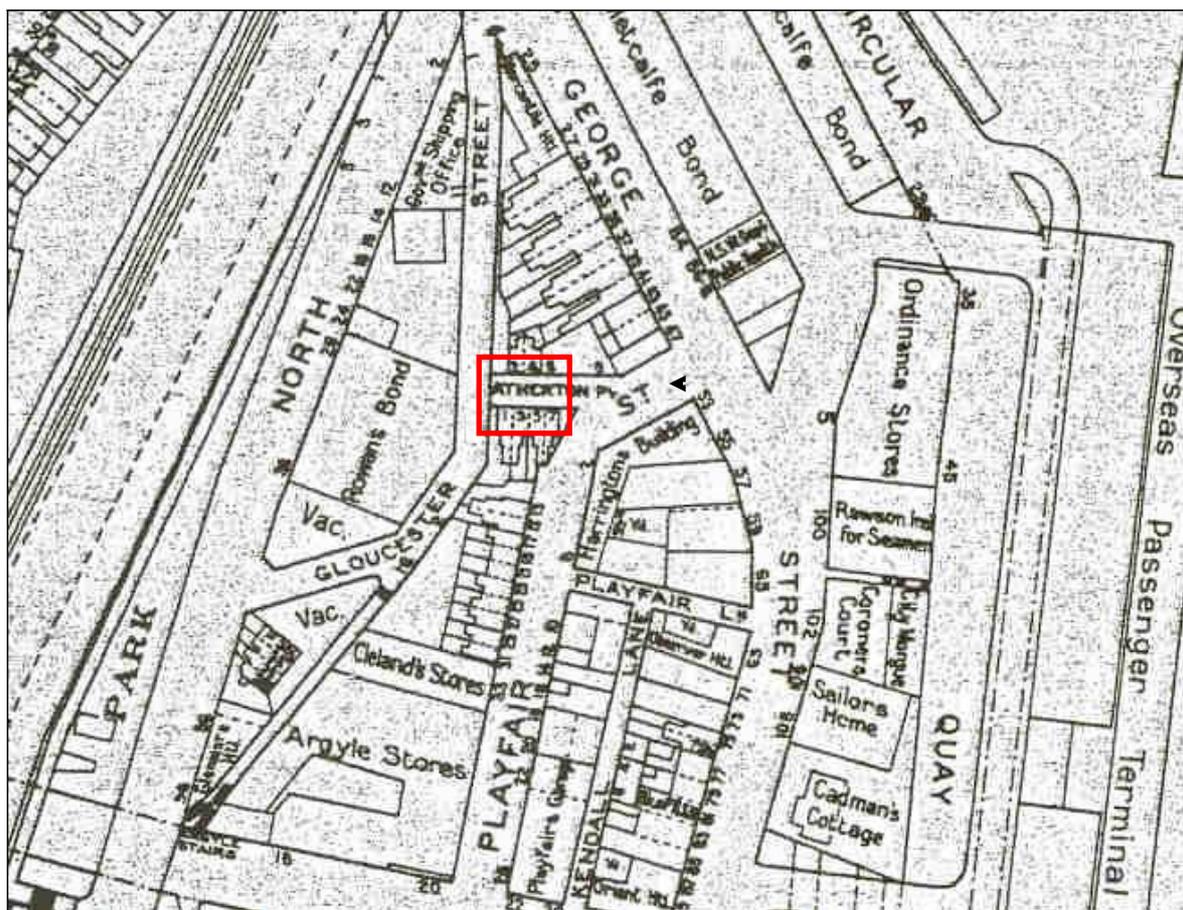
<sup>41</sup> City of Sydney Archives Corresp. NCRS Item 5543/1932; Fox & Assoc. *Summaries of Historic Research Reports 25-47 George St.* 1979, p3.

<sup>42</sup> *Sands Directories 1924-1933*

to the west<sup>43</sup>. The new configuration of the streets is illustrated in a City of Sydney Detail Sheet prepared in the early 1960s (Figure 2.18).

In 1969 the Sydney Cove Redevelopment Authority Act (Gazetted 12 Dec 1969) led to the formation of the Sydney Cove Redevelopment Authority in 1970 one of the responsibilities of which was the administration of The Rocks properties including 2 and 4 Atherden

Street. The Authority was renamed the Sydney Cove Authority in 1991, the functions of which were assumed by the Sydney Harbour Foreshore Authority in 1999. The area in which Atherden Street is located was not officially named by the Geographical Names Board 'The Rocks' until 1974.<sup>44</sup>



**Figure 2.18:** Part of a 1960s Detail Sheet for the City of Sydney showing the extension of Playfair Street to George Street and the shortening and renaming of Atherden Street to Atherton Place. Source: City of Sydney Archives, City Building Surveyors Dept., No.2.

## 2.6.1 The Residents of Avery Terrace

The history of 2 and 4 Atherden Street<sup>45</sup> is intimately linked to the people who lived there. Little more than basic information has been able to be discovered about the late 19th century tenants of 2 and 4 Atherden Street. Sources such as the Sydney City Council Assessment Books<sup>46</sup> and the Sands Sydney and Suburban Directory provide names and occasionally the occupations of

<sup>43</sup> McConnell Smith & Johnson P/L, *Atherton Place Precinct*, 29 Aug 1973, n.p.

<sup>44</sup> Karskens G., 2003, *ibid*.

<sup>45</sup> Note: The street will generally be referred to by its current name 'Atherden Street' although it is noted that for a period it was officially known as 'Atherton Place'. Refer to Appendix I for evidence of changes in the street's name and the dates that they occurred. When referring to the 'Sands Sydney and Suburban Directory' the period of tenancy is taken from the year before the edition was published and prefixed by the term 'circa'.

<sup>46</sup> City of Sydney Archives NCRS 17.

the householder. Unless the name of the householder is distinctive it is often difficult to trace them. After 1900 a little more information regarding family groups who lived in the houses can be determined from Electoral Rolls (limited to those who are eligible to vote, excluding minors and citizens of other countries) and from tenancy records.

In the 20<sup>th</sup> century sources through which the houses' tenants can be researched include those already mentioned and Tenancy Cards, held by the successive managing authorities. Tenancy Cards provide some additional information such as a property description of No.2 Atherden Street, and leasing periods, name changes and rent charged for both properties<sup>47</sup>. Entries for 2 and 4 Atherden Street in each of these records have been transcribed and are located in the Appendices of this report.

In the late 19<sup>th</sup> century until the first decade of the 20<sup>th</sup> century lessees of 2 and 4 Atherden Street tended to stay for between one to three years. In contrast, in the 20<sup>th</sup> century tenants stayed far longer in the one house, some remaining in the locality for generations. Numbers 2 and 4 Atherden Street are of particular significance, becoming known as Avery Terrace due to long-term tenancy of the Avery family in one or both of the houses from c.1917<sup>48</sup>. Around 1980 the words 'Avery Terrace' were sign written in ornate upper-case typescript on the buildings.<sup>49</sup> (Nineteenth-century terrace houses have been known to be given the name of a property holder but rarely that of its tenants, as in this case.

The Avery family's history in The Rocks dates to the late 19<sup>th</sup> century. In the 20<sup>th</sup> century Avery family members have lived in a number of houses in Atherden Street including one of George Atherden's stone cottages and in Playfair's Terrace, both on the south side of the street. Grace Karskens' study of the historical archaeology of The Rocks and Val Garner's research into the family's history provides an insight into life in Atherden Street and The Rocks generally.<sup>50</sup>

John 'Yankee Jack' Avery and his wife Margaret settled in The Rocks in 1878. In the 1870s Jack Avery reputedly 'jumped ship' from an American vessel, marrying Margaret Long, a local woman soon after his arrival in Sydney. In 1897 the Averys were living at 89 Gloucester Street and their son William Ernest Avery and daughter-in-law, Eva at No. 83 from 1899-1900. Eva Garel's grandparents, Richard Byrne and Margaret Kelly had lived in Cumberland Street from c.1807 in a house built by Byrne, a stonemason by trade.<sup>51</sup> Although some family members moved away from The Rocks many maintained a connection – staying permanently or moving back from time-to-time. Unlike many other The Rocks residents who worked in wharf related trades, before World War I William and Eva Avery ran a tobacconist on the corner of Kendall Lane and Argyle Street, Millers Point.<sup>52</sup>

### 2.6.2 Avery Terrace, 2 Atherden Street

The first tenant of 2 Atherden Street c.1882 was Walter Bell, Sailmaker, followed by Robert Jones. The house's number varies in the 1885 edition and it is likely that William Lloyd was the tenant for about three years, followed by William Walsh.<sup>53</sup>

Captain Williams occupied the house c.1889 followed by William A. Grant, Master Mariner,

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<sup>47</sup> SRNSW Series 13965 Container 11/3374

<sup>48</sup> *Sands Directory*; Council Assessment Books; SCRA Tenancy Cards.

<sup>49</sup> Karskens, G., 2003, *ibid* p36.

<sup>50</sup> Karskens, G., *Inside the Rocks: The archaeology of a neighbourhood* and Garner, V., *Irish on The Rocks: The Descendants of Richard Byrne and Margaret Kelly*, 1997.

<sup>51</sup> Karskens, G., 1999, p36.

<sup>52</sup> Garner, V., 1997, p296.

<sup>53</sup> *Sands Directory*

who lived there until c.1894. The Rocks was populated largely by people in maritime related activities and included immigrants such as Edward Gullicksen (Gulliksen) from Norway. Gullicksen, his wife Sarah and three small children called No. 2 Atherden Street home for two years.<sup>54</sup> Captain James Donnelly, his wife and children moved to No.2 c.1901-3 (NSW Reg. BD&M). C.1899-1900, Donnelly was living at 1 Atherden Street showing that residents moved from one house to another, in the same street, over a number of years; possibly due to varying rentals or the extent and standard of accommodation. Donnelly and his family later moved to 5 Atherden Street on the other side of the street.

C.1914-15 William Ernest Avery was the first of the Avery family to take up residence in Atherden Street at No.13, one of George Atherden's four 1850s stone cottages. This marked the beginning of a long period of residence by the Avery family in Atherden Street. John Avery (c.1850-1934) moved to No. 2 around the same time as William Ernest Avery (1880-1942) moved into No. 1, on the opposite side of the small street. In 1921 John, a coal-lumper, shared No. 2 with Eva Frances Avery (1881-1959), Charles Avery, a publisher, Stephen Charles Avery, a labourer, Florence Avery and Gertrude Rebecca Avery.<sup>55</sup>

Several generations of the family shared the household. John's occupation as a coal-lumper, loading coal onto or off the vessels at the wharves, would have been arduous and no doubt had health risks. It was a common occupation for men in The Rocks. The NSW Statistical Register of 1928-9 recorded that men in this trade were earning 3s 2d per hour for a forty four hour week; amounting to £6/12/4 per week. Rent for a four-room brick house around the same time was 22 shillings and eight pence per week; just less than 20% of his wage. Charles Avery's profession, shown as a publisher stands in contrast to John's and many others who lived in The Rocks.

By 1928 fifteen adult members of Avery family were living in Atherton Place in four of the six houses – numbers 1, 2, 3 and 4 (C'wealth Electoral Roll/West Sydney/Darling Harbour 1928, 1930, 1937/8). It is likely that a number of children also lived there. It was not uncommon for the two bedroom terrace houses in inner city areas to accommodate an extended family of 6 to 10. In the 1930 Electoral Roll the seven adults in the Avery family living at No. 2 recorded their occupations as:

<b>Residents of No.2 Atherden Street</b>	<b>Occupation</b>
Charles Avery	Publisher
Florence Avery	Home duties
Gertrude Rebecca Avery (wife of Stephen, m.1903)	Home duties
Gertrude May Avery	Packer
John Avery	Coal-lumper
Margaret Jane Avery	Packer
Stephen Charles Avery	Motor driver

Refer to Appendices for details of Electoral Roll entries in other years.

With the increasing acceptance of women in more diverse roles in the workforce, young women such as Gertrude May Avery, a packer, would have been able to make a contribution to household expenses. Stephen Avery's job, a 'motor-driver', was evidence of the diversification in men's occupations and new opportunities offered with the advent of motor transport, where

<sup>54</sup> SRNSW Naturalisation Record; NSW Reg BD&M.

<sup>55</sup> Commonwealth Electoral Rolls – West Sydney, Gipps 1921; *Sands Directory*

previous generations of the family had worked on the wharves or in manual trades.

Interestingly William's World War I AIF records indicate that the Atherton Place address was recorded as Millers Point or Dawes Point at various times although there were no official suburban boundaries in the area until 1993.<sup>56</sup> It is possible that this was a postal boundary. Electoral Rolls of the 1980s show Atherden Street's location as 'Sydney'.

From c.1928-1938 and again from c. 1950-58 four houses in Atherden Street, or Atherton Place as it had become known, were occupied by the Avery family or its descendants (Electoral Rolls). As studies such as that by Grace Karskens (1999) show, the Averys were one of many 'Rocks' families to live close proximity to one another. When inner-city families did move house, it was often only a block or two away at most. It was not uncommon for family members to informally 'swap' their houses, as Dolly Bonnette and her mother Eva Avery did, from No. 1 to No. 7. This might have been to suit changing accommodation needs<sup>57</sup> and shows that records may not accurately reflect an individual's residence.

Living in close proximity provided a valuable support system for families in the generally close-knit community. Grace Karskens' research into the history and archaeology of The Rocks revealed that women such as Eva May Avery and her mother Catherine Garel were known for their neighbourliness, earning them the community's appreciation and respect. Atherton Place, a *cul de sac* ending in a large rock face, was an ideal location for street parties and it was common for the piano to be brought out with all welcome to join-in, especially at Christmas and New Year's Eve.<sup>58</sup>

John Avery remained the official lessee of No.2 until May 1944, just prior to which the rent was recorded as being 18 shillings and 6 pence per week. NSW Death Registers however indicate that John Avery died in 1934 and that tenancy records were not updated.<sup>59</sup> The properties were relatively inexpensive to rent with the Maritime Services Board paying rates, taxes and insurance, and making it worthwhile for the family to retain the lease.<sup>60</sup> The lease was subsequently taken on by Florence Avery (possibly John's daughter) for a short period in mid-1944 and transferred to Gertrude Crutcher (née Avery), continuing the house's connection to the family.<sup>61</sup>

In 1945 Joseph Edward William 'Teddy' Avery took over the lease of 2 Atherden Street. Teddy Avery (1907-1981) was the youngest of William and Eva Avery's sons and lived in The Rocks with Dorothy, his wife and their two children James and Yvonne. Like many Rocks men, Teddy worked on the wharves throughout his working life. The rent continued remained the same until 1952 when regular rate increases were instituted, starting at £1/2/6 per week. By 1961 the rent had risen to £1/13/- per week.<sup>62</sup> Mrs Hazel Carmela Ballard moved into No. 2 in 1961 and nothing is known about this period of tenancy.<sup>63</sup>

By 1972 George Edward Bonnette and his mother, Hannah Jane Catherine 'Dolly' Bonnette (1910-1993), had moved into No.2 Atherden Street, across the road from to 1 and 7 Atherden Street. The family has long and close associations with 1 and 7 Atherden Street: being where the family had lived at various times;<sup>64</sup> and where Dolly, the seventh and last child of Eva and William Avery was born in 1910. Dolly lived most of her life in The Rocks and took

<sup>56</sup> NAA Series B2455/1 – W.E. Avery.

<sup>57</sup> Garner, V., 1997, *ibid*, p296.

<sup>58</sup> Garner, V., 1997, *ibid*, p296 and p301.

<sup>59</sup> NSW Reg. BD&M No.18078/1934.

<sup>60</sup> Tenancy Cards SRNSW Series 13965 Container 11/3374

<sup>61</sup> NSWBD&M Marriage Reg No.4486/1944

<sup>62</sup> Tenancy Cards SRNSW Series 13965 Container 11/3374; Commonwealth Electoral Rolls 1947, 1950, 1960

<sup>63</sup> Tenancy Cards SRNSW Series 13965 Container 11/3374

<sup>64</sup> C'wealth Electoral Rolls 1972). Dolly (1910-1993

great pride in her 'Rocks' background and in later years eagerly shared her history. Some of Dolly's recollections were recorded in interviews by journalists, the Department of Local Government (1963-4) and the Sydney Cove Redevelopment Authority (1971), leaving a valuable record. Other sources include family history research by Val Garner, titled *Irish on The Rocks: The Descendants of Richard Byrne and Margaret Kelly* (1997).

As pointed out by historian Grace Karskens, although it was men's work that tied or drew families to waterside neighbourhoods like The Rocks, it was also common for women to bring their husbands to live there so they could remain near their mothers and sisters and the community they knew so well.<sup>65</sup> By 1947 Dolly and George were living at 7 Atherton Place where she had been born, sharing the house with Eva Avery, Dolly's mother. Others living in the house at the time included John Frederick Avery, Dolly's nephew, as well as William James Avery (1900-1960) and his wife Agnes Esther 'Aggie' Avery, Dolly's brother and sister-in-law. By this time Dolly and George had four young children, stretching the capacity of the small, two-storey terrace. It did not seem unusual for The Rocks family, and Dolly recalls that at times there were fifteen living in the house at No.5 Atherden Street.<sup>66</sup>

In the first half of the 20<sup>th</sup> century many of the married Avery women did not work outside of the home, listing their occupations in official records as home duties. A few like Margaret and Gertrude worked as packers in local warehouses, while Doreen was a shop assistant. George Bonnette, Dolly's husband was a typewriter mechanic with Stott & Underwood, unlike most of the Dolly's brothers who worked in wharf-related trades. Dolly's older brother who lived with them, William 'Cocka' Avery, worked as a wharf labourer, eventually working his way up to the respected position of stevedore.<sup>67</sup>



**Figure 2.19:** William Avery with daughters Dolly (Hannah Jane Catherine) and Maisie (Eva May), c.1920-22. Source: Garner 1997: 300.

Dolly Bonnette revelled in the renewed interest in The Rocks that began in the 1970s, staunchly advocating the preservation of the residential precinct, protection of its close

<sup>65</sup> Garskens, G., 1999, *ibid*, p168

<sup>66</sup> Sinclair, R., *Cooking and Looking in Sydney's Rocks Area*, 1986, p87.

<sup>67</sup> Electoral Rolls – West Sydney and Darling Harbour 1930, 1941, 1947; Garner, V., 1997, *ibid*, p 299

community and celebration of its colourful history.<sup>68</sup> Between 1971 and 1972 Dolly moved to No.2 Atherden Street, living next door to her son in No.4. In 1975 the Sydney Cove Authority renovated both houses<sup>69</sup>. Until Dolly Bonnette's death in 1993 she was the oldest living descendant of Richard and Margaret Byrne living in The Rocks.<sup>70</sup>

### 2.6.3 Avery Terrace, 4 Atherden Street

The 1883 edition of the *Sands* shows George Cook, Wharfinger, as the first tenant of 4 Atherden Street, the construction of which had been commissioned by Edward Stanley Ebsworth c.1881. Cook soon vacated the two-storey, four-roomed terrace which was then leased for an equally short time by Charles Annis (or Armis) until c.1885. Short periods of residential tenancy were possibly linked to casual employment on the wharves or in businesses nearby. The description of the house as being of four rooms is thought to refer to the living areas. The services areas were included in Council assessments from 1896; however the numbering often appears arbitrary, changing from one assessment to the next. Periods of tenancy by William Meddowes, a clerk (c.1885-1887), Thomas Webb (c.1888) and Mrs Sophia Petersen (c.1890-1) followed.

George Craig leased the premises c.1894, staying there for almost a decade – unusual given late 19<sup>th</sup> century trend of short tenancies. NSW birth, death and marriage records show that George Craig and his wife, Agnes Dundas had eight children between 1870 and 1884 and it is likely that a few of the younger ones would have lived with them at Atherden Street. From 1903 tenants included John Brown (c.1903-6), James H. McClure (c.1906-17), Alexander Roubé (c.1908 & 1920), Carl Roux (c.1919, 1921-23) and John Crealy (c.1924-1927/8). The Sydney City Council's Assessment Books show the tenant as 'Roux and Co' from 1924-5. Little information is known about these tenants.

In June 1928 William James 'Cocka' Avery (1900-60), a wharf labourer took up the lease of No. 4 at a rental of £1/1/- per week. The rent was higher than charged for No.2, despite the houses being the same size. It is possible that the interior of No.4 was in better condition than the neighbouring house, although no detailed records have been located that might explain the discrepancy. The small, two-bedroom terrace was also home to Agnes Esther 'Aggie' Avery, William's wife, and (Joseph) William Edward 'Teddy' Avery (1908-81), William's younger brother, also a wharf labourer. As mentioned previously, by 1930 fifteen adult Avery family members were living in four of the six houses at the end of the *cul de sac*. By 1937 William James Avery and wife Agnes shared the house with Charles Avery, William's uncle, and Dolly and George Bonnette, William's sister and brother-in-law. Dolly's two small children added to the already large household<sup>71</sup>.

Eva Frances Avery took up the lease on No. 4 in January 1938 sharing the house from 1941 with daughter Eva May 'Maisie' Young (1902-1950), Eva's husband George Victor Young and their three children. Maisie took over the lease in March 1942. By 1947 the house was also home to Doreen Florence Avery (b.1924), Maisie's niece. Despite her death in 1950, Maisie's name remained on the Tenancy records until November 1957.<sup>72</sup>

Nita Louisa Allen née Young (1929-1995), one of Maisie's three daughters, took up the lease

<sup>68</sup> Karskens, G., 2003, *ibid*, p35; Dept Local Govt Survey 1964, SCA Archives

<sup>69</sup> C'wealth Electoral Rolls 1972; Foreshore Authority File, Planning – Atherton Place (now Atherden St) D479 Ref: 0428.01.01 Box 342 p.68)

<sup>70</sup> Garner, V., 1997, *ibid*, p301.

<sup>71</sup> Sydney Municipal Council Assessment Books; C'wealth Electoral Rolls/West Sydney/Darling Harbour 1930; SCA Tenancy Cards; *Sands Directory*

<sup>72</sup> SCA Tenancy Cards SCA Tenancy Cards SRNSW Series 13965 Container 11/3374; C'wealth Electoral Rolls/West Sydney/Darling Harbour 1941; Garner, V., 1997, *ibid*, p 299.

of No.4, living there from November 1957 until the late 1960s, continuing the house's connection to the Avery family.<sup>73</sup> Nita Allen, later Nita McCrae, is recognized for her role in mobilising The Rocks community in protesting against the planned comprehensive redevelopment of the area which ignored the area's rich history and gave little consideration for its long-term residents. The plan included large-scale demolitions in the area and the construction of high-rise buildings. Nita was instrumental in the formation of the Millers Point Action Group in 1969 and The Rocks Resident Action Group in 1971. She enlisted the assistance of the builders' labourers' and workers' unions leading to the implementation and enforcement of industrial or 'Green Bans' to stop the destruction of numerous culturally significant sites<sup>74</sup>.

Nita McCrae and The Rocks Resident Action Group were ultimately successful in forcing the revision of the original redevelopment plans for The Rocks, saving numerous significant buildings and the oldest residential precinct in Sydney. In 1996, in the year following her death, a plaque honouring Nita McCrae's achievements was unveiled by the Minister of Urban Affairs and Planning, Craig Knowles, at her 35 George Street home where her campaign to save The Rocks had started.<sup>75</sup>

From 1972, 4 Atherden Street was home to George Bonnette, Dolly Bonnette's son, and Suzanne Bonnette; however in 1974 when funds were allocated by the Sydney Cove Redevelopment Authority for renovations, the house was reported to be vacant.<sup>76</sup> Building work was carried out in 1975 and further work in 1995-96.

The Avery family descendants no longer live in Atherden Street, marking the end of an era. Avery Terrace remains residential, however they are not the large extended families of the early 20<sup>th</sup> century, nor are they employed in the traditional occupations that once drew them to the waterside suburb at the heart of Sydney. Despite obvious changes and the commercialisation of the area to cater for the tourist trade, the area maintains its historic residential precinct, which with a number of surviving 19<sup>th</sup> century commercial buildings, is integral to the history and character of The Rocks.

In 1977 the Argyle Group, including 2 and 4 and 1-7 Atherton Place (Atherden Street), was listed in the Register of the National Trust of Australia (NSW) as a 'Classified Precinct', acknowledging the significance of The Rocks. Today Avery Terrace has been officially acknowledged as a culturally significant building. It was included on the Sydney Cove Authority Heritage Register in 1998 (B005, AR030) and in 2002 was included on the State Heritage Register in 2002.<sup>77</sup>

## 2.7 Development of Building Components

Plans and specifications for the c.1881 construction of the terrace in Union Street (later 2 and 4 Atherden St), commissioned by Edward Stanley Ebsworth have not been located. Evidence of alterations prior to work carried out by the Sydney Cove Authority in the 1970s has also been difficult to locate or substantiate.

As mentioned previously, the first record of Avery Terrace survives in the Sydney Municipal Council's Assessment Books, describing it briefly as two, two-storey, four-roomed brick houses

<sup>73</sup> SCA Tenancy Cards SRNSW Series 13965 Container 11/3374; C'wealth Electoral Rolls/West Sydney/Darling Harbour 1941; Garner, V., 1997, *ibid*, p299.

<sup>74</sup> *SMH* 16 Apr 1996, p5; *SMH* 15 May 1979.

<sup>75</sup> *SMH* 16 Apr 1996, p5

<sup>76</sup> Foreshore Authority File, Planning – Atherton Place D479 Ref: 0428.01.01 Box 342, p.68

<sup>77</sup> *Gazetted* 10 May 2002, 85: 2865; SHR Database No.5053144.

with slated rooves. The footprint of the terrace at 2 and 4 Atherden Street is first shown in Percy Dove's c.1887 amendments to his plans of the City of Sydney,<sup>78</sup> and a Public Works Department plan prepared in the same year (Sydney Water PWD 321/1544 Surveyor S. Mills 28 Dec 1887-c.1895). The Public Works Department plan shown in Figure 20 indicates that the lot contained a brick building (marked 'B') with a narrower brick extension at its northern end. A small brick structure, probably a toilet, is shown at the property's northern boundary.

From 1891 Council Assessment records indicate that the rooves of 2 and 4 Atherden Street were clad with iron. It is unlikely that the roof would have been changed from slate to iron after only eight years, unless severely damaged by hail and it is possible that the first assessment of the properties was incorrect. Given later inconsistencies in recording of the roofing material it is likely that the first record was in error. Inconsistencies in the number of rooms, varying from four to six, also occurs in this record, It is likely that early descriptions of four rooms refer to the main living areas, excluding the service wing or kitchen and laundry, and the brick toilet at the north end of the site. Occasional reports that each house included five or sometimes six rooms (1896-1921) take these areas into account.<sup>79</sup>

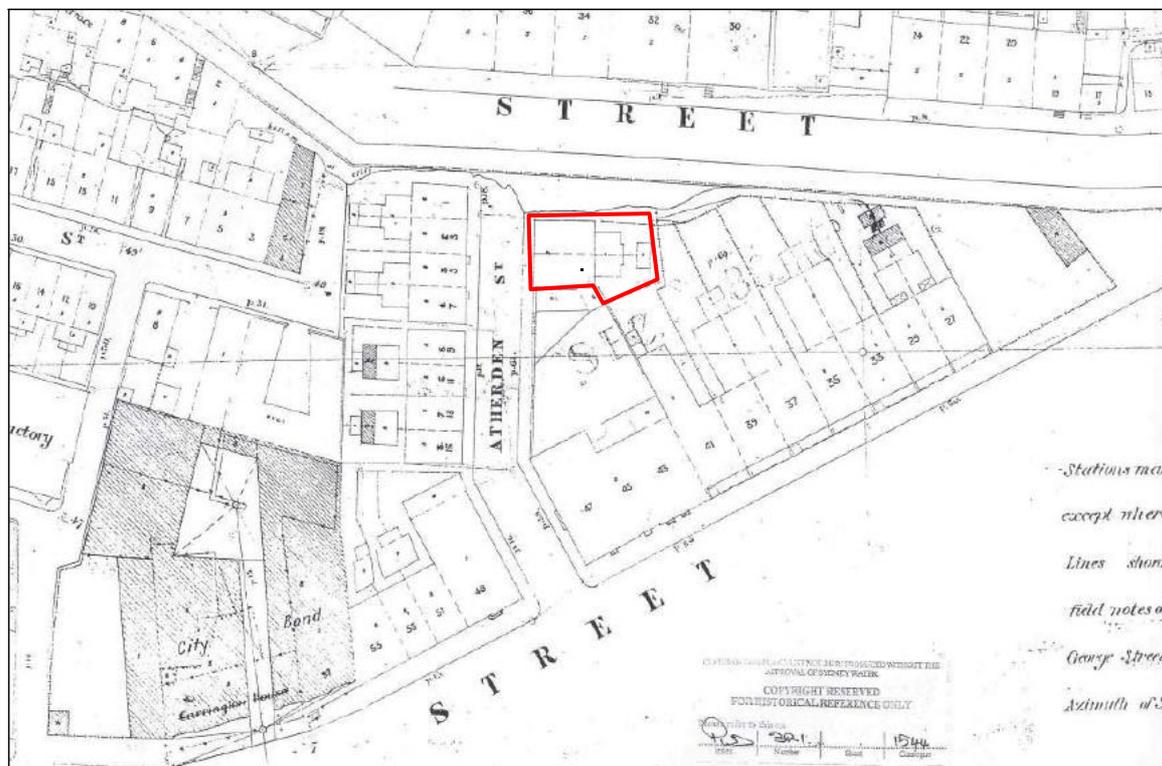
When built, Avery Terrace had minimal kitchen, washing and toilet facilities. Sydney Water archival records indicate that the rear wing from the main body of the house consisted only of one room – a kitchen – with a hearth. A small brick outhouse was located near the northern boundary, incorporated a chimney for a copper located under a lean-to roof on its south side. Behind the terrace's street façade accommodation was limited, especially in terms of service areas for cooking, washing and toileting.

A laundry with copper and tubs reported on in Tenancy Records is thought to be a 20th century addition and according to later property descriptions by the Sydney Cove Redevelopment Authority, was only a partially enclosed structure between the kitchen and toilet. Sydney Water archival records indicate that the layouts of Playfair Terrace (described as of four rooms in 1880) and Argyle Terrace (described as of five rooms in 1880) provided similar accommodation with minimal service facilities. Outdoor or garden areas were equally limited.

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<sup>78</sup> ML MAV/FM4/10685

<sup>79</sup> City of Sydney Council Archives NCRS 17



**Figure 2.20:** Public Works Department plan, No 321/1544, Prepared by Surveyor S. Mills, 28 Dec 1887. Revised by Surveyor Madsen c.1895 but no changes were recorded for the subject property Source: Sydney Water Plan Management

The façade detailing of the Atherden Street terrace has changed little. Although not as ornate as the terrace at 33-41 George Street built by Ebsworth, or in such a prominent position, it was a modestly scaled and detailed bald-faced Victorian Style residential structure, typical of the period. The brickwork was stuccoed and the roof a simple pitched gable over the main, two-storey section of the house. The terrace was built close to the escarpment rising to Gloucester Walk and opposite a row of four similarly modest houses that had been built in 1880 by Thomas Playfair, on the south-side of the street (National Trust Classification Card Argyle Group: Atherton Place 1975; Foreshore Authority Register 1-7 Atherden Street). The terraces at the west end of Atherden Street would have stood in contrast to the single-storey, stone cottages built by Atherden in the 1850s immediately to the east of number 1-7 Atherden Street.

Records of the Maritime Service Board and Sydney Cove Redevelopment Authority have been searched and it appears that pre 1970s records of alterations and maintenance to the terrace have not survived. A brief description of No. 2, possibly made c.1944, survives on a tenancy card for this property. The house is described as two floors, four rooms, a kitchen, bathroom and laundry, one copper, and two tubs. Services included gas and electric while painting, lime wash and repairs were carried out by the Board.<sup>80</sup>

On 5 November 1974 the minutes of a meeting of the Sydney Cove Redevelopment Authority recorded that provision had been made in the 1974/5 Capital works Budget for the restoration of their residential building stock. It was proposed that work commence with 2 and 4 Atherton Place, No.4 of which was vacant. Thirty thousand dollars was budgeted and the Authority's staff was to carry out supervision of the work.<sup>81</sup>

Further documentation by the SCRA revealed that Mrs Dolly Bonnette (née Hannah Avery), then in her 60s, was occupying No.2 and had lived in Atherton Place all her life. Mrs Bonnette was reportedly receiving a rebated rental.<sup>82</sup>

The improved capital value of No.4 Atherton Place in 1968 was only \$5,200. The cost of the project set against the slow returns on such a property (rent estimated at \$56-60 per week), would not normally have been seen as economically justified. It was decided however, on historical grounds among others, that it was wise for the Authority to go ahead with the work at this time.<sup>83</sup>

A Report and Schedule of Works written by the Sydney Cove Redevelopment Authority in 1981 indicates in 1975, and that 2 and 4 Atherden Street were the first houses to be renovated by the Authority. Works included a new kitchen fit-out and construction of internal bathrooms, laundries.<sup>84</sup>

The renovations were carried out by A.W. Larsen Pty Ltd (Stuart Larsen) from 17 February until 6 June 1975 with the final cost including variations to the contract sum of \$19,874 amounting to \$20,088.20. Plans dated 1974<sup>85</sup> indicate that prior to the renovations each house included two rooms on the ground and first floors in the main part of the house; with the rear wings incorporating a kitchen with a hearth and chimney. Each dwelling had a brick outhouse on the northern boundary, joined by a party wall. A plan prepared by the Sydney Cove Redevelopment

<sup>80</sup> SRNSW Series 13965 Container 11/3374

<sup>81</sup> Minutes of the SCRA, 5 Nov 1974, D479/69, File Ref 0428.01.01 Box 342

<sup>82</sup> Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479 Ref: 0428.01.01 Box 342, p.68

<sup>83</sup> Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479 Ref: 0428.01.01 Box 342, p.67-8.

<sup>84</sup> Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479 Ref: 0428.01.01 Box 342.

<sup>85</sup> See *Appendices for copies of these plans*

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Authority in May 1974 shows that the outhouses had a chimney at the centre of the south wall.

The area between the kitchen and outhouse was covered by a skillion roof had a laundry with tubs and a copper adjacent to the central chimney. It is possible that the area also included a bath or shower. A small timber-framed shed or closet-type enclosed the laundry area. A skillion verandah roof supported by posts covered the area outside the kitchen, leaving a small courtyard in what was left of the site. A gate at the north end of the site opened onto a narrow right-of-way running east-west extended behind the properties<sup>86</sup>.

Briefly, the alterations included:

### **Demolition:**

- Parts of the rear section of the W.C./bathroom outhouses on the north boundary.
- Removal of timber floors, joist and bearers from kitchen.
- Part of a chimney (kitchen).
- Lean-to roof over kitchen and an awning (4) and outhouse
- Concrete and asphalt paving from the courtyard (2)
- Fencing (2)
- Floor coverings generally in No.4 and in the kitchen of No.2
- Rubbish removed from sub-floor space

Removal and relocation of fittings:

- Gas copper removed from No. 2 and installed in No.4
- Brass taps retained for the Authority

### **New work:**

- Construction of new walls to create a new bathroom and laundry to the north of the original kitchens, incorporating the retained sections of the original outhouses.
- New kitchen, laundry and bathroom fit-outs including laying of concrete slab floors
- New drainage lines to new fittings
- New gutters and downpipes to sections of new roof and the kitchen roof
- New water supply in copper piping
- Rewiring of houses and removal of exposed wiring
- Renovation of gas supply
- Removal of existing light fittings and installation of pendant fittings
- Removal of damaged wallpaper

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<sup>86</sup> Minutes of SCRA, 8 Apr 1975, D479/71; Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479 Ref: 0428.01.01 Box 342; Plans dated 21.5.74 No.No.2/1 in an Untitled report dated 1.5.81 in Foreshore Authority File Ref 0428.01.01 Box 342.

See Appendices for a copy of the measured drawings prepared in 1974 (Plans dated 21.5.74 No.No.2/1 in an Untitled report dated 1.5.81 in Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479, Ref 0428.01.01 Box 342

### **Repair and restoration:**

- Timber work including windows, doors, fanlights and architraves repaired and restored
- Floor boards re-nailed where necessary
- Broken and cracked window panes reglazed
- Cracked or drummy plaster removed and made good
- Damaged ceilings cleaned and repaired
- Main roof

### **Retention:**

- Ceilings, ceiling roses, original plasterwork, door and window hardware wherever feasible.

A number of fittings and hardware, including brass taps, a door knob from No.4, kitchen sinks are noted as being removed and retained for the SCRA.

More comprehensive details of the work carried out can be found in the 1981 Report and Schedule of Works documenting the 1975 renovations<sup>87</sup> and in the original documentation<sup>88</sup> included in Appendices F and G.

In 1991 the Sydney Cove Redevelopment Authority was renamed the Sydney Cove Authority, continuing to manage the housing stock in The Rocks. In 1995, Nos. 2 and 4 Atherden Street, known at this time as Nos. 4 and 5 Atherton Place, underwent further maintenance, renovation and conservation works under the auspices of the renamed Authority<sup>89</sup>.

The Schedule of Works dated August 1995:, (Drawings included in Appendices F, G and H),

- Electrical work including installation of a number of new light fittings
- Replacement of a number of bathroom, laundry and kitchen fittings
- New laundry and bathroom flooring and areas of wall tiling
- Repairs to joinery and door hardware
- Replacement of some sections of kitchen skirting
- Replacement of damaged glass
- Repainting

A number of amendments to the schedule were authorised before and during the course of the work. A. & D.R. Illes P/L (Alex Illes) was awarded the contract to carry out the work. More detailed information about the work carried out is documented in files held by the Sydney Harbour Foreshores Authority. The project was officially completed on 31 January 1996 costing \$81,170 including variations to the contract.<sup>90</sup>

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<sup>87</sup> Foreshore Authority File, Planning – Atherton Place D479 Ref: 0428.01.01 Box 342

<sup>88</sup> See Appendices for a copy of the working drawings titled 'Renovations to Terraces 2-4 Atherton Place' prepared in 1975 (Plans dated 30.1.1975 No.AP 2/2, 3.3.1975 No. AP2/3 in an Untitled report dated 1.5.81 in Foreshore Authority File, Planning – Atherton Place (now Atherden Street) D479, Ref 0428.01.01 Box 342)

<sup>89</sup> Foreshore Authority File Ref: 1356.01.01

<sup>90</sup> Foreshore Authority File Ref: 1356.01.01

See Appendices F, G and H for copies of plans and specifications. It should be noted that some variations between the plans and the actual work carried occur. The plans and specifications should be read in conjunction with the documentation of the actual project.<sup>91</sup> There is no evidence of major building work being carried out on 2 and 4 Atherden Street since 1996.

### **Recent works 1990s to 2015**

Since the conservation works were completed in 1995-96, maintenance works have been undertaken to keep to residence in good order. Works were most recently undertaken in 2014 following the vacating of the residences. At this time, the outdoor rear yards were cleaned up and some plantings removed, internally the carpets were lifted, the floorboards were repaired and Tung oil was applied and the existing 1990s kitchen and bathroom fit outs were repaired.

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<sup>91</sup> Foreshore Authority File: Architecture 4-5 Atherden Street Upgrading Works Ref: 1356.01.01 Box 200302-192  
Report prepared by Sydney Harbour Foreshore Authority  
Place Renewal Division, Strategic Planning Team

### Photographic records of Avery Terrace 1975 to 2012

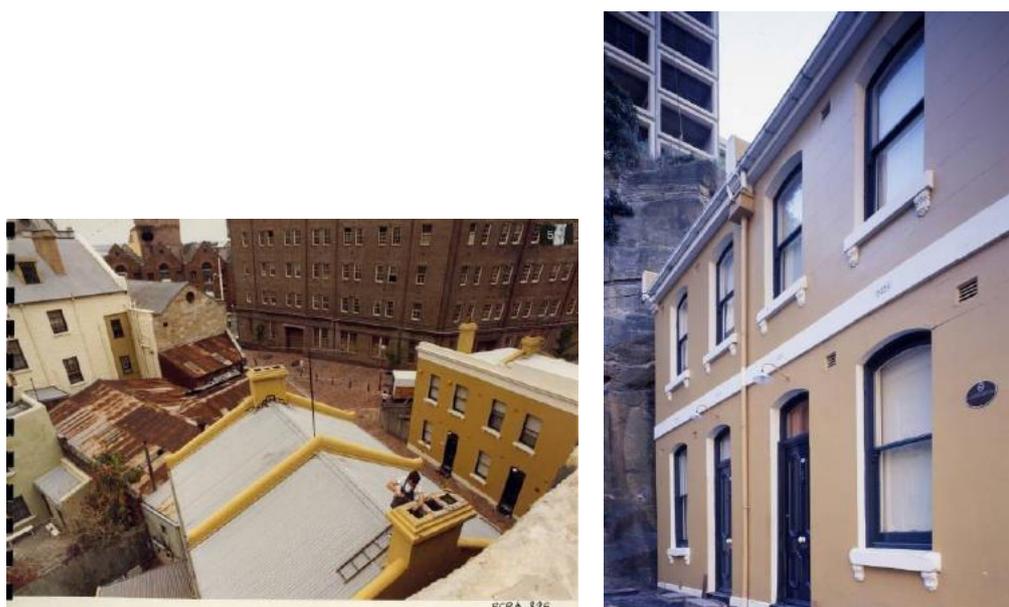
Unfortunately no images of the external or internal fabric of Avery Terrace taken prior to building work carried out in 1975 and 1995/6, have been located in private and public collections. The following images are a valuable record of the building and record changes that have occurred since the 1970s.



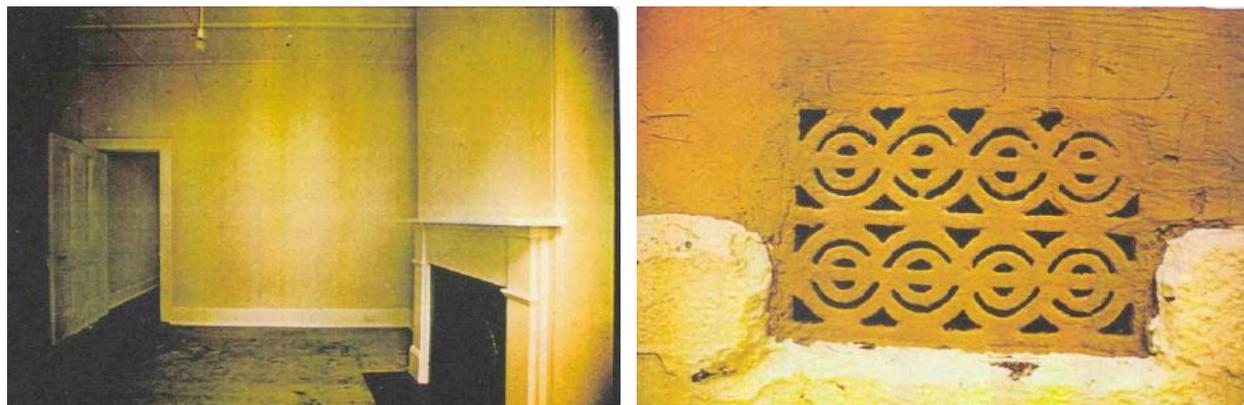
**Figure 2.21** Avery Terrace during renovations to Playfair Terrace, 1975 and works to Avery Terrace. Source: Sydney Harbour Foreshore Authority, Image No. 191052 CCM 26-26 (top left); Image No.190413\_APM\_32-22) (middle left); APM 32-1 (bottom left); Image No. 190428\_APM\_32\_10 (top right); APM 32-12 (bottom right image).



**Figure 2.22** Avery Terrace adjacent to warehouse at 6-8 Atherden Street, 1978 and c1978-1981 right images. Source: Sydney Harbour Foreshore Authority Archives Image No. 190320\_APM\_28 (left image) and No.188041\_Am\_8-35 (top right image) and No.187777\_AM\_8-10 (bottom right image).



