

Federation Hall

24 - 30 Grosvenor Street, The Rocks

Conservation Management Plan

Prepared for Sydney Harbour Foreshore Authority
2008

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Executive Summary

Located on Grosvenor Street at the southern edge of The Rocks precinct, Federation Hall has been combined with the adjacent Royal Naval House to create the Sydney Futures Exchange. The neoclassical façade for the Hall retains some of its original character and details, as well as significant alterations carried out during the 1920s when it was converted from a theatre and hall into a commercial office building, with the installation of new floor levels and metal windows.

Federation Hall is an important element in the streetscape of Grosvenor Street. The significance of the place is associated with its use as a hall and repertory theatre, and its later use as a commercial office building. Significant tenants have included the fledgling NRMA and later the Australian Meat Board. Federation Hall is a rare surviving example, in the inner city, of a purpose built public hall and theatre, albeit with only the façade surviving.

Federation Hall underwent a second major phase of alteration in the mid 1980s that involved the removal of the northern and eastern walls and the relocation of the historic stair and court from Royal Naval House next door into the shell of Federation Hall. A new floor structure was installed throughout. Despite a conservation plan having been prepared for the group, none of the internal configuration of the building was retained, removing the surviving evidence of the original hardwood structure dating from 1890, and the steelwork and lightwell added in the 1920s. At the time the proposal was considered by conservation architects to be facadism.

The redevelopment of this block shows the change in the intention of the Sydney Cove Redevelopment Authority from their initial proposals to completely redevelop this entire block, to the retention of a substantial number of heritage items. This was a result of the Green Bans during the 1970s and the process of listing entire The Rocks area as a conservation area, as well as the listing of numerous individual items during the 1980s. The approach taken with this site, to retain heritage items at the southern end of the block, contrasts with the other two major office towers designed by Harry Seidler in the city, the MLC centre and Australia Square.

Conservation policies have been outlined that aim to retain the cultural significance of the place and an approach has been developed to maintain the surviving building elements of significance. Federation Hall has been included on the State Heritage Register as an individual item and it falls within The Rocks Urban Conservation Area. Schedules of conservation works and on-going maintenance have been prepared and time frames given.

1. Introduction

1.1 Context of the Report

This report is based on a brief outlined in a letter from the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Authority.

The Conservation Management Plan (CMP) for Federation Hall, 24-30 Grosvenor Street, The Rocks has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for adoption by the Foreshore Authority.

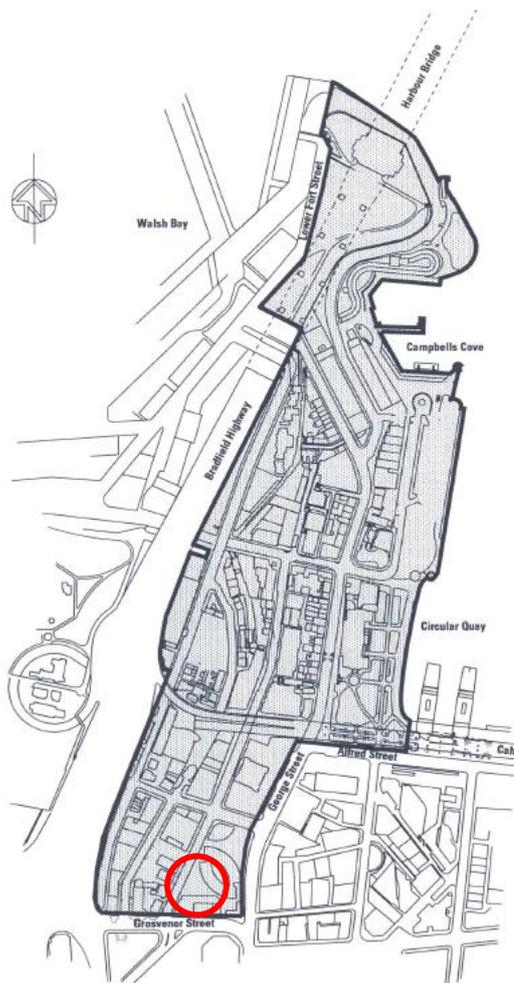


Figure 1: Location of Federation Hall, 24-30 Grosvenor Street within the context of The Rocks¹

¹ Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2000), p.6. *The Rocks Heritage Management Plan*, adopted February, 2002, is in three volumes, Vol. 1, Vol. 2, *Background Papers*, and Vol. 3, *Supporting Documentation*. *The Rocks Heritage Management Plan* (2000) may be accessed at www.shfa.nsw.gov.au

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of Federation Hall, 24-30 Grosvenor Street, The Rocks to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

1.3 Site Identification

Federation Hall, 24-30 Grosvenor Street, The Rocks is located on the eastern corner of Grosvenor Street and Harrington Street (Figure 2). In its current configuration it is a three storey building with two main facades, one to Grosvenor Street and the second to Harrington Street. Federation Hall and the Royal Naval House are now interlinked and both are part of the overall Grosvenor Place development. There is currently no internal division that separates the two buildings.