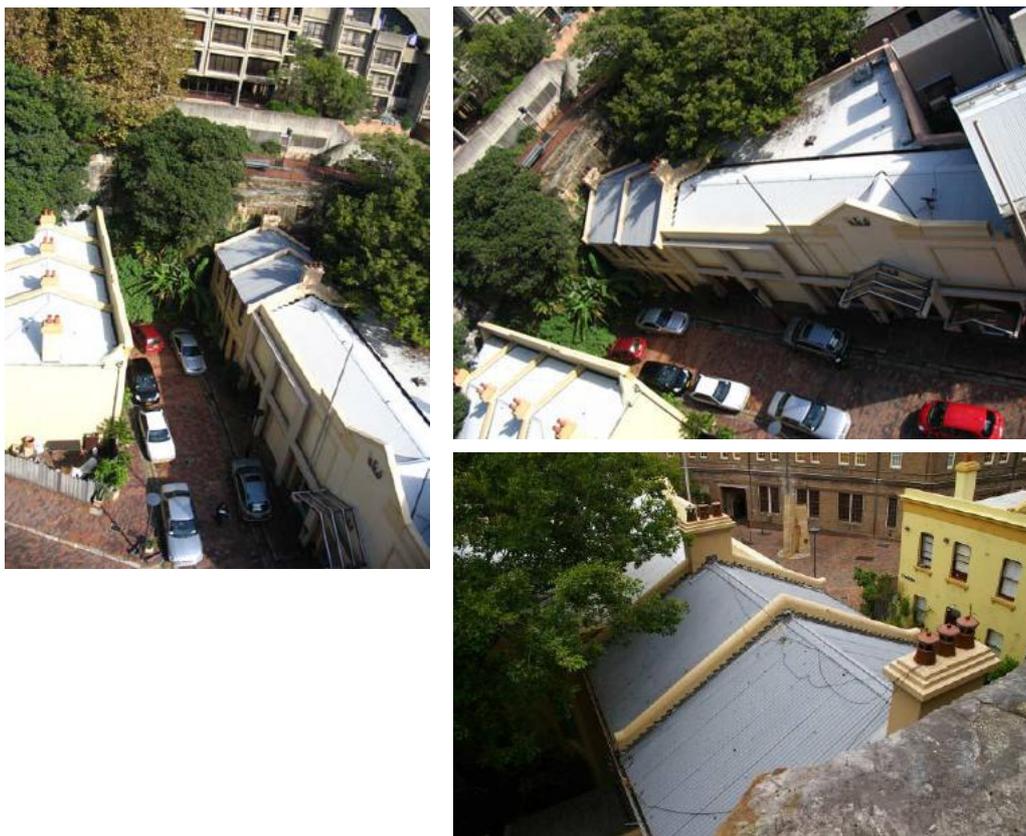
**Figure 2.23** Avery Terrace from Gloucester Walk, 1980 left image and c1985 right image. Source: Sydney Harbour Foreshore Authority Archive Image No. 40955\_SCRA\_326 (left image) and Image No.163599\_APM\_2.4 (right image)



**Figure 2.24** Ground floor room thought to be the Living Room of No.4 (Foreshore Authority G-1) looking north and cast iron wall vent, c.1981. Source: Sydney Harbour Foreshore Authority Untitled Report prepared by the Sydney Cove Redevelopment Authority, dated 1 May 1981, Foreshore Authority File Name: Planning – Atherton Place (now Atherden Street) D479, Ref: 0428.01.01 Box 342)



**Figure 2.25** Street views of Avery Terrace taken in 2007. Source Sydney Harbour Foreshore Authority photos by FORM Architects P/L



**Figure 2.26** Roofscapes of Avery Terrace taken in 2007. Source Sydney Harbour Foreshore Authority photos by FORM Architects P/L



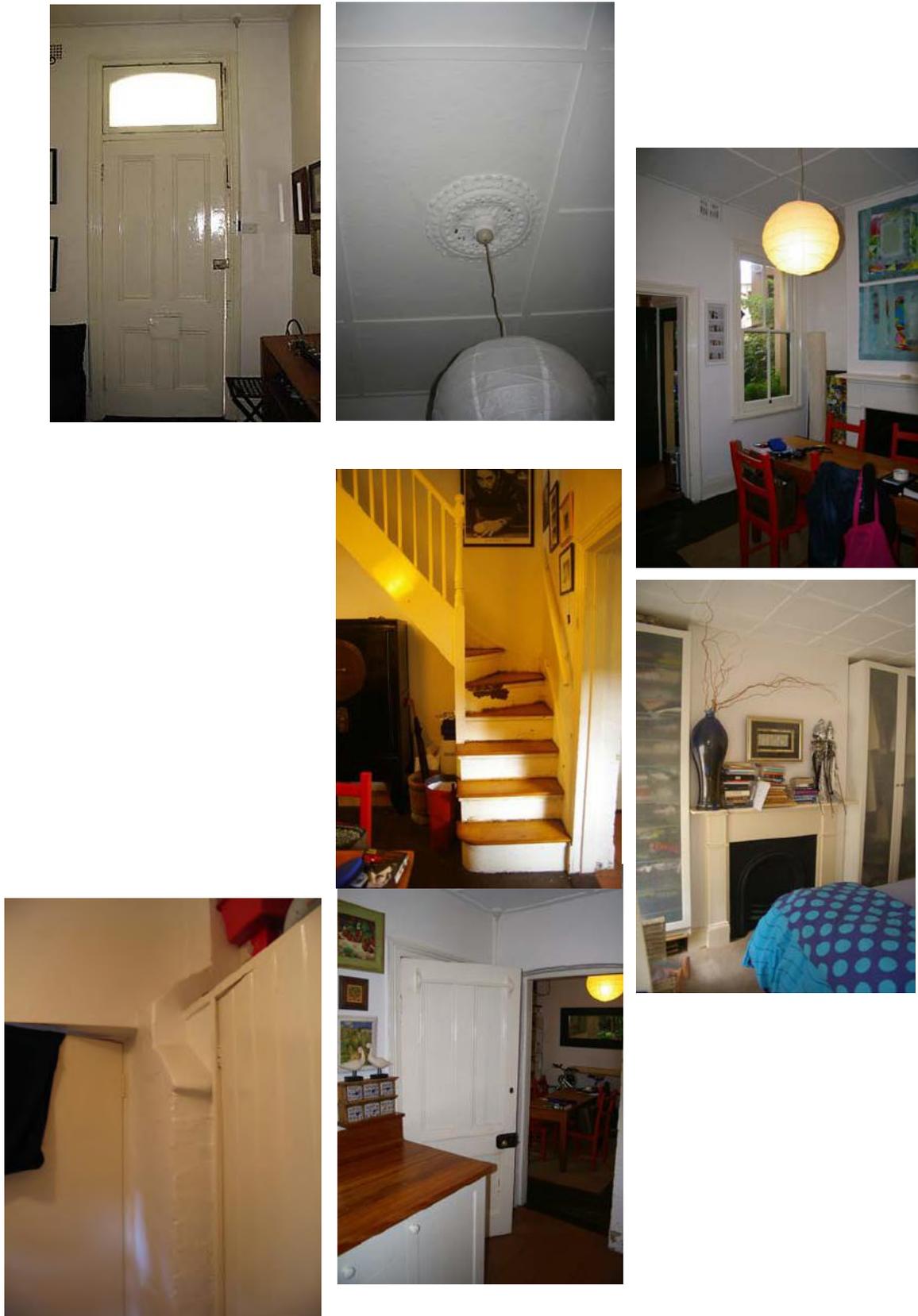
**Figure 2.27** Avery Terrace, 2007, rear wing and rear elevation, Rear yard, air grille, side passage gate, kitchen external door. Source Sydney Harbour Foreshore Authority photos by FORM Architects P/L



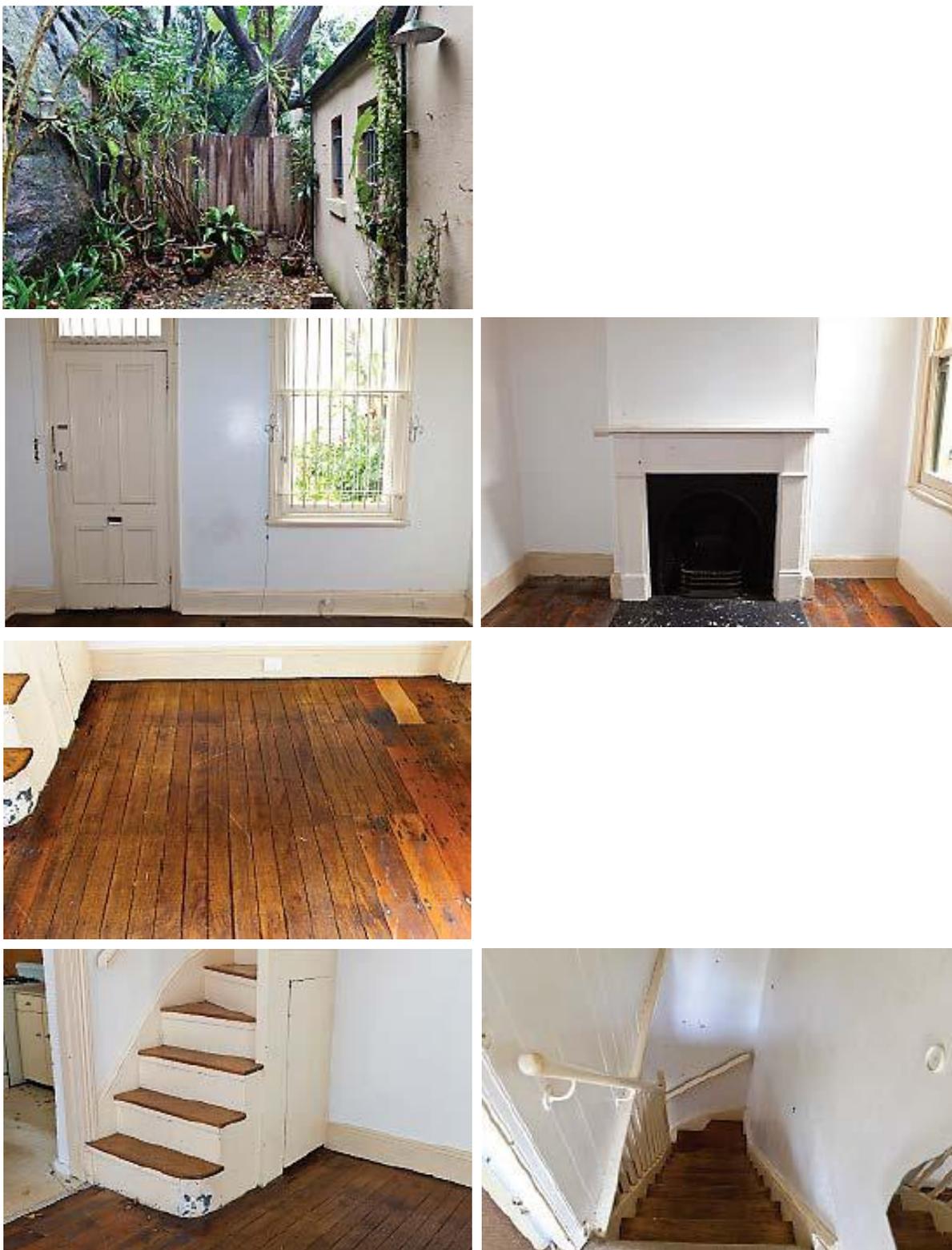
Kitchen flue remnants



**Figure 2.28** 2Atherden Street, interiors Avery Terrace, 2007, front door, fireplace, remnants of kitchen flue, air grille, boarded and replaced ceilings and ceiling rose. Source Sydney Harbour Foreshore Authority photos by FORM Architects P/L



**Figure 2.29** 4Atherden Street, interiors Avery Terrace, 2007, ground floor front door, replaced ceiling and ceiling rose, rear room, staircase, front bedroom, remnants of kitchen hearth, current kitchen. Source Sydney Harbour Foreshore Authority photos by FORM Architects P/L



**Figure 2.30:** 2 Atherden Street, Avery Terrace, rear wing and yard, ground floor front room and fire place, ground floor rear room floor boards, internal stair case, 2012. Source: Sydney Harbour foreshore Authority, Photographic Dilapidation Report, 2 and 4 Atherden Street, The Rocks prepared by The Oblong Box Pty Ltd, June 2012.



**Figure 2.31:** 2 Atherden Street, Avery Terrace, 2012. First floor front bedroom internal wall and door and windows, rear bedroom internal timber panelled wall, ground floor rear wing kitchen, and bathroom. Source: Sydney Harbour Foreshore Authority, Photographic Dilapidation Report, 2 and 4 Atherden Street, The Rocks prepared by The Oblong Box Pty Ltd, June 2012.



**Figure 2.32:** 4 Atherden Street, Avery Terrace, 2012. Rear wing and yard; ground floor rear room fireplace; front room external door and window; ground floor rear room fireplace and timber floor boards; staircase from first floor level. Source: Sydney Harbour foreshore Authority, Photographic Dilapidation Report, 2 and 4 Atherden Street, The Rocks prepared by The Oblong Box Pty Ltd, June 2012.



**Figure 2.33:** 4 Atherden Street, Avery Terrace, 2012. First floor front bedroom windows, ground floor rear wing kitchen and bathroom. Source: Sydney Harbour foreshore Authority, Photographic Dilapidation Report, 2 and 4 Atherden Street, The Rocks prepared by The Oblong Box Pty Ltd, June 2012.

## 2.8 Ability to represent historic themes

The following table identifies the relevant Australian and New South Wales historic themes, and how these themes are represented at the site.

Australian Historic Theme	NSW Historic Theme	Representation of historic themes at Avery Terrace, 2 and 4 Atherden Street
1 Tracing the natural evolution of Australia	Environment – naturally evolved	Sandstone escarpment following the line of Gloucester Walk, to the west of the site, creating natural boundaries for the granting and subdivision of land and later development.
2 Peopling Australia	Convict	The site is, more generally, part of the ridge initially occupied by convict dwellings and known as The Rocks, indicated by the site location. Associations between the site and convict-era infrastructure are discernable in the documentary record.
3 Developing local, regional and national economies	Industry	Early development of the site faced eastwards to the harbor and its associated maritime industries, but by the time the present building was constructed, housing was oriented to the street rather than the major industries in the area.  The occupancy of the houses from 1883 until the 1970s by wharf labourers and similar occupations connect the houses with the theme of maritime industry. And also mark its decline in the 1970s.
4 Building settlements, towns and cities	Towns, suburbs and villages	The urban layout around the site was initially organic, following the topography and local routes to port facilities. This layout was gradually organized during the 19 <sup>th</sup> century as cadastral boundaries were formalized. Major changes came during the early 20 <sup>th</sup> century following the resumptions, then in the 1920s when the construction of the Harbour Bridge removed whole streets and blocks of buildings, in the late 1950s for construction of the Cahill Expressway, and in the 1986 when neighbouring building was removed for a new infill commercial building.
4 Building settlements, towns and cities	Accommodation	The building was used for residential accommodation from its construction until the 1990s. Its terrace form, with relatively narrow interior spaces connected to exterior WCs through a narrow courtyard, and no setback from the street frontage, is representative of such rental accommodation built in The Rocks in the late 19 <sup>th</sup> century. Each terrace contained five rooms, including a rear wing kitchen. There was also a bathroom/laundry and WC in the rear yard.

7 Governing	Government and Administration	<p>The site associated with successive waves of government intervention from the housing of convicts to various urban renewal programs and the construction of major public infrastructure such as the Harbour Bridge and Cahill Expressway. The resumptions of 1900 provided for single ownership by the State and the implementation of its strategic development priorities.</p> <p>The planned redevelopments of the 1970s were met with determined resistance by residents of The Rocks, supported by the Green Bans movement, which resulted in substantial revisions to broad scale demolition programs and the retention and conservation of some historic buildings. This remains evident on the site by the planned survival of the building and development of the neighbouring site with a replacement commercial building in the mid-1980s, all authorized by a government agency, the Sydney Cove Redevelopment Authority.</p>
7 Governing	Law and Order	<p>Resistance by residents of The Rocks, supported by the Green Bans movement, to planned demolitions in the area in the 1970s lead to some tense standoffs and open conflict between residents and police.</p> <p>Although this building was not itself a site of conflict between protestors and police. It was the home of a key person involved in the resident actions; Nita McCrae. It's planned survival within the larger re-development of the site in the 1990s remains as evidence of the long-term influence of resident action groups in the retention and ongoing conservation of such historic buildings.</p>
8 Developing Australia's cultural life	Domestic Life	<p>The residents of the buildings for most of the 20<sup>th</sup> century were mostly for short term tenancies. Evidence of 19th century domestic service areas including kitchen and hearth, outdoor laundry and WC areas were removed in the 1970s works, and a rear wing extension with an indoor laundry and bathroom were added.</p>
9 Marking the phases of life	Persons	<p>Robert Campbell Sr, founder of Campbell &amp; Co and grantee. Edward Stanley Ebsworth, bank manager and developer of the site for rental accommodation. Avery family associated in the 19th and 20th centuries with The Rocks and Atherden Street/Atherton Place.</p> <p>Nita McCrae, an activist in the 1970s campaign to preserve the historic residential precinct in The Rocks, is also associated with the 20th century history of both properties. Descended from the Avery family, McCrae grew up in 4 Atherden Street eventually leasing the house in her own name until c.1969-70 when she moved to 35 George Street, now known as Sergeant Majors Row. Many meetings of the Millers Point Action Group and Rocks Resident Action Group took place in the George Street house and in 1996 a plaque paying tribute to McCrae's role in preserving The Rocks' residential precinct was affixed to it.</p>

## **3.0 PHYSICAL EVIDENCE**

The aim of this chapter is to describe Avery Terrace, in more detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. The method used in the fabric investigation has been non-intrusive observation.

This chapter builds on the evidence outlined in the previous section, and notes the physical changes that may have taken place over time in order to understand why, when and how these alterations were made.

### **3.1 The Rocks Conservation Area**

The site is located within The Rocks Conservation Area. The Rocks is sited on a rocky promontory extending into Sydney Harbour and generally bounded by Sydney Cove/ Circular Quay to the east and the southern approach of the Sydney Harbour Bridge to the west. It covers some 21 hectares in area and falls steeply to the east, in a series of sandstone escarpments, giving the important harbour views that enhances the area.

The topography which gave the area its name, and provided the early building materials, influenced the street pattern which is now overlaid and traversed by steps and pedestrian walkways and lanes. The conservation of The Rocks from the 1970s has reinforced these diverse streetscapes, laneways and pedestrian links.

Today the built context is characterised by a mix of residential and commercial buildings ranging from important buildings by significant architects, to more humble shops, cottages and terraces, mostly dating from the 19th and 20th centuries. The area has a strong maritime character with warehouses and bond stores remaining, in addition to philanthropic buildings and accommodation for seamen. The area also retains a large amount of public open space including Dawes Point Park, with its early fortifications and archaeological remains, Foundation Park, West Circular Quay, First Fleet Park, the public domain around the Museum of Contemporary Art, Overseas Passenger Terminal, Campbells Cove, Park Hyatt and the Hickson Road Reserve.

The area to the north of the Cahill Expressway, in which the subject building is located, illustrates the diversity of the area with pockets of heritage items and streetscapes intermingled with early 20th century warehouse and commercial buildings, some dating from the late 20th century. It is the overall character and diversity that contributes to the significance of the area.

### **3.2 Street and Streetscape Description**

The street address for Avery Terrace is 2 and 4 Atherden Street. Atherden Street is a short cul de sac at the northern end of Playfair Street that terminates at the base of the sandstone escarpment, and is open to vehicular traffic from George Street.

Avery Terrace is sited directly opposite Playfair Terrace. Constructed at a similar time, the terraces make a significant contribution to the 19th century streetscape, and form part of a group of residential houses that make an important contribution to the 19th century commercial and residential buildings in Atherden Street, Playfair Street and George Street in the immediate context.

Slightly to the south-east on facing onto George Street, is the seven-storey brick Old Sydney

Holiday Inn, formerly the Harrington's Buildings, completed in 1926, that forms an early 20th century backdrop to the smaller, late 19th century terrace. The large former warehouse and offices is significant as evidence of the continuing importance of commerce in the development of The Rocks in the 20th century and integral to sustaining employment for The Rocks community. The contrast between the scale, purpose and detailing of the buildings emphasises the evolution of The Rocks over the 19<sup>th</sup> and 20<sup>th</sup> centuries, and its ability to adapt through the sympathetic adaptation of commercial buildings.

Major changes occurred to the streetscape context and street layout in the 1922: with the demolition of the terrace at 9-15 Atherden Street opposite and the introduction of Playfair Street. Subsequent changes to the streetscape have been relatively minor, with only changes to the paving and street lighting. The street is brick paved and has a stone edged gutter and brick paved footpath.

The terraces in Atherden Street continue to be used as residential accommodation. Many of the surrounding buildings have been adapted for a range of commercial and retail uses, some of which are linked to the tourist industry.



**Figure 3.1** Atherden Street context for Avery Terrace, showing Atherden Street looking towards Playfair Terrace (left) and along Playfair Street (right), 2015. Source: Sydney Harbour Foreshore Authority M Stacy.

The site sits beneath a sandstone escarpment, Gloucester Walk and the Sirius Apartments – a concrete, multi-storey building, constructed from 1978 and occupied from 1980 as public housing that rises above the terraces and Gloucester Walk. The late 20th century Brutalist Style apartments stand in stark contrast to the 19th century character of the Atherden streetscape below.

Gloucester Walk, enclosed by a wrought iron railing, provides a pedestrian walkway and view to and from the Sirius Apartments. Gloucester Walk also provides an interesting view of the 19th century Atherden Street and Playfair Street precincts within the larger Rocks precinct. The view from Gloucester Walk is significant as it provides an indication of the extent of Robert Campbell Senior's land holdings on the western side of Circular Quay, in particular Lot 2 of the 1834 grant bounded by George Street and Gloucester Walk, extending to a line north of Mill Lane incorporating what is now Atherden Street. The view also includes Sergeant Majors Row facing George Street, which along with Avery Terrace, was commissioned by Edward Stanley Ebsworth in the 1870s and 1880s and leased as residential tenancies.

The former Westpac Museum building built in 1986, located at 6-8 Atherden Street, which is currently vacant, abuts the eastern side of Avery terrace. The street façade of this building

has articulated bays sympathetic to the scale of the neighbouring terrace. The raised parapet wall and glass awning reflects the warehouse formerly located at this site.

### Views and Vistas

The Burra Charter states that conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place (Marquis-Kyle et al 2004: 37). This section examines the visual setting of Avery Terrace which is particularly important to its significance.

Due to the narrowness of the street and surrounding development and siting directly below the rock escarpment, Avery Terrace has limited views south primarily towards Playfair's Terrace, and oblique views towards George Street and the Old Sydney Holiday Inn.

While the views from the site are limited, the terrace and its site and rear yards are visible in its current context and overlooked from Gloucester Walk and buildings sited higher up the ridge.



View looking west along Atherden Street



View along Atherden Street from Gloucester Walk



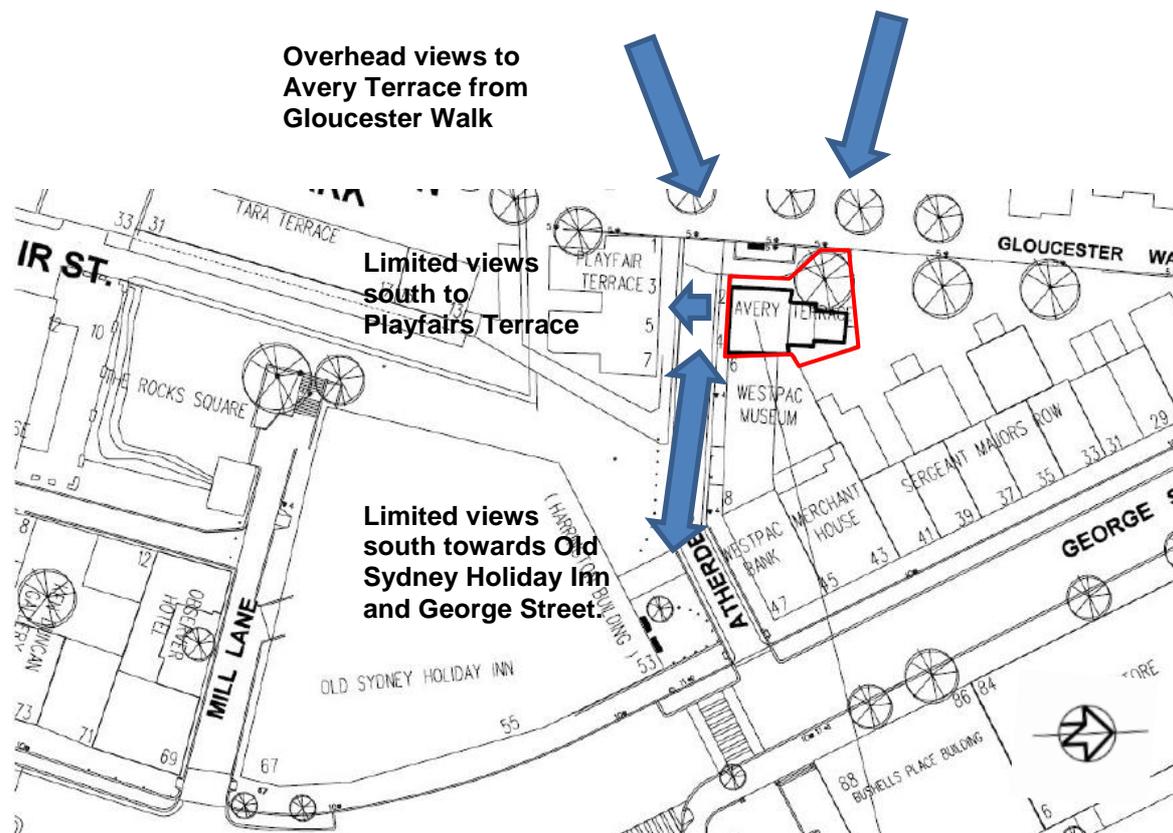
From Gloucester Walk



From Gloucester Walk

**Figure 3.2** Avery Terrace the views from the site are limited by the western escarpment that borders the site and surrounding development. However the site is highly visible in its current context and overlooked from Gloucester Walk.

The site of Avery Terrace backs onto the rear yards of the terraces at Sergeant Majors Row located at 33-41 George Street, and the terraces at 29-31 George Street. The group of buildings are sympathetic in scale and form, including the neighbouring two storey 1986 Westpac building at 6-8 Atherden Street. They have a large impact on site and setting of Avery Terrace, and its visibility and access to sunlight.



**Figure 3.3** Avery Terrace views and vistas Due to the narrowness of the street and surrounding development and siting directly below the rock escarpment, Avery Terrace has limited views south primarily towards Playfair's Terrace, and oblique views towards George Street and the Old Sydney Holiday Inn.

The key views to and from Avery Terrace are significant as they have remained largely unaltered over the last 140 years, since the construction of the terrace in the 1880s.

### 3.3 Building Description

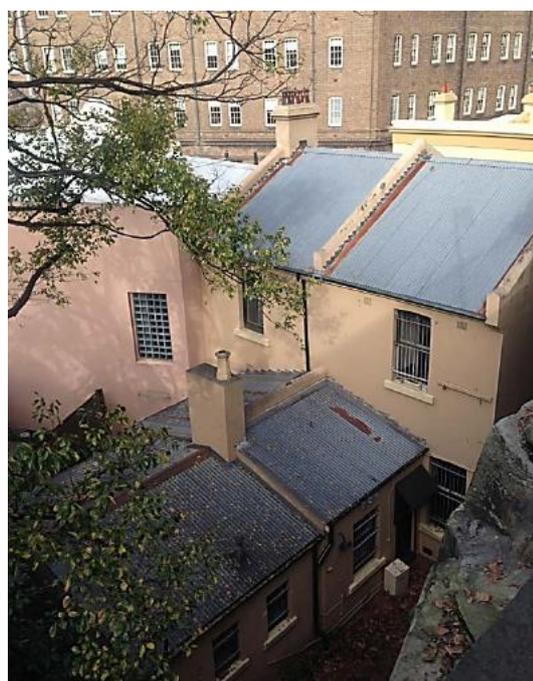
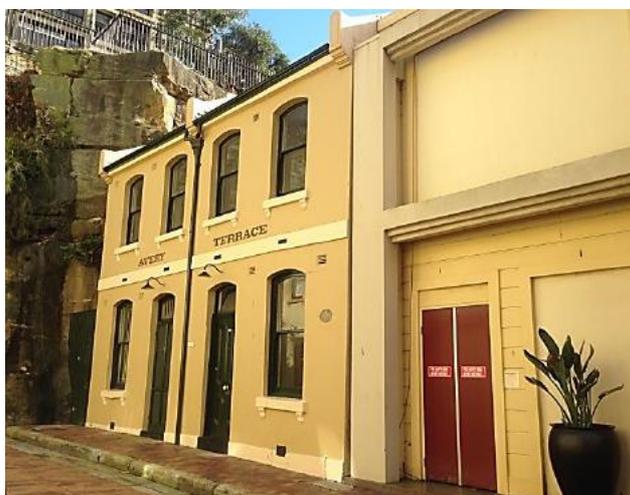
#### Generally

The building is a late Victorian Regency two-storey bald faced terrace containing two residential dwellings. The terrace consists of a main two storey gable roofed building, and an attached single-storey gable-roofed rear wing. The street façade of the double brick building is stuccoed and has modest detailing with a string course at first floor level. Two stuccoed brick chimneys are positioned at the apex of each gable above the outer walls.

The bald-faced terrace is built on the street alignment and abuts, although not connected to the former Westpac building on its eastern boundary. A narrow brick paved footpath with stone kerb and guttering separates the terrace from the roadway. The western facade of the terrace is set back from the rock escarpment, which forms the irregular western boundary of the site. There is a narrow side passage from Atherden Street to the rear yard of 2 Atherden Street.

The layout of each residence mirrors the other. The two-storey section of each dwelling consists of two rooms on the ground and first floors – two living areas on the ground floor and two bedrooms on the first floor. An internal corner winding staircase in the rear room provides access to the first floor bedrooms. The single storey rear wing contains a kitchen in its original location with a later addition built in 1975 that contains laundries, bathrooms and toilets. The 1975 works are built partly on the footprint of an earlier outhouses and outside toilets.

Renovation of the kitchens, laundries and bathrooms as well as repairs and maintenance was carried out in 1995/6 (See Appendices F, G & H for plans and documentation relating to the works). Access to the courtyard gardens of each residence is via an external door from each kitchen.



**Figure 3.4** Front (south), side and rear (west and north) elevations of Avery Terrace. Source: Sydney Harbour Foreshore Authority photo M Stacy 2015

## Exterior

### South-Façade, Atherden Street

Avery Terrace is a two-storey terrace with a mirror imaged façade addressing Atherden Street. The ashlar coursed stuccoed façade is set on a stone plinth, or base course evident at above the footpath. The façade features a first floor level decorative string course. The façade has a number of early metal vents as well as covered terracotta wall vents at ground and first floor level which may date from the early to mid-20th century. 'AVERY TERRACE' has been sign written immediately above the string course as part of the 1975 works. An oval plaque at the east end of the façade installed c1975 commemorates 'A restoration project by the Sydney Cove Redevelopment Authority'.

The corrugated iron clad gable roof is separated by a parapeted party wall supported on decorative console brackets. The roof gutters to each dwelling drain to a central rainwater head and downpipe, that was replaced as part of the conservation works in 1995/6. The wall and joinery have been painted in a historic colour scheme of buff and sandstone decorative features with Brunswick green joinery.

Both terraces have a front door flanked by a double hung sash window set in a segmented arched opening and two symmetrically positioned, segmental arch double hung sash windows on the first floor. The window openings have stone sills supported on decorative corbelled brackets. Some of the stone sills and corbelled brackets are worn and chipped. Steel security bars have been fitted to the inside of the ground floor window at No.2.



**Figure 3.5** 2 and 4 Atherden Street, Front (south) elevation of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.

The front doors are timber framed and are Victorian four-panel timber doors featuring hexagonal inset panels with a fanlight window over. Each door has a knocker, knob, metal number plate and letterbox flap. The front doors open on to a stone threshold and step, now at footpath level, indicating that the level of the footpath and roadway have been raised over the years and were originally lower. No. 2 has an early to mid-20th century timber-framed fly screen door installed to the outside of the front door.

There are wall mounted light goose-neck bracket with a conical shade installed in 1975, fixed above each entry door.

A timber framed infill panel and gate provides access to the rear yard of 2 Atherden Street, between the edge of the rock escarpment and the terrace.



**Figure 3.6** 2 Atherden Street, Front (south) elevation details of side infill panel and gate and front doors to 2 Atherden Street (centre) and 4 Atherden Street (right), 2015. Source: Sydney Harbour Foreshore Authority, M Stacy.

### Side and Rear (West, East and North) Façades

The main building and rear wing are rendered and ashlar coursed. The stone base course for the terrace is evident just above the paving bricks. The painted façade has some pitting to the surface at lower levels on the western side. It is likely that the rear wing walls were of bagged brick that was later rendered as part of the 1975 works, as ashlar coursed render was usually restricted to the main and possibly secondary façades.

The rear elevation of the main building has a two pane double hung sash window with a stone sill to each of the ground floor rear rooms, and double hung sash windows with a stone sill to the first floor rear bedrooms.

There is evidence that the earlier roof drainage for each terrace consisted of downpipes positioned on the outer sides of the upper floor windows, emptying onto the kitchen roof. In 2006 a central downpipe was added that drains onto the kitchen roof.

The rear wing consists of two sections; the original c.1881 kitchen adjoining the two storey main building, and a later rear wing extension built in 1975 to house a laundry and bathroom that incorporates remnant fabric of the c.1881 outhouse and WC. A central double chimney for the original kitchen hearths, now sealed off, rises above the original external wall of the kitchen. The render to the chimney is showing cracking and in a fair condition. Only one

terracotta chimney pot (1975) survives over No.2 and has been painted. The raised parapeted party wall separating the kitchens of 2 and 4 is evident about the gable roof line. The 1975 addition with its skillion roof form, rendered walls and double hung sash timber windows are in scale and character to the original wing.

The eastern and western facades of the rear wing of 2 and 4 Atherden Street, each feature an external Victorian four panel door with a painted stone threshold that opens from the kitchen into the rear court yard, flanked by a single two pane timber framed double hung sash window. No. 2 has a later narrow timber frame fitted to the outside of the original door, (possibly to hold a screen door that has been removed); though a head panel with steel mesh remains intact. A simple timber-framed painted cement sheet awning has been added over the doorway. The external kitchen door at No. 4 has a narrow, compressed cement panel fixed at the top of the door frame and the opening is sheltered by a simple timber-framed awning (1975) clad with a flat, painted, compressed cement sheet.

Goose-neck, wall mounted bracketed lamps with a conical shade, (like that fitted on the front elevation), were installed in 1975 to light the rear yards outside both kitchens. Some areas of the rendered wall finish show signs of wear consistent with the building's age, however it is generally in fair condition.



**Figure 3.7** 2 and 4 Atherden Street, rear (north) elevations of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.



**Figure 3.8** 2 Atherden Street, Side and rear (west and north) elevations of Avery Terrace, side passage and rear yard, 2015. Source: Sydney Harbour Foreshore Authority, M Stacy.



**Figure 3.9:** 2 Atherden Street, Side (west) elevation of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.



**Figure 3.10** 4 Atherden Street, Side (east) elevation of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.



**Figure 3.11** 4 Atherden Street, Side and rear (east and north) elevations of Avery Terrace, rear yard and rear wall and window of neighbouring infill building at 6-8 Atherden Street. Source: Sydney Harbour Foreshore Authority, M Stacy.

## External paint colour schemes, 1975 and 2016

The external paint colour schedule formulated for Avery Terrace c1975 is below<sup>92</sup>.

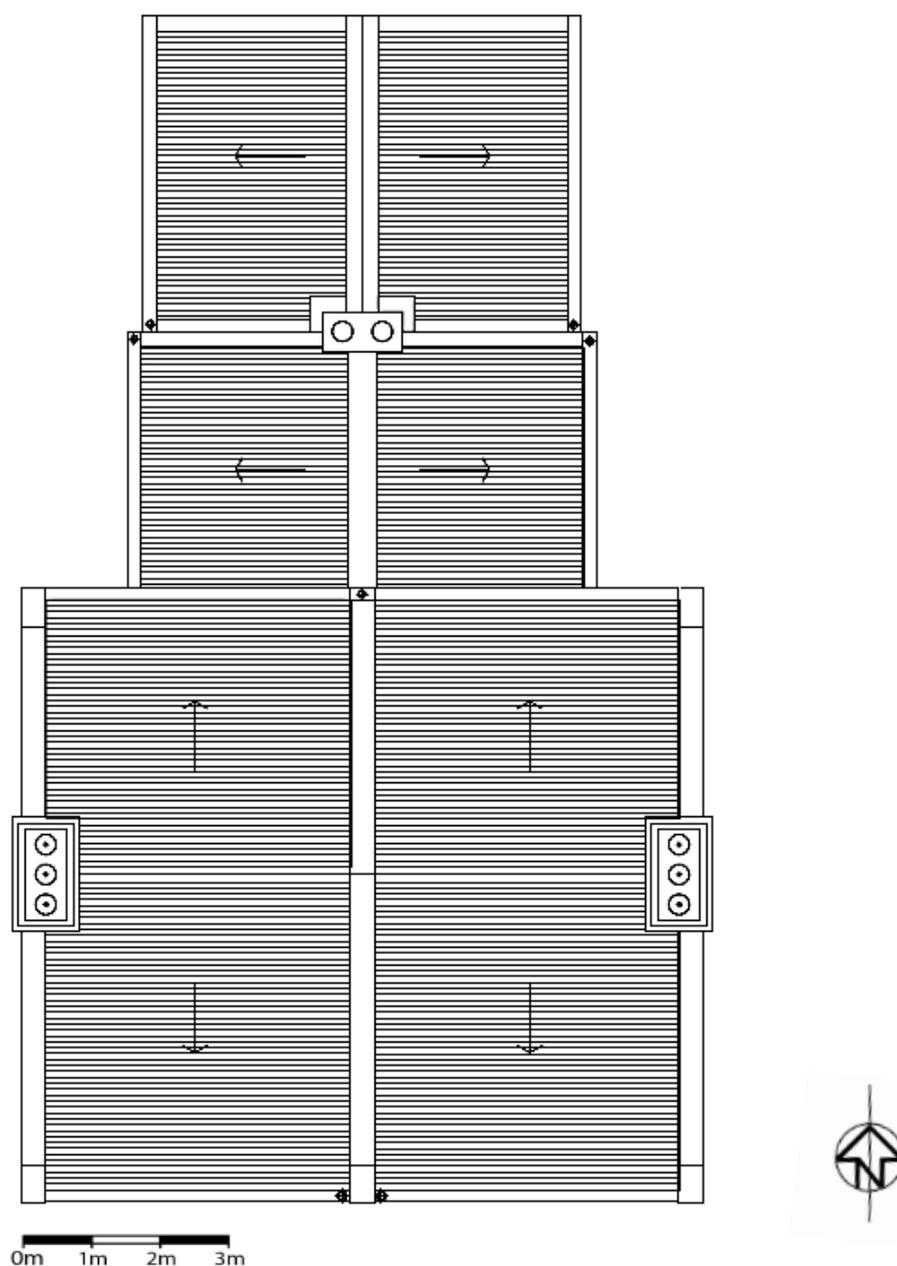
Item	Colour	No.
Walls, chimneys, parapets	Middle Buff 359	BS 381 C
Eaves, fascia, gutter	Cream 4052	BS 2660
Window sills and brackets	Cream 4052	BS 2660
String course	Cream 4052	BS 2660
Window and door reveals	Cream 4052	BS 2660
Bracketed facets (?) parapet	Cream 4052	BS 2660
Window and door frames	Deep Brunswick Green 227	BS 381 C
Doors	Deep Brunswick Green 227	BS 381 C
Window sashes and fanlights	Deep Brunswick Green 227	BS 381 C
Base course	Cream 4052	BS 2660
Door steps	Black	
Front side timber fence and gate	Deep Brunswick Green 227	BS 381 C
Meter box, down pipe etc.	Paint with the wall	

The current external paint colour schedule in 2016 is below<sup>93</sup>,

Item	Colour
Walls, chimneys and chimney moulds, parapets, and rear wing central party wall, eaves and fascias	Pascal Drab Semi-gloss acrylic
Window and door reveals	Pascal Drab Semi-gloss acrylic
Base course and string course, window sills and brackets	Pascal Manilla Semi-gloss acrylic
Gutters and downpipes	Pascal Bronze Green – High gloss enamel
Window frames and sashes, fanlights external front door and rear door and frames	Pascal Bronze Green – High gloss enamel
Door steps	Black paving paint
Front side timber fence and gate	Pascal Bronze Green – High gloss enamel
Meter box, down pipe etc.	Paint with the wall

<sup>92</sup> Foreshore Authority File, Precinct – Planning – Atherton Place Precinct, D479 Ref 0428-01-01 Box 342.

<sup>93</sup> Sydney Harbour Foreshore Authority Facilities- Building Maintenance.



**Figure 3.12** 2 and 4 Atherden Street, roof plan of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.

## Roof

The two storey main building has a gable roof clad in corrugated iron sheeting. The side walls and central party wall extend above the roofline and are parapeted. There are two sets of three stuccoed and painted chimneys attached to the side wall of each terrace feature three glazed terracotta chimney pots (two were replaced on No.4 and one on No.2 in 1975).

The roof over the single-storey rear wing consists of two sections clad in corrugated iron sheeting. The original roof over the c.1881 kitchen is a gently pitched from a central parapeted party wall. The chimneys over the original kitchen hearths remains insitu, however have been sealed. There is a separate and later gable roof over the 1975 laundry and bathroom rear addition, set slightly lower than the kitchen roofs.

## Rear yards

The rear yard of 2 Atherden Street is accessed externally by a narrow passageway along the western escarpment. The courtyard to 2 Atherden Street is about 100mm below the floor level at the kitchen door. The site inspection (2007) revealed no gutter or drain to assist the removal of storm water from the courtyard. The Schedule of Works for the 1975 alterations required that the paving fall to the 'yard gully'<sup>94</sup>. The gully is now set in a collar into which the downpipe is directed.

The area is shaded by a large fig tree in the rear yard of the adjoining property to the north growing close to the boundary fence.

The 1995/6 renovation of the terrace included the installation of periscope underfloor vents, assumed to be connected to the existing wall vents.<sup>95</sup>

A timber paling fence encloses the rear of the courtyards along the northern boundary with a short length of paling fence between Nos. 2 and 4. Part of the boundary is formed by the outer wall of the adjoining property at 6-8 Atherden Street to the east. This building has a glass brick window situated high on this wall facing into the courtyard.

The rear yard of 4 Atherden Street is a small irregularly shaped, paved courtyard. The courtyard is about 50mm below the floor level at the kitchen door and the nearest wall vent is level with the brick pavers. Although the pavers appear to fall to the north end of the site it is likely that in wet weather storm water will enter the underfloor area. The site inspection revealed no gully or drain to assist the removal of storm water from the courtyard. The Schedule of Works for the 1975 alterations required that the paving fall to the 'yard gully.'<sup>96</sup> The gully is now set in a collar into which the downpipe is directed.

The 1995/6 renovation of the terrace included the installation of periscope underfloor vents, assumed to be connected to the existing wall vents.<sup>97</sup>

## Interiors

The internal planning, room layout and detailing of each residence mirrors the other. The two-storey section of each dwelling consists of two rooms on the ground and two rooms on the first floor – a front living area and rear dining room on the ground floor, and two bedrooms on the first floor. An internal corner winding staircase in the rear room provides access to a landing and the first floor bedrooms. The single storey rear wing contains a kitchen in its original location, with a later addition built 1975 that contains a laundry, bathroom and toilet. The 1975 works are built partly on the footprint of an earlier outhouse and outside toilet that were located at the rear of the site near the rear fence line.

The terraces are largely intact internally, and retain original joinery including windows, doors, wide timber floor boards, architraves and skirtings, staircases and internal walls to the first floor bedrooms. The ceilings on the ground floor and first floor have been replaced with plaster sheeting held in place with timber battens. Some rooms retain original plaster ceiling roses that have been reinstated. The original hearths and cast fireplaces to the ground floor

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<sup>94</sup> Foreshore Authority File: Architecture 4-5 Atherden Street Upgrading Works, Ref: 1356.01.01 Box 200302-192

<sup>95</sup> Site Instruction 10 Nov 1995, Foreshore Authority Archives File Architecture 4-5 Atherden Street Ref: 1356.01.01 Box 200302-192

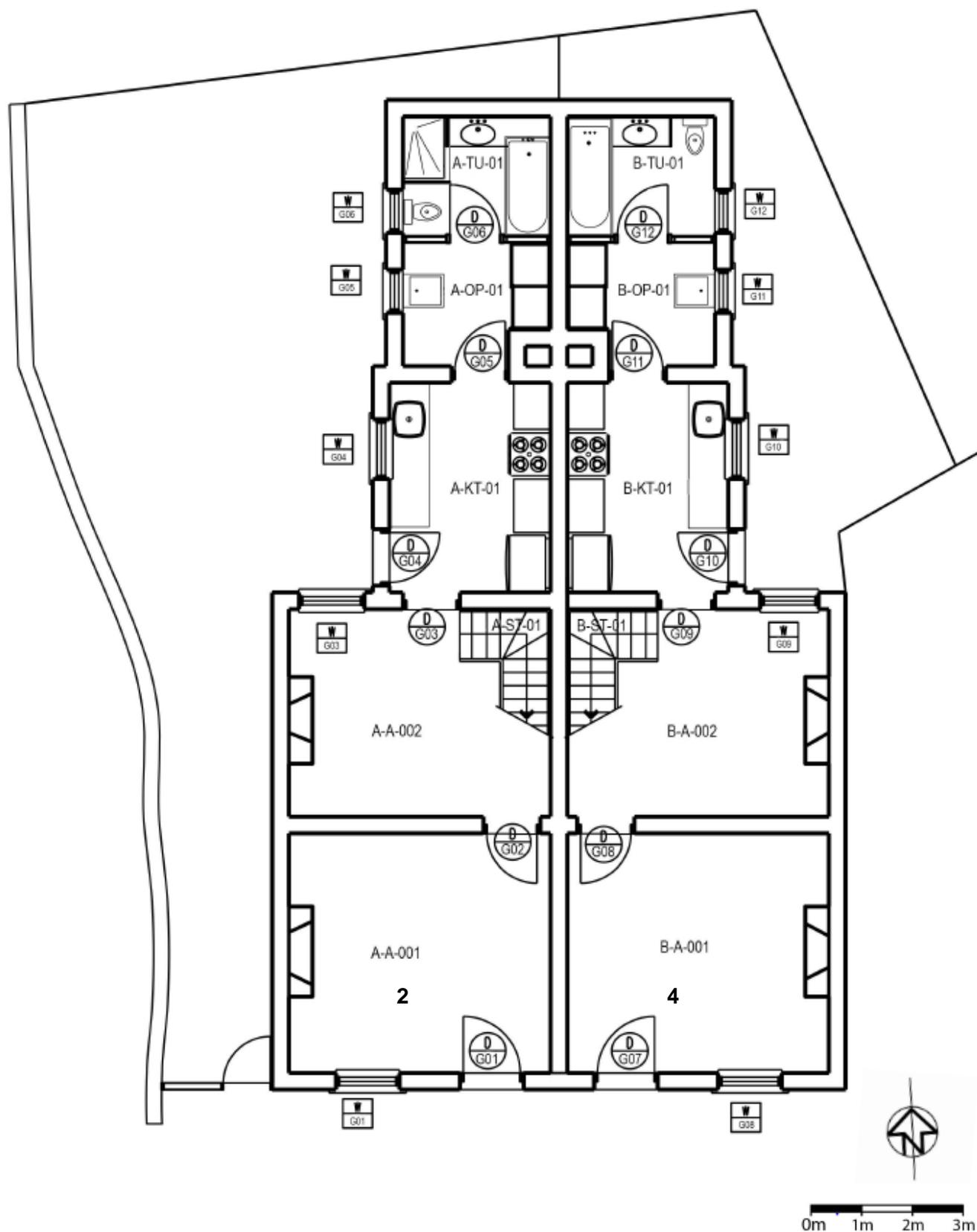
<sup>96</sup> Foreshore Authority File: Architecture 4-5 Atherden Street Upgrading Works, Ref: 1356.01.01 Box 200302-192

<sup>97</sup> Site Instruction 10 Nov 1995, Foreshore Authority Archives File Architecture 4-5 Atherden Street Ref: 1356.01.01 Box 200302-192

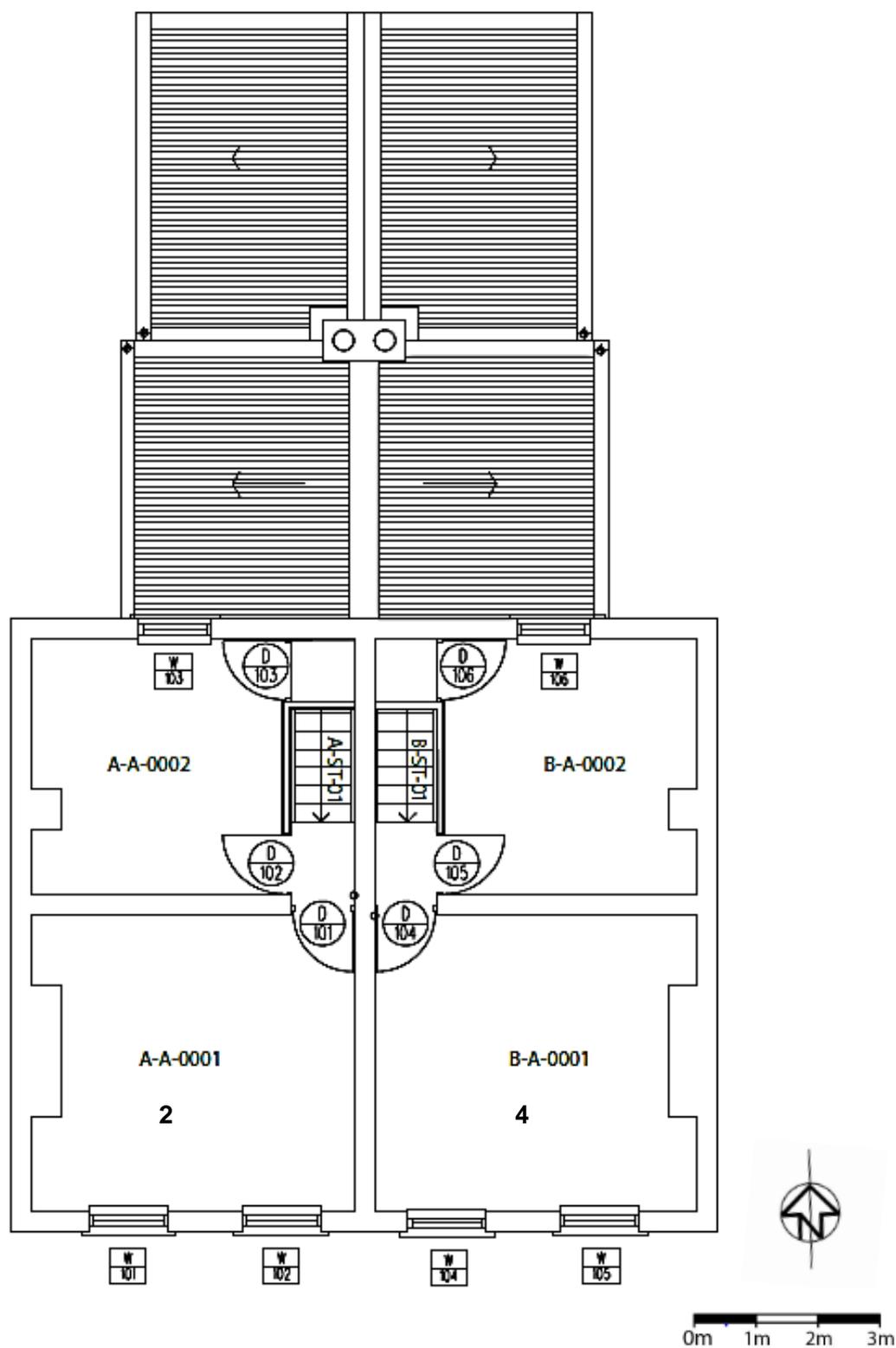
front living room and rear dining room, and their timber mantel pieces and stone hearths have been retained.

The original kitchens were altered internally as part of the 1975 works. The original timber floors were replaced with concrete slabs and the original kitchen hearths also removed. Some remnants of the external brick wall and hearth remain evident, and have been incorporated into the laundry southern wall. Sections of the original brick external wall to the original outdoor laundries and outhouses, were retained and incorporated into an extension to house the laundries and bathrooms.