The property description is Lot 1 of DP 771884

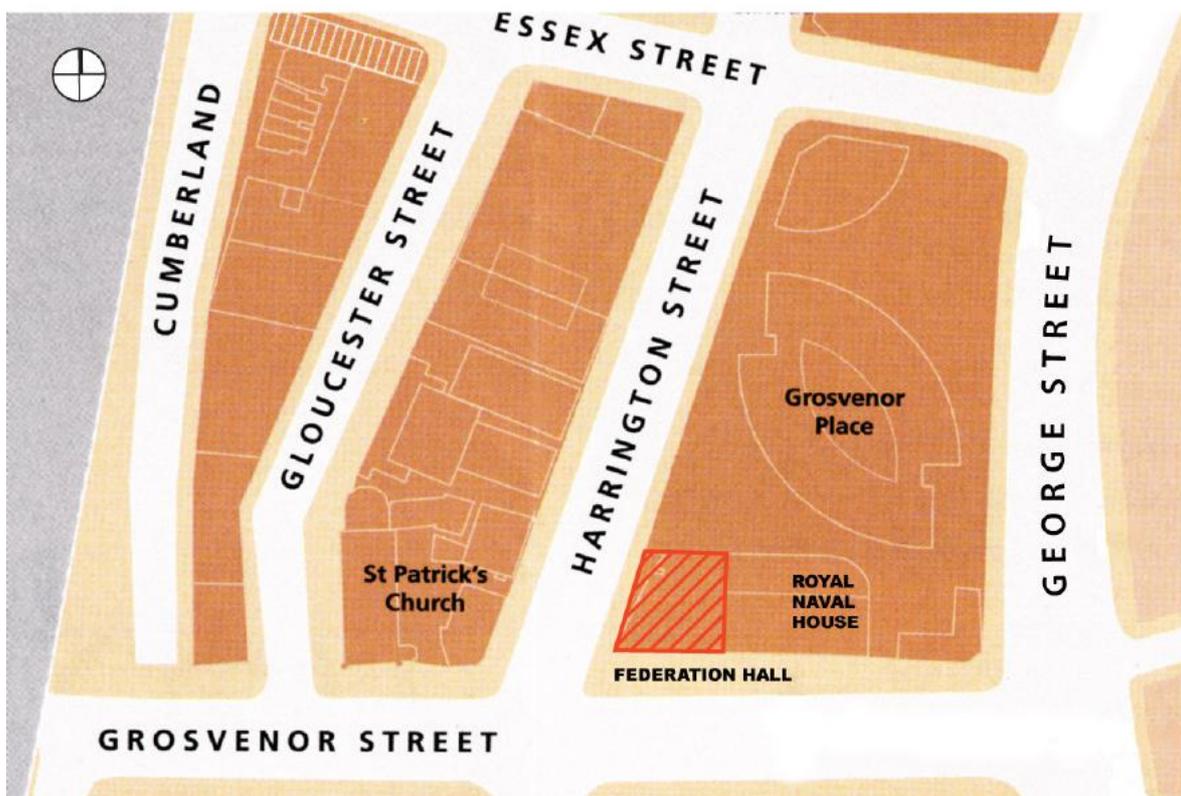


Figure 2: Map showing the site boundaries of Federation Hall

Source: Foreshore Authority



Figure 3a & b: Current views of the Federation Hall from Grosvenor Street

Source: Conybeare Morrison International December 2007

1.4 Listings

1.4.1 Statutory Listings

The Federation Hall is listed on the following statutory registers:

Heritage Register or Schedule	Listed as	No.	Date
National Heritage List	Not listed		
Commonwealth Heritage List	Not listed		
Register of the National Estate	Not Listed individually, part of The Rocks Conservation Area	2255	21/10/1980
State Heritage Register	Federation Hall & Courtyard, 24-30 Grosvenor Place	01546	10/04/2002
Foreshore Authority Section 170 Register	Federation Hall & Courtyard, 24-30 Grosvenor Place		undated

1.4.2 Non Statutory Listings

The Federation Hall is listed on the following non-statutory registers:

Heritage Register or Schedule	Listed as
National Trust Register	Within The Rocks Urban Conservation Area

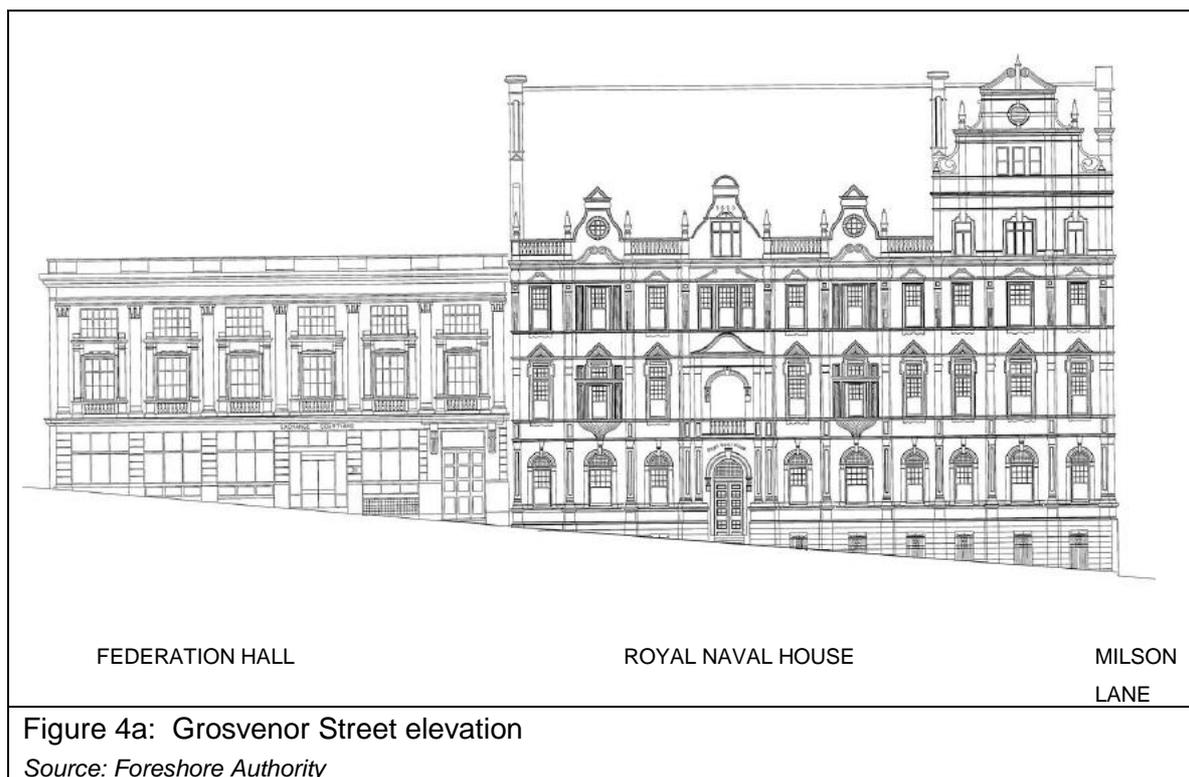
1.5 Building Description

The Federation Hall is a three-storey building with two main facades, one to Grosvenor Street, the other to Harrington Street.

In its current configuration the building is a three storey building divided into regular bays by Corinthian pilasters. The same detail occurs to both facades. Grosvenor Street falls down towards George Street, the slope of which is taken up in the show windows at ground floor level. The string course between the ground and the first floors, and the cornice, are level to both Grosvenor and Harrington Streets.

A fire stair has been added to the northern end of the building with a blank wall to Harrington Street. The flat roof is not visible from the street and a permanent canopy has been installed over the internal court.

Internally Federation Hall is currently linked into Royal Naval House, and with both the original east and north walls completely replaced during re-development. Two elements salvaged from Royal Naval House, the main stair and the galleried courtyard, have been relocated into Federation Hall.



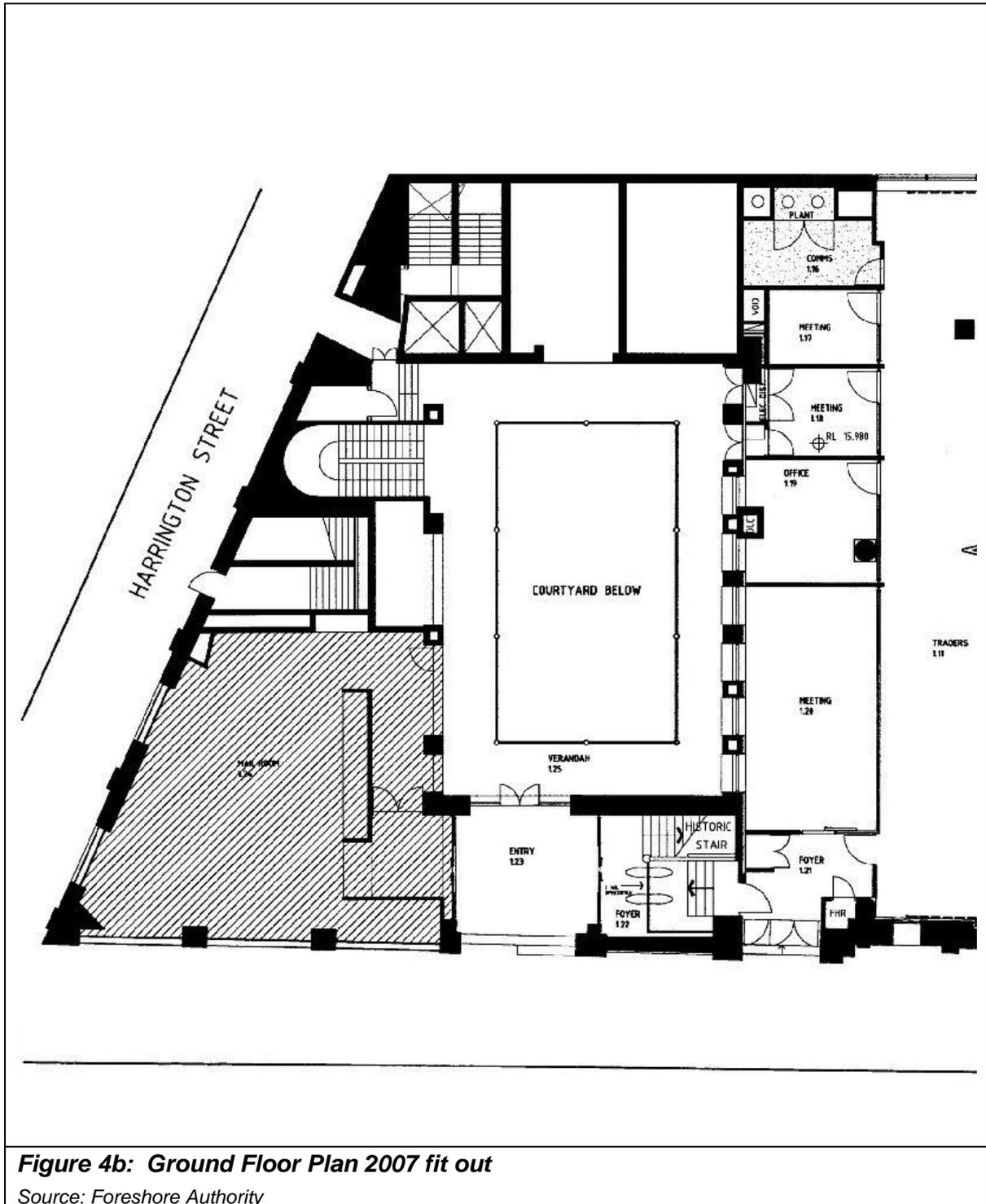
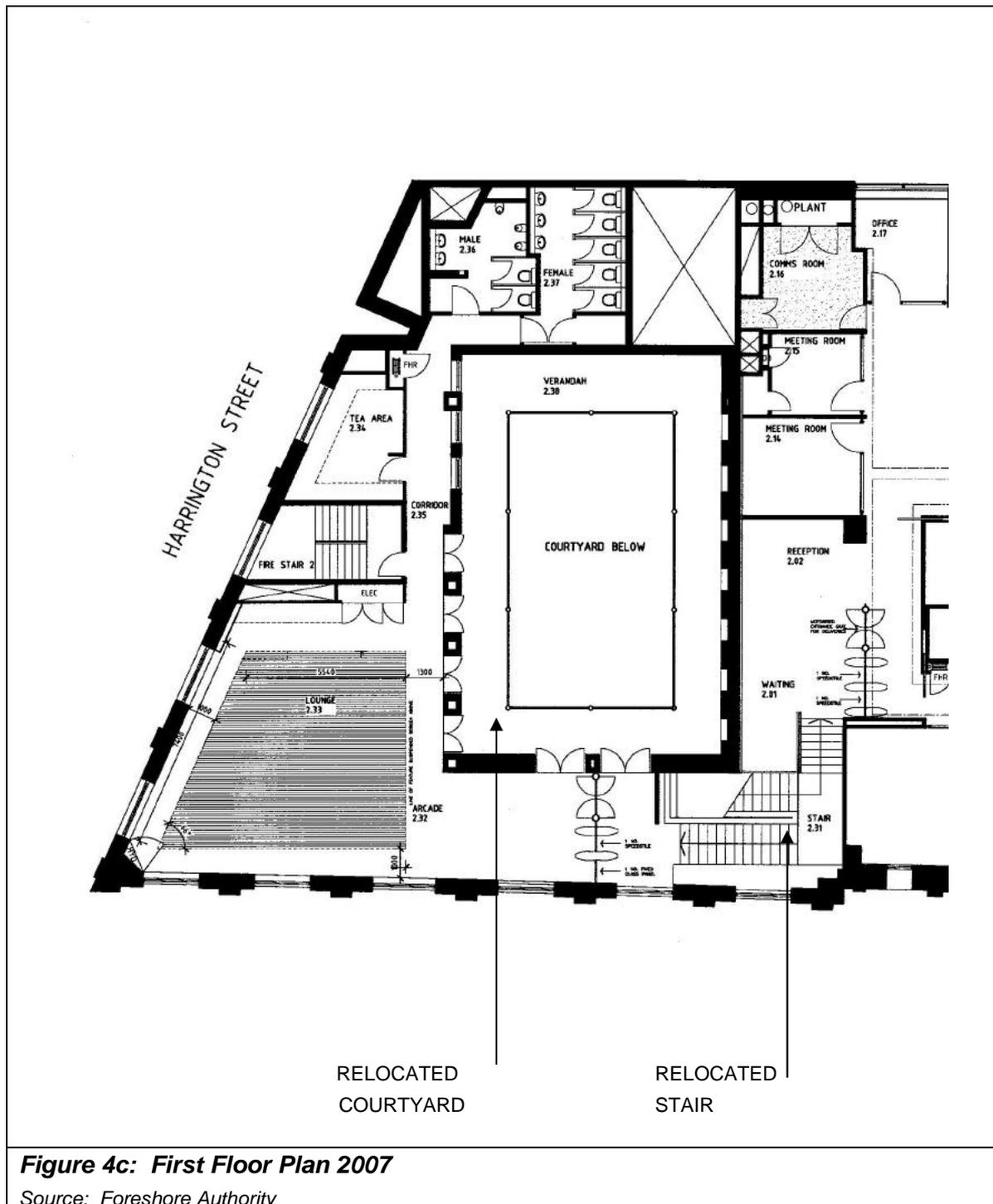