A detailed list and description of elements in each room is included in section 5.2.



**Figure 3.13** 2 and 4 Atherden Street, ground floor plan of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.



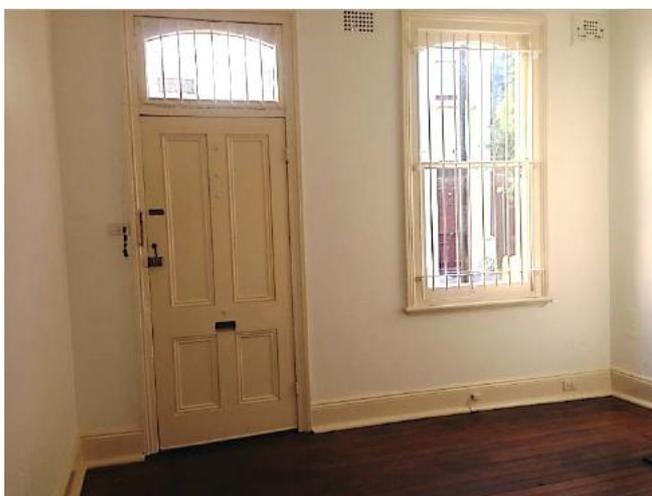
**Figure 3.14** 2 and 4 Atherden Street, first floor plan of Avery Terrace. Source Sydney Harbour Foreshore Authority drawing PRX 131-AR-1000. Approximate scale for illustrative purposes only.

## 2 Atherden Street

The interior of 2 Atherden Street is largely intact and in good condition. The ground floor front and rear rooms have ceilings replaced c1916 with fibrous plaster sheeting supported by timber battens. The front room has a 1970s centrally mounted light fitting into the ceiling, while the rear room has the original ceiling rose reinstated at the centre of the room. All of the remaining timber joinery, doors and windows including hardware, are original and in good condition. The fireplaces are intact with their original hearth stones, now painted, cast iron fire grates and timber mantel pieces.

The timber floorboards in the ground floor front room have been replaced with narrow boards and finished with polyurethane varnish. The floorboards in the ground floor rear dining room retains some original wide boards and some more recent narrow boards finished with polyurethane.

Some early and mid 20<sup>th</sup> century wall vents have been added to the front internal wall and rear room. All of the ground and first floor windows, except for the front bedroom, have metal security grilles added in c1995.



**Figure 3.15** 2 Atherden Street, ground floor front living room, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.16** 2 Atherden Street, Ground floor rear dining room and staircase, First floor view down staircase and internal vertical timber panelled wall, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

A timber winding staircase is located in the corner of the rear ground floor dining room. It has a painted timber newel post and plain timber balusters. Additional handrails were added to the walls in 1975. The original finish to the stairs has been stripped and the timber risers have been painted, and treads finished with polyurethane.

The staircase is enclosed on the first floor level with an original light weight vertical timber panelled wall, that also forms the internal wall to the first floor rear bedroom. The rear bedroom has a small storage cupboard built in 1975, into the internal wall that extends over the staircase.

The front and rear first floor bedrooms retain all original door and window joinery and wide floorboards and skirtings. The floorboards have been finished with tung oil. The ceiling was replaced in c1916 with fibrous plaster sheeting supported with timber battens. The original decorative plaster ceiling rose has been reinstated at the centre of the room, and currently has pendant light fitting. There are no cornices in these rooms. The two bedrooms have wall decorative vents high up on the external front and rear walls, just below the ceiling level.



**Figure 3.17** 2 Atherden Street, First floor front bedroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.18** 2 Atherden Street, First floor rear bedroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

The front bedroom has a fireplace on the external wall that retains the original Victorian cast iron fire grate, now closed over, with the timber mantelpiece and stone hearth, now painted.

The original rear wing kitchen is still used as the kitchen. Major internal works were undertaken in 1975 to update the interior, with the removal of the floor and insertion of a concrete slab that is currently covered in vinyl tiles. The original kitchen hearth was removed as part of these works, remnants of which are still evident in the adjoining laundry wall.

The original kitchen external timber door which opens onto the rear yard, and the double hung sash window and architraves are still intact. The ceiling was replaced c1916 with fibrous plaster sheeting supported with timber battens.



**Figure 3.19** 2 Atherden Street, Ground floor rear wing, kitchen, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

The current internal laundry and bathroom were constructed in 1975, and adjoin the original kitchen. The rear wing extension is constructed with rendered brick walls and double hung sash windows that match the architectural form and detailing of the original c1881 kitchen wing. Internally the timber joinery and other details date from 1975 or later. The current bathroom and laundry fitout was replaced in c1995.



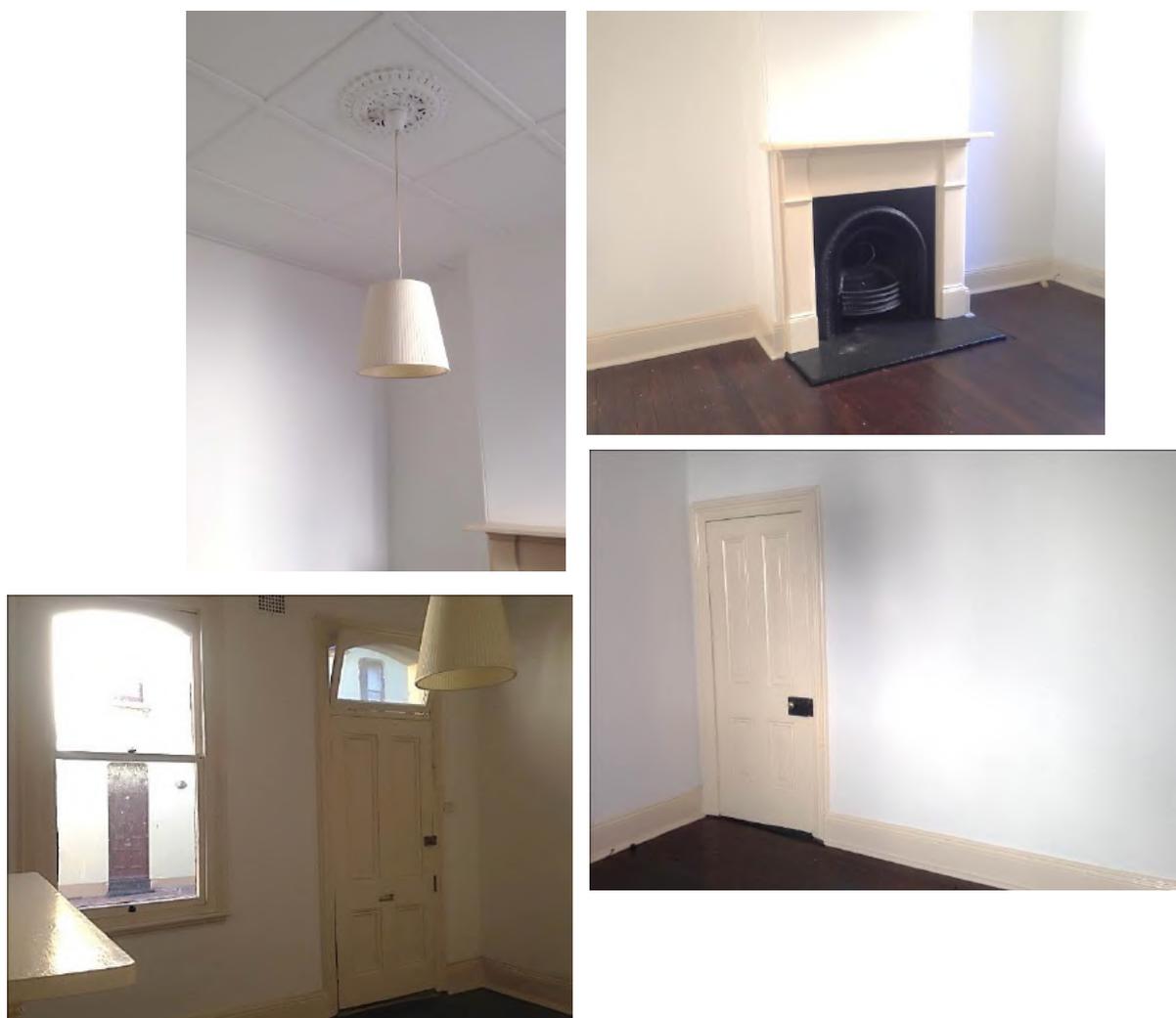
**Figure 3.20** 2 Atherden Street, Ground floor rear wing, laundry and bathroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

#### 4 Atherden Street

The interior of 4 Atherden Street is largely intact and in good condition. The ground floor front and rear rooms have ceilings replaced in c1916 with fibrous plaster sheeting supported by timber battens with the original ceiling roses reinstated at the centre of the room and central light fittings. All of the remaining timber joinery, doors and window are original and in good condition. Most of the door and window hardware is original with some reproduction elements instated in 1995, all are good condition. The fireplaces are intact with their original hearth stones, now painted, Victorian cast iron fire grate and timber mantel pieces.

The timber floorboards in the front room have been replaced with narrow boards with a polyurethane finish. The rear dining room has original wide boards and some replacement wide boards, all finished with polyurethane.

Some early 20<sup>th</sup> century wall vents have been added to the front internal wall and rear room back wall.



**Figure 3.21** 4 Atherden Street, ground floor front living room, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.22** 4 Atherden Street, Ground floor rear dining room and staircase, First floor view down staircase and internal vertical timber panelled wall, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

The timber winding staircase located in the internal corner of the ground floor dining room has a timber newel post with plain timber balusters. Additional handrails have been added to the walls in 1975. The original finish to the stairs have been stripped and the timber risers have been painted and treads finished with polyurethane.

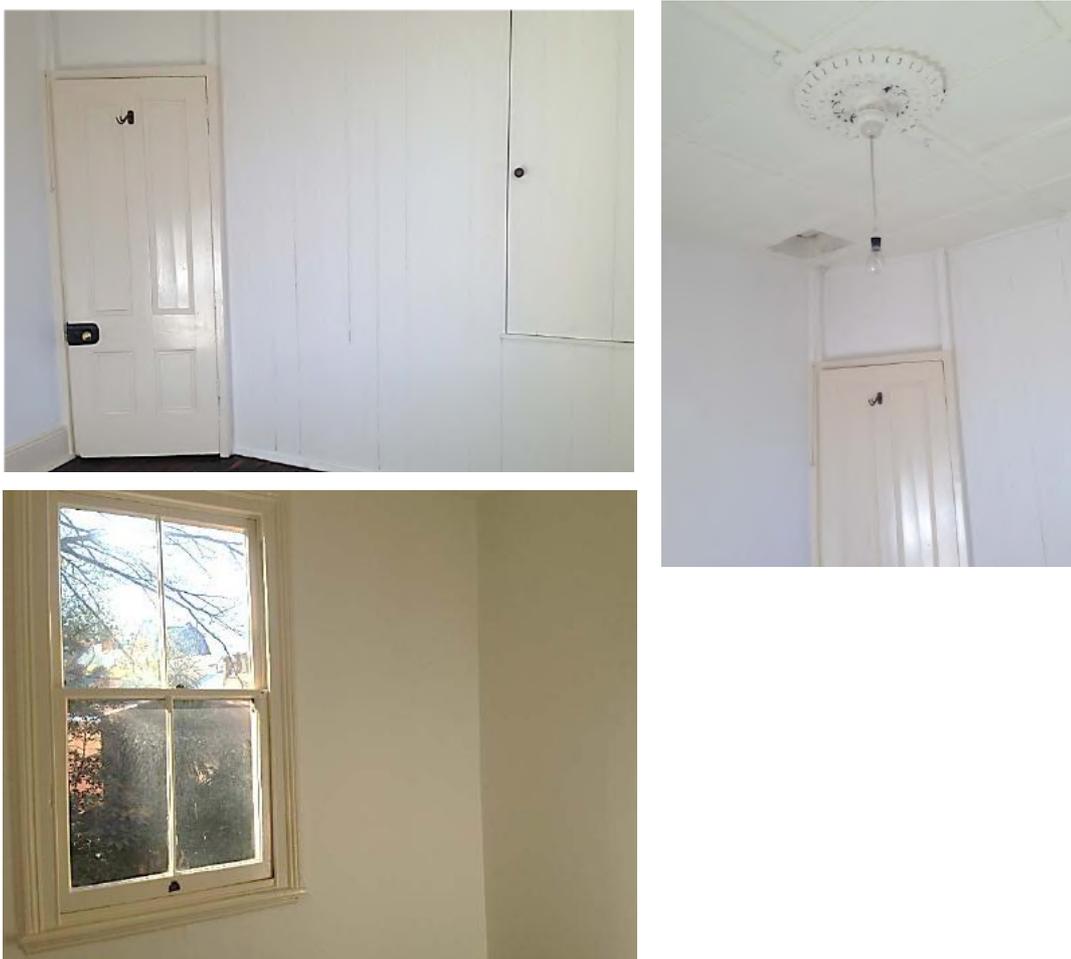
The staircase is enclosed on the first floor level with an original light weight vertical timber panelled wall, that also forms the internal wall to the first floor rear bedroom. The rear bedroom has a small storage cupboard built in 1975, into the internal wall that extends over the staircase.

The first floor front and rear bedrooms retain all original door and window joinery, wide floorboards and skirtings. The floorboards have been finished with tung oil. The ceiling was replaced in c1916 with fibrous plaster sheeting supported with timber battens. The original ceiling roses has been reinstated at the centre of each room and a central light fitting. There are no cornices.

The two bedrooms have wall vents high up on the external front and rear walls, just below the ceiling level.



**Figure 3.23** 2 Atherden Street, First floor front bedroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.24** 4 Atherden Street, First floor rear bedroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

The front bedroom has a fireplace on the external wall that retains the Victorian cast iron fire grate, with the timber mantelpiece and stone hearth, now painted.

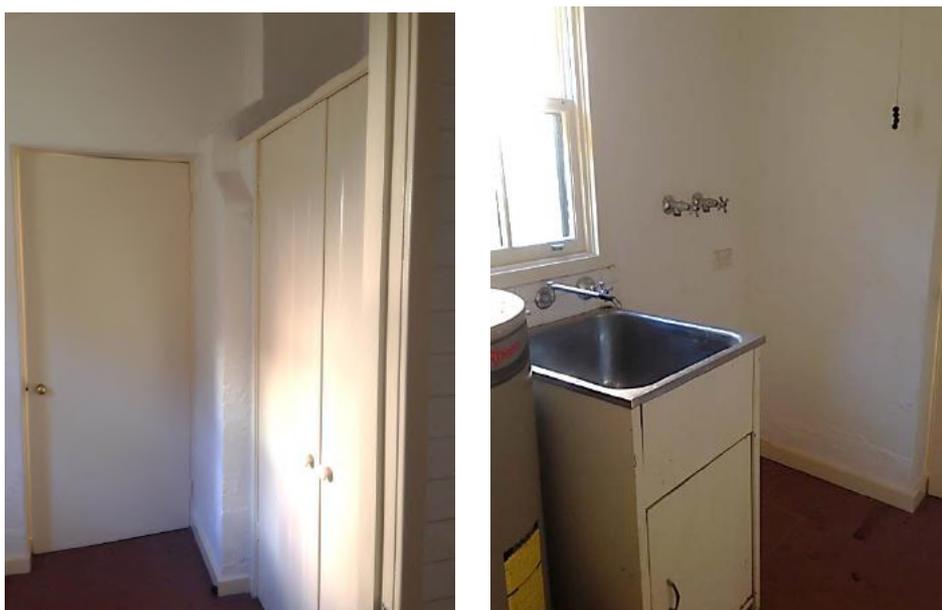
The current kitchen is located in the rear wing c1881 kitchen and has a fitout dating from 1995 works.

The original timber external kitchen door opens onto the rear yard. The double hung sash window and architraves are still intact. All other timber joinery has been removed including the timber floor, that was replaced with a concrete slab in 1975, with vinyl tiles over. The ceiling was also replaced c1916 with fibrous plaster sheeting supported with timber battens.

The current laundry and bathroom extension was constructed in 1975, adjoining the original kitchen. The extension is constructed with rendered brick walls and double hung sash windows that externally match the original c1881 kitchen wing. Internally the timber joinery and other details date from 1975 or later. The current bathroom and laundry fitout was replaced in 1995.



**Figure 3.25** 4 Atherden Street, Ground floor rear wing, kitchen, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.26** 4 Atherden Street, Ground floor rear wing laundry, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy



**Figure 3.27** 4 Atherden Street, Ground floor rear wing bathroom, 2015 Source: Sydney Harbour Foreshore Authority, M Stacy

### 3.4 Assessment of Archaeological Potential

The Avery Terrace site is identified in the Map of Archaeological Resources in The Rocks (in Appendix C of The Rocks Heritage Management Plan, 2010) as an area of archaeological sensitivity.

The archaeological potential for this site was assessed in The Rocks and Millers Point Archaeological Management Plan in 1991 and in the Foreshore Authority's S.170 Heritage Register (No. 4500004).

The s170 Heritage and Conservation Register listing for Avery Terrace, sets out recommendations for managing archaeological resources on this site.

However, the archaeological assessment contained in both documents was very brief, so a more detailed assessment appears below.

#### 3.4.1 Baseline Archaeological Assessment

##### Below Ground

The site property has been divided into six phases to enable an archaeological assessment to be undertaken as follows

##### *Phase 1: Pre European occupation: Aboriginal Sydney*

Prior to settlement, the coastal area of Sydney was occupied by the Cadigal or Cadi people. Due to the rapid development of Sydney, the archaeological evidence in respect of Aboriginal occupation is scant. Aboriginal middens were used as sources of lime in the early development of the Colony, and Aboriginal sites were destroyed as buildings, roads and associated infrastructure were constructed.

However, excavations at Parramatta have indicated that evidence of Aboriginal occupation can still be found despite the impact of Colonial building construction. Two storey Colonial buildings did not require deep excavation for footings or carparks. Avery

Terrace which was constructed c.1881 is the only building constructed on the site.

Map evidence (Figures 2.1, 2.3) suggests the site was quarried between 1834 and 1856. This action would have removed any likely pre-European occupation if it existed.

#### *Phase 2: Initial European Occupation*

- Convict occupation – 1788
- Unconsolidated occupation: 1788-1809
- Consolidation: 1809

Throughout this period the site formed part of the rocky spine of The Rocks. Any (unlikely) evidence of occupation would have been removed by quarrying activities after 1834.

#### *Phase 3: Robert Campbell Senior: 1834-1841*

In 1834 land which included Campbell's lease was formally granted to Robert Campbell senior. This grant of land included the site of Avery Terrace. Whilst Campbell did construct warehouses and a carriageway on his land, it does not appear that anything was constructed on the site of Avery Terrace.

#### *Phase 4: George Atherden: 1841-1878*

In 1841 Robert Campbell Senior subdivided the land and sold Lots 1 and 2 to George Atherden. Subdivision of Robert Campbell's land continued with George Atherden acquiring a large proportion of the land between 1841 and 1878. During this period the area that now contains Avery Terrace remained empty.

#### *Phase 5: Edward Stanley Ebsworth: 1878-1882*

By c1881-1882 Ebsworth had constructed the two, two-storey four roomed residences now known as Avery Terrace, 2 and 4 Atherden Street.

#### *Phase 6: Occupation: 1882-2006*

Historical research indicates that the footprint of Avery Terrace has changed little since its original construction. Only minor changes have occurred to the rear of the terrace.

These changes occurred during renovation works undertaken in 1975 (documented in Section 2.5 of this report). It is possible that archaeological remains of the structures documented to the rear of the property prior to the 1975 renovations survive in situ. Such structures include a brick outhouse on the northern boundary; an enclosed space between the kitchen and the outhouse possibly covering associated laundry/bath/tubs/copper; a small timber shed and a skillion roofed verandah. It is possible that these structures had drains and cesspits etc. These structures were demolished and the backyard landscaped. Such landscaping would have had minimal impact on the below ground archaeological deposits. It is therefore possible that sub-surface archaeological evidence of these structures remain.

### **Above Ground**

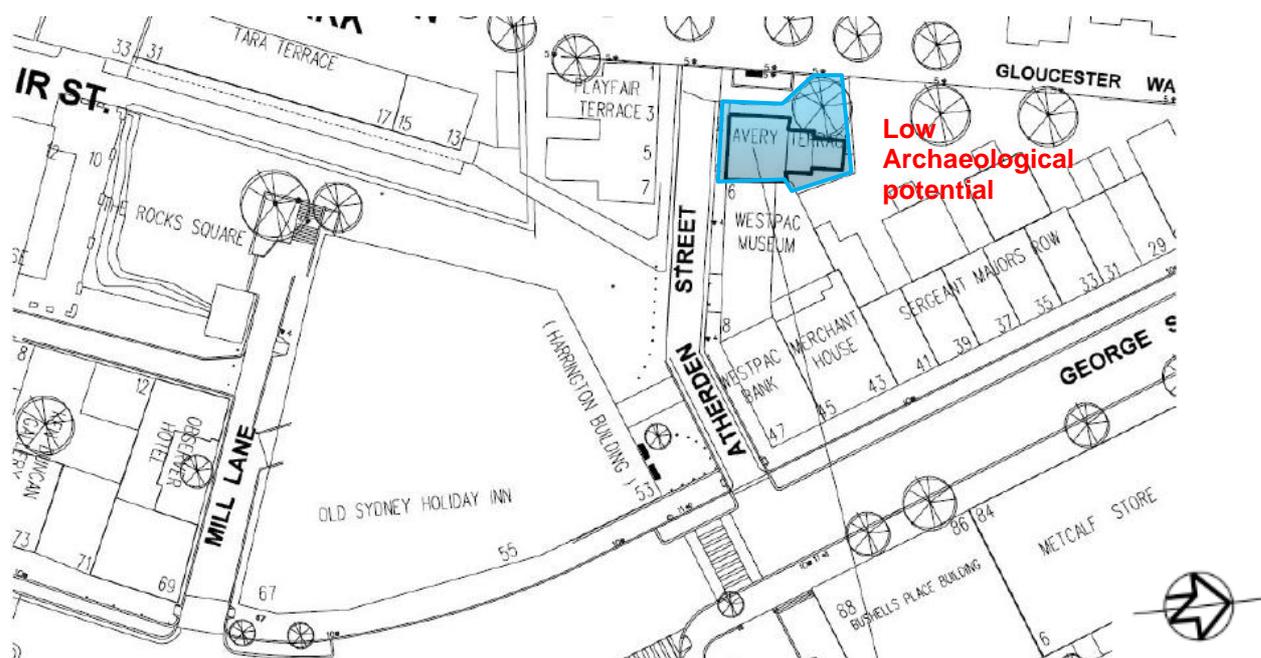
Roof, under-floor and between-floor spaces may contain archaeological relics. The presence of tongue-and-groove floorboards, as well as the introduction of municipal garbage collection in the 1880s, suggests that domestic rubbish is unlikely to have been deposited under floorboards as was common in the earlier 19<sup>th</sup> century from archaeological evidence across Sydney. Some evidence of construction activities may exist beneath the floor levels. Above ground archaeological potential may have been disturbed during the renovations in the 1970s and 1980s. In particular the demolition of floor coverings to No 4 and in the kitchen of No 2 and the reference to "rubbish removed from sub-floor space"

indicates the disturbance to sub-floor deposit. Similarly general work on the wall and ceilings has had the potential to disturb archaeological evidence.

### 3.4.2 Summary of Archaeological Potential

Avery Terrace and its site are identified as an area of archaeological sensitivity. There is the low potential for the following State significant archaeological evidence to be located on the site and shown in the Archaeological Zoning Plan in fig 3.28:

- Evidence of former structures in the backyard of the property.
- Roof, under-floor and between floor spaces may contain archaeological deposits, however, it is more likely that such deposits were removed during renovations in the 1975 and 1995.



**Figure 3.28** Archaeological zoning plan for Avery Terrace at 2 and 4 Atherden Street, The Rocks, all of the site and building has low archaeological potential. Source: Sydney Harbour Foreshore Authority

### 3.5 Movable heritage

There are no known movable heritage items associated with Avery Terrace.

## 4.0 ASSESSMENT OF CULTURAL SIGNIFICANCE

### 4.1 Assessment of Significance

#### 4.1.1 Comparative Analysis

The comparative analysis of Avery Terrace first considers the terrace as part of The Rocks and more generally in Sydney, then specifically as a surviving example of an 1880s late Victoria bald faced terrace.

#### Terrace Housing in The Rocks

A study entitled, *Terrace Houses in The Rocks – A Comparative Analysis and Assessment of Significance* undertaken in 2014 by Jean Rice for the Sydney Harbour Foreshore Authority, 'found that, together, the extent, range of types and authenticity of surviving terrace house stock in The Rocks and Millers Point is of high cultural significance and is unique' for their range of types and authenticity.<sup>98</sup> Rice also asserts that 'this area of Sydney is the only location in the state where this evolution of modest housing can be traced',<sup>99</sup> and The Rocks and Millers Point are significant as one of few areas in Sydney, and Australia, where the direct transplantation of the standard London town house can be observed in surviving buildings.<sup>100</sup>

Her study also supports the findings contained in the *Illustrated Register of the National Estate*, and Max Kelly's assertion that The Rocks and Miller Point conservation area forms 'a virtual compendium of Sydney housing styles in the 19<sup>th</sup> century' and the entire surviving building stock is 'a superlative example of Australia's diverse heritage'.<sup>101</sup>

The distinguishing characteristics of housing in The Rocks is their construction on very irregular terrain, and the combination of small buildings on sandstone cliffs creates an unique and varied townscape, where the modest terrace houses is integral to the locality's character. Many of the buildings were erected by individual owners on relatively small lots, and thus a more eclectic townscape in The Rocks evolved and still largely survives.<sup>102</sup>

Although the majority of the early (1820s to 1850s housing) examples have been demolished, the Rocks and Millers Point still retain a series of examples of terrace houses that demonstrate the application of standard types such as the London town house during the Georgian era, the evolution of the particular Sydney terrace housing types and variants during the Victorian era and the erection of model workers housing following their government resumption in 1901<sup>103</sup> and that surviving housing in The Rocks and Millers Point is to a great extent extremely intact both externally and internally, having been in state government ownership for the entire twentieth century.<sup>104</sup>

Housing of this modest scale did not survive in other locations as it was redeveloped, but as The Rocks and Millers Point was protected by public ownership it has survived.<sup>105</sup> The study states that 'only in the government or church owned large estates at Woolloomooloo and

<sup>98</sup> Rice, J., *Terrace Houses in The Rocks – A Comparative Analysis and Assessment of Significance*, 2014, p 1.

<sup>99</sup> Rice, J, 2014, *ibid*, p108.

<sup>100</sup> Rice, J, 2014, *ibid*, p110.

<sup>101</sup> Rice, J, 2014, *ibid*, p111.

<sup>102</sup> Rice, J, 2014, *ibid*, p108.

<sup>103</sup> Rice, J, 2014, *ibid*, p108.

<sup>104</sup> Rice, J, 2014, *ibid*, p109.

<sup>105</sup> Rice, J, 2014, *ibid*, p108.

Glebe has there been a similar level of consistency in the terrace housing stock pointing to the importance of single ownership and government ownership in the conservation of terrace housing stock'.<sup>106</sup>

### **Terrace housing constructed in the 1880s**

During the 1880s terraces continued to be a popular form in the suburbs of Sydney closer to the city and as infill within the older, well-established suburbs like The Rocks and Millers Point.<sup>107</sup>

The terrace form was initially built by one owner or speculator and by the 1880s, was only being built as investments. This encouraged the repetitive use of the same building forms and architectural detailing: and it's this consistency and repetition of form and detail is essential to the character of the terrace house form. Rice points out that the retention of the consistency of form and design and detailing is important to retaining the heritage significance of these buildings.<sup>108</sup>

By the 1880s, in the newly developing suburbs of Sydney, the two storey terrace had taken over from the three story town house/terrace in popularity. In certain suburbs the majority of the terrace housing stock was typically two stories including Darlington, most of Redfern and Paddington, and parts of Edgecliff and Glebe. These new suburbs as well as also parts of Redfern, Paddington and Newtown saw the continued construction of long rows of typically two storey terraces with a verandah and balcony.<sup>109</sup> The bald faced terrace was not as commonly used in these suburbs during the late Victorian period, and is therefore less common in Sydney suburbs developing at this time.

### **Surviving terraces in The Rocks from the 1880s**

45% of building stock in Miller Point and The Rocks dates from the 1880s.<sup>110</sup> Rice identified the following terraces that survive in The Rocks constructed in this decade and their terrace style as follows:

1880	Playfair's Terrace 1-7 Atherden Street	Bald faced two storey
1881	Avery Terrace 2 and 4 Atherden Street	Bald faced two storey
1881	Sgt Majors Row 33-41 George Street	Two storey terrace, balcony and verandah
1881	113-115 Gloucester Street	Pair of two storey, balcony and verandah
1882- 1887	Baker's Terrace 66-68, 70-72 Gloucester Street	Bald faced two storey
1883	Argyle Terrace 13-15 Playfair Street	Bald faced two storey
1886	Stafford Terrace 55-59 Harrington Street (part of larger terrace)	Two storey terrace, balcony and verandah

In addition there are remnants of an additional three late Victorian bald faced terrace buildings dating from the 1880s that were gutted, where only the façade remains with new modern structures erected behind. They retain their main street elevation and so still contribute to the variety of the streetscape in the vicinity of Susannah Place. These are:

<sup>106</sup> Rice, J, 2014, *ibid*, p109.

<sup>107</sup> Rice, J, 2014, *ibid*, p56.

<sup>108</sup> Rice, J, 2014, *ibid*, p112.

<sup>109</sup> Rice, J, 2014, *ibid*, p56 and p58.

<sup>110</sup> Rice, J, 2014, *ibid*, p89.

1885	Pair of houses 38-40 Gloucester Street	Bald faced, recessed porch
1885	Whitebrow's houses 32-36 Gloucester Street	Bald faced
1893	View Terrace 26-30 Gloucester Street	Bald faced terrace

From the above analysis of building stock, Avery Terrace is one of only four intact examples of a late Victorian bald faced terraces constructed in the 1880s that survives in The Rocks.

### **Bald faced terrace style**

In 2015 a range of bald faced terraces houses constructed in The Rocks during the 19<sup>th</sup> century can be found in Gloucester, Harrington and Atherden Streets, also in Kent and Argyle Street in Millers Point, and in the oldest portion of Glebe that sloped down to Blackwattle Creek, Chippendale, Pyrmont, Surry Hills. Susannah Place in Gloucester Street, The Rocks, is the oldest reliably dated example of a bald faced terrace dating from the 1840s, and the Paternoster Row in Pyrmont in built c1880s is the latest example located in Sydney.<sup>111</sup>

Stylistic design features of a Victorian bald faced two storey terrace are described as:<sup>112</sup>

- Asymmetric with front door to one side
- Modest scale, narrow
- No rear wing
- Kitchen / service rooms in separate wing (sometimes shared)
- Masonry construction
- Typically pitched roof (rarely with attic) or parapet and skillion
- Cantilever verandahs sometimes added later and evolves with verandah

Avery Terrace (Figure 4.1) is a relatively late example of a typical late Victorian bald faced terrace housing in form, scale, and planning. Although a modestly scaled two bedroom terrace, its brick construction and stucco finish is of good quality. In comparison, many other terraces of this size built as workers' housing in The Rocks, Surry Hills and Chippendale were far more modestly finished. Sergeant Majors Row at 33-41 George Street, also commissioned by Edward Stanley Ebsworth, is well finished and detailed, although stylistically different to Avery Terrace, being of a larger scale with front balcony and verandah and ornate iron lace detailing to the street front.



**Figure 4.1** Avery Terrace, 2 and 4 Atherden Street in 2015. Source: Sydney Harbour Foreshore Authority, M Stacy

<sup>111</sup> Rice, J, 2014, *ibid*, p75.

<sup>112</sup> Rice, J, 2014, *ibid*, p74.



**Figure 4.2** Playfair Terrace, 1, 3, 5 and 7 Atherden Street in 2015. Source: Sydney Harbour Foreshore Authority, M Stacy.

It is not known why Edward Stanley Ebsworth, a bank manager, purchased the land in 1878 in the combined commercial area and working class neighbourhood; although his experience in banking is likely to have informed his decision. The short period of economic recession at this time might have forced its sale to George Atherden, its owner, and owner of a number of other nearby lots. Ebsworth took advantage of the 1880s boom and the predicted continuing growth of the economy; commissioning the construction in 1880-1, of a number of houses on the allotments he owned facing Atherden Street and George Street.

In 1880 Thomas Playfair, a butcher, also saw the potential for development and purchased allotments on the southern side of Atherden Street and constructed terrace housing (Figure 4.2). In 1883 Playfair built another terrace known as Argyle Terrace, as rental property in the neighbouring street at 13-15 Playfair Street.<sup>113</sup>

These houses were constructed as investment properties and rented to families generally linked to the wharves and local industries. Like most rental housing, the Atherden Street terraces are built up to the street alignment to maximise the small, irregular-shaped urban allotments which were typical of subdivision patterns in The Rocks. There are no front fences or front gates to provide separation from the street, and the roadway is but a step away from the front doors of the terraces in Atherden and Playfair Streets.

The designer and builder of Avery Terrace are not known. Its form, scale, planning and detailing are indicative of the late Victorian bald faced terrace style. Distinctive characteristics include symmetrical façade that utilises simple classical detailing; subtle projections on the stuccoed façade such as sills and mouldings; and a medium pitched gable roof. The 'bald-faced' terrace, is typical of the late Victorian Regency Style.

Avery Terrace has stylistic similarities with Argyle Terrace at 13-15 Playfair Street, Bakers Terrace at 66-68, 70-72 Gloucester Street (Figure 4.3 and Figure 4.4), and Playfair's Terrace at 1-7 Atherden Street. A notable element is the extension of the party wall above the gable roof line that is finished by a stepped or corbel detail at the eaves on the front street facade.

<sup>113</sup> SHI Database No. 5053140.



**Figure 4.3** Argyle Terrace, 13-15 Playfair Street, 2015. Source: Sydney Harbour Foreshore Authority, M Stacy.

Built as workers housing, Avery Terrace was designed to fill the requirements of the market and location. It displays a higher standard of construction and finish than many examples of working-class housing of its time, although it has similar planning and limited facilities. Its form and scale are consistent with nearby terraces of the same era. Avery Terrace and Playfair's Terrace contribute significantly to the 19th century residential streetscape of Atherden Street, and more generally to the late Victorian streetscapes of The Rocks.



**Figure 4.4** Bakers Terrace at 66-68, 70-72 Gloucester Street, 2015. Source: Sydney Harbour Foreshore Authority, M Stacy.

### **Comparative Analysis with SHR listed terraces dating from 1880s**

Comparative analysis of Avery Terrace using the State Heritage Register (SHR) database shows that Avery Terrace is one of only 16 terraces built between 1880 and 1890 currently listed on the State Heritage Register. It should be noted that 14 of the 16 SHR listed terraces are located in The Rocks, with one Millers Point and another in Randwick, either of which are bald faced terraces. Therefore it can be concluded that Avery Terrace is both rare and representative as an example of a bald faced styled late Victorian terrace house in NSW.

## 4.1.2 Assessment of Significance

This assessment of heritage significance has been prepared using the current evaluation criteria established by the NSW Heritage Council.

### Historical significance

*Criterion (a) – An item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area)*

The historical significance of **Avery Terrace** is demonstrated by:

- The *evidence* in the place of the *significant human activity* of valuing evidence of the past, in this case through the conservation and continuing use of the residential building as rental accommodation.
- The *state associations* of the place with a *significant historical phase*, that of the initial invasion and colonisation of Sydney Cove (Warrane) in the late 18<sup>th</sup> century and convict settlement and housing and establishment of the first colonial hospital southwards of the site, and early 19<sup>th</sup> century port facilities were established eastwards of the site on the shores of the Cove with associated storage, warehousing and residential facilities in the vicinity of the site.
- The *local associations* of the place with a *significant historical phase*, that of alienating Crown land grants that created private land holdings and the freeholding of the land in 1834 to Robert Campbell Snr. This over 200 year old property boundary remains evident in the alignment of front façade of Avery Terrace.
- The *state associations* of the place with a *significant historical phase*, as a consequence of the mass resumptions of private property in the early 20<sup>th</sup> century in response to the plague outbreak. Avery Terrace survives as evidence as a residential building that escaped widespread demolition in The Rocks, and its continued use as rental housing administered by the Sydney Harbour Trust and subsequent authorities.
- The *state associations of the place in maintaining of a continuing historical activity* in The Rocks of providing workers rental accommodation for uses associated with the site’s harbour side location from warehousing in the early-mid 19<sup>th</sup> century, workshops, stables and boarding houses in the mid-late 19<sup>th</sup> century, light industries in the early-mid 20<sup>th</sup> century, and tourism and ongoing rental accommodation during in the late 20<sup>th</sup> and early 21<sup>st</sup> century.

The item meets this Criterion at a **STATE** level.

### Historical Association

*Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW’s cultural or natural history (or the cultural or natural history of the local area)*

The associational significance of **Avery Terrace** is demonstrated by:

- *Showing evidence of state significant human occupation*, in this instance Avery Terrace was constructed as workers rental accommodation for the warehousing and maritime industries and the operation of a working harbour, with which the place has been intimately associated since the late 18<sup>th</sup> century, linking Sydney with, in particular, the rest of the British Empire and the Asia Pacific region.

- The *local and state association* of the place with *the significant persons* including Robert Campbell, George Atherden and Thomas Playfair, who were all, during the 19<sup>th</sup> century, important local businessmen and property developers whose commercial activities shaped the immediate townscape around the site including the general alignments of streets and property boundaries.
- The *state association* of the place with *the significant persons* and a corporation: Campbell and Co. The site of Avery Terrace was part of the freehold land granted to Robert Campbell Snr on the west side of Circular Quay. Robert Campbell Snr and his two elder sons were linked to Campbell & Co and its commercial trade in the colony from 1800, with its Sydney warehouses storing goods and transporting livestock.
- The *local association of the place with the significant persons* being Edward Stanley Ebsworth, a bank manager, who purchased land in 1878 in the combined commercial area and working class neighbourhood. Ebsworth took advantage of the 1880s boom and commissioned the construction in 1880-1 of a number of houses on the allotments he owned facing Atherden Street and George Street including Avery Terrace and Sergeant Majors Row at 33-41 George Street, The Rocks. (Local)
- The *local association of the place with the significant groups of persons*: Avery Terrace has a strong an ongoing association with the Avery family, after which the terrace is named. The family traces its history to Richard Byrne and Margaret Kelly who settled in The Rocks c.1807. Members of the Avery family lived in Atherden Street from c.1914 and in Avery Terrace from c.1917-18. One or both of the Avery Terrace houses were occupied by an Avery family descendant until 1993.
- The *state association* of the place with *the significant groups of persons*, Nita McCrae, who is recognised for her role in mobilising The Rocks community to protest against redevelopment plans which ignored the rich history of The Rocks, giving little consideration for long-term residents. Nita McCrae was an Avery family descendant brought up in Atherden St, living at 4 Atherden Street as a child, and as an adult from the 1950s until c.1969-70. She then moved to Sergeant Majors Row on George Street. Two plaques have been installed in honour of her life long association with The Rocks at her former residence in Sergeant Majors Row at 35 George Street, and in remembrance with Jack Munday and the Builders Labours Federation on a plaque erected in Munday Place, in The Rocks.

The item meets this Criterion at **STATE** and **LOCAL** levels.

### **Aesthetic Values**

*Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local are natural history (or the cultural or natural history of the local area)*

The aesthetic significance of **Avery Terrace** is demonstrated by:

- Its contribution to *the state and locally aesthetically distinctive* townscape of The Rocks, which is characterised by a richly eclectic mix of residential, commercial, retail and tourism structures and uses, covering a similarly rich chronology of time periods from the mid-19<sup>th</sup> to the early 21<sup>st</sup> centuries. This distinctiveness and distinguishing character of The Rocks housing stock is the combination of small buildings and the sandstone cliffs creates a unique townscape. Avery Terrace makes a significant contribution to the largely 19th century streetscape against the backdrop of the

natural sandstone escarpment to its immediate west.

- Its contribution to *the locally aesthetically distinctive* townscape of Atherden Street in The Rocks. Avery Terrace is sited against the sandstone escarpment and its built form and roofscape is highly visible and overlooked from Gloucester Walk.
- Its contribution *on a state and local level in exemplifying a particular taste, style or technology* in its form, scale, design, decorative detailing and internal planning typical of late Victorian bald faced terrace style. It is a late example and one of a limited number constructed in this style now remaining in The Rocks and the wider Sydney region. Constructed in c1881, Avery Terrace is one of only four externally and mostly internally intact examples of this architectural style in The Rocks. Other contemporary examples of this style in The Rocks are Playfair Terrace in Atherden Street, Argyle Terrace in neighbouring Playfair Street, and Bakers Terrace in Gloucester Street.

The item meets this Criterion at **STATE** and **LOCAL** levels.

### Social Values

*Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons*

The social significance of **Avery Terrace** is demonstrated by:

- The potential for *state and local associations with identifiable groups* in the community, in particular descendants of the Cadigal people and contemporary Aboriginal communities, and the continuing survival and renewal of Aboriginal cultures within the vicinity of Sydney Cove and the broader harbour environs in the present-day. This potential social significance is assessed to be of a high level unless it can be demonstrated to be otherwise.
- The potential for *local associations with identifiable groups* in the community and the Avery family as residents of The Rocks; that may contribute to the understanding of the lifestyles of the working class tenants during the late 19<sup>th</sup> and 20<sup>th</sup> centuries.
- Its potential to be of *state and local importance to a community's sense of place*, in this case residents of The Rocks and Millers Point and their descendants who participated in the resident action and social movements of the 1970s known as the Green Bans, and their supporters in the Builders Labourers Federation; in particular long term resident and activist Nita McCrae. They were able to influence urban renewal proposals of the day in ways that lead to the development of tourism as a local industry that supported conservation of historic buildings and provided employment opportunities for local people, which transformed community perceptions of The Rocks as a *place* from a paradigm of degrading slums to that of the 'birthplace of the nation'. Other tourism developments of the period in The Rocks, such as the revival of Australia Day celebrations in 1975, also contributed to this changing sense of place.

The item meets this Criterion at **STATE** and **LOCAL** levels.

## Research Values

*Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW’s cultural or natural history (or the cultural or natural history of the local area)*

The research significance of **Avery Terrace** is demonstrated by:

- Its *ability to yield new or further information of state and local significance*, Avery Terrace, about the residential accommodation and lifestyles of late 19<sup>th</sup> century residential workers in the building design and layout, construction methods and building materials of the internal and external building fabric, fixtures and fittings.
- Its *ability to yield new or further archaeological information of state and local significance*, Avery Terrace and its site has been identified as an area of archaeological sensitivity in The Rocks. The site was quarried before the construction of Avery Terrace in c1881 and has a low potential to contain archaeological resources below ground and above ground associated with occupation of the site and terrace.
- Its *ability to yield new or further archaeological information of local significance* that may contribute to an understanding of the lifestyles of its working-class tenants. Due to considerable site disturbance in the 1970s and 1990s, there is a low potential for the sub-floor areas, courtyard and the former outhouse to retain some archaeological deposits that may be of state significance. There is potential that archaeological remains of the structures documented to the rear of the property prior to the 1975 renovations survive in situ. Such structures include a brick outhouse on the northern boundary; an enclosed space between the kitchen and the outhouse possibly covering associated laundry/bath/ tubs/copper; a small timber shed and a skillion verandah. It is possible that these structures would be associated with drains, cesspits etc. These structures were demolished, a rear wing extension was constructed and the remainder of the back yard landscaped. Such landscaping would have had minimal impact on the below ground archaeological deposits. Roof, under-floor and between-floor spaces may contain archaeological relics. However, much of the above ground archaeological potential would have been disturbed during the renovations in the 1970s and 1990s.

The item meets this Criterion at **STATE** and **LOCAL** levels.

## Rarity

*Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW’s cultural or natural history (or the cultural or natural history of the local area)*

The rarity of **Avery Terrace** is demonstrated by:

- The Rocks being *the only example of its type and therefore of state significance*, being the sole surviving example in mainland Australia of an 18<sup>th</sup> century urban layout that, despite several attempts at more formal planning, retains much of its original informal, organic layout that responds to the natural topography and possibly older, underlying Cadigal routes and sites. This street pattern is still discernable, and the underlying archaeological resources contain an extensive record of 18<sup>th</sup> and early 19<sup>th</sup> century building fabric and spatial arrangements unmatched in comprehensiveness and scale in Australia. Comparable 18<sup>th</sup> century urban layouts in Sydney, Parramatta and Kingston (Norfolk Island) are also significant, but lack the townscape scale and quantity of material evidence still found in The Rocks.

- The Rocks along with Millers Point as *the only example of its type and therefore of state significance*, is the only area of Sydney and the only location in the state where this evolution of modest housing can be traced, where the direct transplantation of the standard London town house can be observed in surviving buildings. Avery Terrace is a relatively rare late Victorian bald faced terrace that survives as part of the 19<sup>th</sup> and 20<sup>th</sup> century residential housing in The Rocks. The range and authenticity of the housing is of state cultural significance and is unique in the Sydney region, and possibly Australia.
- Avery Terrace is rare *and therefore of state and local significance*, as one only four remaining examples of a bald-faced, late Victorian terrace constructed in the 1880s in The Rocks. The other terraces are Playfair Terrace opposite, Argyle Terrace in the neighbouring Playfair Street, and Bakers Terrace in Gloucester Street. The high-quality construction and decorative detailing of Avery Terrace is rarely associated with working-class rental housing of the era, and adds to the importance of the structure.

The item meets this Criterion at **STATE** and **LOCAL** levels.

### **Representativeness**

*Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW’s cultural or natural places; or cultural or natural environments; or a class of the local area’s cultural or natural places; or cultural or natural environments.*

The representativeness of **Avery Terrace** is demonstrated by:

- It is *part of a group which collectively illustrates a representative type and therefore of state significance*, Avery Terrace in The Rocks along with Millers Point, contributes to the building stock of this area of Sydney. The Rocks and Millers Point are the only location in the state which contains a representative and traceable collection of modest housing.
- It is *part of a group which collectively illustrates a representative type* of late 19<sup>th</sup> century workers housing and rental accommodation constructed in The Rocks that serviced the 19<sup>th</sup> century port facilities established eastwards of the site on the shores of the Sydney Cove *and therefore of state significance*.
- It is a fine example of its type, the form, scale, planning and design and detailing of Avery Terrace is a fine and representative example of the late Victorian bald faced terrace architectural style. It is externally and internally intact and retains its authenticity. It is one of only four late Victorian bald faced terraces remaining in The Rocks constructed in the 1880s. It is a relatively late example of this style and fewer examples of this style were constructed or survive elsewhere in the Sydney region and therefore of state significance.

The item meets this Criterion at **STATE** and **LOCAL** levels.

## 4.2 Statement of Significance

Avery Terrace and site are of State heritage significance for their historical, historical associations, social, research, aesthetic, rarity and representativeness values.

The historical and associational significance of Avery Terrace is evident as a place of *significant human activity*, evident through the conservation and continuing use of the residential building as rental accommodation. The site is associated with initial invasion and colonisation of Sydney Cove in the late 18<sup>th</sup> century, and the establishment of convict settlement and early 19<sup>th</sup> century port facilities. The land was a freehold grant to Robert Campbell Snr, a merchant who is linked with Campbell & Co, that commenced commercial trade of livestock from 1800; Edward Stanley Ebsworth, a bank manager who acquired the site and constructed Avery Terrace c1881 as a speculative investment as rental housing accommodation for local workers; early and ongoing family associations from c1807 to 1993 with Richard Byrne and Margaret Kelly and their Avery family descendants who occupied Avery Terrace from c1914 until 1993; and Nita McCrae, an Avery family member who has been widely recognised for her role in community activism to protect The Rocks from redevelopment in the 1970s. Nita is remembered along with the Builders Labourers Federation and Jack Munday and commemorated in a plaque in Jack Munday Place, in The Rocks.

Avery Terrace is important as one of a group of 19<sup>th</sup> century residential buildings in The Rocks that survived the demolitions and slum clearances that followed land resumptions under the Public Purposes Acquisition Act (1900). Its remarkable survival and intactness is due largely to its government ownership and management for over a century.