Figure 4b: Ground Floor Plan 2007 fit out

Source: Foreshore Authority



The relocated historic stair provides access to the first floor. First and second floors consists of one large office area that fronts Grosvenor and Harrington Streets. This opens out into the courtyard via French doors. There is also the fire stair (to all levels) and toilets, which are in the northern extension.

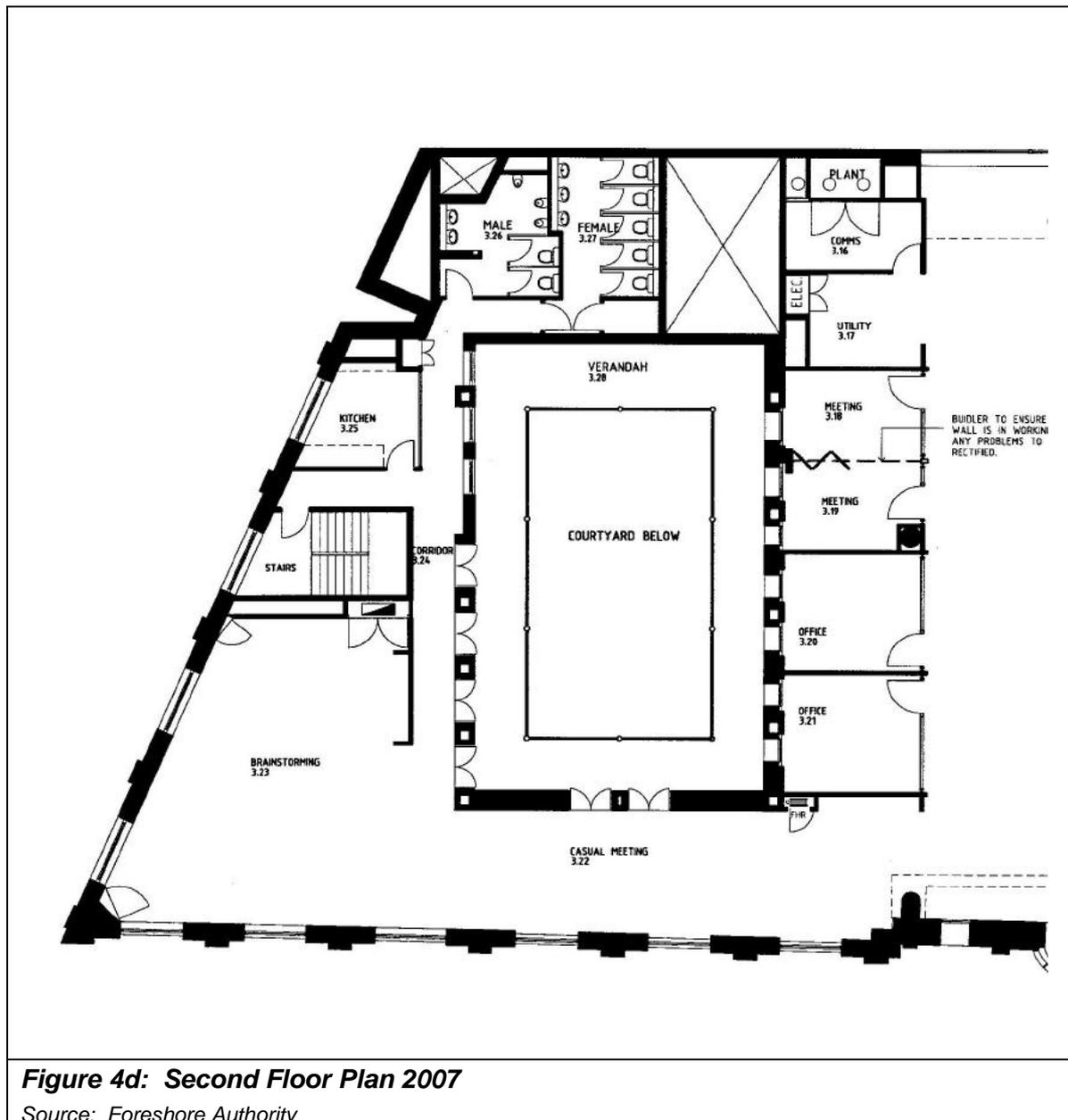


Figure 4d: Second Floor Plan 2007

Source: Foreshore Authority

The central courtyard continues down to the basement and there is a stair connecting the basement level and the ground floor. The basement now contains a series of small shops which open out onto the courtyard. The food court in Grosvenor Place to the north of Federation Hall, can be accessed at this level. The toilets and the garbage room are in the area between Royal Naval House.