Avery Terrace contributes to the community's sense of place, and is important to residents and descendants of The Rocks and Millers Point who participated in the Green Bans. They were able to influence urban renewal projects of the day in ways that lead to the development of tourism as a local industry that could support conservation of historic buildings and provide employment opportunities for local people, transforming community perceptions of The Rocks as a slum to that of 'birthplace of the nation'.

Avery terrace contributes to the distinctive and eclectic aesthetic character of the housing stock in The Rocks that combines the unique townscape of small buildings and irregular sandstone cliffs. Avery Terrace is sited against the sandstone escarpment and its built form and roofscape is highly visible and overlooked from Gloucester Walk.

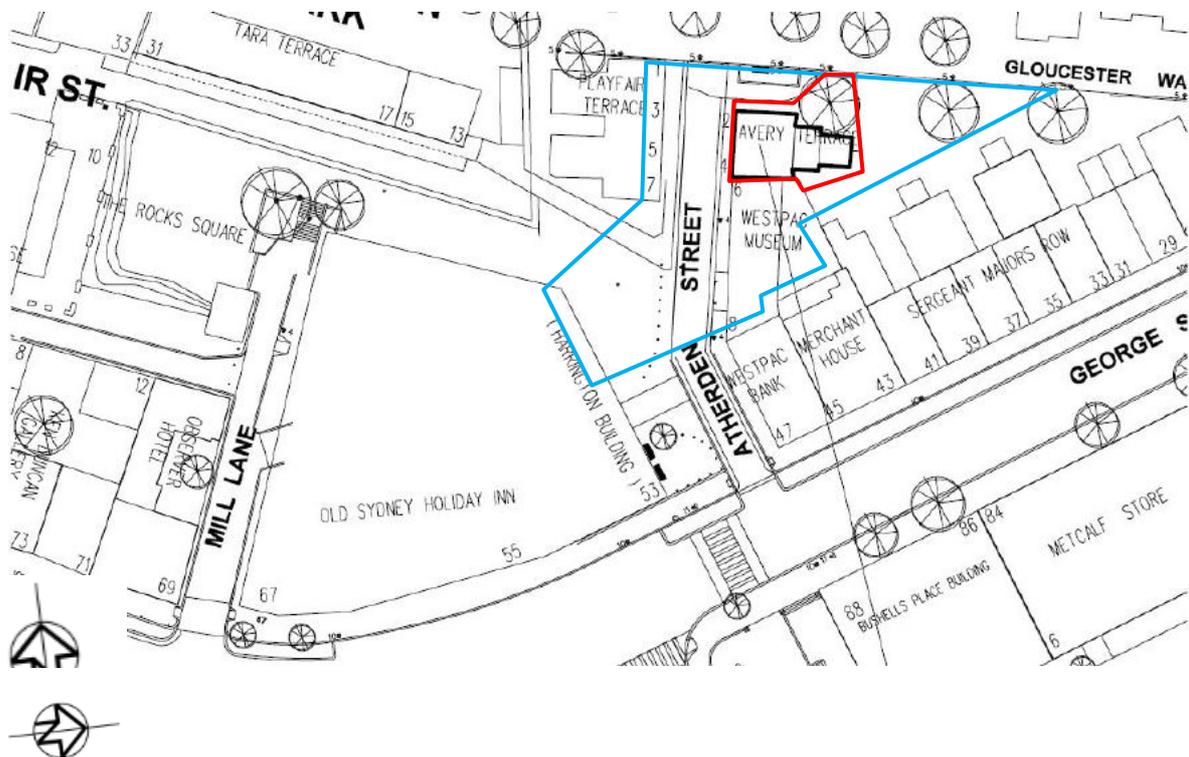
Avery Terrace is rare and representative, as one only four remaining examples of a bald-faced, late Victorian terrace constructed in the 1880s in The Rocks, as rental housing for workers. It is a relatively late example of this style and fewer examples of this style were constructed or survive in the Sydney region. The high-quality construction and decorative detailing of Avery Terrace is rarely associated with working-class rental housing of the era and adds to the importance of the structure. The other terraces are Playfair Terrace opposite, Argyle Terrace in the neighbouring Playfair Street, and Bakers Terrace in Gloucester Street. The form, scale, planning, design and detailing of Avery Terrace is a fine and representative example of the late Victorian bald faced terrace architectural style.

Avery Terrace as part of The Rocks along with Millers Point, contributes to the building stock of this area of Sydney. The Rocks and Millers Point are the only location in the state which contains a representative and traceable collection of modest housing.

As the site was quarried before the construction of Avery Terrace in c1881, the site and building have low archaeological research potential in the rear yard and under the rear wing extension that may contribute to the understanding of the lifestyles of the working class tenants during the late 19<sup>th</sup> and 20<sup>th</sup> centuries.

### 4.3 Curtilage

The site boundaries for Avery Terrace at 2 and 4 Atherden Street are irregular in configuration, with the footprint of the terrace taking up much of the site area. The recommended SHR heritage listing boundary for Avery Terrace is Lot 7 of DP258607 and part of Lot 7 of DP 264080 (shown as the red outlined on figure 4.1) which includes the current lot boundary (Lot 7) and sandstone paving outside the front doors to No.s 2 and 4 Atherden Street (part Lot 7). The recommended SHR heritage listing boundary below, matches that shown in the current SHR heritage boundary listing Plan 2779, shown in Figure 1.7.



**Figure 4.1** The recommended SHR listing boundary for Avery Terrace at 2 and 4 Atherden Street is the current lot boundary (shown in red) being Lot 7 of DP258607 and sandstone paving to front doors of 2 and 4 Atherden Street, being part Lot 7 of DP264080. The setting is show in blue. Source: Sydney Harbour Foreshore Authority

The streetscape setting for Avery Terrace is shown in blue on Figure 4.1 and includes major views to and from the heritage item.

## 5.0 GRADING OF SIGNIFICANCE

### 5.1 Basis for Assessment

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. Avery Terrace has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual elements of Avery Terrace. This is a valuable planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of spaces and elements as set out here.

#### Exceptional Significance

This includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved in situ. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by The Burra Charter.

#### High Significance

This includes elements and features that make an important contribution to the recognition of the item's significance, albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction, and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved in situ subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by The Burra Charter is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

#### Moderate Significance

This includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally

of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

### **Little Significance**

This includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

### **Intrusive**

This includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of Avery Terrace and its elements. Good conservation practice encourages the focusing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

### **Fabric condition assessments**

This CMP uses the following condition ratings:

<b>Condition Ratings</b>	<b>Description</b>
Excellent	Building or fabric element has no defects. Condition and appearance are as new.
Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.

Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing and a significant number of major defects exist.
Very poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

## 5.2 Grading of Significant Elements

This section should be read in conjunction with Section 7.7.2 – Policies for Significant Elements. The tables below provides greater detail than it is possible to show in the coloured diagrams and photographs. Should there be any question as to the significance of an element, Section 5.2 should be consulted.



**Figure 5.1** Avery Terrace, 2 and 4 Atherden Street, Front (south) elevation. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.



**Figure 5.2** Avery Terrace, 2 and 4 Atherden Street, Rear (north) elevation. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.



**Figure 5.3** Avery Terrace, 2 and 4 Atherden Street, Side (west) elevation. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.

**Significance Key**

	Exceptional
	High
	Moderate
	Little
	Intrusive



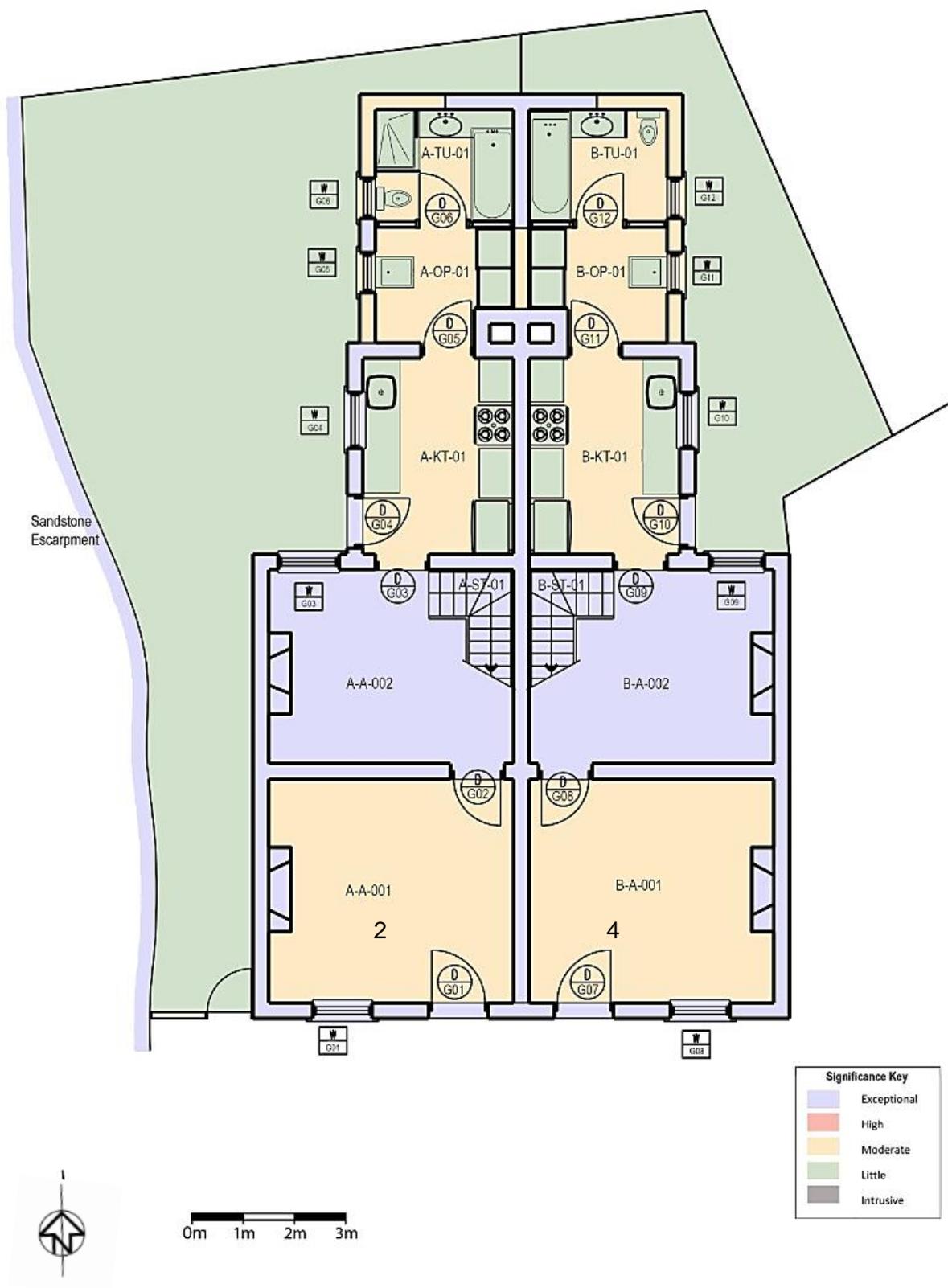
**Figure 5.4** Avery Terrace, 2 and 4 Atherden Street, Side (east) elevation. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.

<b>Grading of significant elements</b>		
Avery Terrace, 2 and 4 Atherden Street		
Element	Significance	Commentary
<b>EXTERIOR</b>		
<b>ATTRIBUTES &amp; ARCHITECTURAL STYLE</b>		
Visual and physical relationship with Playfair Terrace on Atherden Street	Exceptional	Remains evident
Visual and physical relationship and contribution to the group of 19 <sup>th</sup> century residential buildings along Atherden Street, Playfair Street and George Street	Exceptional	Remains evident
Late Victorian bald faced style indicators and terrace form (including raised parapet, form of main roof and pattern of openings and restrained detailing)	Exceptional	In good condition and visible.
External paint colour scheme	High	Based on colour scrape
Wall lighting goose neck bracket with conical lamps and services fixed to the facades	Little	Introduced fabric added in 1995. Appear in good condition.
Gutters and downpipes	Moderate	Renewed in early 1995. Appear in good condition.
<b>SITE</b>		
Low potential for state significant below ground and above ground archaeological resources. Refer to sections 3.4 and 5.3.	Exceptional	Evidence of former structures in the backyard. Roof, under-floor and between floor spaces may contain archaeological deposits, however, it is more likely that such deposits were removed during renovations in the 1975 and 1995.
Sandstone escarpment onto 2 Atherden Street	Exceptional	Original sandstone and earlier quarry.
Sandstone kerb along Atherden Street	Exceptional	Original. Fair to good condition.
Sandstone paving outside front doors	Moderate	c1995. Good condition.
Paving to rear courtyards	Little	c1995. Good condition.
Timber paling side and rear fences	Moderate	Introduced fabric c1995. Good condition
Vertical timber panel side door and infill panel surround next to escarpment.	Exceptional/moderate	Original door. Good condition c1995 infill panel surround. Good condition

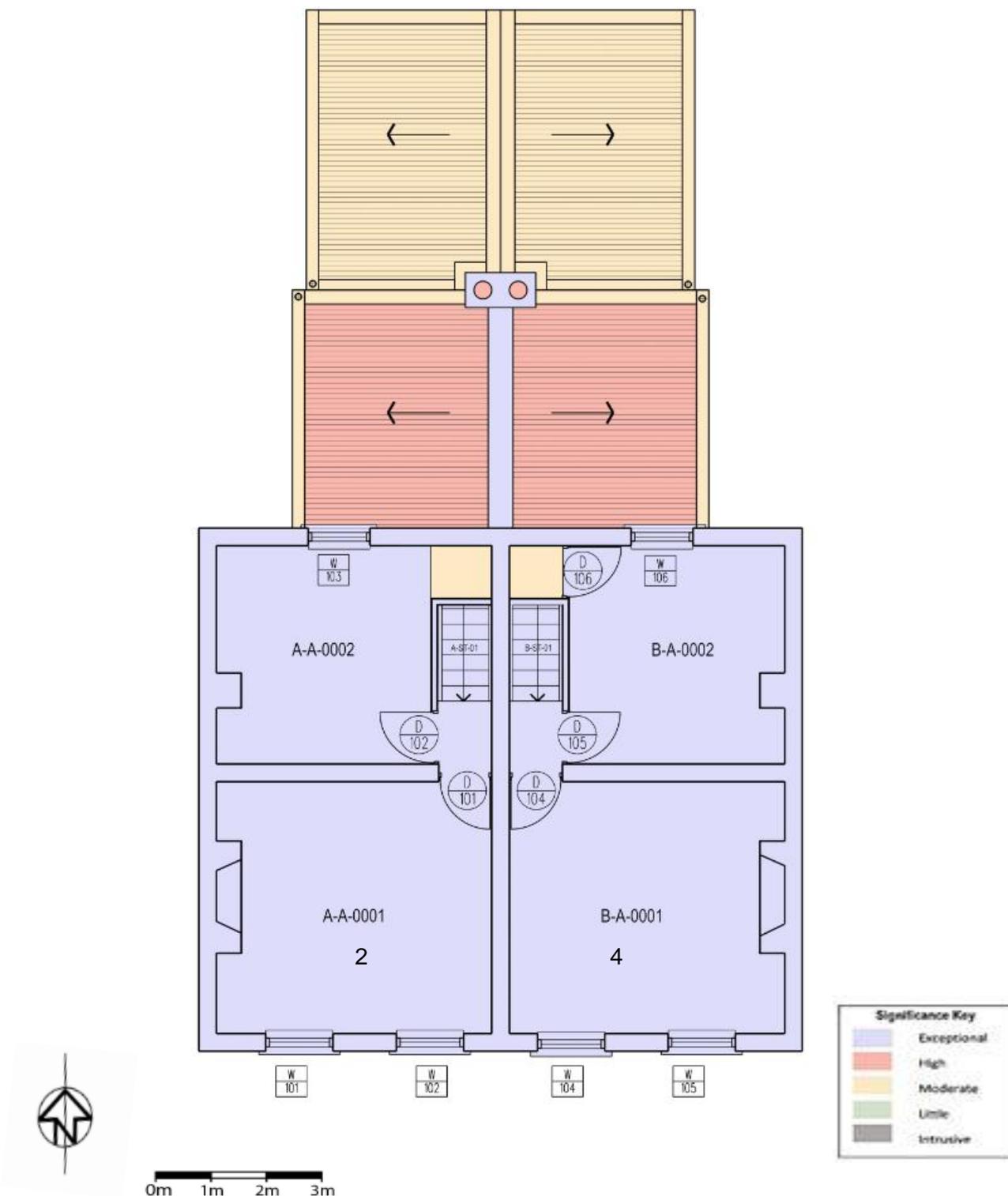
<b>Grading of significant elements</b>		
<b>Avery Terrace, 2 and 4 Atherden Street</b>		
Element	Significance	Commentary
<b>EXTERIOR</b>		
<b>ATHERDEN STREET (SOUTH) FACADE</b>		
Overall height, scale and configuration	Exceptional	Original. In good condition.
Side walls and central party walls – stuccoed brick construction, parapet and chimneys	Exceptional	Original. Appear in good condition.
Corrugated iron roof cladding and terracotta chimneys pots	High	Have been reconstructed to sympathetic detail in c1995. Good condition.
Stuccoed façade, ashlar coursing (excluding painted finish)	Exceptional	Original with some repairs. In good condition.
Rendered details, string course, corbel mouldings	Exceptional	Original with some repairs. In good condition.
Sandstone base/ plinth course and window sills	Exceptional	Original. In good condition.
Pattern of openings	Exceptional	Original. Good condition.
Windows it's timber frame, double hung sash, stone sills and sill brackets and hardware	Exceptional	Original. In good condition
Entry Door, top light and associated framing, and hardware (knob, letter box flap, knocker) and thresholds - reconstruction	Exceptional/High	Reconstructed door that matches original at 4 Atherden Street. In good condition.
D/G01; timber framed screen door (not shown on elevation)	Moderate	Early to mid -20 <sup>th</sup> century
Gutters, downpipes and rainwater head	Moderate	Replaced c1995. Good condition.
Metal air grilles	Exceptional	Two types – 19th century Good condition.
Terracotta wall vents	Moderate	Two types – mid 20 <sup>th</sup> century. Good condition.
Security grilles to windows – fitted internally and externally	Little	c1995. Good condition

<b>Grading of significant elements</b> Avery Terrace, 2 and 4 Atherden Street		
Element	Significance	Commentary
<b>EXTERIOR</b>		
<b>SIDE AND REAR (EAST, WEST AND NORTH) FACADES</b>		
Overall height, scale and configuration	Exceptional	Original.
Pattern of openings to kitchen and main building	Exceptional	Original.
Pattern of openings to laundry and bathroom addition	Moderate	1975 sympathetic addition to c1881 rear wing.
Parapet side and central party walls and chimneys over original rear wing kitchen	Exceptional	Original. Appear in good condition.
Corrugated iron roof cladding, timber fascias and terracotta chimneys pot to rear wing kitchen	High	Have been reconstructed using sympathetic detail in 1995. Good condition.
Corrugated iron cladding and timber fascias to laundry and bathroom roof	Moderate	Replaced 1995. Good condition.
Stuccoed façades, ashlar coursing (excluding painted finish) to rear wing kitchen	Exceptional	Original with some repairs. In good condition.
Original sections of brickwork on external north wall and internal party wall incorporated into current walls	Exceptional	Original with some repairs. In good condition.
New rendered brickwork external walls to rear wing extension for laundry and bathroom	Moderate	1975 sympathetic addition to c1881 rear wing.
Sandstone base/ plinth course and window sills	Exceptional	Original. In good condition.
Double hung sash windows, timber frame, stone sills and hardware to rear wing kitchen and main building	Exceptional	Original. In good condition
Double hung sash windows to rear wing extension laundry and bathroom	moderate	1975. Good condition
External doors to kitchen and associated framing, and hardware and thresholds	Exceptional	Original. In good condition.
Additional framing external kitchen door to 2 Atherden Street (not currently used)	Little	20 <sup>th</sup> century addition.
Awning over external kitchen door, framing and sheeting	Moderate	Later addition. In good condition
Gutters, downpipes and rainwater head	Moderate	Replaced c1995. Good condition.
Wall lighting goose neck bracket with conical lamps and services fixed to the façades	Little	Introduced fabric added in 1995. Appear in good condition.
Metal air grilles	Exceptional	Two types – 19th century Good condition.
Terracotta wall vents	Moderate	Two types – mid 20 <sup>th</sup> century. Good condition.
Security grilles to windows – fitted externally	Little	c1995. Good condition
Pipes and other services	Little	Various, late 20 <sup>th</sup> century.

Metal clasps and other fixtures	Little	Various, late 20 <sup>th</sup> century
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**Figure 5.5** Avery Terrace, 2 and 4 Atherden Street, Ground floor plan. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.



**Figure 5.6** Avery Terrace, 2 and 4 Atherden Street, First floor plan. Source: Sydney Harbour Foreshore Authority. Approximate scale for illustrative purposes only.

<b>Grading of significant elements</b> Avery Terrace, 2 Atherden Street		
Element	Significance	Commentary
<b>INTERIOR – GENERALLY</b>		
Internal spatial organisation and adjoining residence mirror reverse in plan, two storey main building and single storey rear wing kitchen. Rear wing bathroom and laundry addition	Exceptional/  Moderate	Original from 1881.  Extension constructed 1975 incorporating c1881 outhouse
<b>INTERIOR – GROUND FLOOR</b>		
<b>FRONT LIVING ROOM (A-A-0001)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and narrow floorboards, gloss polyurethane finish	Moderate	Replaced c1995. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition
Ceiling rose – plaster	Exceptional	Original reinstated when ceiling replaced – Fair condition.
Timber joinery - Internal timber four panel Victorian door between living and dining room and hardware – door and window architraves and skirting with quad bead at floor Double hung sash window, frame and architrave, post 1975 hardware Some hardware doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Original with repairs. Good condition
Victorian cast iron fireplace and grate incomplete, timber mantel piece and painted stone hearth	Exceptional	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines, modern directional, chrome lighting (inappropriate to style of house); cord, rose and knobs for light pull switches (1996); plastic light switch plate	Little	Replaced. Fair condition
Plaster wall vents	Exceptional	Original. Good condition.
Square wall vents	Moderate	Mid-20 <sup>th</sup> century. Good condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR DINING ROOM (A-A-0002)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing. Under floor access hatch installed 1975.	High	Repaired. Good condition

Original wide timber floorboards with narrow board repairs, polyurethane finish	Exceptional	Original wide boards with new narrow boards. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Internal timber four panel Victorian door between living and dining room and hardware	Exceptional	Original. Good condition.
Timber joinery – door and window architraves, timber skirtings with repairs	Exceptional	Original with repairs. Good condition
Timber double hung sash windows and frames and architraves and replacement hardware	Exceptional	Original and post 1975. Good condition
Staircase – see A-ST-01 below.	Exceptional	Original with repairs. Good condition.
Under stair cupboard – vertical timber panels and door	Exceptional	Original with repairs. Good condition
Ceiling – replaced plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition
Ceiling rose - plaster	Exceptional	Reinstated c 1975 – Good condition.
Victorian Cast iron fireplace and grate, timber mantel piece and painted stone hearth	Exceptional	Original with repairs. Good condition.
Plaster wall vents	Exceptional	Original. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines, cable TV	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR WING KITCHEN (A-KT-01)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Vinyl tile floor finish	Little	c1995. Fair condition
Internal wall brick finish (excluding paint finish)	Exceptional	Original. Good condition
Original skirting near door and timber skirting c1995.	Exceptional/ Moderate	Original and c1995. Good condition
Internal wall and door between laundry and bathroom	Little	1975. Good condition.
External timber four panel Victorian door, threshold and hardware - original hinges; reproduction lock to backdoor (1996);	Exceptional	Original. Good condition.
Timber framed double hung sash window with replaced hardware	Exceptional	Original and 1975. Good condition.
Timber joinery – door and window architraves	High	Reconstructed 1975. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition
Remnants of kitchen hearth brickwork on north wall	Exceptional	Original. Good condition.
Wall vents decorative plaster	Exceptional	Original. Good condition

Square wall vents	Moderate	Mid-20 <sup>th</sup> century. Good condition
Kitchen fit out	Little	c1995. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR WING LAUNDRY (A-OP-01)</b>		
Overall space, height, scale and configuration	Moderate	Constructed 1975. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Vinyl tile floor finish	Little	c1995. Fair condition
Original brick wall and kitchen hearth remnants. infill central party wall constructed 1975	Exceptional/ Moderate	Original and 1975. Good condition
Internal wall between laundry and bathroom constructed 1975	Little	1975. Good condition
Internal timber sliding door between laundry and bathroom and skirtings	Little	1975. Good condition.
Timber double hung sash window and architraves	Moderate	1975. Good condition.
Ceiling – plaster board and timber quad cornice	Little	1975. Good condition
Laundry fit out and shelving	Little	c1995. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services, hot water service	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR WING BATHROOM (A-TU-01)</b>		
Overall space, height, scale and configuration	Moderate	Constructed 1975. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Tile floor finish	Little	c1995. Fair condition
Remnants of original brick wall north east corner of 1881 outhouse and 1975 new external brick wall.	Exceptional/ Moderate	Original and 1975. Good condition
Internal wall between bathroom and laundry, skirting	Little	1975. Good condition.
Internal timber sliding door between laundry and bathroom	Little	1975. Good condition.
Timber double hung sash window and architraves	Moderate	1975. Good condition.
Ceiling – plaster board and timber quad cornice	Little	1975. Good condition
Bathroom fit out and shelving	Little	c1995 and later. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services,	Little	Replaced. Fair condition

Internal paint colour scheme.	Little	Repainted 2014. Good condition
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<b>Grading of significant elements</b> Avery Terrace, 2 Atherden Street		
Element	Significance	Commentary
<b>INTERIOR – FIRST FLOOR</b>		
<b>FRONT BEDROOM (A-A-0001)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and original wide floorboards, Tung oil finish	Exceptional	Original and repaired. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Fair condition
Ceiling rose – plaster and vented	Exceptional	Original reinstated when ceiling replaced – Fair to good
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and skirting Timber framed double hung sash windows and frames and architraves with replaced hardware Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Original with repairs 1975. Good condition
Victorian cast iron fireplace and grate with infill panel behind, timber mantel piece and painted stone hearth	Exceptional	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Replaced. Fair condition
Plaster wall vents	Exceptional	Original. Good condition.
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR BEDROOM (A-A-0002)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and original wide floorboards, Tung oil finish	Exceptional	Original and repaired. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Fair condition
Ceiling rose – plaster and vented	Exceptional	Original reinstated when ceiling replaced – Fair to good

Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and original skirting with quad mould (c1995). Timber double hung sash windows, frames and architraves Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Original with repairs. Good condition
Vertical timber framed and panelled internal wall Cupboard added in 1975.	Exceptional/ Moderate	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Replaced. Fair condition
Plaster wall vents	Exceptional	Original. Good condition.
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>STAIRCASE (A-ST-01)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Original timber winding staircase with timber stringer, newel post and simple square balusters, timber treads and risers. (Excluding paint to risers and treads stripped and finished with polyurethane to stairs).	Exceptional	Original and repaired. Good condition
Timber handrails additions 1975.	Little	Original with repairs. Good condition
Ceiling – flat plaster (no cornices) - possibly repaired or replaced 1975 or 1995	Exceptional	Original with repairs. Good condition
Lighting and services	Little	1975. Good condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition

<b>Grading of significant elements</b> Avery Terrace, 4 Atherden Street		
Element	Significance	Commentary
<b>INTERIOR – GENERALLY</b>		
Internal spatial organisation and adjoining residence mirror reverse in plan, two storey main building and single storey rear wing kitchen. Rear wing bathroom and laundry addition	Exceptional/  Moderate	Original from 1881.  Extension constructed 1975 incorporating c1881 outhouse
<b>INTERIOR – GROUND FLOOR</b>		
<b>FRONT LIVING ROOM (B-A-0001)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and narrow floorboards, gloss polyurethane finish	Moderate	Replaced c1995. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition
Ceiling rose – plaster	Exceptional	Original reinstated when ceiling replaced – Fair
Timber joinery - Internal timber four panel Victorian door between living and dining room and hardware – door and window architraves and skirting with quad bead at floor. Timber double hung sash windows, frames and architraves. Some hardware on windows and doors appears original; original door rim locks noted as reinstated in 1975. Specification for 1995/6 upgrade were to be cleaned and	Exceptional	Original with repairs. Good condition
Victorian cast iron fireplace and grate incomplete, timber mantel piece and painted stone hearth	Exceptional	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines, modern directional, chrome lighting (inappropriate to style of house); cord, rose and knobs for light pull switches (1996); plastic light switch	Little	Replaced. Fair condition
Square wall vents	Moderate	Mid-20 <sup>th</sup> century. Good condition.
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR DINING ROOM (B-A-0002)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing repaired c1995, under floor access hatch installed 1975.	High	Repaired c1995. Good condition

Original wide timber floorboards with replacement wide board repairs c1995, polyurethane finish.	Exceptional	Original with repairs. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Internal timber four panel Victorian door between living and dining room and hardware Timber double hung sash window, frame and	Exceptional	Original. Good condition.
Timber joinery – door and window architraves, timber skirtings with repairs	Exceptional	Original with repairs. Good condition
Staircase – see B-ST-01 below.	Exceptional	Original with repairs. Good condition.
Under stair cupboard – vertical timber paneling and door	Exceptional	Original with repairs. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition
Ceiling rose - plaster	Exceptional	Reinstated c 1975 – Good condition.
Victorian Cast iron fireplace and grate, timber mantel piece and painted stone	Exceptional	Original with repairs. Good condition.
Plaster wall vents	Exceptional	Original. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines, cable TV and shelving	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR WING KITCHEN (B-KT-01)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Floor tiles	Little	c1995. Good condition
Internal wall brick and finish (excluding paint finish)	Exceptional	Original. Good condition
Splayed render skirting- original, with timber block c1995	Exceptional/ Moderate	Original and 1975. Good condition
Internal wall and door between laundry and bathroom	Little	1975. Good condition.
External timber four panel Victorian door, threshold and hardware - original hinges; reproduction lock to backdoor (1996), towel rail fixed to top rail	Exceptional	Original. Good condition.
Timber framed double hung sash window with replaced hardware	Exceptional	Original. Good condition.
Timber joinery – door and window architraves	Exceptional	Original. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Good condition

Remnants of kitchen hearth brickwork on north wall, bricked up c1975.	Exceptional	Original and 1975. Good condition.
Plaster wall vents	Exceptional	Original. Good condition
Kitchen fit out - Melamine finished <i>Customwood</i> cupboard and drawer units with Hoop Pine fronts (painted); Brush box bench top; stainless steel sink and Brush	Little	c1995. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
REAR WING LAUNDRY (B-OP-01)		
Overall space, height, scale and configuration	Moderate	Constructed 1975. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Floor tiles	Little	c1995. Fair condition
Original brick wall and kitchen hearth remnants. Infill central party wall constructed	Exceptional/Moderate	Original and 1975. Good condition
Internal wall between laundry and bathroom constructed 1975	Little	1975. Good condition
Internal timber door between laundry and bathroom	Little	1975. Good condition.
Timber skirtings	Little	1975. Good condition
Timber double hung sash window and architraves	Moderate	1975. Good condition.
Ceiling – plasterboard and timber quad cornice	Little	1975. Good condition
Wall vents	Moderate	Mid-20 <sup>th</sup> century. Good condition
Laundry fit out and shelving	Little	c1995. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services, hot water service	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition
REAR WING BATHROOM (A-TU-01)		
Overall space, height, scale and configuration	Moderate	Constructed 1975. Good condition.
Concrete slab floor	Moderate	Installed 1975. Good condition
Tile floor finish	Little	c1995. Fair condition
Remnants of original brick wall north east corner of 1881 outhouse, and 1975 external brick wall	Exceptional/Moderate	Original and 1975. Good condition
Internal wall between laundry and bathroom constructed c 1975	Little	1975. Good condition.
Timber double hung sash window and architraves	Moderate	1975. Good condition.

Timber door between bathroom and laundry	Little	1975. Good condition
Ceiling – plaster board and timber quad cornice	Little	1975. Good condition
Bathroom fit out and shelving	Little	c1995 and later. Good condition
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs, plumbing and services,	Little	Replaced. Fair condition
Internal paint colour scheme.	Little	Repainted 2014. Good

<b>Grading of significant elements</b> Avery Terrace, 4 Atherden Street		
Element	Significance	Commentary
<b>INTERIOR – FIRST FLOOR</b>		
<b>FRONT BEDROOM (B-A-0001)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and original wide floorboards, Tung oil finish	Exceptional	Original and repaired. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Fair condition
Ceiling rose – plaster, vented	Exceptional	Original reinstated when ceiling replaced – Fair to good condition.
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and skirting Timber double hung sash windows, frames and architraves with replaced hardware. Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Original with repairs. Good condition
Victorian cast iron fireplace and grate with infill panel behind, timber mantel piece 1975 and painted stone hearth	Exceptional	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Replaced. Fair condition
Antenna cabling in fireplace	Intrusive	
Plaster wall vents	Exceptional	Original. Good condition.
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>REAR BEDROOM (B-A-0002)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Timber floor framing and original wide floorboards, Tung oil finish	Exceptional	Original with repairs. Good condition
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Original with repairs. Good condition
Ceiling – replaced plaster sheeting with timber battens (no cornices)	Moderate	Replaced c1916. Fair condition

Ceiling rose – plaster, vented	Exceptional	Original reinstated when ceiling replaced – Fair to
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and original skirting with quad mould (c1995). Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Original with repairs. Good condition
Vertical timber framed and panelled internal wall. Cupboard added in 1975.	Exceptional/Moderate	Original with repairs. Good condition.
Light fitting	Little	Replaced 1975. Fair condition
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Replaced. Fair condition
Wall vents	Exceptional	Original. Good condition.
Internal paint colour scheme.	Little	Repainted 2014. Good condition
<b>STAIRCASE (B-ST-01)</b>		
Overall space, height, scale and configuration	Exceptional	Original. Good condition.
Original timber winding staircase with timber stringer, newel post and simple square balusters, timber treads and risers. (Excluding paint to risers and treads stripped and finished with polyurethane to stairs).	Exceptional	Original and repaired. Good condition
Timber handrails additions 1975. Skirting in stair cupboard replaced in 1975	Little	1975. Good condition
Ceiling – flat plaster (no cornices) - possibly repaired or replaced 1975 or 1995	Exceptional	Original with repairs. Good condition
Lighting and services	Little	1975. Good condition
Internal paint colour scheme.	Little	Repainted 2014. Good condition

### 5.3 Archaeological Significance

Avery Terrace and its site are identified as an area of archaeological sensitivity. There is the low potential for the following State significant archaeological evidence to be located on the site and shown in the Archaeological Zoning Plan in Section 3.4 fig 3.28:

- Evidence of former structures in the backyard of the property.
- Roof, under-floor and between floor spaces may contain archaeological deposits, however, it is more likely that such deposits were removed during renovations in the 1975 and 1995.

## **6.0 CONSTRAINTS AND OPPORTUNITIES**

This section outlines various major issues involved in the preparation of the conservation guidelines for the site. It takes into consideration matters arising from the statement of significance, procedural constraints imposed by cultural conservation methodology such as that of the Australia ICOMOS Burra Charter. It identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

### **6.1 Issues Arising from the Statement of Significance**

Considering the Statement of Significance, the following issues need to be addressed in the conservation guidelines:

- Avery Terrace has been assessed of state significance and forms part of the residential group along Atherden Street and is a significant contributor to the overall conservation area of The Rocks.
- Continuing appropriate use of the terraces compatible with its significance and its historical uses. Essentially, this restricts the use of Avery Terrace to its ongoing use as residential accommodation, or low key commercial uses to ensure there are no adverse impacts to the internal spaces and fabric of exceptional and high significance.
- Conserving the architectural qualities of Avery Terrace that establishes its aesthetic significance in accordance with the Burra Charter 2013.
- Subdivision proposals must aim to manage Avery Terrace as a single entity, allowing for a unified ongoing maintenance process and a unified colour scheme to be followed for the terrace building. Conservation policies must inform decisions about future use and adaptation of spaces to ensure that the character, ambience and intent of the original design are kept.
- To manage all aspects of significance including its archaeological resource in accordance with statutory processes.

### **6.2 Issues Arising from the condition of the place**

- Substantial conservation works were undertaken in 1995, and it continues to be looked after, the physical condition of the place appears to be largely in good condition.
- In the course of investigation for the report no issues were revealed that affect the occupation and use of the buildings, or decisions about the conservation of the buildings.
- Maintenance works were undertaken in 2014. The buildings were inspected in December 2015, and are in good condition, as per the photos included in section 3.3. There is minor water ingress and doors and windows need easing, more details are provided in Section 8.2 items requiring repair.

### **6.3 Sydney Harbour Foreshore Authority**

The Rocks area is managed by the Sydney Harbour Foreshore Authority, constituted on 1 February 1999, under the Sydney Harbour Foreshore Act 1998.

The principal functions of the Foreshore Authority, stated in its Act, are to:

- to protect and enhance the natural and cultural heritage of the foreshore area;
- to promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- to promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, *The Rocks Heritage Management Plan* (updated in April 2010) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

### **6.3.1 Sydney Harbour Foreshore Authority's vision and charter**

*The Rocks Heritage Management Plan: Volume 1 and The Rocks Heritage Policy* (April 2010) outline the vision and philosophy of the Foreshore Authority and policies that aim to create quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

#### **Vision Statement**

The vision statement as outlined in the abovementioned documents is as follows:

- The Rocks will continue to be recognised as an authentic heritage precinct, which is symbolic of our history and the value we place on heritage conservation.
- The total heritage resource of The Rocks will be cherished and managed for the benefit of current and future generations.
- The diverse character of The Rocks, created from its dramatic setting, topography, urban form, buildings, views, use, associations and meanings, will be maintained and enhanced.
- Individual elements will be conserved and provided with vibrant uses that are compatible with their heritage value.
- The Rocks will continue to be a "living" area with more residents and a mix of uses.
- People will be encouraged to visit and experience The Rocks, through better access and imaginative interpretation.
- Visitors, residents and workers in The Rocks will enjoy and celebrate real history and community spirit in an authentic place.

A challenge for the Foreshore Authority's achievement of heritage objectives, is the objective for financial return on its assets. As noted in the *The Rocks Leasing Direction 2014* the Foreshore Authority carefully curates and manages an unique waterfront precinct that is visited by more than 14 million people a year. Part of the overall vision is to deliver a leasing direction that positions The Rocks as an alluring world-class retail destination for Sydneysiders, domestic travellers and overseas visitors alike.

Since the enactment of the NSW Heritage Act in 1977, NSW Government agencies have been expected to identify and manage heritage assets in their ownership and control. Their responsibilities include keeping a heritage and conservation register (S170) listing heritage assets under its ownership, occupation or management. The Foreshore Authority wants The Rocks to be a place of today and recognises the potentially conflicting aims of balancing heritage conservation and a place where people continue to live, work and visit. In order to achieve this vision the Foreshore Authority has developed a heritage policy

which attempts to balance the retention of the significance and objectives of interpretation and sustainability with attaining commercially viable uses and returns.

The Foreshore Authority also oversees the preparation of Conservation Management Plans (CMPs) on each of the items listed on the register. This CMP is one of documents used by the Foreshore Authority, managers and tenants for the management and maintenance of Avery Terrace. The CMP with policies and recommendations feeds into current maintenance strategies and Total Asset Management Policy (TAM).

Total Asset Management Policy (TAM) is a NSW Government policy introduced to achieve better planning and management of the State's assets. Total Asset Management is the strategic management of physical assets to best support the delivery of agency services. It is part of a planning framework in which the Government's social, ecological and financial service outcomes are achieved by the most efficient means and within the resource limits of the community. It provides a structured and systematic resource allocation approach to infrastructure and physical asset management so that resources are aligned with the service objectives of State agencies.

### **6.3.2 Sydney Harbour Foreshore Authority's requirements**

The Foreshore Authority has continued to manage Avery Terrace a tenanted residential property. The property is currently vacant (2015). It envisaged that an ongoing residential use will continue which is highly compatible with the Foreshore Authority's requirement and objectives for retaining significance, minimal intervention and visitation and interpretation of the place.

*The Rocks Heritage Management Plan* sets out the overall management direction and expectations for The Rocks precinct. The Foreshore Authority seeks to retain the "authenticity" of the largely intact building fabric of the buildings, both internally and externally as well as the underground archaeological resources that makes this property special. The Foreshore Authority also oversees the preparation of a conservation management plan (CMP) for each property which sets out the specific principles and policies to guide and inform potential lessees of the building's ongoing care and maintenance.

The potential for site and building development is limited, however, any works to the buildings will require the adherence to the above mentioned documents and the Foreshore Authority's, as land owner, consent on all development applications. As part of this process some consultation with the Foreshore Authority and external advice is expected and recommended.

#### **'Loose Fit'**

Continued residential use will have the least impact on Avery Terrace. If commercial uses are proposed for the terrace, they must adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration, rather than the opposite. All new work must be designed to be reversible (that is, it can be removed and the original features reinstated).

### **6.3.3 Sydney Harbour Foreshore Authority Policies**

The Authority has developed a suite of policies to guide the detailed management of places, and these need to be considered in developing conservation policies, managing risks and managing the place. The principal policies that will need to be considered, depending upon the significance, character and uses of the place, are:

- [The Rocks Fitout Guide](#)
- [The Rocks Commercial Signage Technical Manual 2013](#)
- [The Rocks Signage Policy 2013](#)
- [The Rocks Wayfinding Signage Technical Manual 2013](#)
- [The Rocks Lighting Policy 2009](#)
- [Foreshore Authority Public Art Policy 2010](#)
- [Foreshore Authority Tree Policy 2013](#)
- [The Rocks and Circular Quay Outdoor Seating Policy 2012](#)
- Sustainability Policy (Draft) 2012  
<http://www.shfa.nsw.gov.au/content/library/documents/E4915136-CCFE-EACB-C1954BE2C96873EF.pdf>
- Sustainability 2020 Strategy  
<http://www.shfa.nsw.gov.au/content/library/documents/E480D450-A94D-A3A2-AD27B3BAE9BFA9C0.pdf>

Additional policy documents and technical manual can be accessed at  
[http://www.shfa.nsw.gov.au/sydney-Resource\\_centre-Policies\\_manuals\\_and\\_guides.htm](http://www.shfa.nsw.gov.au/sydney-Resource_centre-Policies_manuals_and_guides.htm)

## 6.4 Heritage Management Framework

The principal statutory controls against which potential impacts on the significance of Avery Terrace will be assessed include the following:

- Environmental Planning and Assessment Act, 1979 and associated planning instruments, policies, plans and guidelines;
- The Heritage Act 1977; and,
- The policies contained in this CMP, which will gain statutory status on adoption by the Foreshore Authority and endorsement by the Heritage Council.

Other controls, including the National Parks and Wildlife Act (NPW) Act 1979 and the NSW Government Total Asset Management (TAM) guidelines are considered in this Section.

It is essential that the Foreshore Authority and the approval authority are consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act (EP&A Act) 1979 and the Heritage Act 1977. All statutory applications require the signature and consent of the landowner to enable lodgement. For the Avery Terrace the landowner is the Foreshore Authority, therefore all applications be forwarded to the Foreshore Authority for endorsement prior to submission for development approval. Further information about the granting of landowner's consent can be sourced from the Foreshore Authority.

### 6.4.1 Environmental Planning and Assessment Act, 1979<sup>114</sup>

In November 2008, the NSW Government announced widespread reforms to the State's planning portfolio effective from 1 December 2008. As part of the reforms, all development applications (DAs) previously assessed by the Foreshore Authority are assessed by the Minister of Planning or under delegation by The City of Sydney Council (the consent authority). The Minister for Planning is the consent authority for 'deemed' development with a capital investment value of more than \$10 million dollars.

Under the EP&A Act there are a number of Environmental Planning Instruments (EPIs), including the Sydney Cove Redevelopment Authority (SCRA) Scheme, as well as State and Regional Plans and Policies, Development Control Plans and Guidelines that require

<sup>114</sup> <http://www.legislation.nsw.gov.au/viewtop/inforce/act+203+1979+FIRST+0+N/>

reference for Avery Terrace, which are identified and discussed further in the following sections.

## **6.4.2 New South Wales Heritage Act, 1977<sup>115</sup>**

### **Architectural Works**

Avery Terrace is listed in the NSW State Heritage Register, as SHR item 01529. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act, 1977.

Under Section 57(1) of the *NSW Heritage Act*, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of a SHR item is *prohibited* under the NSW Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). Authority has been delegated to the Foreshore Authority to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council.

### **Archaeological Management**

The NSW Heritage Act provides statutory protection to relics, archaeological artefacts, features or deposits.

Part 4 of the Act refers to items and places listed on the SHR or which are the subject of an Interim Heritage Order (IHO). Section 60 also requires an application for an excavation permit for historical archaeological resources identified as having state significance issued by the Heritage Council, or in accordance with a gazetted Exemption under Section 57(2) of the Act.

The NSW Heritage Act defines an archaeological relic as being any deposit, artefact, object or material evidence that:

- a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and
- b) is of State or local heritage significance.

Under Section 57(1) of the Heritage Act, Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed.

A Section 60 application is required to be prepared by an historical archaeologist who meets the Heritage Council Excavation Directors Criteria for works on State significant sites to disturb relics on an SHR listed site. The Foreshore Authority has delegation to approve minor Section 60 applications that extend to archaeological works within the curtilage of the item.

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<http://www.legislation.nsw.gov.au/xref/inforce/?xref=Type%3Dact%20AND%20Year%3D1977%20AND%20no%3D136&nohits=y>

## **Standard Exemptions for works to State Heritage Register items**

Under Section 57(2) of the NSW Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications.

Applicants must confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a CM Strategy endorsed under delegation by the Executive Director, Place Renewal of the Sydney Harbour Foreshore Authority.

CMP endorsement by the Heritage Council is normally required only for SHR listed items. Currently there are no site specific exemptions for Avery Terrace and none are recommended in this CMP.

Reference can be made to the NSW Department of Environment and Heritage Standard Exemptions for Works Requiring Heritage Council Approval.<sup>116</sup>

## **Minimum Standards of Maintenance and Repair**

Section 118 of the NSW Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover various areas, including for example, weatherproofing, fire protection, security and essential maintenance.

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards).

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

Refer to the Minimum Standards for Maintenance and Repair.<sup>117</sup>

<sup>116</sup> <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/StandardExemptions.pdf>

<sup>117</sup> <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

### 6.4.3 National Parks & Wildlife Act<sup>118</sup>

Under Section 89A of the National Parks and Wildlife Act 1974 (NPW Act), it is an offence for a person to destroy, deface, damage or desecrate an Aboriginal Object or Aboriginal Place without the prior issue of an Aboriginal Heritage Impact Permit (AHIP). The Act requires a person to take reasonable precautions and due diligence to avoid impacts on Aboriginal Objects. AHIPs may only be obtained from the Office of Environment and Heritage. It is also an offence under Section 90A of the NPW Act to disturb or excavate land for the purpose of discovering an Aboriginal Object, or to disturb or move an Aboriginal Object on any land, without first obtaining a permit under Section 90A of the NPW Act.

### 6.4.4 NSW Government Total Asset Management

The Total Asset Management (TAM) Manual prepared by NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values must be treated by an agency as part of its core business". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require "planning use of heritage assets to maximise their service delivery while protecting their cultural values".

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in an event where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given priority.

Refer to the NSW Government's Total Asset Management Manual<sup>119</sup>.

## 6.5 Environmental Planning Instruments (EPIs)

There are three principle EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks.

### 6.5.1 State Environmental Planning Policy (SEPP) (State and Regional Development) 2011<sup>120</sup> and State Environmental Planning Policy (Major Development) 2005<sup>121</sup>

Under the SEPPs, Avery Terrace is an environmentally sensitive area of State significance, being on land in The Rocks, and as a place and building listed on the State Heritage Register under the NSW Heritage Act.

Pursuant to the EPA Act, the SEPP (Major Development) applies to capital works over \$10 million. Development under \$10 million requires approval under Part 4 of the Environmental Planning and Assessment Act.