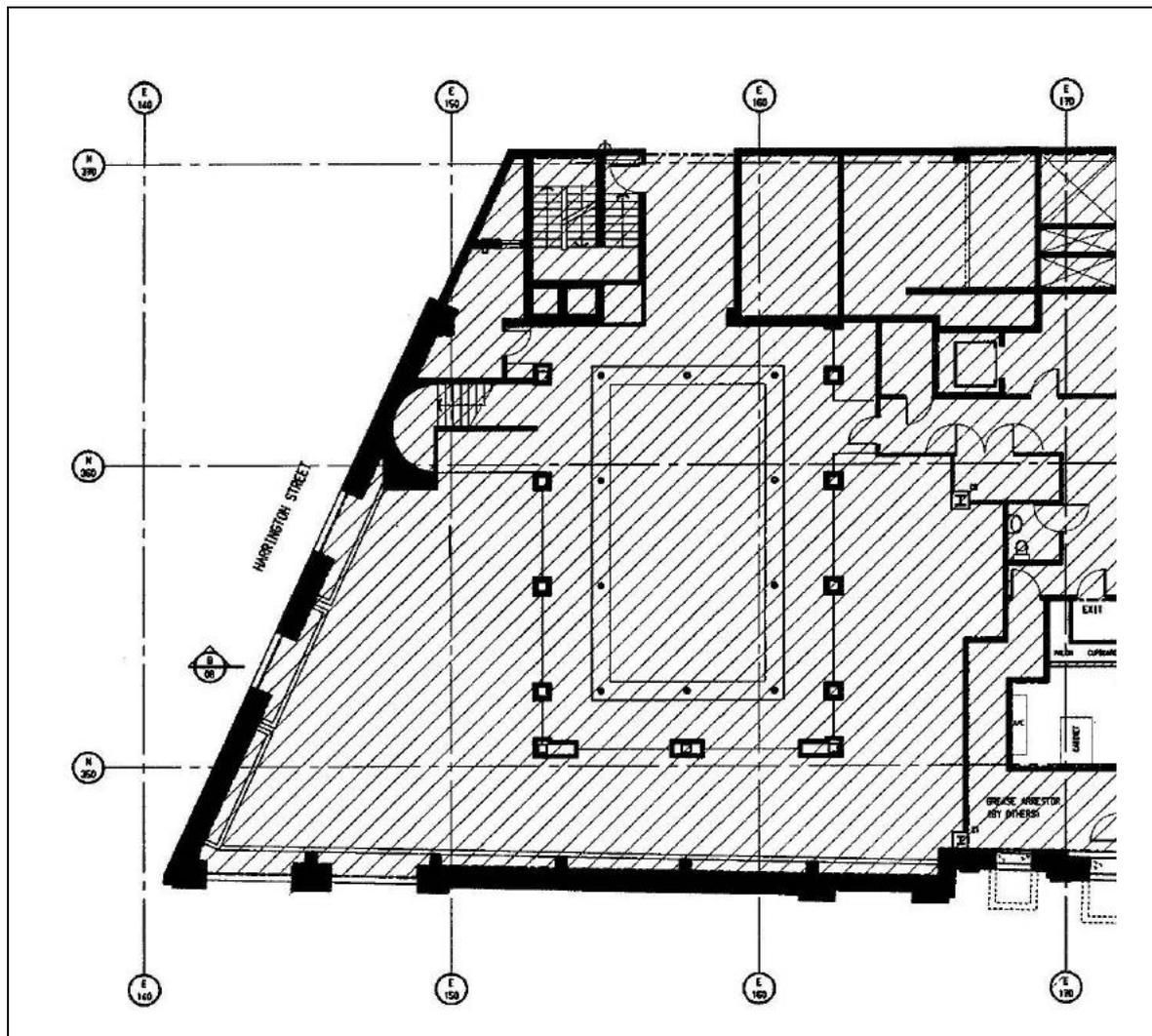


Figure 4e: Basement Plan

Source: Foreshore Authority, *Sydney Futures Exchange Tenancy Fitout* 1987

1.6 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance*, 1999, known as *The Burra Charter*, the NSW Heritage Office's *Guidelines on Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

This CMP has used the Conservation Plan for sites D5, D6 and D11 prepared by the Sydney Cove Redevelopment Authority (SCRA) in 1983 as a basis.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. Dr. Kerr's *Conservation Plan* provides guidance on the content, structure and methodology for site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with an analysis of the surviving building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of Federation Hall, 24-30 Grosvenor Street.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and Photographic Sources

During the preparation of this CMP the following archival material was sourced:

National Library of Australia, Plans by Percy Dove

State Library of NSW, Government Printer's Collection Videodisks GPO1-4

Mitchell Library Small Picture File (SPF)

Sydney City Council Archives Building Application Index
Demolition Books (Archivespix)
Indexes to Correspondence (Archives Investigator)

Foreshore Authority 1983 Conservation Plan for sites D5, D6 and D11
Report on Design Proposals – Ken Maher & Partners
Plans (refer to the appendices for the list of plans)
Historic photographs

SLVIC Photographs of The Rocks compiled by Norman Selfe c.1901

Current photographs were taken by Garry McDonald in December 2007. The plans provided by the Foreshore Authority for this study were 2007 DA fit-out drawings.

1.8 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions² -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

² Australia ICOMOS Burra Charter 1999, p. 2.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

1.9 Authorship

This report has been prepared by Noni Boyd, Heritage Consultant, reviewed by Garry McDonald, Heritage Architect and Judith Rintoul, Heritage Associate for Conybeare Morrison International.

2. Documentary Evidence

2.1 Chronological History

In order to better understand how Federation Hall, 24-30 Grosvenor Street developed, this history has been prepared on a chronological basis.

A brief chronology of the buildings on the site is as follows:

Circa 1820s	Colonial Georgian residence
Circa 1850s	store added to the west
Circa 1863	three storey masonry store to west of residence
Circa 1890	residence and store demolished
1890-91	Federation Hall built
Circa 1922	Additional storeys and subdivision of the hall
Circa 1930	Caretakers flat added to roof
1978	Measured drawings by PWD
1984	Building Application, Grosvenor Place
1987-1990	Sydney Futures Exchange fit out and relocation of courtyard and stair from Royal Naval House
circa 2002	Courtyard roofed
2007	New fit out for trading company

2.2 Indigenous Sydney - The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the *Eora*, or coastal *Darug*. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a “clan” (subgroup) known as the *Cadigal*. Their word for The Rocks, or more specifically the shore where the hospital stood on George Street between Globe Street and Argyle Street, was “*Tallawolodah*”. The peninsula of land which we now call Dawes Point was “*Tarra*”, and Sydney Cove itself was “*Warrang*” or “*Warrane*”.

Due to the rugged outcrops of rock which later gave the “The Rocks” its name, it is unlikely there was any “permanent” occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal for cooking fish. From archaeological evidence, a campfire was excavated in 1989 on the site of the ANA Hotel, indicating that a small group of Cadigal had, some 500 years ago, stopped on the site and cooked a meal of rock oysters, bream, schnapper and shell fish. Early engravings depict Aboriginal people in area of The Rocks, however the establishment of a settlement at Sydney Cove restricted access to traditional food gathering and ceremonial sites.

2.3 The Parade Ground & Church Hill

The site upon which Federation Hall was built was part of the first parade ground of the colony. On the top of the hill was St Phillips church, the first tower of which had been built as a clocktower in 1797. The nave and apse were added between 1798 and 1804. The church and the round tower which replaced the collapsed clocktower, are very prominent in views of early Sydney. A track led up the hill to the church. John Eyre’s panorama of Sydney Cove shows that two bonded stores were built at the foot of the hill.

The overlay of James Meehan's survey with a modern map indicates the site of the bonded stores to be under the plaza of present day Grosvenor Place.