The NSW Planning Minister is the consent authority for state significant development and major development, as described in the State Environmental Planning Policy (State and Regional Development) 2011 and the State Environmental Planning Policy (Major

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<sup>118</sup> <http://www.legislation.nsw.gov.au/inforcepdf/1974-80.pdf?id=cb5ba894-2a75-4a36-f576-df69950c59f8>

<sup>119</sup> <http://www.treasury.nsw.gov.au/tam/tam-intro>

<sup>120</sup> <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+511+2011+cd+0+N>

<sup>121</sup> <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+194+2005+cd+0+N>

Development) 2005.

### **6.5.2 Sydney Regional Environmental Plan (SREP) (Sydney Harbour Catchment) 2005<sup>122</sup>**

The Rocks is included in the “Foreshores and Waterways Area” defined in the SREP. Accordingly any development must be considered in terms of the criteria set out in Division 2 of SREP. The SREP has limited application to Avery Terrace, as The Heritage Provisions in Part 5 of the SREP are not applicable to sites that are not listed as a heritage item. Particular provisions of the plan apply to the Foreshores and Waterways areas, which encompass the subject site.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a “Strategic Foreshore site” on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The NSW Planning Minister is the consent authority for the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. The City of Sydney or the Central Sydney Planning Committee is the consent authority for development not covered by the Planning Minister.

### **6.5.3 Sydney Cove Redevelopment Authority (SCRA Scheme)**

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the EP&A Act. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct. Sydney Harbour Foreshore Authority in conjunction with the Department of Planning and Environment are responsible for this document and its updating.

The SCRA Building Site Control Drawing ‘XXX’ (Figure 6.1) shows the main building and rear wing as historic structures, but excludes the rear wing extension. The RL for the main roof ridge line for Avery Terrace is RL 21.4m and for the rear wing is RL15.6m. There is an additional building development envelope over the rear wing extension to RL 20m, i.e. two stories.

It is recommended that the SCRA Building Site Control Drawing ‘XXX’ be updated to include the main building, rear wing and rear wing extension as historic structures and that the Building Site Control Drawing development envelope be reduced to one storey i.e. RL 15.6m over the current footprint of the rear wing extension.

The City of Sydney or the Central Sydney Planning Committee is the consent authority for development, unless development that has a capital investment value of more than \$10 million, in which case The NSW Planning Minister is the consent authority.

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<sup>122</sup> [http://www5.austlii.edu.au/au/legis/nsw/consol\\_reg/srephc2005587/](http://www5.austlii.edu.au/au/legis/nsw/consol_reg/srephc2005587/)



## **6.6 Development Control Plans and Guidelines**

### **6.6.1 Sydney Harbour Foreshore and Waterways Area DCP 2005<sup>123</sup>**

Sydney Harbour Foreshores and Waterways Area DCP 2005 has been prepared to support the SREP (Sydney Harbour Catchment) 2005. The DCP provides detailed design guidelines for development and criteria for natural resource protection for the area identified as Foreshores and Waterways area. The DCP applies to all development proposals within the Foreshores and Waterways Area identified in SREP (Sydney Harbour Catchment 2005).

The heritage provisions of DCP are not relevant to Avery Terrace as the site is not listed as a heritage item under the SREP 2005.

### **6.6.2 The Rocks Heritage Management Plan (RHMP)<sup>124</sup> and Heritage Policy<sup>125</sup>**

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002, updated 2010) has been prepared to provide a basis for understanding and conserving the heritage values of The Rocks, and to assist in preparing individual CMPs for heritage buildings within The Rocks. The Rocks Heritage Policy articulates the Foreshore Authority's vision for The Rocks.

### **6.6.3 The City of Sydney Development Control Plan (DCP) 2012<sup>126</sup>**

The City of Sydney DCP 2012 applies to all land as designated on the DCP map, which includes The Rocks. Currently The Rocks is not identified as a Locality, Specific site or Specific area in the DCP. However the General Provisions, including Heritage, Development Types and certain Schedules apply.

### **6.6.4 NSW Heritage Council – Design in Context<sup>127</sup>**

The guideline is published by the NSW Heritage Council of NSW and the RAIA. The guideline establishes six criteria for assessing new development in a heritage conservation area or adjacent to a heritage item; character; scale; form; siting; materials; and, detailing. The criteria and guidelines are relevant to minor works, such as any potential changes, which must be designed to respect the significance and setting of the adjacent heritage items.

### **6.6.5 NSW Heritage Council – New Uses for Heritage Places**

The guideline is published by the NSW Heritage Council of NSW and the RAIA. It contains principles that encourage careful and sympathetic designs and interpretation in the adaptation of historic places and sites.

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<sup>123</sup> <http://www.planning.nsw.gov.au/harbour/pdf/dcp.pdf>

<sup>124</sup> <http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>

<sup>125</sup> <http://www.shfa.nsw.gov.au/content/library/documents/0B97AE99-BE6D-D5A2-2DB9A05719183F85.pdf>

<sup>126</sup> <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>

<sup>127</sup> <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

## 6.7 Approvals

### 6.7.1 Landowner's consent

Before any application is submitted to a consent authority, the consent of the Foreshore Authority, as landowner, must be obtained first. Obtaining consent from the Foreshore Authority is **not** an approval for the works, only consent to submit an application. A consent authority will not be able to consider an application unless it has the landowner's consent.

### 6.7.2 Consent Authorities

There are a range of consent authorities to which applications for work will need to be submitted. These are described in the preceding sections, and are summarised as follows:

Consent Authority	Works or activities for which that consent authority is responsible
<ul style="list-style-type: none"> <li>Minister for Planning</li> </ul>	<ul style="list-style-type: none"> <li>Variation to SCRA Scheme</li> <li>Works with a capital investment value above \$10 million</li> <li>May direct preparation of a master plan (a deemed DCP) for a Strategic Foreshore Site (which includes most of The Rocks)</li> </ul>
<ul style="list-style-type: none"> <li>Minister for Ports and Maritime Administration</li> </ul>	<ul style="list-style-type: none"> <li>Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks), if so specified in an EPI.</li> </ul>
<ul style="list-style-type: none"> <li>Sydney Harbour Foreshore Authority</li> </ul>	<ul style="list-style-type: none"> <li>Landowner's Consent (to lodge an application)</li> <li>Minor works to an SHR item, under a Heritage Council delegation</li> <li>Additions/removals/revisions to its s170 Register listings</li> <li>Notifying the Heritage Council of the transfer, ceasing to occupy, or demolition of any item in its s170 Register</li> <li>Implementing TAM Guidelines for assets in the SHFA portfolio</li> </ul>
<ul style="list-style-type: none"> <li>Heritage Council</li> </ul>	<ul style="list-style-type: none"> <li>Works other than minor works to any SHR or IHO item</li> <li>Standard and site-specific exemptions from approvals for SHR items</li> <li>Listings/de-listings/revisions to SHR items</li> <li>Approval to disturb, move, damage or destroy relics</li> <li>Minimum Standards of Maintenance</li> </ul>
<ul style="list-style-type: none"> <li>City of Sydney</li> </ul>	<ul style="list-style-type: none"> <li>Works with a capital investment below \$10 million</li> <li>Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks) unless the Minister is specified as the consent authority in an EPI.</li> <li>Principal Certifying Authority for accredited private certifiers</li> </ul>
<ul style="list-style-type: none"> <li>Accredited Private Certifiers</li> </ul>	<ul style="list-style-type: none"> <li>Issue of Construction Certificates and/or Occupation Certificates</li> </ul>

## 6.8 Non-statutory listings and Community Groups

### 6.8.1 National Trust of Australia (NSW)

The Terraces at 2 and 4 Atherden Street is included on the Register of the **National Trust of Australia (NSW)**, (classified 1976), item 10328.

2 and 4 Atherden Street is included in the listing for The Rocks Conservation Area on the Register of the **National Trust of Australia (NSW)**.

The Rocks Urban Conservation Area encompasses the area generally bounded by Circular Quay to the east, all of Walsh Bay and Millers Point to Sussex Street to the north and west and extends to Grosvenor Street to the south.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

### 6.8.2 Australian Heritage Commission –Register of the National Estate

The Terrace at 2 and 4 Atherden Street is included on the **Register of the National Estate**, Ref No. 1/12/036/0315 in 1980; and as part of the Argyle Precinct.

2 and 4 Atherden Street is included in the listing for The Rocks Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government however, it is indicative of the high cultural values of the place.

## 6.9 Building Regulations

### 6.9.1 National Construction Code (NCC) and Building Code of Australia (BCA)

The National Construction Code incorporating the Building Code of Australia (BCA) is national set of building regulations with some state-specific variations. The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works.

The performance requirements of the BCA are mandatory, although the introductory sections of the Code makes clear that not all requirements will apply to a given case. The Code also includes 'deemed-to-satisfy' requirements which are accepted as meeting the performance requirements. However, the Code also makes provision for alternative solutions to meet the performance requirements, subject to satisfactory verification.

Under the Environmental Planning and Assessment (EP&A Act) Regulation 2000, all new building work must be carried out in accordance with the Building Code of Australia. In the case of an existing building, there is generally no requirement to comply with the BCA unless works are being carried out. However, where works (in particular alterations or additions) are proposed to the place, the building will need to comply on completion with the relevant [performance] requirements of the Building Code of Australia (EP&A Act Regulation Clause 145). In addition, where an existing building has a change of use, the structural capacity and fire safety of the building must be appropriate for the new use, while for a building which

undergoes alterations without a change of use, the structural capacity and fire safety of the building not be reduced by the work (EP&A Act Regulation Clause 143).

An assessment of compliance for Avery Terrace with the NCC has not been carried out for this report. It should be noted, however, that any DA/CC application would need to comply, or be deemed to comply with the NCC. In general, when considering the NCC in heritage buildings, proposals are to ensure that significant fabric and spatial qualities are not compromised while full NCC compliance is achieved and public safety is assured.

### **6.9.2 The Disability Discrimination Act (DDA)**

Access to premises for people with disabilities, as well as being covered by the BCA, is also controlled by the Commonwealth Disability Discrimination Act (DDA) 1992. Compliance with the BCA does not necessarily signify compliance with the DDA. Compliance with the DDA can be triggered by a complaint lodged with the Australian Human Rights Commission. In 2010 the Commonwealth published the Disability (Access to Premises – Buildings) Standards. Compliance with these standards must ensure that the requirements of the Act are met.

The DDA makes it illegal to discriminate on the basis of a person's disability. The Act does not apply to private dwellings, but does apply to buildings which are expected to be used by the general public.

Heritage buildings are not exempt from meeting the requirements of the DDA. The preparation of an access action plan assists in preventing or defending a complaint under DDA. The defence of unjustifiable hardship is also available, and the Australian Human Rights Commission has ruled that heritage significance may be taken into account in this regard.

The NSW Building Professionals Board has also established an Access Advisory Committee to consider referred applications for exemptions to the Premises Code on the basis of unjustifiable hardship.

In the case of Avery Terrace, there is currently no level access to the buildings, however level access can be introduced via small temporary ramps fitted at front and rear doors into the ground floor living rooms and service areas. There is also level access to the rear yard of 2 Atherden Street via the side entrance gate and passage. Due to the small size of the terraces, it is not possible to introduce an internal lift, or stair lift into the dwellings to access the first floor bedrooms.

Due to the requirements of the DDA, the implications are that the public use of the terraces is possible but limited, and that any limited commercial, tourist or retail use of spaces within the terraces would need to obtain exemptions from this Act in order to operate.

### **6.9.3 NSW Work Health & Safety Act 2011**

The New South Wales Work Health and Safety Act, 2011 (WH&S Act) aims to secure the health, safety and welfare of people at work. It lays down general requirements, which be met at places of work in New South Wales. The provisions of the Act cover every place of work in New South Wales. The Act covers self-employed people as well as employees, employers, students, contractors and other visitors.

Avery Terrace must comply with the WH&S Act or seek alternative solutions. In the event that any part of Avery Terrace moves from residential accommodation to use as a workplace (office or retail use for example), the requirements of this Act will need to be complied with.

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## **Application of the Burra Charter**

The *Australia ICOMOS Burra Charter 2013* known as *The Burra Charter* is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national or state heritage significance are undertaken.

As Avery Terrace is of demonstrated State significance, procedures for managing changes and activities in the properties must be in accordance with the recognised conservation methodology of the *Burra Charter*. <http://australia.icomos.org/publications/charters/>

### **Cautious Approach (Article 3)**

All conservation work be based on a respect for the original fabric, involve the minimum interference to the existing fabric and not distort the evidence provided by the fabric.

### **Location (Article 9)**

A building or work should remain in its historical location.

### **Contents (Article 10)**

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

### **Change (Article 15)**

The contribution of all periods to the place be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

### **Adaptation (Article 21)**

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

### **New Work (Article 22)**

New work may be acceptable where it does not distort or obscure the significance.

New work should be readily identifiable as such on close inspection.

### **Use and Conserving Use (Article 7 and Article 23)**

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

### **Managing Change (Article 27)**

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

### **Disturbance of Fabric (Article 28)**

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

### **Responsibility for Decisions (Article 29)**

The decision-making procedure and individuals responsible for policy decisions should be identified.

### **Direction, Supervision and Implementation (Article 30)**

Appropriate direction and supervision should be maintained at all stages of the work.

### **Records (Article 32)**

A record should be kept of new evidence and future decisions and made publicly available.

**Removed Fabric (Article 33)**

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

## 7.0 CONSERVATION POLICIES

This section establishes policies and guidelines for the conservation and on-going use of the buildings in an appropriate and desirable future direction. In this way the occupants and managers of the place will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals.

Policies and Guidelines are the two basic mechanisms used to set out a management framework for the conservation and on-going use of the terrace in the context of the adaptive re-use and necessary upgrade of the various building components. A brief Background provides the context for each of the policies. The Policies identify basic conservation recommendations, which are required to be met. They are supported by Guidelines and in places they should be clearly identified by the proponent and discussed in any Development Application submission.

The policies and guidelines draw upon the work and input of all consultants and their investigations – documentary and physical.

### 7.1 Best Practice Heritage Management

#### Background

Avery Terrace has been assessed as being of state heritage significance as a late Victorian terrace that makes a strong contribution to the streetscape of the Atherden Street and is one of only four surviving late Victorian bald faced terraces, constructed in The Rocks, in the 1880s.

The principal aim for the management of Avery Terrace is to protect its heritage significance and setting. All work sit to accord with statutory procedures and current best practice in the conservation and management of heritage places.

The Rocks Heritage Management Plan (adopted in February 2002, updated 2010) has been adopted by the Foreshore Authority as the overall framework for understanding and conserving the heritage value of The Rocks. The CMP for Avery Terrace sits within this management framework and is the site specific guide for the management of the place.

The Australia ICOMOS Burra Charter 2013, known as The Burra Charter is widely accepted in Australia as a key reference by which all works to places identified as having national or state significance are undertaken. Other resources, such as those available from the Heritage Division, Office of Environment and Heritage assist in achieving best practice for specific works and management issues.

#### *Policy 1*

*The statement of significance must be adopted as the basis for heritage management. All decisions must seek to retain the values identified in this CMP.*

#### *Policy 2*

*In recognition of the state significance, Avery Terrace must be managed to ensure best practice long term conservation outcomes in accordance with statutory procedures and recognised planning and heritage principles, guidelines and methodologies.*

### **Policy 3**

*Avery Terrace, comprising two individual dwellings must continue to be managed as a single entity to ensure consistent and appropriate long term management of the whole building and its heritage fabric including its presentation and external paint colour scheme, shared rear service wing, external form and materials, rainwater disposal and other services.*

#### **Guidelines**

- The conservation management of Avery Terrace is to be consistent with the overall management framework for The Rocks contained in The Rocks Heritage Management Plan. <http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>
- The basis for all heritage management of Avery Terrace is the assessment, grading and Statement of Heritage Significance and the policies contained in this CMP.
- The principles of The Burra Charter 2013 are to guide the heritage management of Avery Terrace
- Refer to the guidelines prepared by NSW Heritage and Environment, including the NSW Heritage Manual and the guidelines referred to in this CMP.

## **7.2 Asset Management**

### **7.2.1 Sydney Harbor Foreshore management responsibilities**

#### **Background**

Avery Terrace as part of The Rocks is owned by the Crown vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW Total Asset Management (TAM) Guidelines are also recognised.

#### **Policy 4**

*Sydney Harbour Foreshore Authority shall continue to manage Avery Terrace as a single entity within the overall context of The Rocks precinct.*

#### **Guidelines**

- Conserve and manage Avery Terrace as an integrated whole. Include in this management the site and setting, the terrace itself, its planning, its original features, rear wing as well as its spatial and functional relationships and archaeology.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of landowner's consent.
- A program of regular monitoring is to be undertaken (either by the Foreshore Authority or future long-term lessees/owners), covering both the physical changes within the terraces and issues raised by tenants/occupants of the building. Findings of the monitoring are to be incorporated, where relevant, into management decisions.

### **Policy 5**

*If there is a change in ownership and/or management, Avery Terrace must continue to be managed as a single entity within the overall context of The Rocks precinct.*

*The external building form and fabric should continue to be managed as a single entity for its ongoing maintenance and for any changes to the building fabric that affects the whole.*

### **Guidelines**

- A strata plan subdivision and management for the building as ‘common property’ under the Strata Schemes Management Act with ownership of the entire building by an Owner’s Corporation would be advantageous for the management of the heritage features. This would ensure management outcomes that support the heritage values of the whole terrace and individual lot owners within a strata scheme.

All future leasing or ownership arrangements are to legally bind any future long-term lessees/owners to ongoing asset management that:

- complies with the NSW Heritage Act requirements for works approvals and minimum maintenance requirements
- sets aside appropriate funding and implements an on-going maintenance regime.
- requires that maintenance to be overseen and/or undertaken by heritage conservation professionals with qualifications acceptable to the Foreshore Authority (to be approved by the Foreshore Authority).

## **7.2.2 Total Asset Management Plans and CMPs**

### **Background**

This CMP will be one of the documents used by the asset owners, managers and tenants for management and maintenance of Avery Terrace and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and Total Asset Management (TAM) Plans.

The current SCRA scheme includes Building Site Control Drawing XXX that applies to Avery Terrace (see Figure 6.1) and other historic buildings in Atherden Street and the surrounding precinct.

### **Policy 6**

*Use this Conservation Management Plan as a basis for the future management of the building and site. This CMP must be applied within the broader context of other heritage management and asset management documents including statutory requirements.*

### **Policy 7**

*Use this Conservation Management Plan as a basis for all CMP reviews and updates and Management Plans for Avery Terrace and its site.*

### **Policy 8**

*The SCRA scheme Building Site Control Drawing ‘XXX’ that includes Avery Terrace, must be updated to show the entire footprint for Avery terrace (including the 1977 rear wing extension) as an historic item, consistent with the CMP.*

*The SCRA scheme must be amended to remove the existing development potential over Avery Terrace and to only enable single storey redevelopment on the existing footprint of the rear wing extension.*

## Guidelines

- The Foreshore Authority is to include findings of this CMP in the Foreshore Authority's asset management systems and plans, particularly TAM Plans, Maintenance Plans and lease/tenancy agreements for Avery Terrace.
- Incorporate this conservation management plan into the Total Asset Management Manual [http://www.treasury.nsw.gov.au/\\_data/assets/pdf\\_file/0015/5109/tam\\_manual.pdf](http://www.treasury.nsw.gov.au/_data/assets/pdf_file/0015/5109/tam_manual.pdf)
- Ensure that compliance with this conservation management plan is included in any lease over the place, and consider non-compliance as a material breach.
- Refer to and manage in accordance with the following documents:
  - The Rocks Heritage Management Plan (April 2010)  
<http://www.shfa.nsw.gov.au/content/library/documents/7A93098E-C368-9BBB-34657CE1392DF8B9.pdf>
  - State-Owned Heritage Management Principles  
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/stateagencyheritageguide.pdf>
  - Minimum Standards of Maintenance and Repair  
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

### 7.2.3 Adoption and Review of the CMP

#### Background

The CMP for Avery Terrace sets out a conservation management framework to ensure that the identified significance of the site is retained and conserved for the long term.

Circumstances will change over the years as various recommendations are implemented and new requirements for the use of the building emerge. Conservation policies that ensure the long term conservation of the place will need to be progressively updated to respond to changing situations so they remain relevant.

#### *Policy 9*

*All parties responsible for management of Avery Terrace are to have access to this conservation management plan and associated documents.*

#### Guidelines

- The Foreshore Authority is to make parts of this Conservation Management Plan (e.g., the statement of significance, policies, and implementation sections) a publicly accessible document, while respecting the right to privacy of the buildings' residents.
- The CMP is to be made available and distributed to:
  - The Sydney Harbour Foreshore Authority, in particular those staff responsible for day to day management and planning for the place. Make this CMP publicly available on the Foreshore Authority's website.
  - Form part of and inform any Leasehold agreements; including any updates to CMPs from time to time
  - Tenants
  - City of Sydney Library
  - Heritage Division, Office of Environment and Heritage

### **Policy 10**

*The CMP is to be reviewed every five to ten years, taking into account changes in legislation, proposed changes in use or management, or proposed alteration works.*

#### **Guidelines**

- Review of the CMP is to be based on *The Burra Charter* and other guidelines by the NSW Heritage Division, Office of Environment and Heritage.
- Reviews are to take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews are to be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Procedures for review of the CMP and for inspecting the condition of the houses is to be specifically included in future lease terms for the properties.
- Irrespective of the recommendation to review the document every five to 10 years, the currently adopted CMP is to remain as a valid basis for on-going heritage management until such reviews are completed.

### **7.2.4 Tenancy**

#### **Background**

The tenancy arrangements appear to be successful in conservation terms, and the properties are reasonably well looked after. Property managers and tenants are to be made aware of the guidelines below in order to prevent any loss of significance through accidental damage or inadvertent actions.

#### **Policy 11**

*All property managers and tenants or occupants of Avery Terrace must be made aware of the cultural significance of the building.*

*Residential tenancy agreements must clearly set out the tenant's responsibilities with regards to caring for the building fabric.*

#### **Policy 13**

*Processes for reporting maintenance issues or necessary repairs for the building must be established and made clear to each tenant and the property manager.*

#### **Policy 14**

*Tenants are to be discouraged from independently sub-letting their dwelling. Any sub-tenancy must be subject to a residential tenancy agreement similar to that for the head tenant.*

#### **Guidelines**

Due to the significance of Avery Terrace, care is to be taken to ensure that all property managers and occupants of the building agree to abide by the following guidelines:

- Telecommunications services are to be surface run in locations carefully selected to minimise visual impacts and eliminate physical impacts on the fabric of the place.
- Door leaves are to be left in situ. Tenants are not paint or polish any surfaces without first seeking specific approvals and refer all proposed works to the Property Manager.
- Tenants are to implement the policies contained in the CMP for the long term conservation of the external and internal building fabric and spaces of Avery Terrace.

- The yards are to be regularly weeded and tended. Plantings should be kept away from walls and planter boxes should not be placed on window sills.
- The existing picture pins are to be used for hanging decoration. Additional picture pins to match the existing are to be used if needed. Nails, picture rails, blue-tac, hooks, or other proprietary fixings are not be used.
- Appliances such as satellite dishes, television aerials, and window-box air conditioners are only be installed in strict compliance with the policies in the CMP, subject to required approvals.
- Drains in the yard and roof gutters are to be regularly maintained and kept clear with regular sweeping up of leaves etc.
- The rooms are to be ventilated by opening the windows on a regular basis. Particularly, the top sash must be opened to keep the pulley in workable order.

## 7.3 Documenting Change

### Background

Archival records as well as the systematic recording of work at the site are valuable resources to support and ensure the proper overall management of heritage sites. They record the environment, aesthetics, technical skills and customs associated with the creation and use of heritage items before they are altered, removed or lost either by development, incremental change or deterioration.

Well-managed records enhance the understanding of the heritage item, its significance and the impact of change as part of the conservation and management process. The reasoning behind the selection of a particular conservation approach and the methodology, and the scope of each major conservation project are to be recorded and archived. This recording of the methodology, and the scope of works are to be undertaken by a heritage professional, and form the basis of future documentation for repair and maintenance works. These records, including copies of all consultant reports are also be retained.

There is an existing substantial amount of recording of Avery Terrace already in the Foreshore Authority's archives, including comprehensive photographs and records from the 1970s and more recently which is to continue.

### *Policy 15*

*The Foreshore Authority as land owner or lessee is to continue to acquire, collate, maintain and archive the drawings, schedule of works, photos and specifications from the 1970s and 1990s work and any future works including the reasoning for particular works. These records must be placed in the Foreshore Authorities' archival storage repository.*

### Guidelines

- The Foreshore Authority as land owner or lessee is to continue regular photographic recording, before, during and after changes to the fabric.
- All changes to significant fabric is to be recorded in accordance with recording guidelines issued by the Heritage Division, Office of Environment and Heritage – How to prepare Archival Records of Heritage Items 1998.

<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infoarchivalrecords.pdf>

and

- The Photographic Recording of Heritage Items Using Film or Digital Capture 2006 <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf> prepared by the NSW Heritage Division.
- As-built records on completion of future works are to be provided to the Foreshore Authority by those undertaking the works.

## 7.4 Appropriate Conservation Skills and Experience

### Background

*The Burra Charter* encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

### Policy 16

*Appropriate conservation skills and experience is to be engaged to supervise, specify and document, and undertake works for all conservation and maintenance works to the building and components of Avery Terrace.*

### Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building will include, as appropriate, historians, researchers, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced with working on historic buildings are to be selected to work on any building or other projects are required ensuring the long term conservation of the building.
- A Heritage Consultant's Directory is maintained by the Heritage Division, Office of Environment and Heritage.  
<http://www.environment.nsw.gov.au/heritageapp/HeritageConsultantsDirectory.aspx>

## 7.5 Ownership, Participation and Approvals

### Background

Avery Terrace came under Government ownership as part of the resumptions in The Rocks and Millers Point following the plague outbreak in 1901. The site has remained in Government ownership and is now owned and managed by Sydney Harbour Foreshore Authority.

The condition of Avery Terrace is evidence of the benefits of its long-term government ownership and management. Under single government ownership there has been a continued and consistent holistic approach to conservation of the fabric and built form.

Notwithstanding the discussion above, this CMP recognises that there may be future pressure for change of ownership as the needs of public institutions change over time, and as some sites are made surplus to government requirements. These changes can threaten conservation of significance by bringing about unsuitable changes to the site. Where public

ownership is no longer feasible, responsibility for caring for the heritage values of the site are to be passed to the new owner/s.

A range of statutory controls will be needed to ensure the long term conservation, if the site and building are to be leased or sold into private ownership to ensure the integrity of the cultural significance of the building and site. Section 7.1 Best practice heritage management Policy 3 and Section 7.2, Asset Management Policy 5 discuss this issue and related guidelines that recommend strata plan subdivision in addition to heritage requirements, as the best means of ensuring that the terrace is managed as a single entity.

### **Policy 17**

*Key agencies, including the Sydney Harbour Foreshore Authority, Department of Planning and Environment, City of Sydney, and the Heritage Council of New South Wales, will use this CMP in decision making about this heritage asset.*

### **Policy 18**

*If private lease or ownership or use of Avery Terrace site and building occurs, the management principles set out in this Conservation Management Plan, shall guide its ongoing conservation and management as a single entity to ensure its long term conservation. Any proposal for change to Avery Terrace must be discussed with and agreed to by the Sydney Harbour Foreshore Authority. Reference should be made to Policies 3 and 5 and related guidelines in this CMP.*

### **Policy 19**

*All proposed work to Avery Terrace must comply with statutory requirements and conservation principles and may be subject to statutory approvals.*

*Any changes to statutory heritage listing (SHR listing) and relevant planning instruments (including the SCRA Scheme) must follow statutory processes set out under the relevant legislation and may require gazettal by the relevant Minister.*

## **Guidelines**

- Effective implementation of this plan requires agreement of objectives, processes and actions by the relevant authorities including the site owners, the Sydney Harbour Foreshore Authority, Department of Planning and Environment and the Heritage Division of the Office of Environment and heritage and NSW Heritage Council.
- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of the following consents and approvals:
  - Consent from the landowner, the Foreshore Authority.
  - Under the NSW Heritage Act, Approval under delegation from the Foreshore Authority for minor works
  - For other than minor works, approval from the Heritage Council of NSW by means of a s60 application.
  - Development approval from the City of Sydney for projects with a capital value under \$10 million.
  - Development consent from the Minister of Planning for projects with a capital value of over \$10 million, or which exceed the building envelope limits in the Sydney Cove Redevelopment Authority Scheme (SCRA)

- Appointment of a Principal Certifying Authority (PCA).
- Construction Certificates approval
- Occupation Certificate approval

The Foreshore Authority is the owner of the land and building in The Rocks, and the consent of the Foreshore Authority is required prior to lodging an application for works.

Landowner's consent is a separate process from approving the works, and the landowners consent to lodge an application is not approval to actually undertake the works. Prior to granting landowner's consent for a proposal, the Foreshore Authority in its capacity as land owner and manager, should be satisfied that there are no adverse heritage impacts associated with the proposal. Where necessary a Heritage Impact Assessment and adequate documentation of the proposed works will be required to assist in the assessment of owner's consent applications.

There are provisions for exemptions under s57(2) of the NSW Heritage Act which enables certain works to be carried out without the requirement of the NSW Heritage Council. These exemptions include minor repair and maintenance works and painting to an approved colour scheme. If proposed works are covered by a standard exemption, an Exemption Notification Form must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications. For details of the standard exemptions, refer to the Heritage Division (former NSW Heritage Office) publication *Standard Exemptions for Works Requiring Heritage Council Approval, 2009*.

There are no site specific exemptions for Avery Terrace and none are recommended for Avery Terrace in this CMP.

#### **Policy 20**

*All works to the Avery Terrace site and building must only be undertaken with consent from the landowner and the required statutory approvals.*

#### **Policy 21**

*Works to Avery Terrace must fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.*

### **Guidelines**

- Refer to the Foreshore Authority's Landowners Consent Supplementary Guide <http://www.shfa.nsw.gov.au/content/library/documents/A8D06A3F-0D3B-E978-A5AE5CA6EC529C01.pdf>
- All new work will comply with the Foreshore Authority Policies including: Lighting, Signage, Disabled Access, Telecommunications, Commercial Outdoor Seating, and Building Ventilation Installation.
- Prior to the lodgement of applications and the commencement of works the proponent is to liaise with The Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.
- The Foreshore Authority shall not give landowner's consent unless it is satisfied that an application is consistent with the applicable Policies and will not result in adverse impact on the significant of the place within the overall context of The Rocks precinct.
- Undertake initial pre-application discussions with other consent authorities to determine requirements and nature of approvals.
- Refer to the City of Sydney's Sydney Development Control Plan 2012 <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>

- Refer to the NSW Heritage Council's Standard Exemptions for Works Requiring Heritage Council Approval  
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/standardexemptions.pdf>

## 7.6 Current and Future Use

### Background

The future of Avery Terrace is linked to an appropriate use or uses for the building and site that allow it to be:

- seen as a late Victorian terrace within an historic setting that provides an understanding of the development of The Rocks generally and Atherden Street residential precinct in particular
- retains and conserves the significant fabric and elements of the place.

The key policy to achieve the ongoing conservation of Avery Terrace is to continue the residential accommodation uses for the terraces.

Commercial uses may, be appropriate but are not the preferred use, this is due to the combination of exceptional significance of the building fabric and constraints this imposes on adaptation for the introduction of commercial services, building code compliance and accessible access.

The introduction of accessible access would be required for low key commercial uses such as office accommodation, or low-scale tourist accommodation (e.g. bed and breakfast accommodation, or serviced accommodation for the entire terrace.

Accessible access can be gained via a temporary ramp at the thresholds of the front door entrances and via the rear entry of 2 Atherden Street via the side passageway to the ground floor only for these dwellings. Due to the small size of the dwellings and exceptional significance of the internal staircase, it is not possible to introduce access to the first floor via a stair lift or internal or external lift.

### *Policy 22*

*Continued use of Avery Terrace for individual residential accommodation is the preferred use.*

*Low key commercial uses such as low-scale tourism bed and breakfast accommodation or serviced accommodation, or small-scale retail or commercial office businesses, may also be appropriate, subject to approval from relevant statutory authorities.*

### Guidelines

- The requirements of residential occupants and tenants are to be balanced with the need to conserve an historic building. A preferred approach is rather than adapting the building to suit the occupants, it is important to find occupants, tenants and accommodation uses that are appropriate and willing to fit the special circumstances provided by Avery Terrace.
- Adaptation of the fabric of moderate and little significance of the rear wing extension is appropriate in order to continue the historic use of the building. This is discussed below, under Conservation of Significant Spaces.
- The introduction of new services and associated fittings in order to continue the viable use of the building as residential accommodation, or as part of an approved new

compatible use, is to be carried out with the minimum of disruption or impact on the significant fabric and spaces.

- Any new uses selected for the existing buildings shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration of the building and will not adversely impact on significant heritage fabric or spaces. The party wall separating the terraces cannot be removed to enable amalgamation for contiguous use.
- Any commercial use would need to be introduced only where the exceptional significance of the building fabric is retained, and compliance requirements for accessible access for people with disabilities and building codes can be met. Refer to following policy sections on Building Code Compliance and Accessibility.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance are not permissible.
- Off- street parking for Avery Terrace is not possible at this location.

## 7.7 Management of Significance

### 7.7.1 Conservation of Significant Fabric

#### Background

One of the key objectives of contemporary conservation practice is that the significant original fabric of the building or place is to be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, is to minimise the work and changes necessary. In this way the authenticity of the item will be retained within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and the least possible physical intervention in order not to distort the evidence provided by the fabric. Article 4 of *The Burra Charter* requires appropriate knowledge; skill and disciplines are applied to the care of the place.

Much of the building fabric of Avery Terrace both internally and externally, is of exceptional significance and is to be treated with great care. The original outbuildings including an external laundries and WCs were demolished and replaced with a rear wing extension constructed 1975, to house internal laundries and bathrooms. At this time the original rear wing kitchen was internally modified and the kitchen hearth was largely removed and bricked up.

The exceptional and highly significant fabric is to be conserved in accordance with recognised conservation principles and procedures included in the Australia ICOMOS *Burra Charter* 2013; where conservation includes all of the processes in looking after a place including maintenance, preservation and interpretation including restoration and reconstruction.

### **Policy 23**

*All original fabric dating from c1881 and reconstructed fabric rated as exceptional and high significance must be preserved, conserved and maintained.*

*Alterations and change to the rear wing extension is permissible for fabric of moderate or little significance.*

### **Policy 24**

*Fabric must be preserved and conserved in accordance with Section 5 and section 7.7 of this CMP.*

## **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The significant form, fabric and spaces that comprise the architectural character of Avery Terrace along with the site, setting and archaeological resources is to be retained and conserved.
- Considering the relative significance of building elements listed in Section 5, the following policy for treatment of the fabric is considered appropriate:
  - The conservation, adaptation and maintenance of Avery Terrace is to be approached with the general Burra Charter principle of changing as *much as necessary but as little as possible*.
  - Structural alteration to the building components, which impact on the integrity or significance of Avery Terrace, is not occur.
  - Adaptation of the building's interior is to ensure that the original fabric or significant architectural and spatial features are retained and interpreted.
  - The detailed requirements of any ongoing or new uses is not generate unacceptable impacts or changes to the existing fabric, and is to respect and work within the existing architectural framework.
  - Introduced fabric rated of moderate or little significance can be replaced, such as the periodic need to update kitchen and bathroom fit outs.

## **7.7.2 Conservation of Significant Spaces**

### **Background**

The significance of Avery Terrace and its setting is that it is extremely intact externally and internally. The original design and detailing of the main two storey building and rear wing kitchen are intact.

The spatial qualities of built form of the main terrace building and attached rear wing are of exceptional significance, while the actual 1975 form and fabric of the rear wing extension which incorporates parts of the original outbuildings and WC, is readily visible from Gloucester Walk. The rear wing extension for the laundries and bathrooms is of moderate significance, reflecting its status as a 1975 adaptation to the original built form of the rear wing.

### Policy 25

*The spatial qualities of the two storey main building and original single storey rear wing kitchen, and architectural design and detailing of Avery Terrace, contribute to its significance and interpretation, and must be conserved as part of the on-going use, ongoing management and future development strategy. Refer to section 5 site and floor plans.*

#### Guidelines

- The existing plan form and internal rooms of the main building of Avery Terrace, the front two rooms on the ground floor and first floor and rear wing containing the kitchen is to be retained.
- No internal subdivision of internal room spaces is appropriate in the front portion of the building.

### 7.7.3 Element specific policies

#### Background

In addition to the general policies set out in 7.7.1 and 7.7.2, element specific policies are set out in this section.

#### Policy 26

*Surviving historic built fabric and other site elements shall be retained and conserved in accordance with the levels of significance identified in Section 5 of this CMP and managed in accordance with the significant element policies below and in Section 8.0 of this report.*

*All conservation works and adaptive reuse works may be subject to statutory approvals.*

#### Guidelines

- The following schedule sets out recommended conservation actions for specific elements of Avery Terrace.

<b>Policies for significant elements</b> Avery Terrace, 2 and 4 Atherden Street		
Element	Significance	Policy
<b>EXTERIOR</b>		
<b>ATTRIBUTES &amp; ARCHITECTURAL STYLE</b>		
Visual and physical relationship with Playfair Terrace on Atherden Street. Original	Exceptional	Retain and conserve
Visual and physical relationship and contribution to the group of 19 <sup>th</sup> century residential buildings along Atherden Street, Playfair Street and George Street. Original	Exceptional	Retain and conserve
Late Victorian bald faced style indicators and terrace form (including raised parapet, form of main roof and pattern of openings and restrained detailing) Original	Exceptional	Retain and conserve
External paint colour scheme, based on colour scape analysis	High	Retain and conserve

Wall lighting goose neck bracket with conical lamps and services fixed to the facades 1990s	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Gutters and downpipes c1995	Moderate	Replace as required with fabric to match existing.
<b>SITE</b>		
Low potential for state significant below ground and above ground archaeological resources. Refer to sections 3.4 and 5.3.	Exceptional	Evidence of former structures in the backyard. Roof, under-floor and between floor spaces may contain archaeological deposits, however, it is more likely that such deposits were removed during renovations in the 1975 and 1995.
Sandstone kerb along Atherden Street Original	Exceptional	Retain and conserve.
Sandstone paving outside front doors c1995	Moderate	Replace as required with fabric to match existing
Paving to rear courtyards c1995	Little	Replace as required with fabric that is sensitive to the cultural significance of the place
Timber paling side and rear fences c1995	Moderate	Replace as required with fabric to match existing
Original vertical timber panel side door and infill panel surround next to escarpment c1995.	Exceptional/moderate	Retain and conserve original door. Repair/replace infill panel fabric as required with fabric to match existing

**Policies for significant elements**

**Avery Terrace, 2 and 4 Atherden Street**

Element	Significance	Policy
<b>EXTERIOR</b>		
<b>ATHERDEN STREET (SOUTH) FACADE</b>		
Overall height, scale and configuration. Original	Exceptional	Retain and conserve.
Side walls and central party walls – stuccoed brick construction, parapet and chimneys Original	Exceptional	Retain and conserve.
Corrugated iron roof cladding and terracotta chimneys pots c1995	High	Retain and conserve. Replace as required with fabric to match existing
Stuccoed façade, ashlar coursing (excluding painted finish) Original	Exceptional	Retain and conserve.
Rendered details, string course, corbel mouldings Original	Exceptional	Retain and conserve.
Sandstone base/ plinth course and window sills Original.	Exceptional	Retain and conserve.
Pattern of openings original	Exceptional	Retain and conserve.

Windows it's timber frame, double hung sash, stone sills and sill brackets and hardware <i>Original</i>	Exceptional	Retain and conserve.
Entry Doors, top light and associated framing, and hardware (knob, letter box flap, knocker) and thresholds. 2- Original 4 - reconstruction	Exceptional/High	Retain and conserve.
D/G01; timber framed screen door (not shown on elevation) Early to mid -20 <sup>th</sup> century	Moderate	Can be adapted or removed... Replace if required with fabric that is sensitive to the cultural significance of the place
Gutters, downpipes and rainwater head c1995	Moderate	Replace as required with fabric to match existing
Metal air grilles Two types – 19th century	Exceptional	Retain and conserve.
Terracotta wall vents Two types – mid 20 <sup>th</sup> century	Moderate	Retain and conserve, can be adapted. Replace as required with fabric that is sensitive to the cultural significance of the place.
Security grilles to windows – fitted internally and externally c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place

**Policies for significant elements**

Avery Terrace, 2 and 4 Atherden Street

Element	Significance	Policy
<b>EXTERIOR</b>		
<b>SIDE AND REAR (EAST, WEST AND NORTH) FACADES</b>		
Overall height, scale and configuration, high visibility of roof and rear from Gloucester Walk <i>Original</i>	Exceptional	Retain and conserve.
Overall height, scale and configuration <i>Original</i>	Exceptional	Retain and conserve.
Pattern of openings to kitchen and main building <i>Original</i>	Exceptional	Retain and conserve.
Pattern of openings to laundry and bathroom addition 1975	Moderate	Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.
Parapet side and central party walls form and chimneys to main building and rear wing kitchen, original	Exceptional	Retain and conserve.
Corrugated iron roof cladding, timber fascias and terracotta chimneys pots to main building and rear wing kitchen, c1995	High	Retain and conserve. Replace as required with fabric to match existing.
Corrugated iron cladding and timber fascias to rear wing extension over laundry and bathroom roof, c1995	Moderate	Replace as required with fabric to match existing. Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.

Stuccoed façades, ashlar coursing (excluding painted finish) to main building and rear wing kitchen, original	Exceptional	Retain and conserve.
Original sections of brickwork on external north wall and internal party wall incorporated into current walls	Exceptional	Retain and conserve.
New external brick walls to rear wing extension for laundry and bathroom	Moderate	Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.
Sandstone base/ plinth course and window sills original to main building and rear wing kitchen	Exceptional	Retain and conserve.
Double hung sash windows, timber frame, stone sills and hardware to main building and rear wing kitchen, original	Exceptional	Retain and conserve.
Double hung sash windows to laundry and bathroom 1975	Moderate	Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.
External doors to kitchen and associated framing, and hardware and thresholds, original	Exceptional	Retain and conserve.
Additional framing external kitchen door to 2 Atherden Street (not currently used), 20 <sup>th</sup> century modification	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Awning over external kitchen door, framing and sheeting. 20 <sup>th</sup> century addition	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Gutters, downpipes and rainwater head c1995	Moderate	Replace as required with fabric to match existing
Wall lighting goose neck bracket with conical lamps and services fixed to the facades c1990s	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Metal air grilles Two types – 19th century	Exceptional	Retain and conserve.
Terracotta wall vents - Two types – mid 20 <sup>th</sup> century.	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Security grilles to windows – fitted externally c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place
Pipes and other services, various, late 20 <sup>th</sup> century.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Metal clasps and other fixtures, various, late 20 <sup>th</sup> century	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

<b>Policies for significant elements</b> Avery Terrace, 2 Atherden Street		
Element	Significance	Policy
<b>INTERIOR – GENERALLY</b>		
Internal spatial organisation and adjoining residence mirror reverse in plan, two storey main building and single storey rear wing kitchen. Original c1881 Rear wing extension for bathroom and laundry constructed c1997 incorporating c1881 outhouse	Exceptional/  Moderate	Retain and conserve.  Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.
<b>INTERIOR – GROUND FLOOR</b>		
<b>FRONT LIVING ROOM (A-A-0001)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve.
Timber floor framing replaced	High	Retain and conserve.
Replacement narrow floorboards, gloss polyurethane finish c1995	Moderate	Repair/ replace as required. Can reconstruct with wide timber floor boards and Tung oil finish to match original
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish) original	Exceptional	Retain and conserve.
Ceiling – replaced plaster sheeting with timber battens (no cornices) c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling rose – plaster original reinstated when ceiling replaced	Exceptional	Retain and conserve.
Timber joinery – Original internal timber four panel Victorian door between living and dining room and hardware – original door and window architraves and skirting with quad bead at floor Original double hung sash window, frame and architrave, post 1975 hardware Some hardware doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and	Exceptional	Retain and conserve.
Victorian cast iron fireplace and grate incomplete, timber mantel piece and painted	Exceptional	Retain and conserve.
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs and phone lines, modern directional, chrome lighting (inappropriate to style of house); cord, rose and knobs for light pull switches (1996); plastic light switch plate c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Plaster wall vents original	Exceptional	Retain and conserve.

Square wall vents, Mid-20 <sup>th</sup> century	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
<b>REAR DINING ROOM (A-A-0002)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve.
Timber floor framing. Under floor access hatch installed 1975.	High	Retain and conserve.
Original wide timber floorboards with new narrow board repairs, polyurethane finish	Exceptional	Retain and conserve. Repair/replace as required. Can reconstruct with wide timber floor boards and Tung oil finish to match original
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish) original with repairs	Exceptional	Retain and conserve.
Internal timber four panel Victorian door between living and dining room and	Exceptional	Retain and conserve.
Timber joinery – door and window architraves, timber skirtings with repairs,	Exceptional	Retain and conserve.
Timber double hung sash windows and frames and architraves and replacement hardware, Original and post 1975	Exceptional	Retain and conserve.
Staircase – see A-ST-01 below. Original with repairs	Exceptional	Retain and conserve.
Under stair cupboard – vertical timber panels and door, Original with repairs	Exceptional	Retain and conserve.
Ceiling – replaced plaster sheeting with timber battens (no cornices) Replaced c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling rose – plaster original reinstated	Exceptional	Retain and conserve.
Victorian Cast iron fireplace and grate, timber mantel piece and painted stone hearth, Original with repairs.	Exceptional	Retain and conserve.
Plaster wall vents original	Exceptional	Retain and conserve.
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs and phone lines, cable TV	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

REAR WING KITCHEN (A-KT-01)		
Overall space, height, scale and configuration original	Exceptional	Retain and conserve.
Concrete slab floor 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Vinyl tile floor finish c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall brick and finish (excluding paint finish) original	Exceptional	Retain and conserve.
Original splayed render skirting and timber skirting c1995.	Exceptional/ Moderate	Retain and conserve. Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall and door between laundry and bathroom 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
External timber four panel Victorian door, original threshold original and hardware - original hinges; reproduction lock to <del>lockdown (1996)</del>	Exceptional	Retain and conserve.
Timber framed double hung sash window original with replaced hardware 1975	Exceptional	Retain and conserve.
Timber joinery – door and window architraves, reconstructed 1975	High	Retain and conserve.
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place
Remnants of kitchen hearth brickwork on north wall original	Exceptional	Retain and conserve.
Wall vents decorative plaster original	Exceptional	Retain and conserve.
Square wall vents mid-20 <sup>th</sup> century	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Kitchen fit out c1995	Little	Can be adapted or removed.
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs, plumbing and services	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

REAR WING LAUNDRY (A-OP-01)		
Overall space, height, scale and configuration constructed 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Concrete slab floor 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Vinyl tile floor finish c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Original brick wall and kitchen hearth remnants. infill central party wall constructed 1975	Exceptional/Moderate	Retain and conserve. Infill wall - Replace if required with fabric that is sensitive to the cultural significance of the
New external brick wall to rear wing extension for laundry and bathroom	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall between laundry and bathroom constructed 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal timber sliding door between laundry and bathroom and skirtings 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Timber double hung sash window and architraves 1975	Moderate	Can be adapted or removed. Replace with fabric that is sensitive to the cultural significance of the place.
Ceiling – plaster board and timber quad cornice 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Laundry fit out and shelving c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Light fitting c1997	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs, plumbing and services, hot water service	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
REAR WING BATHROOM (A-TU-01)		

Overall space, height, scale and configuration, constructed 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Concrete slab floor 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Tile floor finish, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Remnants of original brick wall north east corner of original 1881 outhouse and new brick external wall, 1975.	Exceptional/ Moderate	Retain and conserve. New brick wall - Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Internal wall between bathroom and laundry, skirting	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Internal timber sliding door between laundry and bathroom 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Timber double hung sash window and architraves 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling – plaster board and timber quad cornice 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Bathroom fit out and shelving c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Electrical GPOs, plumbing and services,	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

<b>Policies for significant elements</b> Avery Terrace, 2 Atherden Street		
Element	Significance	Policy
<b>INTERIOR – FIRST FLOOR</b>		
<b>FRONT BEDROOM (A-A-0001)</b>		
Overall space, height, scale and configuration original	Exceptional	Retain and conserve
Timber floor framing and original wide floorboards, Tung oil finish. Original and repaired.	Exceptional	Retain and conserve.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish). Original with repairs.	Exceptional	Retain and conserve
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices) c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling rose – plaster and vented reinstated original	Exceptional	Retain and conserve
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and skirting original with repairs 1975 Timber framed double hung sash windows and frames and architraves original with replaced hardware Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door	Exceptional	Retain and conserve
Victorian cast iron fireplace and grate with infill panel behind, timber mantel piece and painted stone hearth Original with repairs.	Exceptional	Retain and conserve
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Plaster wall vents original	Exceptional	Retain and conserve
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

REAR BEDROOM (A-A-0002)		
Overall space, height, scale and configuration	Exceptional	Retain and conserve
Timber floor framing and original wide floorboards, Tung oil finish, Original and repaired.	Exceptional	Retain and conserve.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish), Original with repairs.	Exceptional	Retain and conserve
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices), c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling rose – plaster and vented, Original reinstated	Exceptional	Retain and conserve
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and original skirting original with repairs with quad mould (c1995). Timber double hung sash windows, frames and architraves Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Retain and conserve
Vertical timber framed and panelled internal wall. Original with repairs. Cupboard added in 1975.	Exceptional/ Moderate	Retain and conserve Can be adapted or removed.
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Plaster wall vents original	Exceptional	Retain and conserve
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
STAIRCASE (A-ST-01)		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve
Original timber winding staircase with timber stringer, newel post and simple square balusters, timber treads and risers. (Excluding paint to risers and treads stripped and finished with polyurethane to stairs). Original and repaired.	Exceptional	Retain and conserve
Timber handrails additions 1975.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

Ceiling – flat plaster (no cornices) - possibly repaired or replaced 1975 or 1995	Exceptional	Retain and conserve
Lighting and services	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

**Policies for significant elements**

**Avery Terrace, 4 Atherden Street**

Element	Significance	Policy
<b>INTERIOR – GENERALLY</b>		
Internal spatial organisation and adjoining residence mirror reverse in plan, two storey main building and single storey rear wing kitchen. Original from 1881. Rear wing bathroom and laundry addition, Extension constructed 1975 incorporating c1881 outhouse	Exceptional/  Moderate	Retain and conserve  Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
<b>INTERIOR – GROUND FLOOR</b>		
<b>FRONT LIVING ROOM (B-A-0001)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve
Timber floor framing and narrow floorboards, gloss polyurethane finish, c1995	Moderate	Replace as required with fabric to match existing. Can reconstruct with wide timber floor boards and Tung oil finish to match original.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish), Original with repairs	Exceptional	Retain and conserve
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices), c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling rose – plaster original reinstated	Exceptional	Retain and conserve
Timber joinery - Internal timber four panel Victorian door between living and dining room and hardware – door and window architraves and skirting original with repairs with quad bead at floor, c1995 Timber double hung sash windows, frames and architraves. Some hardware on windows and doors appears original; original door rim locks noted as reinstated in 1975. Specification for 1995/6 upgrade were to be cleaned and	Exceptional	Retain and conserve
Victorian cast iron fireplace and grate incomplete, timber mantel piece and painted stone hearth, Original with repairs.	Exceptional	Retain and conserve

Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs and phone lines, modern directional, chrome lighting (inappropriate to style of house); cord, rose and knobs for light pull switches (1996); plastic light switch	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Square wall vents, Mid-20 <sup>th</sup> century	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
<b>REAR DINING ROOM (B-A-0002)</b>		
Overall space, height, scale and configuration	Exceptional	Retain and conserve
Timber floor framing repaired c1995, under floor access hatch installed 1975.	High	Retain and conserve
Original wide timber floorboards with replacement wide board repairs, polyurethane finish.	Exceptional	Retain and conserve. Repair as required with fabric to match existing and Tung oil finish.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish)	Exceptional	Retain and conserve
Internal timber four panel Victorian door between living and dining room and hardware, original Timber double hung sash window, frame and	Exceptional	Retain and conserve
Timber joinery – door and window architraves original with repairs, timber	Exceptional	Retain and conserve
Staircase – see B-ST-01 below. Original with repairs	Exceptional	Retain and conserve
Under stair cupboard – vertical timber paneling and door, Original with repairs	Exceptional	Retain and conserve
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices)m c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling rose – plaster original reinstated	Exceptional	Retain and conserve
Victorian Cast iron fireplace and grate, timber mantel piece and painted stone hearth, Original with repairs	Exceptional	Retain and conserve
Plaster wall vents original	Exceptional	Retain and conserve
Light fitting 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

Electrical GPOs and phone lines, cable TV and shelving	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
REAR WING KITCHEN (B-KT-01)		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve
Concrete slab floor	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Floor tiles, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
External and internal wall brick finish (excluding paint finish), original	Exceptional	Original. Good condition
Splayed render skirting original with timber block c1995	Exceptional/ Moderate	Retain and conserve Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall and door between laundry and bathroom, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
External timber four panel Victorian door, threshold and hardware - original hinges; reproduction lock to backdoor (1996), towel rail fixed to top rail	Exceptional	Original. Good condition.
Timber framed double hung sash window with replaced hardware	Exceptional	Original. Good condition.
Timber joinery – door and window architraves	Exceptional	Original. Good condition
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices), c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Remnants of kitchen hearth brickwork on north wall, bricked up c1975.	Exceptional	Original. Good condition.
Plaster wall vents	Exceptional	Original. Good condition
Kitchen fit out c1995 - Melamine finished <i>Customwood</i> cupboard and drawer units with Hoop Pine fronts (painted); Brush box bench top; stainless steel sink and Brush box splashback (all 1996 refit)	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

Electrical GPOs, plumbing and services	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
<b>REAR WING LAUNDRY (B-OP-01)</b>		
Overall space, height, scale and configuration, 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Concrete slab floor, 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Floor tiles, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Original brick wall and kitchen hearth remnants. Infill central party wall constructed 1975	Exceptional/Moderate	Retain and conserve Infill wall - Replace as required with fabric that is sensitive to the cultural significance of the place
External new brick wall for the rear wing extension for laundry and bathroom, 1975		Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall between laundry and bathroom constructed 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal timber door between laundry and bathroom	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Timber skirtings, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Timber double hung sash window and architraves, 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling – plasterboard and timber quad cornice	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Wall vents , mid-20 <sup>th</sup> century	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Laundry fit out and shelving, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Electrical GPOs, plumbing and services, hot water service	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
REAR WING BATHROOM (A-TU-01)		
Overall space, height, scale and configuration, 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Concrete slab floor, 1975	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Tile floor finish, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Remnants of original brick wall north east corner of 1881 outhouse. 1975 brick walls for rear wing extension	Exceptional/ Moderate	Retain and conserve. Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal wall between laundry and bathroom constructed c 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Timber double hung sash window and architraves, 1997	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Timber door between bathroom and laundry, c1997	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Ceiling – plaster board and timber quad cornice, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Bathroom fit out and shelving, c1995	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the

Electrical GPOs, plumbing and services,	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place

<b>Policies for significant elements</b> Avery Terrace, 4 Atherden Street		
Element	Significance	Commentary
<b>INTERIOR – FIRST FLOOR</b>		
<b>FRONT BEDROOM (B-A-0001)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve
Timber floor framing and original wide floorboards, Tung oil finish, original and repaired	Exceptional	Retain and conserve. Repair as required with fabric to match existing.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish), Original with repairs.	Exceptional	Retain and conserve
Ceiling – replaced fibrous plaster sheeting with timber battens (no cornices), c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling rose – plaster, vented, original reinstated	Exceptional	Retain and conserve
Timber joinery - Internal timber four panel Victorian door and hardware – door and window architraves and skirting original with repairs Timber double hung sash windows, frames and architraves with replaced hardware. Original with repairs Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Retain and conserve
Victorian cast iron fireplace and grate with infill panel behind, and painted stone hearth all original with repairs; timber mantel piece 1975	Exceptional	Retain and conserve
Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

Antenna cabling in fireplace	Intrusive	Should be removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Plaster wall vents, original	Exceptional	Retain and conserve
Internal paint colour scheme. Repainted 2014.	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

<b>REAR BEDROOM (B-A-0002)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve
Timber floor framing and original wide floorboards, Tung oil finish, Original with repairs.	Exceptional	Retain and conserve. Repair as required with fabric to match existing.
Internal wall plaster finish and vertical staff bead on margins of the chimney breast (excluding paint finish), Original with repairs.	Exceptional	Retain and conserve
Ceiling – replaced plaster sheeting with timber battens (no cornices), c1916	Moderate	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling rose – plaster, vented, original reinstated	Exceptional	Retain and conserve.
Timber joinery – Original with repairs internal timber four panel Victorian door and hardware – door and window architraves and original skirting with quad mould (c1995). Some hardware on windows and doors appears original; original rim locks noted in specification for 1995/6 upgrade were to be cleaned and coated in 'Blac-It'; milled-edge brass door handles (1996)	Exceptional	Retain and conserve.
Vertical timber framed and panelled internal wall. Original with repairs. Cupboard added in 1975.	Exceptional/ Moderate	Retain and conserve Can be adapted or removed.
Light fitting, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Electrical GPOs and phone lines; cord and knobs for light pull switches (1996); plastic light switch plate	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Wall vents original	Exceptional	Retain and conserve.
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
<b>STAIRCASE (B-ST-01)</b>		
Overall space, height, scale and configuration, original	Exceptional	Retain and conserve.

Original timber winding staircase with timber stringer, newel post and simple square balusters, timber treads and risers. (Excluding paint to risers and treads stripped and finished with polyurethane to stairs).	Exceptional	Retain and conserve.
Timber handrails additions 1975. Skirting in stair cupboard replaced in 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Ceiling – flat plaster (no cornices) - possibly repaired or replaced 1975 or 1995	Exceptional	Retain and conserve.
Lighting and services, 1975	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.
Internal paint colour scheme. Repainted 2014	Little	Can be adapted or removed. Replace as required with fabric that is sensitive to the cultural significance of the place.

## 7.8 New Works Policies

### 7.8.1 Integration of New Work

#### Background

Because of the state significance of Avery Terrace and its external and internal intactness, scope for new works is limited. The rear wing extension and in particular fabric constructed 1975 or later can be demolished and replaced with a single storey addition in the same footprint.

Within the general principles outlined in this Conservation Management Plan, some relatively minor internal alterations could occur within the rear wing kitchen of the terrace. Any new work is to be carefully designed and integrated with the original character of the significant components.

#### *Policy 27*

*The introduction of new fabric must be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. All new work must be removable or capable of being removed without damage or adverse impact to significant fabric or spaces.*

#### *Policy 28*

*The rear wing extension to Avery Terrace is rated as being of moderate significance overall, while sympathetic to the original building form, the fabric of moderate significance may be retained, removed or replaced with a single storey rear wing addition in the same footprint, subject to Heritage Act approval.*

#### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Apart from alterations to the rear wing extension, no other external alterations or additions to the main building, roof or rear wings is permissible.

- Any new work is to be carried out within the existing building footprint of the rear wing extension.
- Only minor internal alterations in the rear wing kitchen can be undertaken.
- No dormer windows can be added.
- No decks verandahs or balconies can be introduced.
- Security grilles can be fitted to the windows and doors and should be fixed to the inside of the openings.
- Flat skylights may be added to the single storey rear wing, however their design and location is to be considered in the context of overlooking from Gloucester Walk.
- The kitchen, bathroom, and laundry fit outs may be updated from time to time. These functions should continue to be located in the rear wings of each of the terrace houses; however, the fabric of moderate significance in the rear wings may be internally reconfigured and not to adversely impact on fabric of high or exceptional significance.
- Small temporary structures such as free standing single storey sheds or rainwater tanks may be erected on existing concrete pad footings in the rear yards, but is not to be visible from the street frontage or Gloucester Walk.
- Period detailing is to be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- Existing ceiling heights should be retained.
- Careful detailing is to ensure significant fabric is not damaged and is to allow for reversibility.
- New work should be identifiable as new work and not visually dominate over existing elements and should be reversible so that it can be removed without damaging heritage fabric.
- Contemporary materials and design may be used for new work, and designed in a manner in which its location, form, scale, grain, colour and texture respond to the original fabric and spaces.
- The Heritage Council's publication *Design in Context* should be consulted. It provides guidelines for the design of infill and additions to heritage buildings.

<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

## 7.8.2 Integration of Services

### Background

It is recognised that service and safety features need to be updated in heritage buildings and that future upgrades may be necessary. Limited minor changes to existing fabric for practical reasons such as the installation of new services, and sustainability upgrades, and the need to meet statutory requirements, may be required in order to continue the viable use of the building.

The preferred approach is rather than adapting the building to suit the occupants, it is important to find occupants who are willing to live and use the heritage building and circumstances provided by Avery Terrace.

New services are to be designed to be unobtrusive and to have no or minimum impact upon heritage fabric. Reverse cycle air conditioning, for example will be difficult to install without some impact upon the building fabric, which should be minimised.

Consult with the BCA consultant about suggestions on how to achieve performance based solution to minimize heritage impacts.

### **Policy 29**

*The extension or alteration of existing services in Avery Terrace must not have a detrimental impact on the significance of the building components, or as a whole.*

### **Policy 30**

*Remove redundant or intrusive service runs where possible. To minimise impact and loss of original fabric, the replacement of services, such as wiring and plumbing, use existing service routes/ducts or replace existing surface mounted services without damaging or removing fabric. Services must not discharge liquids (such as condensate) or gases that will cause damage to significant fabric.*

### **Policy 31**

*New services must be installed inconspicuously without further damage to significant fabric, and must be grouped together to minimise impacts. Any penetrations through heritage fabric for supply and waste pipes and mechanical ducts must be minimised.*

### **Policy 32**

*Proposed locations for services must be clearly identified on all proposal drawings for new works.*

## **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Any proposed upgrading of services is to be carefully planned. The preparation of schematic layouts is not sufficient: service routes are to be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to a proper approval process and will need an assessment of the impact of new services in a heritage impact statement.
- Services are to be surface-run as a general principle, as the chasing of walls or other significant fabric is not acceptable. This includes avoiding excavation of potential archaeological deposits below floors
- Areas previously modified for services are to be re-used, in preference to modifying intact fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters, television aerials, satellite dishes, or service components are to be fixed to the

building or visible from the street frontage, or Gloucester Walk.

- Brackets or fixings for services are not to damage significant fabric.
- Ceiling fans may be installed in the central light fittings with surface-run conduits or conduits through the ceiling spaces.
- Additional power points can be added to the skirting boards.
- Light fittings and switches are not significant and can be changed using existing outlets. It is not possible to add a false ceiling for down lights.

## 7.9 Building Code Compliance

### Background

The National Construction Code (NCC), incorporating the Building Code of Australia (BCA) has been adopted in NSW planning and building legislation as the technical standard for design, construction and operation of buildings. The NCC also includes the National Plumbing Code and is planned to incorporate other similar codes and Australian Standards by reference. The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of their disability.

The preferred long term use for Avery Terrace is for it to remain as residential accommodation, as this will not require intervention for current code compliance.

Should Avery Terrace become a publicly accessible building, key issues of BCA compliance such as fire resistance, egress provisions, and disabled access and facilities are to be addressed in ways that do not adversely impact on the significance of the building fabric and spaces and overall setting. It is essential that the cultural values of the building not be degraded by inappropriate responses to meet ordinance requirements. However, given the siting and nature of the building, upgrading to meet code compliance does not appear to be readily achievable without unacceptable impact on significant fabric. Therefore, alternative solutions are to be used.

### Policy 33

*Approaches to compliance with building codes for the upgrading and re-use programs for Avery Terrace must focus on responding to the spirit and intent of the ordinances if strict compliance would adversely impact on significance. The building should not be used for any purpose for which the building code compliance will result in a major adverse impact on the building.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Conservation and on-going use programs are not to place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.

### Fire resistance

- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.

- Future upgrades of the buildings take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric (through fire engineering analysis or the judicious use of intumescent paint finishes for example).

## 7.10 Accessibility

### Background

The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the Act requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA does not require equitable access to be provided to single dwellings, although occupants may wish to provide it for their own use. If change of use is proposed, other than as a single dwelling, it is likely the DDA will apply, and heritage places are not exempt from it, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship.

Should Avery Terrace become a publicly accessible building, key issues for the provision of accessible access and facilities may need to be addressed. It is essential that the state significance values of the building fabric spaces and overall setting are not be degraded by inappropriate responses to meet ordinance requirements.

### *Policy 34*

*An equitable access solution to the front entries of Avery Terrace must be achieved with an acceptable intervention that does not adversely impact on the significant building fabric and setting.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The preferred use for Avery Terrace is for continuing residential accommodation, as this will not require intervention for accessibility.
- An accessible access strategy should be developed by professionals experienced in this field for the entire building. This will avoid piecemeal and incremental improvements and provide solutions that are appropriate to the heritage values and that are also reversible.
- Reference should be made to the Heritage Council publication *Improving Access to Heritage Places* and *Access for All to Heritage Places* produced by the heritage Council of Victoria.
- As outlined earlier in this CMP, it is possible to provide disabled access to the ground floor of Avery Terrace for physically disabled persons in accordance with the DDA through the introduction of removable and temporary ramps. Permanent equitable access cannot be achieved without compromising or potentially damaging or detracting from significant heritage fabric on the main street front elevation.

- Accessible access via the side passage into the rear yard of 2 Atherden Street is current possible. There is currently no accessible access into the rear yard of 4 Atherden Street, but could be achieved via the side passage via 2 Atherden Street, if the dividing fence was removed, (and possibly replaced with a gate). Refer to site plan at Figure A in the FAQs.
- Any solution should not require major interventions into highly significant building fabric or any unacceptable and adverse impacts on the streetscape setting for Avery Terrace. For this reason, any commercial uses which require public access to the building are not preferred uses.

## 7.11 Setting, Views and Adjacent Sites

### Background

The aesthetically distinctive townscape of The Rocks is characterised by a richly eclectic mix of residential, commercial, retail and tourism structures and uses, covering a similarly rich chronology of time periods from the mid-19<sup>th</sup> to the early 21<sup>st</sup> centuries. The distinguishing character of The Rocks is the combination of small buildings and the sandstone cliffs. Avery Terrace makes a significant contribution to the largely 19th century streetscape of Atherden Street set against the backdrop of the natural sandstone escarpment on its western boundary.

Avery Terrace has a highly visible roofscape and building form that is overlooked from Gloucester Walk. It has oblique views along Atherden Street and to and from George Street. The rear yards of Avery Terrace adjoin the rear yards of Sergeant Majors Row on George Street. All of the terraces currently retain the residential lots associated with the terrace housing.

Avery Terrace is one of only four externally and mostly internally intact examples of this architectural style, other notable contemporary examples of this style in The Rocks are Playfair Terrace opposite and Argyle Terrace in neighbouring Playfair Street.

The curtilage or SHR heritage listing boundary for Avery Terrace includes all of the current site area as well as the front door paving stones that are set into the footpath; that is Lot 7 of DP258607 and part of Lot 7 of DP264080, refer to figure 1.7.

The setting for Avery Terrace includes the surrounding area required for the retention of significant views and the visual setting of the heritage item.

The setting for Avery Terrace is shown in blue on figure 4.1. It includes the rear yards of terraces at Sergeant Majors Row at 33-41 George Street (SHR # 01579) and the terraces at 29-31 George Street (SHR #01608), the building at 6-8 Atherden Street (not SHR listed), across Atherden Street and along the northern wall of the Old Sydney Holiday Inn at 55 George Street (SHR #01566), across Playfair Street and along the frontage of Playfair's Terrace at 1-7 Atherden Street.

### **Policy 35**

*The setting for Avery Terrace, including key views along Atherden Street, towards George Street and from Gloucester Walk must be conserved.*

### **Policy 36**

*The natural sandstone escarpment that forms the western site boundary to Avery Terrace should be retained and conserved. Views along Atherden Street from George Street to the sandstone escarpment should be maintained.*

### **Policy 37**

*Any proposal for new development in adjacent sites must ensure that an appropriate setting for Avery Terrace and its surrounding streetscape context of the late Victorian terrace buildings is maintained.*

*The potential impact of new development on the significance and setting of Avery Terrace and its settings must be considered in accordance with statutory requirements.*

### **Guidelines**

- Avery Terrace is to retain the identified setting of the current yards and front door paving stones in the footpath on Atherden Street to allow for ongoing use and interpretation of the terraces.
- Any new adjacent developments should refer to the Heritage Council publication Design in Context for guidance on new development in conservation areas.  
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>
- The high visibility of Avery Terrace, its roof, external rear and side elevations particularly from Gloucester Walk above the escarpment, means that any changes to the external building fabric and form will be evident and cannot be easily hidden from public view. All proposed external changes will need to be considered within this context.

## **7.12 Sustainability**

### **7.12.1 Thermal comfort in heritage buildings**

#### **Background**

In 2009 the Foreshore Authority adopted a Sustainability Policy. The Policy is currently being reviewed and updated. By 2020, the Foreshore Authority aims to reduce the carbon footprint of its precincts by 80% compared to 2001 levels and:

- reduce potable water consumption by 80 per cent compared to 2001 levels
- recycle or compost 80 per cent of all waste generated in its precincts
- procure 80 per cent of all products from recycled or sustainable sources.

In its aim for a socially inclusive and sustainable community the Foreshore Authority:

- Acknowledges its responsibility to protect heritage buildings and their cultural significance on behalf of the people of NSW.
- Aims to provide improved tenant amenity through improved air quality, comfort levels and natural light, in ways that support heritage considerations.

In line with this Policy the Foreshore Authority has adopted a Sustainable Development Fit-out Guide which aims to reduce the environmental impact of new construction and building fit-outs. It has been shown that the implementation of the measures outlined in the Fit-out

Guide reduce operational costs and improve indoor environmental quality (IEQ) and occupant satisfaction.

### **Policy 38**

*All applications for building modifications and fit-outs are to demonstrate measures which work toward the objectives of the Foreshore Authority's Sustainability Policy.*

### **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Solar panels can be introduced to the terrace and are to be mounted on the rear wings roofs so as not to be visible from the street frontage or Gloucester Walk.
- The factors contributing to discomfort are to be identified and quantified before the development of any solutions.
- Building occupants and managers should understand the impacts that the 'use' of the building will place on the existing thermal properties of the building. If the use increases the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use may not be supported.
- Sustainable and passive solutions are to be investigated and implemented and their effectiveness measured, before the need for mechanical ventilation to supplement existing passive measures, is considered.
- Proposals are to reflect both the sustainability and conservation objectives of Sydney Harbour Foreshore Authority Policies.

### **7.12.2 Passive design solutions**

#### **Background**

Historically, buildings were designed, constructed and sited to maximise the effectiveness of the seasons to provide for thermal comfort needs. Historic buildings also often have thermal properties that need little modification to maintain good thermal comfort levels for the majority of operational hours.

Avery Terrace has solid brick wall construction with enclosed sub-floor spaces and double-hung windows. The roof space is probably not insulated. Were it insulated, the building is able to provide a good standard of thermal comfort without much use of active solutions such as air-conditioning.

Studies have indicated that the implementation of passive measures can result in a 50% decrease in energy consumption within historic buildings. This figure is reflective of the inherent thermal properties of many historic buildings. The following measures are to be considered in the development of building specific design solutions, with the potential impacts to both the interpretation of the building in the streetscape, and the potential impact to the fabric of the building evaluated.

Roof and ceiling insulation can reduce energy used in heating and cooling up to 45%, and can often be introduced with little impact on significant fabric. Some estimates indicate a summer heat reduction of up to 12 degrees from the introduction of ceiling batts alone.

Bulk insulation, which is inert, can most readily be introduced into existing ceiling cavities, although reflective and composite insulation is to be considered if associated conservation works involve the replacement of, or extensive repairs to, roofs.

Technological advancements in glass tinting have seen the development of clear film which can keep out up to 60% of heat and 99% of ultra-violet radiation.

Air movement can play an important role in thermal comfort levels and is proven to be more energy efficient than air conditioning within a closed building envelope. Fans can be used when there is not sufficient air movement to maximise the effectiveness of natural ventilation. Fans which are used to enhance summer thermal comfort can also be used to de-stratify indoor air to save heating energy in winter.

### **Policy 39**

*Full and mixed mode mechanical ventilation systems in heritage buildings will not be considered by unless it can be demonstrated that passive solutions and the inherent properties of the building envelope cannot provide comfortable thermal environments throughout the majority of the seasonal calendar.*

### **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Ensure that ceiling fans do not adversely impact, visually and/or materially, on significant fabric such as ceiling roses, pressed metal, light fittings, etc.
- Select energy efficient products.
- Seek advice to ensure that the placement of fans does not result in chaotic air movement, low ceiling pressure zones against the ceiling and undifferentiated air pressure in other parts of the building.
- The acoustic performance of all windows in these houses can be upgraded in the following ways:
  - For windows not of exceptional significance, install thicker glass and adjust the counterweight on the mechanism within the window frame to allow for the increased weight of the new glass.
  - On the inside of the window, install an inner sheet of glass set in a timber or metal frame OR a sheet of plastic fixed with magnetic strips. Either option should be removable and not be visible from the exterior.

Insulation of the roof space can be placed at the level of the ceiling joists. When the roof is re-tiled, insulation could be added to the level of the rafters using a breathable product.

### 7.12.3 Mechanical solutions to supplement passive design

#### *Policy 40*

*Mechanical solutions, following the implementation and analysis of passive solutions, must be designed and selected in consideration of the heritage significance of the place and the objectives of the Sustainability Policy. The design of mechanical solutions must be supported by an options analysis demonstrating that the proposal presents the least impact to the significant fabric of the place and accounts for ongoing energy consumption.*

#### **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Gas and electrical fittings can be used in individual rooms including within the fireplaces.
- Ceiling fans may be installed in the central light fittings and in the rear wings.
- Mechanical systems should be designed to supplement existing passive measures. This will ensure that any necessary mechanical systems are not overloaded, operate efficiently and in turn reduce energy consumption.
- Careful system selection and implementation is integral to the success of any mechanical heating, cooling and ventilation (HVAC) system. This is even more critical with heritage buildings, where the impact of mechanical systems coupled with passive systems should be minimised for their visual and physical impact on the building.
- External reverse cycle air conditioning units for heating and cooling could be placed in the backyard provided they are not visible outside the property and are below 1.8m. Conduits are to be surface mounted on the wall and through grilles into the ceiling.
- Refer to the Foreshore Authorities Sustainable Development Fit-out Guide and the Green Building User Guide for criteria relating to the installation and alteration of mechanical ventilation systems.
- Where new mechanical systems or services are found to be essential, develop their design with a clear understanding of the buildings' significance, in order to avoid or minimise impact on significant spaces, elements and building fabric. Refer to the CMP policies, the RHMP, The Foreshore Authority's Sustainability Policy and The Burra Charter.
- Consult the Foreshore Authority's Sustainable Development Fitout Guide: <http://www.shfa.nsw.gov.au/content/library/documents/973F4FD6-EAA9-CE3D-C298269C0B87BF80.pdf>

## 7.13 Archaeological Resources

### Background

Archaeological relics are protected under the NSW Heritage Act, 1977.

Avery Terrace and its site are identified in the Map of Archaeological Resources in The Rocks (in Appendix C of The Rocks Heritage Management Plan, 2010) as an area of archaeological sensitivity.

The s170 Heritage and Conservation Register listing for Avery Terrace sets out recommendations for managing archaeological resources on this site.

Based on the assessment outlined in section 3.4 the site has low archaeological potential across the site and building.

#### *Policy 41*

*Any ground disturbance must be closely monitored by a qualified archaeologist in conjunction with a formal research design. Appropriate permits must be sought from the NSW Heritage Council prior to the commencement of works.*

#### *Policy 42*

*Archaeological assessment by a suitably qualified and experienced archaeologist should be carried out in the site prior to the commencement of any works. The aim of this archaeological assessment is to gather information about the previous layouts and character of the site, to inform future conservation, interpretation and upgrading work, and to determine if any archaeological assessment or approvals are likely to be required.*

#### *Policy 43*

*An appropriate on-site investigation strategy (an archaeological methodology and Research Design) must be prepared and submitted to the NSW Heritage Council as supporting documentation for any excavation permit applications.*

#### *Policy 44*

*An application for an excavation permit must be made under Section 60 of the NSW Heritage Act 1977 for any proposed excavation works within the boundary of the place/study area.*

#### *Policy 45*

*All ground disturbance associated with future development of the site in areas previously not investigated through archaeological excavation must be undertaken in accordance with a Section 60 permit, or an endorsed exemption issued by the NSW Heritage Council. The work be, consistent with the proposed archaeological methodology and any conditions of the archaeological approval which may include archaeological monitoring or salvage excavation. The progress of such excavation work should be appropriately documented and undertaken by a qualified historical archaeologist who meets the Heritage Council Excavation Directors Criteria for works on State significant sites (in written and photographic form).*

#### *Policy 46*

*Suitable clauses should be included in all contractor and subcontractor contracts to ensure that onsite personnel are aware of their obligations and requirements in relation to the archaeological provisions of the NSW Heritage Act and obligations which need to be met under the National Parks and Wildlife Act 1974 relating to Aboriginal "objects" or relics.*

### **Policy 47**

*In the event that historical archaeological relics are exposed on the site, they should be appropriately documented according to the procedures outlines in the archaeological methodology accompanying the application for an Excavation Permit. Should any unexpected archaeology be uncovered during the excavation works the Heritage Council must be notified in accordance with Section 146 of the NSW Heritage Act. Works must stop and a suitably qualified and experienced historical archaeologist who meets the Heritage Council Excavation Directors Criteria for works on State significant sites archaeologist be brought in to assess the finds. Depending on the results of the assessment, additional approvals may be required before works can recommence on the site.*

### **Policy 48**

*Subsurface disturbance must be restricted where possible to reduce the impact on archaeological remains at this site.*

### **Policy 49**

*Where works are proposed to be carried out in close proximity to probable State significant archaeological that are able to be retained insitu, strategies should be put in place to ensure that construction work and/or heavy machinery does not disturb or damage those relics. Refer to Archaeological Zoning Plan in Section 3.4 Figure 38.*

## **Guidelines**

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The archaeological resource of the site is of State significance, due to the early and ongoing occupation of the site.
- The site is identified in the Map of Archaeological Resources in The Rocks (Appendix C of The Rocks Heritage Management Plan 2010) as an area of archaeological sensitivity.
- There is the low potential for the following State significant archaeological evidence to be located on the site and shown in the Archaeological Zoning Plan in Section 3.4 fig 3.28:
  - Evidence of former structures in the backyard of the property.
  - Roof, under-floor and between floor spaces may contain archaeological deposits, however, it is more likely that such deposits were removed during renovations in the 1975 and 1995.

## 7.14 Painting and Finishes

### Background

Regular painting forms an essential part of maintenance for a number of building materials, especially timberwork, and can extend their service life. Surfaces that were never intended to be painted are not to be painted. Exposed masonry and bagged brickwork should retain the existing finishes.

As a bald faced terrace of two identical mirror-image residences, Avery Terrace continue to be managed as a single building to ensure the appropriate ongoing management of a unified street presentation and its unified paint colour scheme.

The painted finishes to the rendered brickwork, decorative detailing and timber joinery all contribute to the exceptional significance of the terrace facade.

The existing external colour scheme which is based on historical evidence is to be retained. It can only be changed after further research into early paint colour schemes for this building.

Regular repainting with acrylic paint should be undertaken to the interior walls and ceilings.

#### *Policy 50*

*As a bald faced terrace, the exterior of Avery Terrace must continue to be managed as a single building to ensure the ongoing management of a unified street presentation with a unified external paint colour scheme.*

#### *Policy 51*

*Existing external finishes to joinery and walls must be maintained with the same paint type and finish in the existing colour scheme. The external colour scheme must only be changed based on research of early schemes for this building.*

#### *Policy 52*

*The acrylic finish on the internal walls and ceiling must be retained and maintained. All joinery must continue to be painted in gloss enamel. The internal paint colour schemes may be changed. Elements which are currently unpainted must not be painted.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Refer to current (2011) external and internal paint colours included in Appendix J.
- The proponent is to undertake research including paint scrapes and paint analysis into original and subsequent colour schemes for the exterior and interiors.
- Avery Terrace was designed to be presented with a unified colour scheme. The continuation of an historic colour scheme is appropriate for the exterior of the building. The external painted elements can be repainted in a different colour scheme based on historical research into colours used previously on this building. To maintain consistency, changes to the exterior colour scheme are to be made across the whole terrace.

- Continue the use of compatible exterior paint type and finish. Oil paint is to be used on the external joinery. Walls and joinery are not to be stripped prior to painting.
- Other changes also be consistent across Avery Terrace i.e. flyscreens or security grilles, exterior lighting and louvres etc.;
- On timber floors, a range of floor finishes are acceptable as long they do not require heavy re-sanding to be removed. Acceptable finishes include; pure Tung oil (not the fake or simulated Tung Oil) and water based sealants. A black Japan stain can also be used. Not acceptable are 2 pack epoxy and polyurethane finishes and liming.
- The internal colour schemes may be changed, however the existing paint types are to continue.
- Existing finishes including finishes to exposed masonry and bagged brickwork should be retained.

## 7.15 Landscaping/Planting

### Background

Generally, gardening work does not require approval. However, if landscaping works involve more than normal garden works (i.e. paving, garden beds and plantings), and excavation of 300 mm or deeper is required (e.g. for drainage works), then approval from the NSW Heritage Council is required and an archaeologist may need to be involved with the works.

Trees are not to be planted close to the terrace as there is the potential for damage to the foundations.

### *Policy 53*

*Landscaping is acceptable providing it is appropriate for the area and does not damage building fabric (e.g. the activity of tree roots), subject to approval from relevant statutory. Removal of trees requires the approval of the NSW Heritage Council and the Council of the City of Sydney.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The character of the rear yards are to be retained as open areas, with the present brick paving retained.
- Landscaping works involving more than normal garden work including paving, introduction of the garden beds, planting or removing trees and excavation of 300mm or deeper may require approval if the work is not covered under the Heritage Act's Standard Exemption for Excavation. Landscape maintenance is covered by a Standard Exemption. Approvals may be required from the City of Sydney Council and Heritage Council of NSW and an archaeologist may need to be involved with the works. Refer to archaeological policies in section 7.15 of this CMP.
- Landscape work is to be preceded by an investigation of the substrate and any paving, early footings, drains, cisterns or other water storage features and cess pits

identified. Any significant surviving features, including early paving, are to be retained and incorporated into the landscaping of the rear yards.

- Elements such as trellises mounted on the walls, glass houses, freestanding sheds, BBQ structures, sun shades and the like do not affect the significance of the buildings provided they are reversible and do not affect the bitumen surface of the yards or the solid brick walls of the houses.
- The following changes can be made without consent:
  - Garden surface – the existing surface is to remain. Removable raised garden beds or pots can be introduced without seeking approval.
  - Trees – no new trees are to be planted in the ground. Trees no higher than 3 metres could be grown in raised beds or pots.
  - Trellis up to 2m above ground could be placed in pots against the fence.
  - Sun sails, umbrellas and awnings are acceptable provided they are below the 1st floor level in the back yard.
  - No vines are to be grown on the front of the terrace.
  - No irrigation system is to be used near the walls of the house. Garden taps can be added – piping is to be surface run and kept below 1800mm.
  - A garden shed or glass house can be introduced, subject to council approval.
  - A BBQ can be introduced but is to be temporary and removable.

## 7.16 External Signage and Lighting

### Background

For use as a residential terrace, the existing gooseneck lighting and street lights provide illumination of the front and rear doors and facades.

For any commercial use, changes to lighting and the introduction of external signage is to meet heritage requirements and requirements of the Foreshore Authority and City of Sydney.

#### *Policy 54*

*External signage and lighting must be minimal. Lighting must be paired on both 2 and 4 Atherden Street. There is limited opportunity for introducing new lighting to the front of the terrace. Signage and additional or alternative lighting, if required, must be in harmony with the overall character of the place, and complement the historic character of Avery Terrace.*

#### *Policy 55*

*All signage must be consistent with the Foreshore Authority's Signage and Lighting Policies.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- All new work must comply with the Foreshore Authority The Rocks Lighting Policy 2013. [The Rocks Lighting Policy 2009](#)

- Consult with the Foreshore Authority for all proposed external and internal signage and refer to: [The Rocks Commercial Signage Technical Manual 2013](#)  
[The Rocks Signage Policy 2013](#)
- External and internal lighting and service runs is to have no or minimum intervention in significant fabric. Refer to policies in section 7.7 of this CMP.
- Replacement fittings should be attached and use the existing power outlets.
- Recessed down lights are not permitted in areas of exceptional or high significance as they are unsympathetic to the significant building characteristics and ambience.
- For external lighting, the following is recommended:
  - Front facade – gooseneck lighting can be mounted on wall using existing wiring. Lighting should be paired – i.e. for both residences. Detector switches are acceptable.
  - Rear of house – gooseneck lighting or plain fittings on rear walls, kept low. Detector switches are acceptable.
  - No external floodlighting is permissible.

## 7.17 Ongoing Maintenance and Repair

### Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule is to be implemented, which provides for regular inspection and for remedial action to be taken where necessary as outlined in Section 8.0.

#### *Policy 56*

*As a necessary minimum, the ongoing maintenance and repair works is to include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to neglect or the deterioration of fabric, as required under Section 118 of the NSW Heritage Act, which sets out minimum standards for the maintenance and repair of State heritage Register listed properties.*

#### *Policy 57*

*Changes to the building are to be photographically recorded in accordance with NSW Heritage Division guidelines for photographic recording, and the record be submitted to the Foreshore Authority for archiving.*

### Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The building fabric and services are subject to continuing care and maintenance by the Foreshore Authority or any lessees under a lease agreement, or property owner, in accordance with the NSW Heritage Council Minimum Maintenance Standards.

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Refer to Section 8.1 for Minimum standards of maintenance and repair.

- In addition to regular maintenance activities, prompt preventative action and repair is to be taken as necessary.
- The significant fabric of Avery Terrace is to be repaired in accordance with the recommendations outlined in Section 8.2.
- The significant fabric of Avery Terrace is to be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3.
- Prevention and regular ongoing maintenance of fabric is to occur to prevent continuing deterioration and the need for future widespread repair or reconstruction.
- Inspection and maintenance works is only to be conducted by those with professional knowledge and demonstrated experience with heritage buildings and materials.
- All maintenance work and repairs are to be undertaken in using appropriate materials and skills to ensure that there is no negative impact on significant fabric.
- The Photographic Recording of Heritage Items Using Film or Digital Capture 2006 <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf> prepared by the NSW Heritage Division.

## 7.18 Interpretation

### Background

Interpretation of historic places can reveal long-term connections that underpin the cultural significance of a place. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life in order to increase the public's understanding, and, through this extended understanding, provide an enhanced perception of the significance of the place.

On the broadest level, the presentation of Avery Terrace and its original form and appearance, is a method of interpreting the building and its significance to the public. Due to its use as private residences, opportunities to interpret the history and significance of the building on site to the general public are limited. However, opportunities could be used to interpret the site at The Rocks Visitor Centre, while still allowing tenants the right to privacy.

Avery Terrace could be included on The Rocks Self-guided Walking Tour and on the Virtual Sydney Rocks Guidebook – it is important to update these online guides with new information.

The history, significance and setting of Atherden Street and the neighbouring group of late Victorian terraces, can be highlighted in interpretive material, such as a walking guide, produced by the Foreshore Authority and made available through The Rocks Visitor Centre. Additional opportunities to interpret the place and setting may be available at other local venues which are open to the public, such as the Susannah Place Museum.

### *Policy 58*

*The Foreshore Authority should continue to ensure that the heritage significance of Avery Terrace is interpreted off-site by appropriate methods in a way which explains the building to the public while respecting the privacy of the building's occupants.*

## **Guidelines**

- Make the values of Avery Terrace and its cultural significance accessible to the public.
- The Foreshore Authority should continue to explore opportunities for and continue to provide off-site interpretation for Avery Terrace and the neighbouring precinct at nearby publicly accessible places, such as Susannah Place or The Rocks Visitor Centre.
- Online visitor guides to The Rocks including information on Avery Terrace should be appropriately updated with new information
- Ongoing research should be carried out in order to enhance the understanding of Avery Terrace. Such research is to include actively collecting oral histories of people who lived in the buildings prior to conservation works.

## 8.0 IMPLEMENTING THE PLAN

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of Avery Terrace and to ensure that the heritage value of the place is maintained and enhanced.

### 8.1 Minimum Standards of Maintenance and Repair

High standards of inspection and the carrying out of essential maintenance and repair, weather protection, and fire protection, need to be addressed to assure the compliance of Avery Terrace with the NSW Heritage Act and the Burra Charter. It is considered that the work outlined below if carried out using best practice and a high standard of materials will fully satisfy current standards.

To assure compliance with Minimum Standards of Maintenance and Repair on the site of Avery Terrace the following works need to be undertaken:

Minimum Standards of Maintenance and Repair
Avery Terrace, 2 and 4 Atherden Street
All areas generally
Work or Activity Required for Compliance with the Standards for:
<b>INSPECTION (Minimum frequency: every year)</b>
Gutters and downpipes should be regularly inspected monthly and cleaned as required. Inspections should be made for cracks, rust, drips, loose or missing brackets, moss and stains. The presence of moss, stains and other organic matter could indicate a blockage.
The structure including internal and external walls should be regularly checked for cracks, leaning or subsidence. Cracks in walls, ceilings and in the structure generally should be monitored. Advice should be sought from a structural engineer if they change.
Inspection by a qualified and approved contractor should be undertaken to ensure there is no termite infestation.
Inspections should be made to ensure that items in the outdoor areas (at the front and rear of the building) do not block wall vents and sub-floor vents, or bridge damp proof courses. Items and leaf litter in the outdoor areas should be kept clear of walls and fencing at all times.
The storm water drains should be checked for blockages. The joints between the downpipes and storm water system should be checked to ensure that they are sound.
The roof should be checked for rust, missing or loose flashing near the chimneys and parapets. Loose fixings can be indicative of batten failure. Regularly remove rubbish and leaves from the roof.
Inspections should be made for paint deterioration including chalking, weathering, flaking, cracking, blistering, or staining.
Window and doorsills should be checked for damage and deterioration.
Inspection of holes and other areas around the eaves should be made to prevent birds nesting.

<b>Minimum Standards of Maintenance and Repair</b>
<b>Avery Terrace, 2 and 4 Atherden Street</b>
<b>All areas generally</b>
Inspect fascia and soffit for stains that might indicate roof, valley and gutter failure.
Make inspections of the ceiling and under floor areas space for vermin
Trees and plants in the courtyard areas should be inspected to ensure that they are not interfering with built structures including fences or storm water drainage or plumbing.
Work or Activity Required for Compliance with the Standards for:
<b>ESSENTIAL MAINTENANCE &amp; REPAIR (Minimum frequency: every three years)</b>
Broken glass in windows or doors should be removed and repaired as soon as practicable with glass of the same thickness and type.
The correct operation of windows and doors should be checked and adjustments or repairs made as necessary. This includes identifying and repairing damage to mouldings, architraves, sills and thresholds as well as window sash cords. The integrity of significant items should be ensured in the course of any repairs or maintenance. Intrusive elements should be replaced with sympathetic ones.
Loose or missing screws in original locks, door handles and other fixtures should be tightened or replaced with hardware of the same type and finish. Intrusive elements should be replaced with items that are sympathetic to the original structure.
Taps and other plumbing fixtures should be checked for drips and leaks and repaired promptly.
Electrical fittings and fixtures should be inspected for safety. Intrusive elements should be replaced with ones more sympathetic or less intrusive to the original style of the building.
Regularly remove rubbish and leaves from the roof, gutters and outdoor areas.
Work or Activity Required for Compliance with the Standards for:
<b>WEATHER PROTECTION (Minimum frequency: every year)</b>
Windows and doors should be checked for water ingress to ensure water is not penetrating into the buildings.
Paving should be checked to ensure water drains away from the buildings and fences.
Metal flashings and roof cappings should be inspected for loose or raised fixings or wind distortion.
Windows and doors should be inspected to determine if they operate properly. This would include identifying damaged mouldings and architraves, and decaying sills, and thresholds that might allow water ingress or trapping of moisture. Stains should be noted as this is indicative of flashing failure.
All storm water drains and gutters should be inspected and cleared on a regular basis to avoid flooding during wet weather.
Work or Activity Required for Compliance with the Standards for:
<b>FIRE PROTECTION (Minimum frequency: every year)</b>
Both properties should be regularly checked for fire hazards such as rubbish, undergrowth and other combustible materials. If any are found, they should be removed from the site.
Overhanging trees and branches should be trimmed so as not to cause a fire hazard.
Smoke alarms compliant with Australian Standards (AS3786) should be installed and connected to the electricity supply. Legislation requires that all NSW residences have at least one working smoke alarm installed on each level of a residence. Batteries in smoke alarms that are not hard-wired should be replaced yearly.

## 8.2 Schedule of Conservation Works

The terraces at Avery Terrace, 2 and 4 Atherden Street are in good condition and well maintained. Maintenance works were carried out to the exteriors and interiors of both terraces in 2014.

In the short term only some minor repair works are required. In the longer term maintenance and painting should be undertaken as set out in section 8.3.

<b>Schedule of Conservation Works</b>		
Avery Terrace, 2 and 4 Atherden Street		
Element	Within 1 year	1-3 years
<b>EXTERIOR</b>		
Roofing and guttering	Inspect roof, flashings and gutters for evidence of leaks to 2 Atherden St. Clean out and repair.	
<b>INTERIOR</b>		
Bedroom ceiling – 2 Atherden St	Check for water ingress and patch and repair and paint to match existing.	
Doors and windows	Check hinges and generally for ease of opening and repair as required.	

### 8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented as part of the process of on-going management of Avery Terrace. Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule. A maintenance logbook should be created and continually updated to ensure the conservation of Avery Terrace.

<b>On-Going Maintenance Schedule</b>			
<b>Avery Terrace, 2 and 4 Atherden Street</b>			
<b>Area/Item</b>	<b>Every Year</b>	<b>Every 2 Years</b>	<b>Every 5 Years</b>
<b>GENERALLY</b>			
Overall	The tenant to identify record and report any maintenance issues as they become apparent. Comprehensive timber pest inspection to be carried out yearly by a qualified technician and as specified in the Australian Standards.	Inspections to be carried out by an appropriately qualified representative of the Foreshore Authority (with experience in the maintenance of heritage items)	
<b>EXTERNAL</b>			
<b>WALLS</b>			
Sandstone work		Inspect for loose, fretted, broken stonework or missing mortar in joints around windows, doors, along flashings and on cornices or other projections. Inspect for signs of delamination that can affect the soundness of stone. Inspect for damp and its likely source e.g. Rising/falling.	
Brickwork		Inspect for loose, fretted, broken brickwork or missing mortar in joints. Check for crumbling brickwork or surface salts indicative of damp. Ensure walls are straight and true. Inspect surfaces for signs of cracking or subsidence.	
Plasterwork/render	Inspect all areas for deterioration and damage		

<b>On-Going Maintenance Schedule</b>			
<b>Avery Terrace, 2 and 4 Atherden Street</b>			
<b>Area/Item</b>	<b>Every Year</b>	<b>Every 2 Years</b>	<b>Every 5 Years</b>
Paintwork	Check for damage or deterioration.		
<b>EXTERNAL ELEMENTS</b>			
Timber	Inspect for weathering and potential decay. Check paint coatings and finishes to ensure they are adequate.		
Windows	Inspect for loose, damaged or weathered timberwork including sashes, mouldings, architraves, stiles, sills. Check that move freely.	Check all windows for operability; ensure hardware is intact and operational. Check internal faces around windows for stains that can indicate failed flashing.	Inspect for paint deterioration, damage and weathering.
Doors	Check all doors for operability; ensure hardware is intact and operational. Check for signs of weathering, damage or decay.	Inspect for paint deterioration, failure or damage.	
Decorative Brackets		Inspect for damage or deterioration.	
<b>STORMWATER</b>			
Gutters, Rainwater Heads & Downpipes	Ensure birds are not nesting on or around downpipe offsets. Clear guttering and downpipes of any blockages. Ensure gutters are not sagging and fall to downpipes. Ensure leaf guards to outlets, rainwater heads and sumps sit correctly and are clear of debris. Check for organic growth, moss or stains around downpipes. Investigate source of damp if moss or staining detected. Inspect gutters and downpipes for cracks and loose or missing brackets. Repair /replace to match existing as necessary.	Ensure downpipes are not dented, damaged or restrict water flow. Ensure connection to storm water system is sound and clear of debris.	