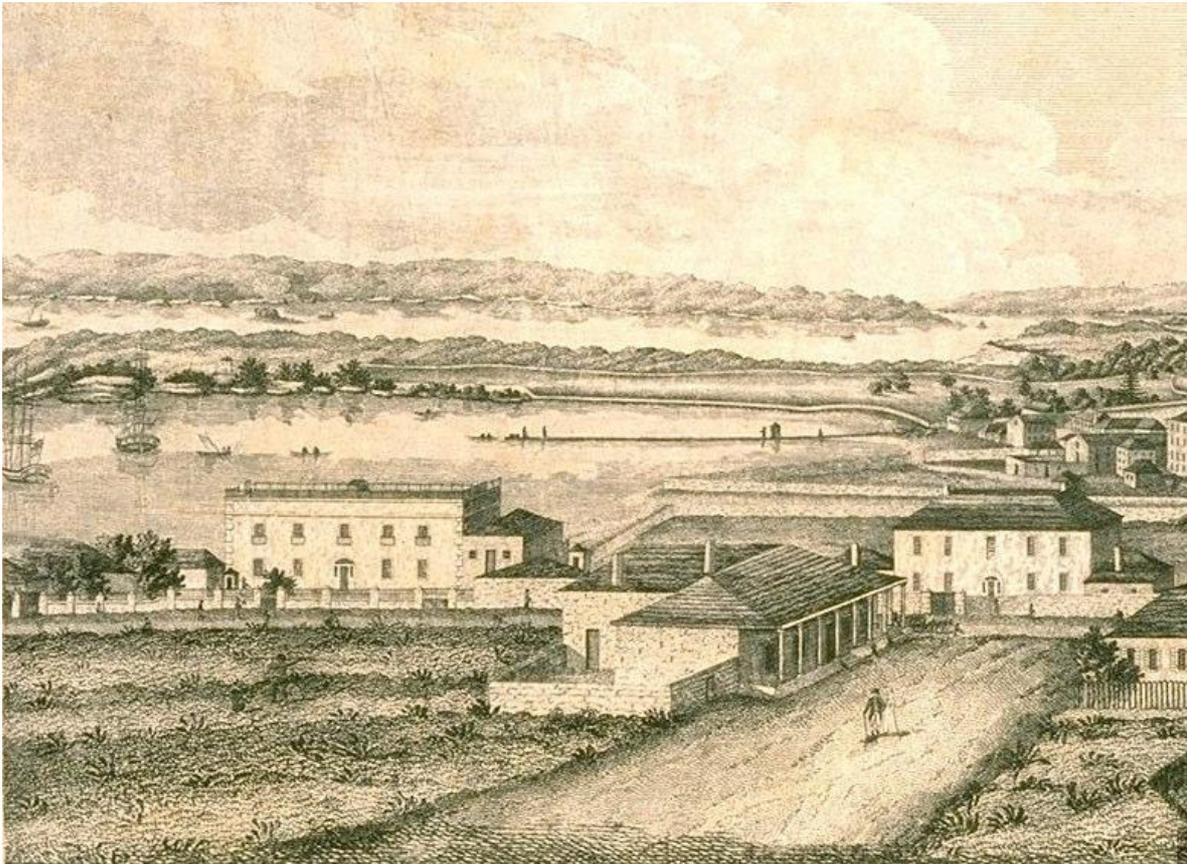


Figure 5: View looking east down Church Hill showing the Guardhouse. The remainder of the site is undeveloped. c.1812

Source: West view of the river of Sydney (based on a sketch by John Eyre) ML

By 1812 a guardhouse with a verandah had been built on the corner of George Street, and what is now Grosvenor Street (Figure 5). The surviving views of the guardhouse show that the substantial verandahs were well used. From the verandah overlooking George Street, the front wall of the old gaol could be seen. From the side verandah the old parade ground and St Philips could be seen. In Sophia Campbell's watercolour (Figure 6), a two storey house can also be seen, one of the substantial houses that later appears in Joseph Fowle's elevations.

The Guard House Fowles notes, 'stood on the site of the present splendid dwelling-house of Mr. Cleeve'.³ John Kingdon Cleeve had purchased part of the site of the guardhouse, however his substantial house was later demolished in the post plague clearances to make way for the Chamber of Commerce building.

³ Joseph Fowles, *Sydney in 1848*, facsimile edition, page 11



Figure 6: View looking west up Church Hill showing the colonial Georgian house fronting Charlotte Place

Source: Sophia Campbell's watercolour is reproduced in First Views

2.4 Charlotte Place

Charlotte Place was named after the wife of King George II, Charlotte Sophia. A series of substantial two storey houses lined the northern side of the street. This area contained a high standard of housing, particularly No. 20 (the site of Federation Hall) and No. 24-26 Charlotte Place. The premises for George Howe (later No. 28 Charlotte Place) had been commenced in 1816 to a design by Francis Greenway. By 1848, when Fowles published his elevations (Figure 7), the block between Harrington Street and George Street contained five buildings with a frontage to the street and one building that was set back (No. 22). These buildings were progressively demolished from circa 1889 to make way for more substantial buildings of which Federation Hall was the first to be constructed.

William Davis claimed two portions of land, one on the corner of Harrington Street and Charlotte Place (later the site of Federation Hall), and a second block to the east (later the site of the first stage of Royal Naval house). The irregular lot boundaries of Davis' two claims are evident in the later block plans. Davies is believed to have retained the land until 1862.