<b>On-Going Maintenance Schedule</b>			
<b>Avery Terrace, 2 and 4 Atherden Street</b>			
<b>Area/Item</b>	<b>Every Year</b>	<b>Every 2 Years</b>	<b>Every 5 Years</b>
<b>ROOFING</b>			
Roof sheeting	Inspect all roofing. Remove and replace corroded or otherwise terminally damaged roof sheeting. Inspect underlying structure for damage and repair as necessary.		
Flashing	Investigate whether chemical incompatibility between the flashings and the roof sheeting has caused damage or discolouration of the roof sheeting. Check effectiveness of damp-proof courses and flashings and replace damaged sections.		
Parapets, capping	Inspect and repair/restore when necessary.		
<b>INTERIOR</b>			
<b>GENERALLY</b>			
Walls: Brick and lightweight walls	Inspect for damp and water penetration. Investigate source and repair where necessary. Monitor all cracks.		
Windows & Doors including sashes and frames	Check all doors and windows for operability; ensure hardware is intact and operational.		
Paintwork	Inspect for deterioration or damage. Where necessary reapply paint avoiding build-up of paint on timberwork in particular on sashes and door leaves. Clean and apply top coat or remove paint and apply two top coats if required.		

<b>On-Going Maintenance Schedule</b>			
<b>Avery Terrace, 2 and 4 Atherden Street</b>			
<b>Area/Item</b>	<b>Every Year</b>	<b>Every 2 Years</b>	<b>Every 5 Years</b>
Ceilings	Inspect for damp or water penetration, bowing or warping. Repair as necessary ensuring that significant elements are conserved.		
Cornices, and other ceiling trim	Inspect for damage, clean and repair as necessary.		
Plasterwork	Inspect for damage and deterioration. Any repairs should use material compatible with the original plasterwork and applied by a tradesman with experience in restoration.		
Timber floor and roof structure	All timber elements (including structural elements) are to be inspected individually for damage or deterioration where accessible. A heritage specialist should be consulted about the replacement or repair of any elements. Check for integrity of damp and termite barriers.		
Floor boards			
Joinery			
Timber staircase			
<b>SERVICES</b>			
Electrical	Ensure all internal wiring is in good condition and has been installed by a qualified electrician and in compliance with Australian Standards. Inspect for damage to electrical fittings and fixtures and ensure that they have been installed in compliance with Australian Standards.		
Plumbing and drainage	Inspect for deterioration and damage to pipework, fittings and fixtures.		

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## Abbreviations

ML: Mitchell Library;

MSB Maritime Services Board;

NAA: National Archives of Australia;

NCRS: City of Sydney Council Record Series (City of Sydney)

n.p. Not paginated/No page numbers

NSW Reg BD&M: NSW Registry of Births, Deaths and Marriages

SCA: Sydney Cove Authority; SCRA: Sydney Cove Redevelopment Authority

Foreshore Authority: Sydney Harbour Foreshore Authority

SHR: State Heritage Register; SLNSW: State Library of NSW

SMH: Sydney Morning Herald;

SRNSW: State Records of NSW

# APPENDICES

## Appendix A

### Land Titles Schedule

DATE	REAL PROPERTY DESCRIPTION		INSTRUMENT OF TRANSFER	FROM	TO
	Lot & DP/land description	CT/V & F			
16 Oct 1834	2a 3r 39 ½ p (incl. No.1 – 2r 15p, No.2 3r 34 p, No.3 3r 25.5p, No.4 2r 5p) Town of Sydney, Psh St Philip, Co. of Cumberland, (published in Govt Notices 2 Sep 1834)	Land Grants  Serial No. 35 p.36-9	Grant	Major General Richard Bourke, Governor of NSW	Robert Campbell Snr of George St, Sydney
16 Feb 1847	Robert Campbell Senior's Estate		Conveyance (transferring share in real estate from Robert Campbell's Estate)	Charles Campbell	John Campbell. Robert Campbell
19 Feb 1847	Residue of 3r 34 p in Sydney, Parish of St Philip, part of Grant to R. Campbell Snr (Details of other lots at Canterbury not transcribed here)	Bk 13 No. 21 (Ref to transaction)	Indenture of Conveyance (shareholders release land to J. Norton 'to the use of' G. Campbell to dispose of said lands) (Other transactions not transcribed here)	John Campbell (1), Robert Campbell & Anna Sophia Campbell his wife (2), Arthur Jeffreys (husband of Sarah Campbell) (3), George Campbell (4), Sophia Ives Campbell (5)	James Norton (7) of Sydney, gentleman, for the use of George Campbell (6) to dispose of said land
15 Apr 1848	1 r 32.5p and residue of 3r 34 p allotment in Sydney, Parish of St Philip, part of Grant to R. Campbell Snr (Details of other lots not transcribed here)	Bk 14 No. 559	Indenture of Partition (Partition of R. Campbell Snr's Estate – Schedule 4 allotted to A. Jeffreys)	John Campbell (1), Robert Campbell (2), Arthur Jeffreys (3), George Campbell (4), Sophia Ives Campbell (5), Robert & Sophia Campbell (6) & James Norton (7)	Arthur Jeffreys of Sydney, Esquire
23 Apr 1873	Lots 9 & 10 (11p of the grant of 3r 34p) included in Schedule 2 of the conveyance	Bk 135 No 437	Conveyance	Hon John Campbell of Campbell's Wharf & George Campbell of Duntroon near Queanbeyan	John Jeffreys, Fernhill, England (as heir to Arthur Jeffreys' Estate)

DATE	REAL PROPERTY DESCRIPTION		INSTRUMENT OF TRANSFER	FROM	TO
	Lot & DP/land description	CT/V & F			
5 Feb 1878	Lots 9 & 10 (11p of the grant of 3r 34p) (£300)	Bk 177 No 955	Conveyance	John Jeffreys of Sandford Lodge, Salisbury, England (1) and Hon John Campbell of Sydney, Member of the Legislative Council (2 – nominated attorney)	George Atherden (3)
10 Oct 1878	Lots 9 & 10 (11p of the grant of 3r 34p) (£600)	Bk 184 No 747	Conveyance	Atherden	Edward Stanley Ebsworth
8 Sep 1888	Lots 9 & 10 (11p of the grant of 3r 34p) (£2,000)	Bk 396 No 596	Conveyance	Ebsworth	Leonard Dodds of the Sydney Real Estate Bank Ltd
18 Apr 1889	Lots 9 & 10 (11p of the grant of 3r 34p) (£10,000)	Bk 411 No 945	Mortgage	Louis C. Henderson of the Sydney Real Estate Bank Ltd	Charles Edward Pilcher & Edward Levian Samuel
17 Nov 1892	Lots 9 & 10 (11p of the grant of 3r 34p) (£10,000 still owing)	Bk 504 No 186	Transfer Mortgage		Perpetual Trustee Co Ltd
3 Oct 1903	Lots 9 & 10 (11p of the grant of 3r 34p)	Book 746 No 383	Notification of Resumption under Lands for Public Purposes Acquisition Act Gazetted 29 Dec 1900	Sydney Real Estate Bank Ltd, Thomas Henry Jackson, the liquidator of the Bank, the Perpetual Trustee Co Ltd and others	His Majesty King Edward the Seventh and Minister for Public Works of the State of NSW
28 Jul 1988	Lots 7 DP258607	PA060764	Resumption Application		Sydney Cove Redevelopment Authority
27 Sep 1999	Lot 7 DP258607	7/258607	Change of Name		Sydney Harbour Foreshore Authority

## **Appendix B**

### **Sand's Sydney and Suburban Directory Schedule of Listings for Avery Terrace**

2 and 4 Atherden Street, The Rocks

Atherton Place (1924-1933)/Atherton St (1920-23)/Atherden Street (1876-1919)/Union St  
(c.1873-5)

	North Side	2	4		South Side	1	3	5	7	9	11	13	15			
1932-3	Off 47 George St	Avery, John	Avery, W.J.	Bushell's Coffee Factory		Avery, William E.	Limmond, Frank	Milne, John K.	Fitzpatrick, Hugh D.							
1931		Avery, John	Avery, W.J.	Bushell's Coffee Factory		Avery, William E.	Limmond, Frank	Milne, John K.	Fitzpatrick, Hugh D.							
1930		Avery, John	Avery, W.J.	Bushell's Coffee Factory		Avery, William E.	Young, George	Milne, John K.	Fitzpatrick, Hugh D.							
1929		Avery, John	Avery, W.J.	Bushell's Coffee Factory		Avery, William E.	Young, George	Milne, John K.	Fitzpatrick, Hugh D.							
1928		Avery, John	Crealy, John	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
1927		Avery, John	Crealy, John	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
1926		Avery, John	Crealy, John	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
1925		Avery, John	Crealy, John	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
1924		Avery, John	Roux, Carl	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
1923		Avery, John	Roux, Carl	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.							
		2	4			1	3	5	7	9	11					
1922		Avery, John	Roux, Carl	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.	Dinely, Henry	Olsen, Ernest					
		2	4			1	3	5	7	9	11	13	15			
1921		Avery, John	Roube, Alexander	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.	Dinely, Henry	Olsen, Ernest	Kennedy, Mrs Mary	Layton, Leslie R.			
1920		Avery, John	Roux, Carl	Bushell's Ltd Coffee Factory		Dignan, Patrick	Ward, Thomas	Milne, John	Fitzpatrick, Hugh		Gallie, Jas	Kennedy, Mrs Mary	Layton, Les			

1919		Avery, John	Roube, Alexander	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.	Mattson, John H.	Crompton John	Kennedy, Mrs Mary	Layton, Leslie R.		
1918		Avery, John	McClure, James	Bushell's Coffee Factory		Avery, William E.	Ward, Thomas	Milne, John K.	Fitzpatrick, Hugh D.	Mattson, John H.	Crompton John	Kennedy, Mrs Mary	Layton, Leslie R.		
1917		McLaren, Louis	McClure, James	Bushell's Coffee Factory		Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Avery, William	Mattson, John H.	Crompton John	Kennedy, Mrs Mary	Layton, Leslie R.		
1916		McLaren, Louis	McClure, James	Bushell's Coffee Factory		Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Henery, Charles	Mattson, John H.	Crompton John	Avery, William	Layton, Leslie R.		
1915		McLaren, Louis	McClure, James	Bushell's Coffee Factory		Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Henery, Charles	Mattson, John H.	Crompton John	Avery, William			
1914		McLaren, Louis	McClure, James	Bushell's Coffee Factory		Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.		Mattson, John H.	Crompton John	Mendham Thomas Otho	Dawes, Thomas		
1913		McLaren, Louis	McClure, James			Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Roberts, James	Mattson, John H.	Crompton John	Mendham Otho	Daws, Thomas		
1912		McLaren, Louis	McClure, James			Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Roberts, James	Bennett, William	Crompton John	Mendham Otho	Daws, Thomas		
1911		Byers, John E.	McClure, James			Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Roberts, James	Beele, Charles	Evans, William F.	Mendham Otho	Tait, Mrs Susannah		
1910		Byers, John E.	McClure, James			Dignan, Mrs Catherine	Ward, Thomas	Milne, John K.	Tell, Frederick	Beele, Charles	Rowell, Robert	Mendham Otho	Tait, Mrs Susannah		
1909		Byers, John E.	McClure, James			Dignan, Mrs Catherine	Dale, John	Milne, John K.	Tell, Frederick	Lawson, Frederick	Evans, Edgar O.	Morrall, James	Tait, Mrs Susannah		
1908		Byers, John E.	McClure, James			Dignan, Mrs Catherine		Milne, John K.	Crossland, William	Conwell, John	Evans, Edgar O.	Morrall, James	Tait, Mrs Susannah		
1907		Byers, John E.	Brown, John			Dignan, Mrs Catherine	Henry, George	Donnelly, Captn James	McCombie, Mrs M.	Parrett, Alex. J.	Evans, Edgar O.	Morrall, James	Tait, Mrs Susannah		
1906		Mitchell, John	Brown, John			Dignan, Mrs Catherine	Henry, George	Donnelly, Captn James	McCombie, Mrs M.	Stathopoulos Mrs Constance	Milne, John	Morrall, James	Tait, Mrs Susannah		
1905		Mitchell, John	Brown, John				Henry, George	Donnelly, Captn James	McCombie, Mrs M.	Hyde, William Thomas	Milne, John	Morrall, James	Tait, Mrs Susannah		
1904		Donnelly, Captn James	Brown, John			Byers, Edward	Henry, George		McCombie, Mrs M.	Mitchell, John	Milne, John	Morrall, James	Tait, Mrs Susannah		
1903		Donnelly, Captn James	Craig, George			Byers, Edward	Henry, George	Petersen, Mrs Sophia	McCombie, Mrs M.	Jensen, Victor	Francis, David	Morrall, James	Tait, Mrs Susannah		

1902		Donnelly, Captn James	Craig, George			Stuart, Captn Charles	Henry, George	Petersen, Mrs Sophia	McCombie, Mrs M.	Jensen, Victor	Francis, David	Morrall, James	Matts, Emanuel Mitchell, John			
1901		Mitchell, John	Craig, George			Donnelly, Captn James		Petersen, Mrs Sophia	McCombie, Mrs M.	Jensen, Victor	Rodgers Matthew	Morrall, James	Matts, Emanuel			
1900		Smyth, William	Craig, George			Donnelly, Captn James		Petersen, Mrs Sophia	Simmons, Thomas		Rodgers Matthew	Morrall, James	Matts, Emanuel			
1899		Smyth, William	Craig, George				Humphries J.	Petersen, Mrs Sophia	Simmons, Thomas	Mitchell, John	Henry, George	Morrall, James	Matts, Emanuel			
1898		Smyth, William	Craig, George				Ford, Barnable	Petersen, Mrs		Mitchell, John	Simmons, Thomas	Morrall, James	Matts, Emanuel			
1897		Smyth, William	Craig, George			Milham, John	Olsen, John	Petersen, Mrs	Summers, William	Tierney, Michael	Simmons, Thomas	Morrall, James	Matts, Emanuel			
1896		Gullicksen Edward	Craig, George			Milham, John	Anderson, J.	Petersen, Mrs	Summers, William	Bradley, George						
1895		Gullicksen Edward	Craig, George				Anderson, J.	Petersen, Mrs	Summers, William		Isitt, Thomas Bowder, John		Bennett, Thomas Watts (Matts?), Emanuel			
1894		Grant, William A. master mariner				Gullicksen Edward		Petersen, Mrs		Matts, Emanuel Matts, Charles H.	Bowder, John	Russell, Charles				
1893		Grant, William A. master mariner	Petersen, Mrs			Hansen, Salve Fender, William J. Summers, William painter				Matts, Emanuel Matts, Charles H.	Ross, William	Russell, Charles	Francis, David master mariner			
1892		Grant, William A.	Petersen, Mrs			Hansen, Salve	Cardill, Mrs	Fender, W.J.	Summers, William painter	Williamson Arthur J.	Ross, William F.	Rogers, Joseph	Teman, Mrs			
1891			Petersen, Mrs			Fletcher, Albert	Olston, August F.	Summers, William painter	Gerstman, Mrs F.	Williamson Arthur J.		Smythe, William	Thomas, Albert wharfinger			
1890		Williams, Captn				Williamson Arthur J.	Olston, August F.	Summers, William painter	Gerstman, Mrs F.	Murrow, H. senior constable	Beadman James	Smythe, William	Thomas, Albert wharfinger			
						1	2	3	4	5	6	7	8	9 (2?)	10 (2 or 4?)	11 (4?)

1889						Williams, W.	Olston, August F.	Summers, William painter	Gerstman, Mrs F.	Evans, Charles master mariner	Meadows George	Smyth, William	McCrory, Miss boarding house		Webb, Thomas	Walsh, William
1888						Buckingham Thomas	Olston, August F.	Summers, William painter	Gerstman, Mrs F.	Evans, Charles master mariner	Smyth, William	Beckett, Henry	McCrory, Miss boarding house		Meddowes, William clerk	Walsh, William
1887						Barrow, Mrs	Josephs, George carter	Summers, William painter	Gertsman Mrs F.	Evans, Charles master mariner	Smyth, William storeman		McCrory, Miss	Lloyd William	Meddowes, William clerk	
1886						Sargeant, Henry carter	Josephs, George carter	Summers, William painter	Gertsman Mrs F.	Evans, Charles master mariner	Smyth, William storeman	Gordon, Horace N.	McCauley, Miss boarding establishment	Lloyd William	Meddowes, William clerk	
1885						Meddowes William clerk	Josephs, George carter	Summers, William painter	Gertsman Mrs F. sempstress	Evans, Charles D.	Day, George	Gordon, Horace N.	McCauley, Miss boarding establishment	Lloyd William	Annis, Charles	
		<b>2</b>	<b>4</b>			<b>1</b>	<b>3</b>	<b>5</b>	<b>7</b>	<b>9</b>	<b>11</b>	<b>13</b>	<b>15</b>			
1884		Jones, Robert	Armis (sic?), Charles			Meddowes William clerk	Josephs, George carter	Summers, William painter	Scott, William engineer	Gertsman, Mrs Frances sempstress	Evans, Charles	Gordon, Horace N.	McRory, Mrs Ann laundress			
1883		Bell, Walter sailmaker	Cook, George wharfinger			Meddowes William clerk	Josephs, George	Summers, William painter	Scott, William engineer	Gertsman, Mrs Frances sempstress	Evans, Charles	Matts, Emanuel waterman	McRory, Mrs Ann laundress			
						<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>			
1882	<i>Off lower George St</i>	<i>No distinction made between north and south sides of Atherden Street – listings all appear to be for residents on the south side</i>				Smythe, William	Joseph (sic), George	Summers, William	Scott, William engineer	Gerstman Frances dressmaker	Evans, Owen	Matts, Emanuel waterman	McCrory, Miss Ann			
1881	<i>Not published in this year. No house numbering pre 1881 and no distinction made between north and south sides of Atherden Street</i>															
1880						Mitchell, John blacksmith	Mercer, John	Taylor, John Gorton	McCrory, Miss Ann							
1879						McHugh, Edward	Taylor, John G.	Mercer, John	Mitchell, John blacksmith							
1878	<i>Not published in this year</i>															
1877						Myers, Albert	Taylor, John G.	Mercer, John	Mitchell, John	Claydon Thomas stables						
1876	<i>Listed as part of George Street and shown as, 'Here Atherden St' – no residents or buildings listed</i>															
1875	<i>Listed as part of George Street and named Union Street – no residents or buildings listed</i>															

1874	<i>Not published in this year</i>
1865- 1873	<i>Listed as part of George Street and named Union Street – no residents or buildings listed</i>

## Appendix C

### Sydney Cove Authority Tenancy Cards

#### 2 Atherton Place

Property description: 2 floors, 4 rooms, 1 kitchen, 1 bathroom, 1 laundry, 1 copper, 2 tubs, services – gas and electric. Painting, lime wash and repairs by Bd.

(Ref) No.	Tenant	Nature of tenancy	From	To	Rent per week	Rates, Taxes & Insurance	Remarks
	Avery, J.	Weekly			18s 6d		
TA	Avery, Mrs Florence	W.T. (weekly tenancy)	27/5/ 44	-	18s 6d	Bd (Maritime Services Board?)	
TA	Crutcher, Mrs Gertrude May	W.T.	24/7/ 44	24/6/45	18s 6d	Bd	
TA	Avery, Joseph Edward William	W.T.	25/6/ 45		18s 6d	Bd	
			30/6/ 52		£1/2/ 6	Bd	
			28/9/ 53		£1/4/ 6		Rental increase 52/31802
			7/3/5 5		£1/6/ 6		Rental increase
			23/9/ 57	Vacated 22/10/61	£1/13 /-		Rental increase 57/31868
61/31 891	Ballard, Mrs Hazel Carmela		30/10 /61		£1/13 /-		Rental increase 57/31868

#### 4 Atherton Place

Property description: (None shown on card)

(Ref) No.	Tenant	Nature of tenancy	From	To	Rent per week	Rates, Taxes & Insurance	Remarks
	Crealy, J.W.	Weekly			£1/1/-		Deceased
	Crealy, E.E.			11/6/ 28	£1/1/-		
	Avery, W.J.		18/6/ 28	2/1/3 8	£1/1/-		
T.A.	Avery, Mrs Eva	W.T.	19/1/ 38	8/3/4 2	£1/1/-		Bd
T.A.	Young, Mrs Eva May	W.T.	9/3/4 2		£1/1/-		
			30/6/ 52		£1/7/-		Rental increase 52/31802
			28/9/ 53		£1/8/ 6		Rental increase 53/31810
			7/3/5( ?)		£1/11 /6		Increase

			23/9/ 57		£1/19 /-		Increase 57/31868
	Allen, Mrs Nita		25/11 /57		£1/19 /-		Mrs Allen renamed Mrs McCrae
63/31 550	McCrae, Mrs Nita Louisa						4 Apr 1963 in respect of premises No. 4 Atherton
(Ref) No.	Tenant	Nature of tenancy	From	To	Rent per week	Rates, Taxes & Insurance	Remarks
							Place for use as a private residence as from 25 Mar 1963 at £1/15/-
		W.T.	25/3/ 63		£1/15 /-	Bd	

Note:

- Spellings are as shown on tenancy cards
- No index to abbreviations shown on cards
- Numbers shown relating to entries appear to refer to files held by the managing authority however none were located at State Records of NSW and it is likely that they have not survived or continue to be held by the current managing authority
- Cards were incomplete in some sections

*The records were administered by previous managing authorities including Sydney Cove Redevelopment Authority and Maritime Services Board)*  
 (Source: State Records of NSW Series 13965 Container 11/3374)

## **Appendix D**

### **Sydney Municipal Council Assessment Books–**

Gipps Ward (City of Sydney Council Archives NCRS CRS 17)

Avery Terrace 2 and 4 Atherden Street, The Rocks (formerly known as Lots 9 & 10 of Campbell's Grant)

Year	House No	Rateable Person	Landlord or owner	Building Type	Material	Roofing	Floors	Rooms	Gross Annual Rating £	Nett Annual Rating £
<b>1867 (1 &amp; 2)</b>		Union St listed with 4 stone cottages (south side)								
<b>1871 (1 &amp; 2)</b>		Union St – Remarks include that the street off George St at this point is Union Street with 4 houses and detached stables (south side)								
<b>1880</b>		Union St renamed Atherden St 4 stone cottages (south								
<b>1882</b>	2	Walter Bell	Ebsworth	House	Brick	Slated	2	4	52	
	4	George Cook	Ebsworth	House	Brick	Slated	2	4	52	
<b>1891</b>	2	-	Sydney Real Estate Bank	House	B & S (Brick & Stone)	Iron	2	4	42	
	4	Mrs Petersen	Sydney Real Estate Bank	House	B & S (Brick & Stone)	Iron	2	4	42	
<b>1896-1901</b>	2	E. Gullicksen (Gullicksen?)	Perpetual Trustee Co.	House	Brick	Iron	2	5	31	28
	4	George Creagh (Craig?)	Perpetual Trustee Co.	House	Brick	Iron	2	5	31	28
<b>1901</b>	2	Robert Black	Perpetual Trustee Co.	House	Brick & Cement	Iron	2	5	31	
	4	George Craig	Perpetual Trustee Co.	House	Brick & Cement	Iron	2	5	31	
<b>1902-1906</b>	2	Robert Black	Perpetual Trustee Co.	House	Brick & Cement	Iron	2	5	31	28

Year	House No	Rateable Person	Landlord or owner	Building Type	Material	Roofing	Floors	Rooms	Gross Annual Rating £	Nett Annual Rating £
	4	George Craig	Perpetual Trustee Co.	House	Brick & Cement	Iron	2	5	31	28
<b>1907-1910</b>	2	Edward Byers	NSW Government Rocks Resumption	House	Brick	Slate	2	5	31	28
	4	John Brown(?)	NSW Government Rocks Resumption	House	Brick	Slate	2	5	31	28
<b>1911-13</b>	2	Edmund Byers	Government of NSW (Rocks Resumption)	House	Brick	Iron	2	6	31	
	4	John McClure	Government of NSW (Rocks Resumption)	House	Brick	Iron	2	6	31	
<b>1914-1915</b>	2	Louis McLaren	NSW Government	House	Brick	Iron	2	5	31	28
	4	James McClure	NSW Government	House	Brick	Iron	2	5	31	28
<b>1918</b>	2	John Avery	NSW Government R.R. (Harbour Trust)	House	Brick	Iron	2	5	31	28
	4	James H. McClure	NSW Government R.R.	House	Brick	Iron	2	5	31	28
<b>1921</b>	2	John Avery	NSW Government R.R.	House	Brick	Iron	2	5	31	
	4	Carl Raus	NSW Government R.R.	House	Brick	Iron	2	5	31	
<b>1924</b>	2	John Avery	NSW Government R.R.	House	Brick	Iron	2	4	45	41
	4	Roux & Co	NSW Government R.R.	House	Brick	Iron	2	4	45	41
<b>1925-1926</b>	2	John Avery	NSW Government R.R.	House	Brick	Iron	2	4	45	41

Year	House No	Rateable Person	Landlord or owner	Building Type	Material	Roofing	Floors	Rooms	Gross Annual Rating £	Nett Annual Rating £
	4	Roux & Co	NSW Government R.R.	House	Brick	Iron	2	4	45	41
<b>1927-1928</b>	2	John Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	41 (47)	43
	4	John Crealy	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	47	43
<b>1930</b>	2	John Avery	NSW Government (Sydney Harbour Trust)	House	Stone (Brick)	Iron	2	4	47	43
	4	William James Avery	NSW Government (Sydney Harbour Trust)	House	Stone (Brick)	Iron	2	4	55	50
<b>1931</b>	2	John Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	47	43
	4	William John Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	55	50
<b>1932-1933</b>	2	John Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	47	43
	4	William John Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	55	50
<b>1933-1935</b>	2	J. Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	47	43

Year	House No	Rateable Person	Landlord or owner	Building Type	Material	Roofing	Floors	Rooms	Gross Annual Rating £	Nett Annual Rating £
	4	W. Avery	NSW Government (Sydney Harbour Trust)	House	Brick	Iron	2	4	55	50
<b>1936-1938</b>	2	J. Avery	Maritime Services Board of NSW	House	Brick	Iron	2	4	47	43
	4	W. Avery	Maritime Services Board of NSW	House	Brick	Iron	2	4	55	50
<b>1939-1944</b>	2	J. Avery	Maritime Services Board of NSW	House	Brick	Iron	2	4	47	43
	4	E. Avery	Maritime Services Board of NSW	House	Brick	Iron	2	4	55	50
<b>1945-1947</b>	2	G. Crutcher	NSW Government Maritime Services Board of NSW	House	Brick	Iron	2	4	47	43
	4	E. Young	NSW Government Maritime Services Board of NSW	House	Brick	Iron	2	4	55	50
<b>1948-1949</b>	2	Edward Avery	NSW Government Maritime Services Board of NSW	House	Brick	Iron	2	4	55	50
	4	Eva M. Young	NSW Government Maritime Services Board of NSW	House	Brick	Iron	2	4	55	50

## Appendix E

### Electoral Rolls

Commonwealth Division West Sydney; Sydney (from 1980s) Subdivision –  
 Gipps (from 1900); Darling Harbour (from 1930s); King (from 1970s)

A selection of entries relating to individuals who lived in Atherden Street/Atherton Place, in particular those related to the Avery family, are listed below. Not all years have been recorded.

*Note: Spellings and variances in street name are as shown in Electoral Rolls*

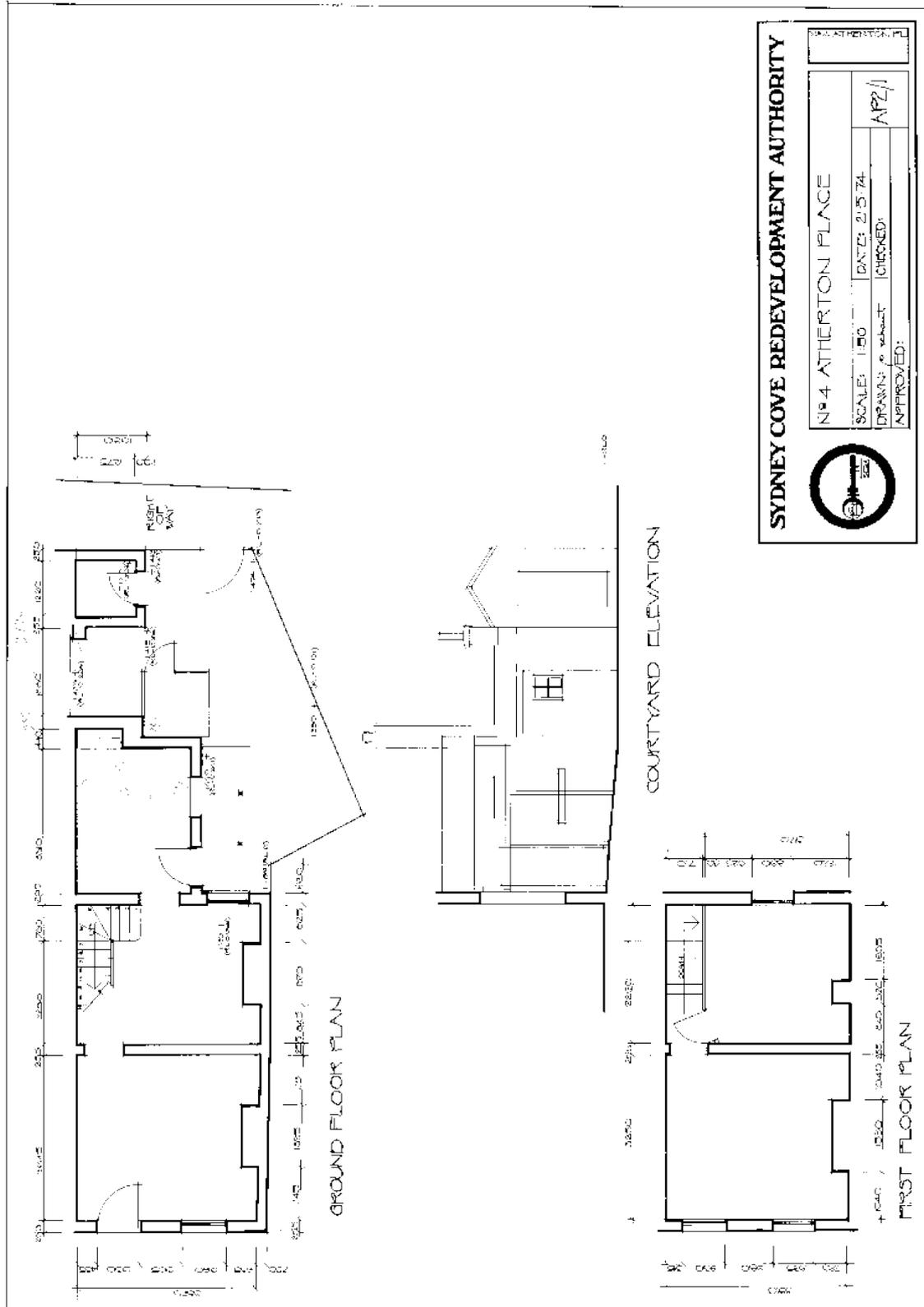
Year	Name	Address	Occupation
1903	Craig, Agnes	4 Atherden St	Domestic duties
	Donnelly, Ellen	2 Atherden St	Domestic duties
	Donnelly, James	2 Atherden St	Sea captain
	Donnelly, Nellie	2 Atherden St	Dressmaker
	Donnelly, Rose	2 Atherden St	Domestic duties
1909	Byers, Edward	2 Atherden St	Mariner
	Byers, Emily	2 Atherden St	Domestic duties
1913	McClure, James	4 Atherden St	Labourer
	McClure, Eliza	4 Atherden St	Home duties
	McLaren, Louis Munro	2 Atherden St	Coal lumper
	McLaren, Mary Ann	2 Atherden St	Home duties
	McLaren, Violet Mary	2 Atherden St	Dressmaker
1917	McClure, James	4 Atherden St	Labourer
	McClure, Eliza	4 Atherden St	Home duties
	Avery, Eva Frances	13 Atherden St	Home duties
	Avery, William Ernest	13 Atherden St	Coal lumper
1921	Avery, Charles	2 Atherdon St	Publisher
	Avery, Eva Frances	2 Atherton St	Home duties
	Avery, Florence	2 Atherdon St	Home duties
	Avery, Gertrude Rebecca	2 Atherdon St	Home duties
	Avery, John	2 Atherdon St	Coal lumper
	Avery, John Thomas	1 Atherton St	Carpenter
	Avery, Ruby May	1 Atherton St	Home duties
	Avery, Stephen Charles	2 Atherton St	Labourer
	Avery, William Ernest	1 Atherton St	Motor driver
	Avery, William James	1 Atherton St	Coal lumper
1928	Avery, Agnes Esther	4 Atherton Place	Home duties
	Avery, Charles	2 Atherdon St	Publisher
	Avery, Eva Frances	1 Atherton St	Home duties
	Avery, Florence	2 Atherdon St	Home duties
	Avery, Gertrude Rebecca	2 Atherton St	Home duties
	Avery, John	2 Atherdon St	Coal lumper
	Avery, Stephen Charles	2 Atherton St	Motor driver
	Avery, William Edward	4 Atherton Place	Labourer
	Avery, William Ernest	1 Atherton St	Labourer
	Avery, William James	4 Atherton St	Wharf labourer
	Young, Eva Mya (sic)	3 Atherton Place	Home duties
	Young, George Victor	3 Atherton Place	Motor driver
1930	Avery, Agnes Esther	4 Atherton Place	Home duties
	Avery, Charles	2 Atherdon St	Publisher

Year	Name	Address	Occupation
	Avery, Edward Joseph	1 Atherton St	Storeman
	Avery, Eva Frances	1 Atherton St	Home duties
	Avery, Florence	2 Atherton St	Home duties
	Avery, Gertrude May	2 Atherton St	Packer
	Avery, Gertrude Rebecca	2 Atherton St	Home duties
	Avery, John	2 Atherton St	Coal lumper
	Avery, Margaret Jane	2 Atherton St	Packer
	Avery, Stephen Charles	2 Atherton St	Motor driver
	Avery, William Edward	4 Atherton Place	Labourer
	Avery, William Ernest	1 Atherton St	Labourer
	Avery, William James	4 Atherton St	Wharf labourer
	Young, Eva Mya (sic)	3 Atherton Place	Home duties
	Young, George Victor	3 Atherton Place	Motor driver
1937	Avery, Agnes Esther	4 Atherton Place	Home duties
	Avery, Charles Frederick	4 Atherton Place	Publisher
	Avery, Eva Frances	1 Atherton St	Home duties
	Avery, Florence	2 Atherton St	Home duties
	Avery, Gertrude May	2 Atherton St	Packer
	Avery, Margaret Jane	2 Atherton St	Packer
	Avery, Stephen Charles	2 Atherton St	Motor driver
	Avery, William Edward	2 Atherton Place	Labourer
	Avery, William Ernest	1 Atherton St	Labourer
	Avery, William James	4 Atherton St	Wharf labourer
	Bonnette, George Sydney	4 Atherton St	Mechanic
1938 Supp.	Young, Eva Mya (sic)	3 Atherton Place	Home duties
	Young, George Victor	3 Atherton Place	Motor driver
1941	Avery, Charles Frederick	2 Atherton Place	Publisher
	Avery, Eva Frances	1 Atherton Place	Home duties
	Avery, Florence	2 Atherton Place	Home duties
	Avery, Margaret Jane	2 Atherton Place	Packer
	Avery, William Edward	2 Atherton Place	Labourer
	Avery, William Ernest	1 Atherton Place	Labourer
	Young, Eva May	4 Atherton Place	Home duties
	Young, George Victor	4 Atherton Place	Driver
1947	Avery, Agnes Esther	7 Atherton Place	Home duties
	Avery, Doreen Florence	4 Atherton Place	Shop Assistant
	Avery, Dorothy Gladys	2 Atherton Place	Home duties
	Avery, Eva Frances	7 Atherton Place	Home duties
	Avery, John Frederick	7 Atherton Place	Postal employee
	Avery, Joseph Edward William	2 Atherton Place	Storeman
	Avery, William James	7 Atherton Place	Stevedore
	Bonnette, George Sydney	7 Atherton Place	Mechanic
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
	Young, Eva May	4 Atherton Place	Home duties
	Young, George Victor	4 Atherton Place	Motor driver
1950	Avery, Agnes Esther	7 Atherton Place	Home duties
	Avery, Doreen Florence	4 Atherton Place	Shop assistant
	Avery, Dorothy Gladys	2 Atherton Place	Home duties
	Avery, Eva Frances	7 Atherton Place	Home duties
	Avery, John Frederick	7 Atherton Place	Postal employee
	Avery, Joseph Edward	2 Atherton Place	Storeman
	Avery, William James	7 Atherton Place	Stevedore

Year	Name	Address	Occupation
	Bonnette, George Sydney	1 Atherton Place	Mechanic
	Bonnette, Hannah Jane Catherine	1 Atherton Place	Home duties
	Young, Eva May	4 Atherton Place	Home duties
	Young, George Victor	4 Atherton Place	Motor driver
1955	Avery, Agnes Esther	7 Atherton Place	Home duties
	Avery, Dorothy Gladys	2 Atherton Place	Home duties
	Avery, Eva Frances	7 Atherton Place	Home duties
	Avery, George	1 Atherton Place	Soldier
	Avery, Joseph Edward William	2 Atherton Place	Storeman
	Avery, William James	7 Atherton Place	Stevedore
	Bonnette, George Sydney	7 Atherton Place	Mechanic
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
	Young, Irene Francis	4 Atherton Place	Telephoniste
	Young, George Victor	4 Atherton Place	Stevedore
1958	Avery, George	1 Atherton Place	Soldier
	Avery, Joseph Edward William	2 Atherton Place	Storeman
	Avery, William James	7 Atherton Place	Stevedore
	Bonnette, George Sydney	7 Atherton Place	Mechanic
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
	Allen, Nita Louisa	4 Atherton Place	Home duties
1960	Avery, Dorothy Gladys	2 Atherton Place	Home duties
	Avery, Joseph Edward William	2 Atherton Place	Storeman
	Allen, Nita Louise	4 Atherton Place	Home duties
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
1966	McCrae, John	4 Atherton Place	Laboratory assistant
	McCrae, Nita Louise	4 Atherton Place	Home duties
	Bonnette, George Edward	7 Atherton Place	Clerk
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
1970	Bonnette, George Edward	7 Atherton Place	Clerk
	Bonnette, Hannah Jane Catherine	7 Atherton Place	Home duties
	McCrae, John	4 Atherton Place	Laboratory assistant
	McCrae, Nita Louise	4 Atherton Place	Home duties
1972	Bonnette, George Edward	4 Atherton Place	Clerk
	Bonnette, Hannah Jane Catherine	2 Atherton Place	-
	Bonnette, Suzanne Joan	4 Atherton Place	
1973	Bonnette, George Edward	4 Atherton Place	Clerk
	Bonnette, Hannah Jane Catherine	2 Atherton Place	-
1984	Bonnette, Hannah Jane Catherine	2 Atherton Place	-
1986	Bonnette, Hannah Jane Catherine	2 Atherton Place	-
1989	Bonnette, Hannah Jane Catherine	2 Atherden St, Sydney	-

## Appendix F

### Measured Drawings of Past Renovations Dated 1974, 1975 and 1995



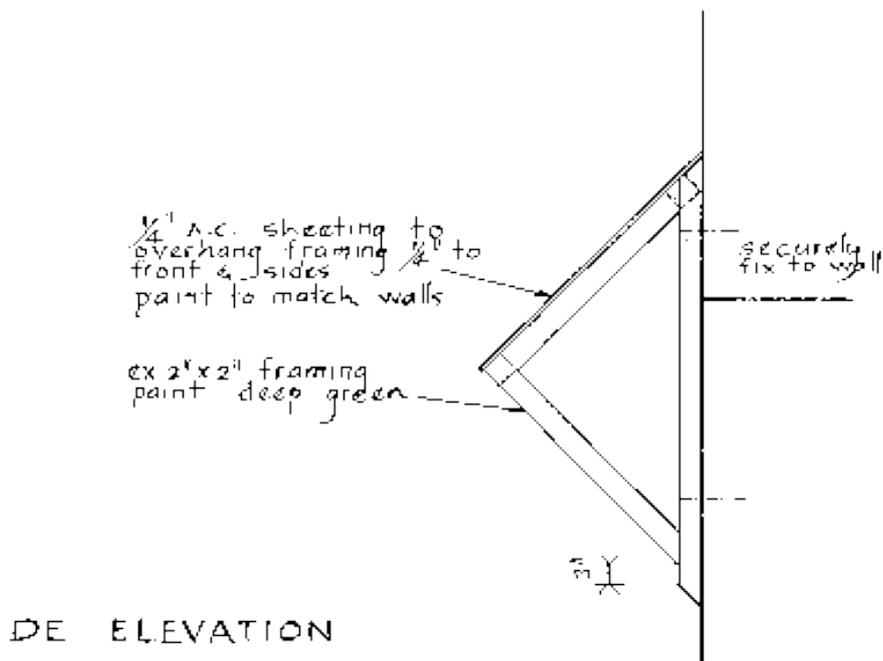
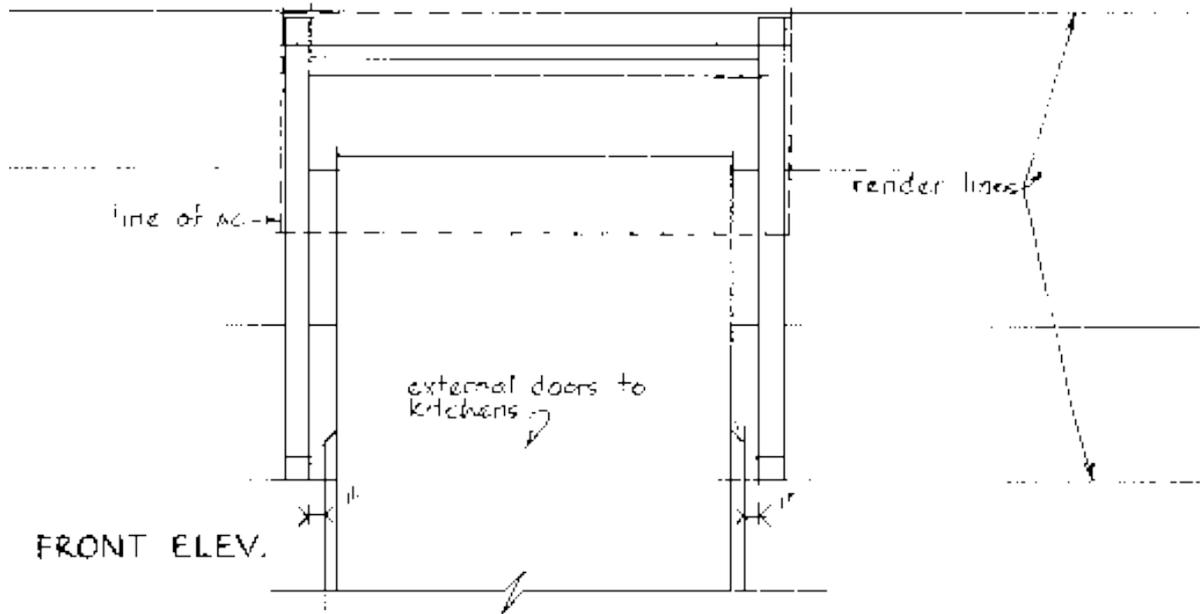




# AWNINGS TO KITCHEN DOORS

## 2 + 4 ATHERTON PLACE

SCALE 1" TO 10" 21-5-1975 *Plan* AP2/S4





**SYDNEY COVI  
 AUTHORITY**

80 George Street, The Rocks.  
 02 255 1700 Tel  
 02 251 1680 Fax

**Mail to:**

The Secretary  
 P.O.Box N408 Grosvenor Place  
 SYDNEY NSW 2000

**NOTES:**

Figured dimensions shall take precedence over scaled dimensions.  
 The Contractor shall verify all dimensions on site before preparing workshop drawings or commencing work.  
 In the event of any doubt, the Contractor shall obtain written clarification from the Superintendent.

**Project:**

4 Atherden St. Upgrading

**Drawing title:**

Plan

Scale 1:50

Drawn KM

Checked

Approved

Drawing No.

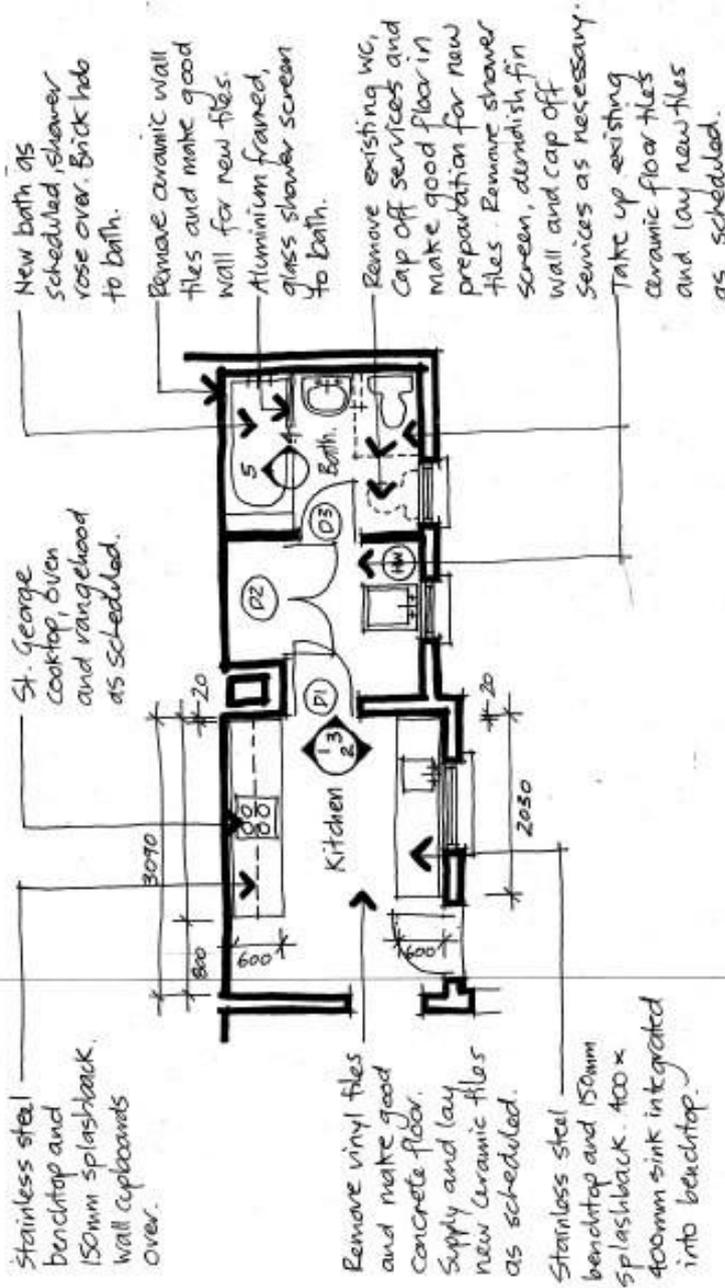
Date August 95

Date

Date

Date

**AP2/56**





**SYDNEY COVE  
AUTHORITY**



80 George Street, The Rocks.  
02 255 1700 Tel  
02 251 1680 Fax

**Mail to:**

The Secretary  
P.O.Box N408 Grosvenor Place  
SYDNEY NSW 2000

**NOTES:**

Figured dimensions shall take precedence over scaled dimensions.  
The Contractor shall verify all dimensions on site before preparing workshop drawings or commencing work.  
In the event of any doubt, the Contractor shall obtain written clarification from the Superintendent.