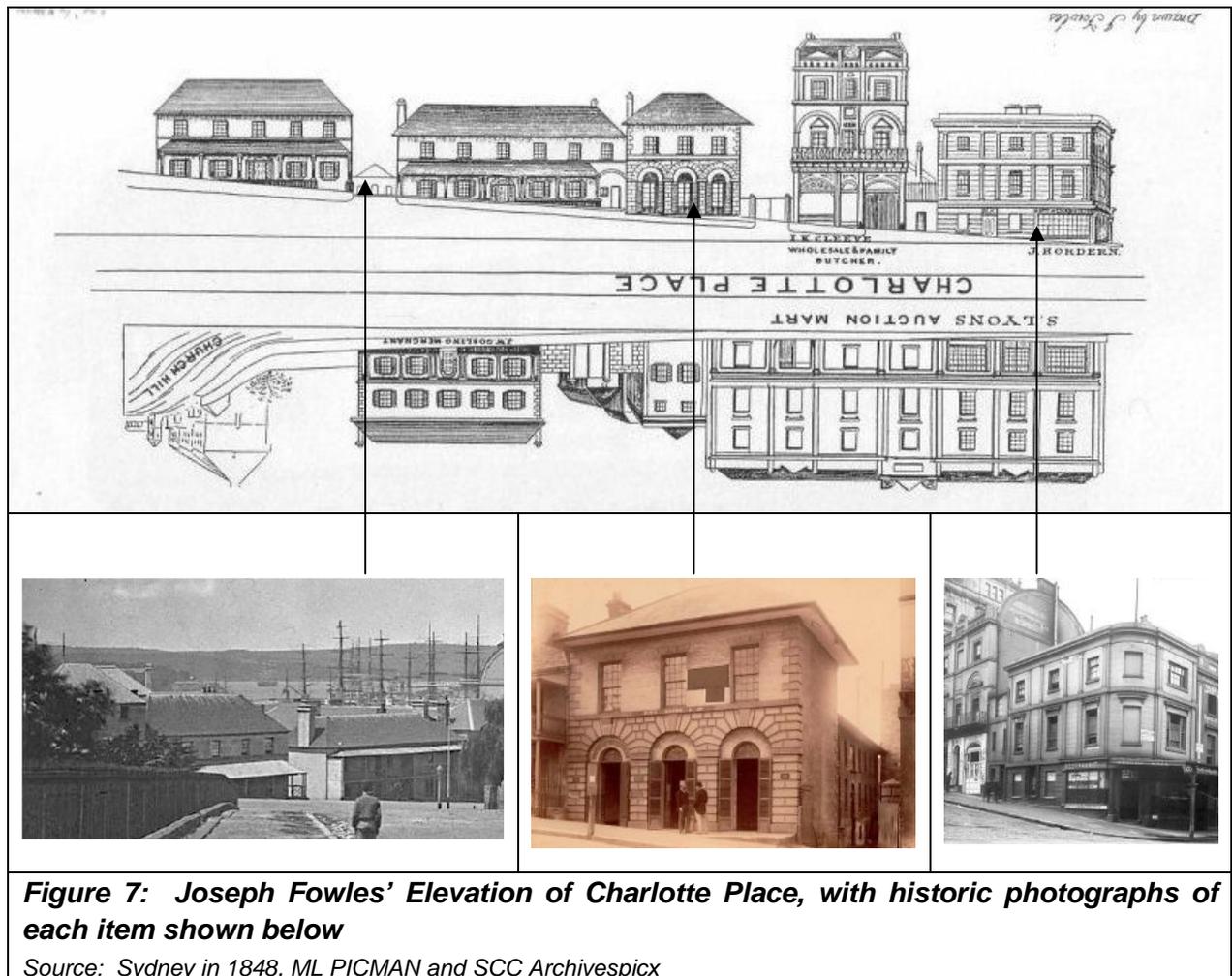


Figure 7: Joseph Fowles' Elevation of Charlotte Place, with historic photographs of each item shown below

Source: Sydney in 1848, ML PICMAN and SCC Archivespicx

A photograph looking towards the northern side of Charlotte Place shows the two colonial Georgian residences (No. 20 and No. 24-26), the tea merchants (No. 28) and Mr Cleve's building (Figure 8). No. 22, the house that was set back from the road cannot be seen. The configuration of the block is also shown on the MSDWB plan. The substantial houses retained their rear yards and their verandahs to the street until at least 1888. By the mid 1860s an irregular shaped building had been added to the block, on the corner of Harrington Street. This block may date from the early 1860s, after Davies had transferred the land.

A view of Church Hill taken circa 1870 shows a small scale cottage fronting Harrington Street, one of the typical cottages built 'on The Rocks' during the early years of the colony (Figure 9). The building on the corner of Harrington Street and Charlotte Place is a three storey commercial warehouse with loading bay doors to the centre of the façade. Adjacent are the two houses depicted by Fowles and the long warehouse to the rear of the tea merchants at No. 28 Charlotte Place.

Although Fowles' elevations do not show a building on the corner, the rate books indicate occupiers from 1845. The corner commercial premises (No. 18) and the house at No. 20 were sometimes occupied by the same tenant, sometimes not. W. Deane circa 1850 and John Brady occupied both buildings. The change in scale of operation listed in the rate books from 1863 may indicate the new three storey masonry warehouse.



Figure 8: Nos. 20 – 28 Charlotte Place from Church Hill. The building with the curved roof is Mr Cleve's House. c.1870-75

Source: ML PICMAN



Figure 9: Enlargement of the view of Church Hill circa 1870

Source: ML PICMAN



Figure 9a: Grosvenor Street Elevation circa 1870

Source: Foreshore Authority

John Brady operated a hay and corn store from 1863 until circa 1878, occupying the adjacent house as well. By 1880 the store was operated by J. Blanchfield and Meaney, produce dealers, followed by Woods, Carson & Co. from 1885-86 and Thomas Johnson, produce merchant in 1887. No detailed views or drawings of this building have been located.