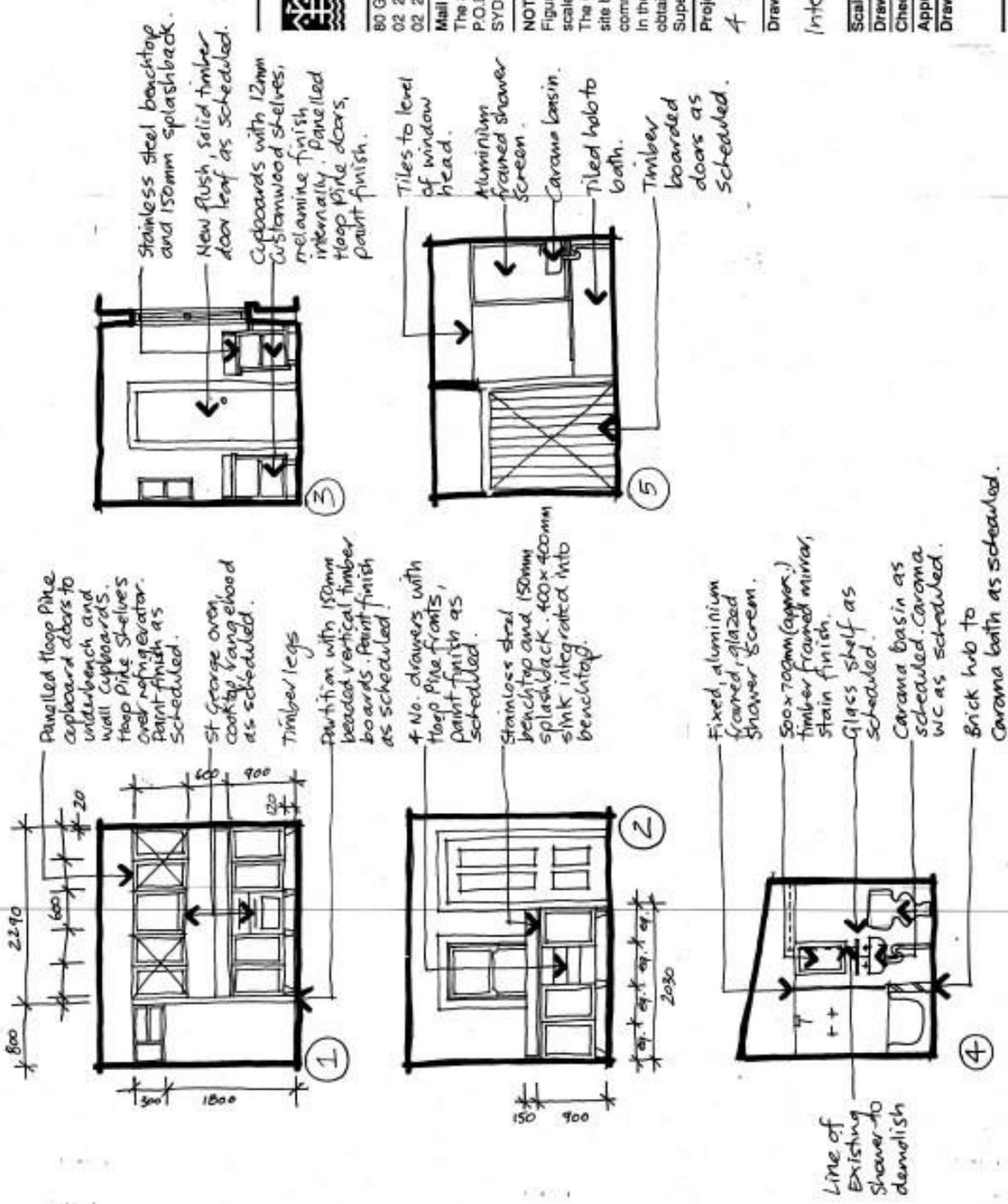
**Project:**

4 Atherden St. upgrading

**Drawing title:**

Internal Elevations

Scale 1:50	Date August 97
Drawn KM	Date
Checked	Date
Approved	Date
Drawing No.	<b>AP2/57</b>







# SYDNEY COVE AUTHORITY



80 George Street, The Rocks.  
02 255 1700 Tel  
02 251 1680 Fax

**Mail to:**

The Secretary  
P.O.Box N40B Grosvenor Place  
SYDNEY NSW 2000

**NOTES:**

Figured dimensions shall take precedence over scaled dimensions.  
The Contractor shall verify all dimensions on site before preparing workshop drawings or commencing work.  
In the event of any doubt, the Contractor shall obtain written clarification from the Superintendent.

**Project:**

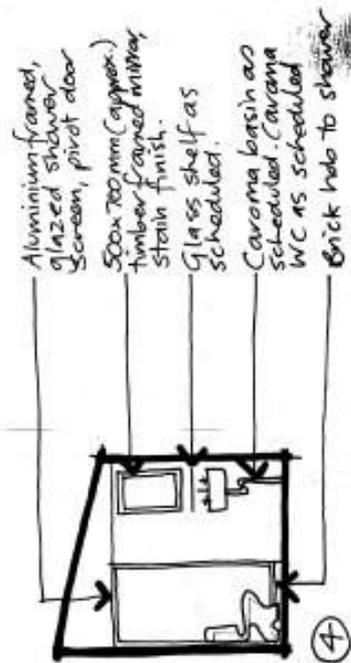
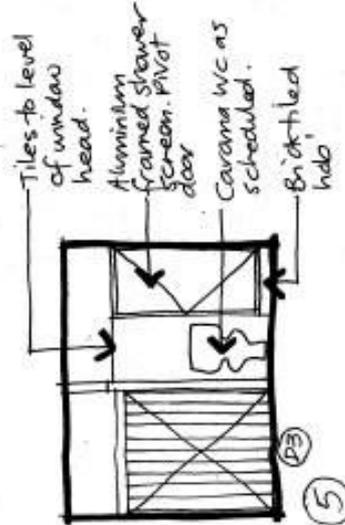
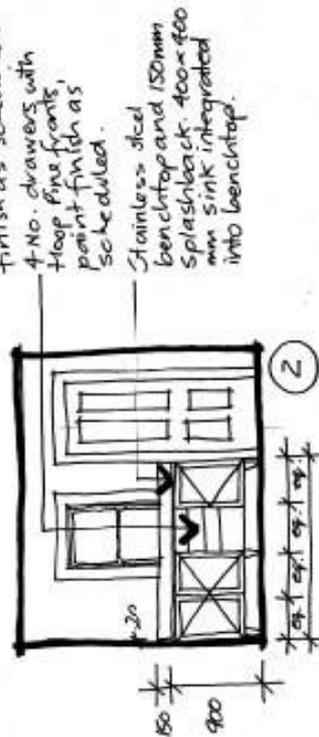
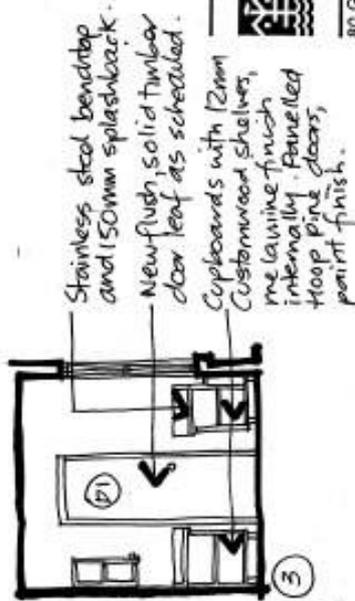
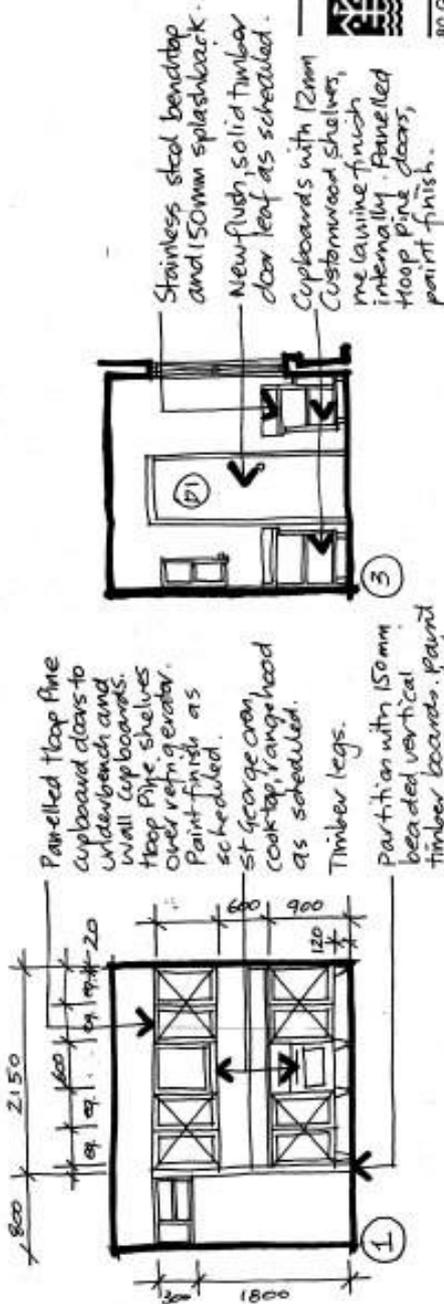
S Atherden street upgrade

**Drawing title:**

## INTERNAL ELEVATIONS

Scale	Date
Drawn	Date
Checked	Date
Approved	Date
Drawing No.	

**AP6/S13**



## Appendix G

### Schedule of Works - Renovations & Additions to 2 & 4 Atherton Place (1975)

C.1146 DC:JA 3 | JAN 1975

SCHEDULE OF WORKS No. 1/75

FOR THE  
RENOVATIONS AND ADDITIONS  
TO  
2 AND 4 ATHERTON PLACE

PRELIMINARIES

The following works by areas, shall be read in conjunction with the Authority's standard specification for each trade and with drawing No. AP2/2 and any subsequent details.

GENERALLY

NOTE : The works specified under this heading shall apply to ALL areas. Specific works which apply to one area only are hereafter specified under that area.

<u>1. Demolisher</u>	1.1	To walls and floors hereafter scheduled to be dismantled, remove all materials from the site. All care shall be taken to prevent existing finishes being damaged by such removal.
	1.2	Remove all existing floor coverings to No. 4; retain all except kitchen in No. 2.
<u>2. Drainer/ Plumber</u>	2.1	Provide new drainage lines to all new fittings. Remove from the site all drainage pipes which are uncovered in new trenches.
	2.2	All plumbing shall be executed in <u>Copper</u> .
	2.3	Provide hot and cold water service throughout.
	2.4	Remove all disused drainage, water and gas pipes.
	2.5	Conceal all new pipes.
	2.6	Retain brass taps for the Authority.
<u>3. Concretor</u>	3.1	Lay visqueen membrane on sand fill, turn up membrane.
	3.2	Supply and assemble reinforcement all as shown on the drawing
	3.3	Supply and place concrete footings and slabs to the size and depth shown on the drawings.
<u>4. Bricklayer</u>	4.1	Common bricks shall be used for all new work and shall be hard, sound, well burnt and true to size.
	4.2	Arrises shall be protected from damage during handling.
	4.3	Mortars as per standard specification.

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- 4.4 Use Colonial Bond in all 9" work, stretcher bond in 4½" work.
5. Carpenter & Joiner
- 5.1 In addition to all work hereafter scheduled, repair all window frames and components. Replace all sash cords. Ease on completion.
- 5.2 Fit to each window where required, one window catch and two window lifts, all supplied by the Authority.
- 5.3 To all doors, check all hinges and replace missing screws; repair architraves where damaged by previous locks. Ease on completion.
- 5.4 Remove all projecting boards, nails etc from window and door frames.
- 5.5 Check all floorboards, renail as necessary.
6. Plasterer
- 6.1 Generally remove all damaged, cracked or loose wallpaper.
- 6.2 Remove all miscellaneous battens from the walls and make good.
- 6.3 Where plaster is cracked or drummy, it shall be removed and made good.
- 6.4 Check all walls and ceilings, scrape down, clean and repair as necessary.
- 6.5 Treat walls for dampness where necessary.
7. Electrician
- 7.1 Disconnect power and remove all existing exposed wiring, including sub-floor wiring.
- 7.2 Rewire throughout to points shown using concealed wiring.
- 7.3 Reconnect existing lights in existing positions unless otherwise specified. In main house provide cords 800 long.
- 7.4 Use white pull-cord switches throughout.
- 7.5 Powerpoints and batten holders shall be white throughout unless otherwise specified.
- 7.6 Provide and fix TV socket in living rooms and run TV aerial to waterproof socket mounted on roof parapet.
8. Tiler
- 8.1 Tile areas shown in Elevations 2 & 3. Tile behind sink to same height as shown in Elevation 2.
9. Glazier
- 9.1 Reglaze all broken and cracked panes.
- 9.2 Repair putty to all panes as necessary.

<p><b><u>10. Painter</u></b></p>	<p>10.1 Apply two coats, unless otherwise specified, to all internal surfaces and to all new and repaired external surfaces, excluding the new roof.</p> <p>10.2 A detailed colour schedule will be provided.</p> <p>10.3 Earthenware chimney pots shall <u>not</u> be painted.</p>
	<p><b><u>P.C. ITEMS</u></b></p>
<p><b><u>Generally</u></b></p>	<p>Door hardware Vinyl Tiles Ceramic Tiles Taps and spouts</p>
<p><b><u>Kitchens</u></b></p>	<p>Lower cupboards Upper cupboards Sink and sink cupboard Gas range</p>
<p><b><u>Laundries</u></b></p>	<p>Gas hot water unit Laundry tub</p>
<p><b><u>Bathrooms</u></b></p>	<p>Low down suite and seat Bath Vanity Basin Shower screens (SS and glass) Floor wastes Towel Rail Toilet paper holder Mirror 2 recessed soap holders</p>
<p><b><u>Courtyards</u></b></p>	<p>Retractable clothes lines</p>
<p><b><u>Living</u></b></p>	<p>Door seal to front door 1 Brass letter box flap</p>

Area:	<u>ATHERTON PLACE FACADE</u>	
<u>2. Plumber</u>	2.1	Remove exposed gas pipes.
	2.2	Replace centre downpipe with new section.
<u>5. Carpenter</u>	5.1	Carefully remove elliptical number plates 2 and 4; from the front doors. Remove all paint; allow for refixing.
	5.2	Remove door knobs and retain for the Authority. Allow for fixing two centre pull knobs supplied by the Authority.
	5.3	Remove masonite sheeting from the front doors. Repair framing and panels as necessary.
	5.4	Remove bells and fill holes.
	5.5	Retain letter box flaps and allow for refixing. Chrome unit to be replaced by brass.
	5.6	Install selected locks (PC item)
	5.7	Fit doorknocks supplied by the Authority.
	5.8	Install Hills Daniels DS4 door seals (PC item).
	5.9	Screw to foot of doors, new timber shaped storm moulds.
	5.10	Ease doorlights, fit devices if missing, remove plastic finish to No. 4.
	5.11	Refix existing gate back 1250 from front alignment. Provide new frames with head at 2000 and infill above with lining to match gate to 2400. Fit padlock.
<u>7. Electrician</u>	7.1	Take down electrical meter box and all exposed wiring. <u>Note</u> that the electricity supply to the main section of No. 2 must be maintained for the duration of the job.
	7.2	Make arrangements with the County Council to move the point of entry to the western end of the building. Bear in mind that the aerial may be replaced by an underground service within the next five years.
	7.3	Relocate PMG to enter houses directly from the pavement box. Remove existing external wiring.
	7.4	Provide or connect new copper gooseneck and metal chinamans hat shade over front doors, all to future detail.
<u>10. Painter</u>	10.1	Make good to wall surface where damaged by the removal of wiring to the meter box and pipes etc.
	10.2	Paint front doors and steps on completion.
	10.3	Paint new downpipe with galbond and finishing coats.

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BUILDING FACADES

(except for Atherton Place facade)

East Facade to No. 4

2. Plumber 2.1 Effectively flash opening between wall of No. 4 and parapet of adjacent property.

This item shall be executed at the begining of the job.

External walls to additions

6. Plasterer 6.1 Render brick walls with waterproof render complete with grooves to match existing. Window sill to match kitchen.

SUB-FLOOR

Remove all miscellaneous rubbish and or building materials from sub-floor space.

All disused wiring and pipework shall be removed.

Provide additional sub-floor cross ventilation to Architects requirements.

Provide report on condition of sub-floor timber construction. Rentokil to treat areas.

ROOF

2. Plumber 2.1 Check whole of existing roof area; tighten roof nails and repair flashings as necessary.
- 2.2 Supply and fix selected colour CGI Colorbond sheeting to new roof area, complete with ridge capping, end capping and stepped lead flashing to existing wall and chimney.
- 2.3 Provide and fix 100 GI gutters to new section and to kitchen roof.
- 2.4 Connect new downpipe to existing in matching section.
4. Bricklayer 4.1 Securely fix to existing chimneys, chimney pots supplied by the Authority.
- |              |            |
|--------------|------------|
| Main roof    | 2 to No. 4 |
|              | 1 to No. 2 |
| Rear chimney | 1 only     |
7. Electrician 7.1 Provide and fix waterproof TV aerial socket to each side of centre roof parapet close to apex. Relocate TV antennae to apex of centre parapet and securely fix. Check for damage and repair before refixing.

- 6 -

LIVING ROOMS 21 & 41

NOTE: Room 21 is not to be worked on until advised near the end of the job.

- |                                  |      |  |
|----------------------------------|------|--|
| <u>2. Plumber</u>                | 2.1  | Remove gas pipes and meters and relocate in rear yards where indicated on the drawing.   |
|                                  | 2.2  | Supply pipes from 250 outside building line to new meter positions shall be 32 OD copper.  |
|                                  | 2.3  | Supply all necessary pipes and fittings to connect service to new fittings.  |
|                                  | 2.4  | Make good to walls.  |
| <u>5. Carpenter &amp; Joiner</u> | 5.1  | Repair timberwork as necessary.  |
|                                  | 5.2  | Remove masonite panel from fireplace, shape new infil panel behind coal grille.  |
| <u>7. Electrician</u>            | 7.1  | Remove existing ceiling fitting without damaging ceiling rose. Provide new <del>xxxxxxx</del> light from centre of rose, cord length 800, switched where shown on the drawing. |
|                                  | 7.2  | Provide new power points with concealed wiring.  |
|                                  | 7.3  | Provide television aerial socket, connect wiring to weatherproof socket on the roof parapet.   |
| <u>10. Painter</u>               | 10.1 | One coat only required to walls and ceiling of Room 21.  |

DINING ROOM 22

NOTE: This work to be held over until the near completion of the remainder of the job.

- |                       |      |  |
|-----------------------|------|--|
| <u>5. Carpenter</u>   | 5.1  | Construct 750 X 450 access hatch in floor. Replace carpet on completion.               |
|                       | 5.2  | As for 5.6 Dining Room 42  |
| <u>7. Electrician</u> | 7.1  | All as for Room 42.  |
|                       | 7.2  | Provide additional temporary powerpoint for duration of job, or wire up one new point. |
| <u>10. Painter</u>    | 10.1 | One coat only required throughout.   |

DINING ROOM 42

- |                                  |      |  |
|----------------------------------|------|--|
| <u>5. Carpenter &amp; Joiner</u> | 5.1  | Remove existing wall cupboard and battens to east wall.  |
|                                  | 5.2  | Repair and rehang door of storage cupboard under stair. Provide a 50 gap to floor for ventilation purposes.                                |
|                                  | 5.3  | Replace missing skirting in stair cupboard.  |
|                                  | 5.4  | Construct 750 X 450 access hatch in floor for periodic sub-floor inspection and pest control.  |
|                                  | 5.5  | Reopen wall ventilator on north wall.  |
|                                  | 5.6  | Remove masonite panel from fireplace, shape new infil panel behind projecting coal grille.   |
| <u>6. Plasterer</u>              | 6.1  | Repair wall of stair cupboard.   |
|                                  | 6.2  | Make good all damp patches of plasterwork.   |
|                                  | 6.3  | Repair wall after removal of cupboards, wiring etc.  |
| <u>7. Electrician</u>            | 7.1  | Rewire and provide new light from centre of ceiling rose, cord length 800, and flush powerpoints and switches where shown on the drawings. |
|                                  | 7.2  | Remove existing powerpoints.   |
| <u>10. Painter</u>               | 10.1 | Refer to Generally.  |

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KITCHENS 23 & 43

- |                                  |      |  |
|----------------------------------|------|--|
| <u>1. Demolisher</u>             | 1.1  | Remove all existing kitchen equipment. Retain both kitchen sinks for the Authority.  |
|                                  | 1.2  | Take up timber floor, joists and bearers and remove from site.   |
|                                  | 1.3  | Provide compacted fill for new concrete slab.  |
|                                  | 1.4  | Demolish mantle shelf.   |
| <u>2. Plumber</u>                | 2.1  | Remove existing surface mounted gas pipes. Lay new line in floor slab with upstand at new stove location. Allow for connection of gas range.         |
|                                  | 2.2  | Remove existing surface mounted water pipes. Provide for new concealed line to serve sink.   |
|                                  | 2.3  | Install new 1200 (4'0") stainless steel sink and cupboard unit. (Allow PC)   |
|                                  | 2.4  | Allow for copper hot and cold water connections.   |
| <u>3. Concretor</u>              | 3.1  | Place new 100 (4") mesh reinforced concrete slab on fill with appropriate waterproofing membrane turned up at walls. Refer to plan for mesh details. |
|                                  | 3.2  | Finish with steel trowel.  |
| <u>4. Bricklayer</u>             | 4.1  | Close chimney recess as shown on the drawing.  |
|                                  | 4.2  | Form opening between Kitchen and Laundry.  |
| <u>5. Carpenter &amp; Joiner</u> | 5.1  | Install new cupboard units (Allow PC)  |
|                                  | 5.2  | Install panelled door supplied by Authority between kitchen and laundry. Arrange for delivery of door prior to completing the framing.               |
|                                  | 5.3  | Supply and fix new skirting as required to approximately match existing.   |
| <u>6. Plasterer</u>              | 6.1  | Bag north wall to approximately match existing finish in remainder of room.  |
| <u>7. Electrician</u>            | 7.1  | Remove all existing exposed wiring.  |
|                                  | 7.2  | Install new light and powerpoints where shown on the drawing.  |
| <u>8. Tiler</u>                  | 8.1  | Fix selected splashback to wall between cupboard and wall units and to sink unit.  |
|                                  | 8.2  | Lay selected vinyl tiles to floor, include kitchen and stove recesses (Allow PC)   |
| <u>9. Glazier</u>                | 9.1  | Reglaze kitchen window as necessary.   |
| <u>10. Painter</u>               | 10.1 | Refer to Generally.  |

LAUNDRY/STORE 24 & 44

1. Demolisher
  - 1.1 Demolish all timber and galvanised iron walls, all associated lean-to roofs, including roof to toilet block.
  - 1.2 Carefully demolish section of chimney shown dotted. Carefully take down chimney pot prior to demolition if vibration is likely to cause it to fall.
  
2. Drainer/Plumber
  - 2.1 Do all work necessary for drainage to tub.
  - 2.2 Install new gas hot water heater (Allow PC for supply of 15 gal mains pressure gas heater). Run condensation overflow pipe through the external wall.
  - 2.3 Install new tub (PC item).
  - 2.4 Install new hot and cold taps and spouts for tub and hosecocks for future washing machine (Allow PC for hardware).
  
3. Concretor
  - 3.1 Supply and place reinforced concrete footings and floor, the latter laid with falls to the floor waste.
  
4. Bricklayer
  - 4.1 Lay 9" work in Colonial Bond where shown on the drawing. Make inner face true for bagging. External sill to match kitchen.
  
5. Carpenter
  - 5.1 Construct new roof and ceiling as detailed.
  - 5.2 Install new double hung windows and doors.
  - 5.3 Fabricate storage cupboards as detailed and hang flush sliding doors with recessed finger holds.
  - 5.4 Supply and fix ex 75 X 25 timber skirting all round.
  
6. Plasterer
  - 6.1 Bag all walls.
  
7. Electrician
  - 7.1 Install grey powerpoint and white ceiling batten-holder.
  
8. Tiler
  - 8.1 Lay selected vinyl tiles to floor.
  
10. Painter
  - 10.1 Paint whole of room including walls in storage cupboard. Paint front edge of shelves only.

x

- 10 -

BATHROOM 25 & 45

- |                                  |      |  |
|----------------------------------|------|--|
| <u>1. Demolisher</u>             | 1.1  | Demolish sections of WC outhouse shown dotted.   |
| <u>2. Drainer &amp; Plumber</u>  | 2.1  | Do all work necessary for drainage to bath, shower, basin, WC and floor wastes.  |
|                                  | 2.2  | Install new low down suite and black seat (PC item).   |
|                                  | 2.3  | Install new vanity basin and bath (PC items).  |
|                                  | 2.4  | Install new hot and cold cocks and spouts for bath, shower and basin. Arrange hot and cold cocks vertically in shower cubicle (Allow PC for cocks and spouts).   |
| <u>3. Concretor</u>              | 3.1  | Supply and place reinforced concrete footings and floor, the latter laid with falls to the floor wastes. Set shower recess 2" below bathroom floor.  |
| <u>4. Bricklayer</u>             | 4.1  | Lay 9" Colonial Bond brickwork where shown on the drawing. Make inner face true for tiling and bagging.  |
|                                  | 4.2  | Lay 4½" brickwork to enclose bath and extend under vanity shelf to north wall. Provide for two ventilating bricks.   |
| <u>5. Carpenter &amp; Joiner</u> | 5.1  | Construct new roof and ceiling as detailed   |
|                                  | 5.2  | Install new double hung window (Trend 3120CL).   |
|                                  | 5.3  | Hang door.   |
|                                  | 5.4  | Erect selected shower screen (PC item).  |
|                                  | 5.5  | Construct and fit vanity shelf and cupboard. Allow for one shelf. Hang doors up 50 from floor for ventilation.   |
|                                  | 5.6  | Fit mirror (PC item).  |
| <u>6. Plasterer</u>              | 6.1  | Bag all walls not scheduled to be tiled.   |
| <u>7. Electrician</u>            | 7.1  | Install grey power point and white ceiling batten holder, <del>and white ceiling</del>   |
| <u>8. Tiler</u>                  | 8.1  | Lay selected ceramic tiles to floor including floor to cupboard and shower recess (Allow PC).  |
|                                  | 8.2  | Fix selected ceramic matt tiles to <del>fix</del> walls to 2000 (6'7") in shower recess, to 1220 (4'0") around bath and vanity and bath enclosure and including open recess under vanity shelf at end of bath. |
|                                  | 8.3  | Fix skirting tile in cupboard.   |
| <u>10. Painter</u>               | 10.1 | Paint ceiling, bagged walls and WC soil  |

- 11 -

BEDROOM 47

- |                       |      |   |
|-----------------------|------|---|
| <u>5. Carpenter</u>   | 5.1  | Remove masonite panel from fireplace, shape new infill panel behind projecting coal grille. |
|                       | 5.2  | Refer to Generally  |
|                       | 5.3  | Provide and fit new mantle shelf ex 150 X 36 X 1400 long. Round all exposed edges.          |
| <u>6. Plasterer</u>   | 6.1  | Refer to Generally,   |
|                       | 6.2  | Repair chimney recess as necessary.   |
| <u>7. Electrician</u> | 7.1  | Rewire and provide new light from existing ceiling rose, cord 600 long.                     |
| <u>10. Painter</u>    | 10.1 | One coat throughout.  |

BEDROOM 27

Similar works to room 47.

This work to be held over until the near completion of the remainder of the job.

BEDROOM 28 & STAIR 26

Similar works to room 48 but less fitting of new door and handrail.

This work to be held over until the near completion of the remainder of the job.

- 12 -

BEDROOM 48 & STAIR 46

- |                              |  |
|------------------------------|--|
| <p><u>5. Carpenter</u></p>   | <p>5.1 Construct new cupboard over stair, bottom of door shall be 750 above first floor. Allow for two adjustable shelves in edgestripped pyneboard or similar. Carefully remove lining boards affected and reuse on wall to stair and use for door. Ceiling to cupboard shall be pyneboard.</p> <p>5.2 Hang new panelled door supplied by the Authority, swing according to plan.</p> <p>5.3 Supply and fit ex 50 dowelling handrail to bedroom side of stair, screwed to partition 810 above nosing.</p> |
| <p><u>6. Plasterer</u></p>   | <p>6.1 Refer to Generally.</p>   |
| <p><u>7. Electrician</u></p> | <p>7.1 Fit two way switches to light over stairs.</p>  |
| <p><u>10. Painter</u></p>    | <p>10.1 One coat throughout.</p>   |

		<u>COURTYARD 29</u>
<u>1. Demolisher</u>	1.1	Take down fence shown dotted on the drawing.
	1.2	Remove the <sup>tar</sup> paving between this fence and the cliff.
	1.3	Remove timber from above door to kitchen.
<u>2. Plumber</u>	2.1	Install hosecock adjacent to yard gully.
<u>3. Concretor</u>	3.1	Place concrete between existing concrete and a line 500 from the cliff, all as shown on the drawing. Repair concrete where fenceposts removed. Fall concrete to gully.
<u>5. Carpenter</u>	5.1	Construct new 1800 paling fence where shown.
	5.2	Construct all necessary temporary fences to allow access fo the passageway to the north of the outhouse and to make the area secure. Remove on completion. Concrete new posts into the ground.
	5.3	Install retractable clothes line from wall of house to 100 X 100 HW post on fence. Height to be advised.
<u>7. Electrician</u>	7.1	Install yard light similar to light over street doors. Switch to kitchen, use wall mounted grey switch.
<u>10. Painter</u>	10.1	Paint new and repaired work to match existing.
		<u>COURTYARD 49</u>
<u>1. Demolisher</u>	1.1	Remove concrete plinth and grade.
	1.2	Demolish lean-to roof and awning over kitchen.
	1.3	Remove cupboard and all undergrowth
	1.4	Retain garden and creeper.
<u>2. Plumber</u>	2.1	Install hosecock adjacent to yard gully.
<u>5. Carpenter</u>	5.1	Demolish yard gate, erect new 1800 paling fence. Concrete posts into the ground.
	5.2	Install retractable clothes line to 100 X 100 HW post on fence. Height to be advised.
<u>7. Electrician</u>	7.1	Install one selected wall mounted light, switched to kitchen, use wall mounted grey switch.
<u>11. Pavior</u>	11.1	Lay common bricks on consolidated bed of sand and cement in herringbone pattern to area shown on plan. Increase strength of cement/sand fill on edge of garden and thinly grout edging bricks.
	11.2	Fill to yard gully.

## **Appendix H**

### **Schedule of Works (1995)**

**SCHEDULE OF WORKS**  
**4 Atherden Street Upgrading**

8th August 1995

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**1.0 GENERALLY**

**1.1 Hardware**

- 1.1.1 Remove all brackets, rods and other fixings for curtains from all window frames and from the rear of door leafs and make good joinery as necessary.
- 1.1.2 Carefully remove all sash lifts and fasteners from window sashes. Clean all items carefully to the direction of the Sydney Cove Authority for reinstatement in existing positions after painting.
- 1.1.3 Remove 4No. original rimlocks and strike plates from panelled doors (2No. on ground floor and 2 No. on first floor). Dismantle locks and clean of all dirt, rust, paint and built up material to the direction of the Authority. Oil thoroughly to enable the use of all locks. Apply ~~black~~ <sup>gloss enamel</sup> black paint finish to the direction of the Authority to all rimlock cases. Reinstall all locks and strike plates in their original positions and ease to ensure their easy operation. Fit milled edged, brass knobs (Legge 326 R PB) to all repaired rimlocks, *to match originals*

**1.2 Timber Floors**

- 1.2.1 <sup>Remove</sup> ~~Take up~~ all remaining fixings for former carpets to ground and first floors and make good boards as necessary and to the approval of the Authority.
- 1.2.2 Allow to patch <sup>15</sup>% existing floorboards to match existing as closely as possible.
- 1.2.3 <sup>lightly</sup> Sand all floorboards to ground and first floor rooms and landing.
- 1.2.4 Apply 3 coats Feast Watson Tung Oil to floors and landing.

**1.3 Electrical Works**

- 1.3.1 Check over all electrical wiring throughout building and report condition to the Authority.
- 1.3.2 Replace all plastic roses for pull switches and replace all pull switch cords and knobs throughout the building.

Schedule of Works  
4 Atherden Street Upgrading

August 1995

- 1.3.3 Remove all existing light fittings and fixings and hand to the Sydney Cove Authority. Renew all pendant cords and fit holders for glass shades to the direction of the Authority. Allow \$250.00 for supply only of 6No. new glass shades and holders for lights, to be selected by the Authority. Install selected shades and fittings to pendant cords and battens.
- 1.3.4 Unscrew existing batten fitting to bathroom ceiling. Cut angled timber rose, to be detailed by the Authority, approximately 70mm diameter, to fit slope of ceiling and allow batten to sit level. Fix rose to ceiling in former location of batten. Prepare and paint with one undercoat and two coats Satin Enamel in selected colour. Refix batten to underside of timber block.
- 1.3.5 Check over all GPO plates throughout building and rewire and replace where necessary and to the direction of the Authority.
- 1.3.6 Run wiring to 2No. GPO outlets in new kitchen and 1No. in bathroom to the direction of the Authority. Note: Location of GPOs to be in similar position to present location.

#### 1.4 Preparation

- 1.4.1 Patch any badly damaged sections of joinery to the direction of the Authority. (In particular, patch around external door knob of leaf at rear entrance into kitchen).
- 1.4.2 Patch any holes in plaster walls or ceiling as required.
- 1.4.3 Ease and adjust all window sashes and doors to ensure their easy operation. Replace any sash cords and weights which are missing or broken.
- 1.4.4 Check over wall and ceiling plaster for drumminess and advise the Authority of condition of plaster. *Allow 10% replacement/repair*
- 1.4.5 Remove all loose and peeling paint from walls and ceilings and feather edges in preparation for painting.

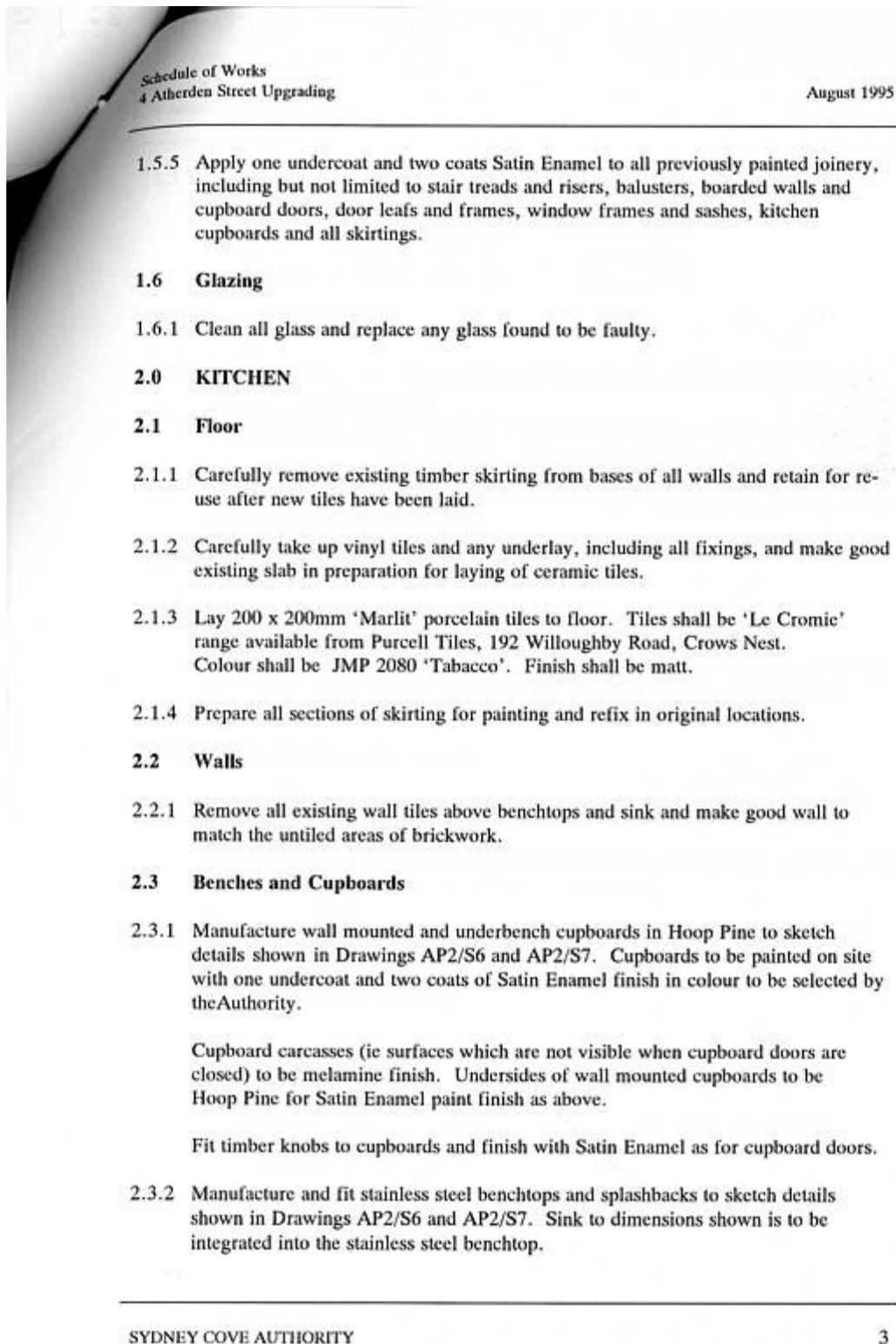
#### 1.5 Painting

- 1.5.1 Apply one coat acrylic sealer to all previously painted internal plaster walls as directed by the Authority.
- 1.5.2 Apply one undercoat to all previously painted internal brick walls.
- 1.5.3 Apply two coats Low Sheen acrylic in colours selected by the Authority to all previously painted internal plaster and brick walls.
- 1.5.4 Apply two coats Matt acrylic to all ceilings.

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SYDNEY COVE AUTHORITY

2



Schedule of Works  
4 Atherden Street Upgrading

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2.3.3 Supply and install appliances to kitchen as follows:

Cooktop:	St George CC60 - 2S	Stainless Steel
Oven:	St George UEO - 7	Stainless Steel
Rangehood:	St George H60 - 2S	Stainless Steel

**2.4 Door (Door No. 1)**

2.4.1 Remove existing door leaf and hardware. Make good door frame for new solid timber flush door leaf.

2.4.2 Supply and hang solid timber flush door leaf, including mortice lock and brass handles as selected by the Authority. Hinges shall be steel butt hinges.

2.4.3 Prepare and paint door leaf with one undercoat and two coats Satin Enamel paint in colour selected by the Authority.

**3.0 LAUNDRY**

**3.1 Preparation and Demolition**

3.1.1 Disconnect water supply to existing laundry tub. Disconnect water supply and gas to hot water heater. Remove existing taps, spout and washing machine cocks. Retain laundry tub and hot water heater for re-use after tiling.

3.1.2 Remove all skirting tiles to walls.

**3.2 Floor**

3.2.2 Carefully take up vinyl tiles and any underlay, including all fixings, and make good existing slab in preparation for laying of ceramic tiles.

3.2.3 Supply and lay 200 x 200mm 'Marlit' porcelain tiles, 'Le Cromie' range available from Purcell Tiles, 192 Willoughby Road, Crows Nest. Colour: JMP 2080 'Tabacco'. Finish: Matt. Fit brass edge strip at doorway between kitchen and dining room and tile up to strip.

3.2.4 Supply and lay matching 'Marlit' porcelain coved skirting tiles and skirting accessories to bases of walls.

3.2.5 Reinstall laundry tub, water supply, taps and hot water heater to original positions. Supply and install Dorf 'Easyclean' taps, spout and washing machine cocks in former locations. Finish shall be chrome.

3.2.6 Thoroughly clean laundry tub of all marks and paint splashes.

### **3.3 Cupboard Doors (Door No. 2)**

- 3.3.1 Remove existing sliding doors and tracks to cupboard in laundry. Modify frame and lintel to take a pair of timber ledged and boarded doors as detailed.
- 3.3.2 Supply and hang two new ledged and boarded doors to cupboard as shown in Drawing . Vertical boards shall be beaded and shall be 150mm wide. Timber species shall be Hoop Pine. Butt hinges shall be steel.
- 3.3.3 Remove existing chipboard shelves to interior of cupboard. Replace with 12mm thick, fixed 'Craftwood' shelves. Prepare and paint shelves and timber sides of cupboard interior with one undercoat and two coats Satin Enamel in selected colour.
- 3.3.4 Prepare and paint cupboard doors with one undercoat and two coats Satin Enamel in selected colour.

## **4.0 BATHROOM**

### **4.1 Demolition**

- 4.1.1 Remove existing bath, vanity unit, brick fin wall to shower, shower screen, basin and toilet. Remove all taps, spouts and shower rose and cap off all services where necessary. Make good wall and floor where demolition has taken place to receive new ceramic tiles.
- 4.1.2 Remove all remaining wall tiles and make good wall to receive new ceramic tiles.
- 4.1.3 Remove towel rail, toilet roll holder and any soap dishes etc. fixed to walls.

### **4.2 Floor**

- 4.2.1 Take up all ceramic floor tiles remaining after demolition and make good existing slab in preparation for laying of new tiles.
- 4.2.2 Raise level of base to former shower so that it is flush with the floor level and prepare for new ceramic tiles and new toilet in this location.
- 4.2.3 Supply and lay 200 x 200mm 'Marlit' porcelain tiles, 'Le Cromie' range available from Purcell Tiles, 192 Willoughby Road, Crows Nest. Colour: JMP 2080 'Tabacco'. Finish: Matt.

### **4.3 Walls**

- 4.3.1 Supply and lay new ceramic wall tiles to height of top of window architrave. New tiles shall be 152 x 750mm gloss laid in stretcher bond. Colour shall be 'Aztec White'.

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4.3.2 Form 110mm brick hob for new bath. Supply and lay tiles to visible side of hob to match wall tiling.	
<b>4.4 Toilet Suite</b>	
4.4.1 Supply and fix new Caroma 'Trident Viceroy' toilet and cistern with 'Pedigree' seat in location shown in Drawings AP2/S6 and AP2/S7. Colour shall be white.	
<b>4.5 Basin</b>	
4.5.1 Supply and install new Caroma 'Flora 500' wall basin and Dorf 'Easyclean' taps and spout. Waste and water supply pipes to basin shall be chrome plated. Colour shall be white.	
<b>4.6 Shower Bath</b>	
4.6.1 Supply and install new Caroma 'Concorde' 1675mm bath to installation details shown in Caroma catalogue. Supply and install Dorf 'Easyclean' taps for bath and shower in locations shown in Drawings AP2/S6 and AP2/S7. Supply and install Dorf bath spout, shower rose and taps, as selected by the Sydney Cove Authority, in locations shown in Drawings AP2/S6 and AP2/S7. Colour shall be white.	
4.6.2 Supply and install chrome plated, aluminium framed shower screen to side of bath as shown in Drawings AP2/S6 and AP2/S7	
<b>4.7 Mirror</b>	
4.7.1 Supply and fix mirror with Hoop Pine frame as shown in Drawing. Frame to have stain finish as selected by the Authority.	
<b>4.8 Door (Door No. 3)</b>	
4.8.1 Remove sliding door leaf and steel runners. Make good stud wall for new timber frame and solid timber flush door leaf.	
4.8.2 Modify door frame to take hinged door leaf to open into bathroom.	
4.8.3 Supply and hang solid timber flush door leaf, including mortice lock and brass handles as selected by the Authority. Hinges shall be steel butt hinges.	
4.8.4 Prepare and paint door leaf with one undercoat and two coats Satin Enamel paint in colour selected by the Authority.	

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#### 4.9 Fittings

4.9.1 Supply and install the following fittings from Chippendale Restorations catalogue in locations directed by the Sydney Cove Authority. Finish: Chrome.

Soap dish	6044
Toilet roll holder	6046
Towel rail brackets	6038 (4 No.)
Towel rails (600mm)	Chrome to fit above brackets.

4.9.2 Supply and install the following fitting from the Restoration centre:

Chrome plated brackets and glass shelf 40200/1

#### 5.0 EXTERNAL WORKS

5.1 Check over entire roof area and flashings and repair as necessary to the direction of the Authority.

5.2 Allow to replace 4500mm guttering to northern edge of roof (over 2 storey section of the building).

## Appendix I

### Atherden Street – Evidence of street name changes & dates & relevant sources

#### UNION ST – ATHERDEN ST – ATHERTON ST – ATHERTON PLACE – ATHERDEN PLACE

The misspelling of Atherden Street as 'Atherton' might well have started in error but appears to have been widely adopted. Evidence of all name changes is shown below.

#### Official Documents

##### Sydney Municipal Council Assessment Books

Union St	1958-1880
Atherden St	1880-1911
Atherton St	1918-20, 1921-23, 1924, 1925-6,

City of Sydney Council Files,  
File No 5543 1932

Letter from Sydney Harbour Trust Office to Council, dated 14 Dec 1932, outlining official name change of Atherton Street to Atherton Place. The Town Clerk approved correction of maps on 29 Dec 1932.

##### City of Sydney Maps and Plans

Detail Sheet c.1960s	Atherton Place	c.1960s
Detail Sheet 1994	Atherden Street	1994

##### Miscellaneous Maps and Plans

Dove's Plans	Atherden St	c.1880s
Rocks Resumption Plan James A Mollison, Asst Engineer	Atherden St	1901
Darling Harbour Resumptions – Plan N	Atherden St	(n.d. c.1901)
Lands Dept – Parish Maps	Atherton St	1930

Maritime Services Board/Sydney Cove Redevelopment Authority etc,  
Tenancy Cards

Atherton Place	1928-1963
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##### Electoral Rolls, Street address entered next to electors names

Atherden St	To 1917 consistent use of this spelling
Atherdon/Atherton St	1921 variable spelling
Atherton St/Atherton Place/Atherdon St	1928 variable spelling
Atherton Place/Street	1930 variable spelling
Atherton Place	From 1941 consistently until 1986 inclusive
Atherden Place	From 1989

##### Sydney Water – Maps and Plans

Trig Survey 1854-65	Union St
Old Council Plan No.54 1873	Union St
PWD Plan No.321 1887-1895	Atherden St
Sewer Detail Sheet No.3767 from 1925	Atherton St
Detail Sheet No.509 1932	Atherton St
WO 15213A 1978	Atherton Place

#### Non-official Documents Sands Sydney & Suburban Directory

Union St	c.1873-5
Atherden St	1876-1919
Atherton St	1920-1923
Atherton Place	1924-1933

## Appendix J

### External and Internal Paint Colour Schemes, 2011

<b>EXTERNAL AREAS (all terraces to be painted the same colour)</b>			
	<b>Area</b>	<b>Texture</b>	<b>Colour</b>
1	Walls	Semi gloss acrylic	Colour to match Pascol - Ivory
2	Chimneys	Semi gloss acrylic	Colour to match Pascol
3	Parapets	Semi gloss acrylic	Colour to match Pascol
4	Wall under coping stones	Semi gloss acrylic	Colour to match Pascol
5	Window sills, and brackets	Semi gloss acrylic	Colour to match Pascol - Light stone
6	Chimney moulds	Semi gloss acrylic	Colour to match Pascol - Light stone
7	Wall cornice	Semi gloss acrylic	Colour to match Pascol - Light stone
8	Moulded section on front wall parapet	Semi gloss acrylic	Colour to match Pascol - Light stone
9	Window frames	High gloss enamel	Colour to match Pascol - Dark crimson
10	Window sashes	High gloss enamel	Colour to match Pascol - Dark crimson
11	Window and door reveals	Semi gloss acrylic	Colour to match Pascol - Ivory
12	Front doors and rear doors	High gloss enamel	Colour to match Pascol - Dark crimson
13	Coping stones	Semi gloss acrylic	Colour to match Pascol - Light stone
14	Gutter fascia	High gloss enamel	Colour to match Pascol - Mid brown
15	Awning over back door	High gloss enamel	Colour to match Pascol - Dark crimson
16	Chimney stacks at 7 and 5	Micaceous iron oxide colour	Colour to match Dulux - Mid grey
17	Metal wall vents	Micaceous iron oxide colour	Colour to match Dulux - Mid grey
<b>INTERNAL AREAS (all terraces to be painted the same colour)</b>			
1	Ceilings	Flat	Colour to match Solver - Next to nothing - 2240
2	Walls	Semi gloss	Colour to match Solver - Crushed marble - 2130
3	Trims which shall include, skirtings, doors, door architraves, window sashes, window frame and architraves, stair structure, cupboards, shelving, fire place mantel and architraves.	Gloss enamel	Colour to match Solver - Intermezzo - 2711