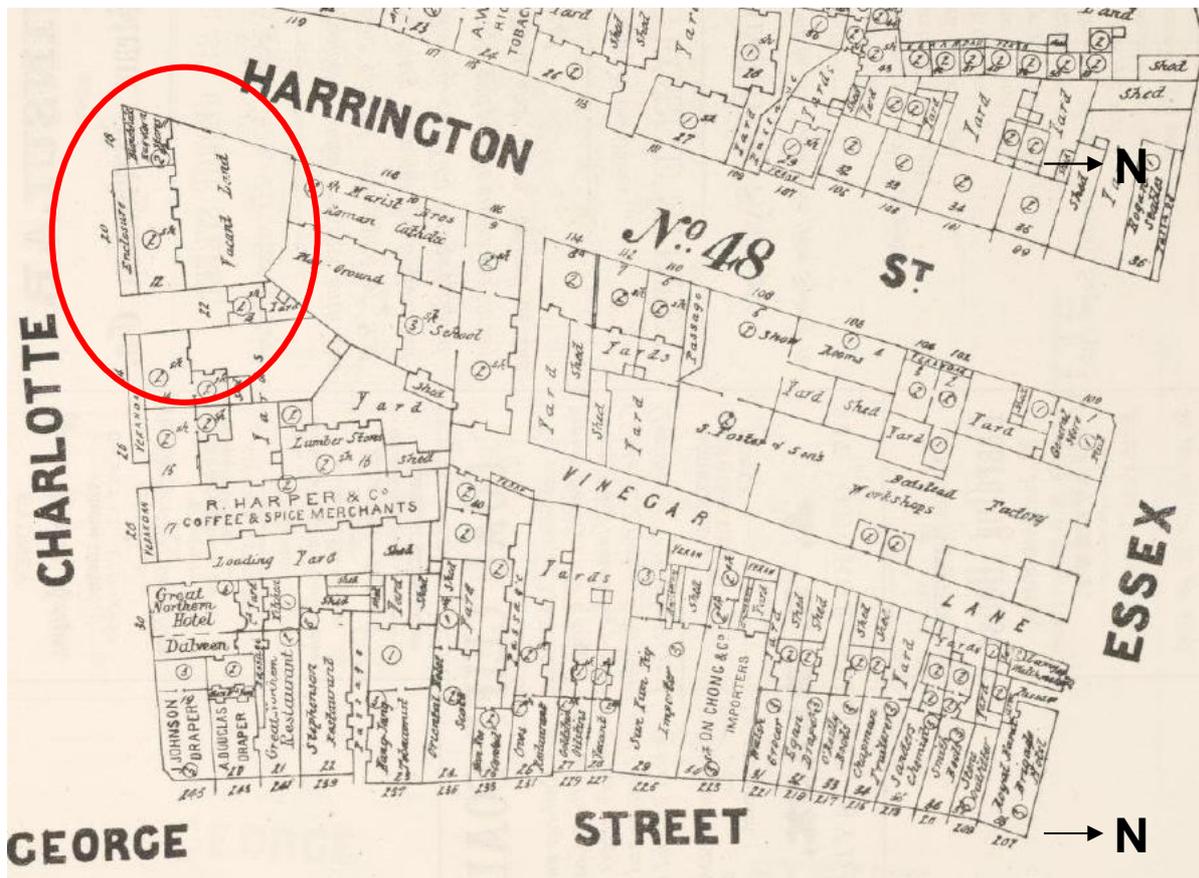


Figure 10: Percy Dove's plan dating from 1880

Source: NLA

All of the buildings on the two lots claimed by William Davis appear to have been demolished in the late 1880s. These buildings appear on the 1888 metropolitan detail series plan, and therefore must have been in place when this survey was prepared. The single storey cottage fronting Harrington Street appears in Percy Dove's 1880 plans

(Figure 10), but not in the 1886 Metropolitan Detail Series plan (Figure 11), having been demolished in the interim. The only building to survive from the group as shown in Fowle's elevation was the Calcutta Tea warehouse at No.28 Charlotte Place.

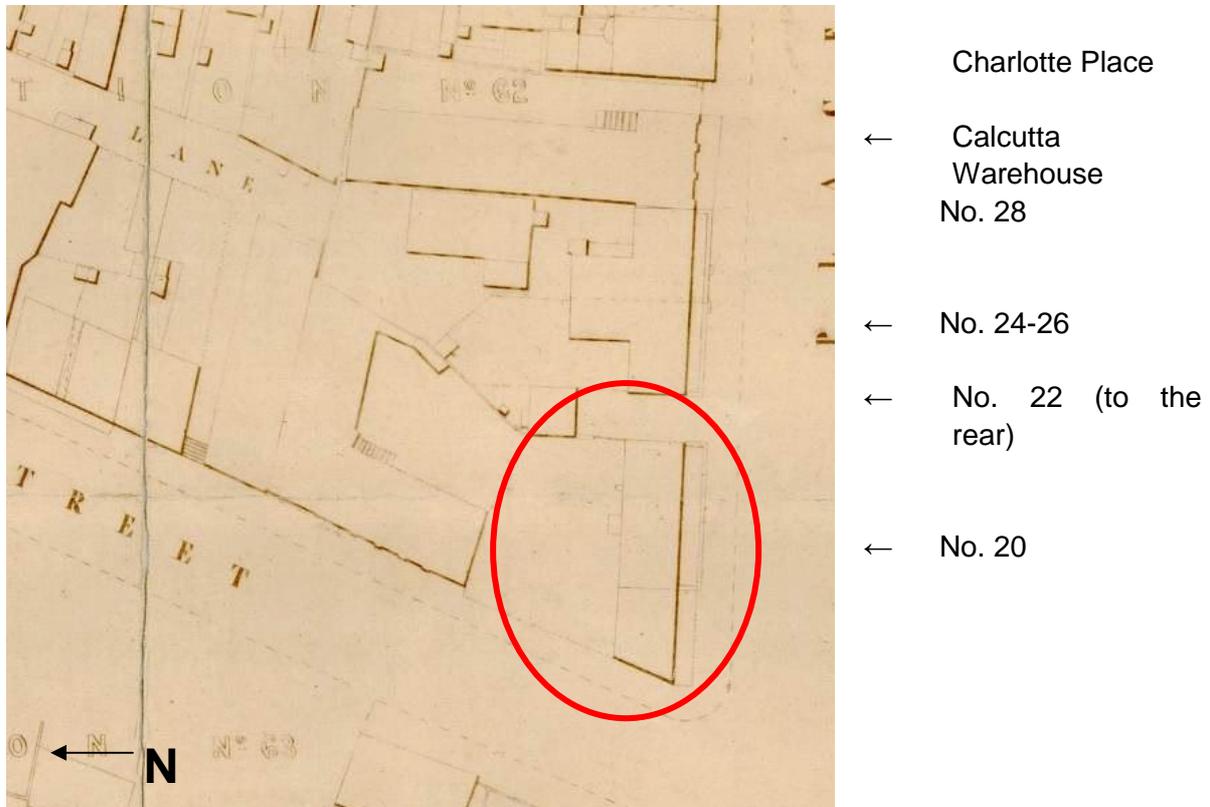


Figure 11: Extract from the Metropolitan Detail Series plan 1886

Source: ML Metropolitan Detail Series

2.5 City Improvements

The construction of Federation Hall coincides with the renaming of Charlotte Place to Grosvenor Street. The Grosvenor was a substantial hotel at the top of the hill. During the twentieth century, proposals to rename the street Shearston Street or to return its original name were unsuccessful. Church Hill was renamed Lang Street and the triangular piece of ground where the first St Phillips Church had stood, has become Lang Park. The Metropolitan Detail Series plans show that the triangular park is overlooked by three churches, St Patricks, St Phillips and the Scots Church.

This area of the city is one of the first areas where street trees were planted, commencing circa 1890. Grosvenor Street was later widened, which involved the removal of front gardens and porches. The northern side already included substantial buildings including St Patricks, Federation Hall and Royal Naval House. Photographs in the Sydney City Archives show that one of the colonial Georgian buildings that once characterised Charlotte Place survived on the southern side of Grosvenor Street until after World War II, occupied by the Fantasia tea rooms. The current street trees appear young in the photographs of the tea rooms taken in 1946. Other than St Patricks Church, Charlotte Place does not retain any of the building stock from the initial phase of development.

Substantial redevelopment of the colonial Georgian city was undertaken during the boom years of the late 1880s and the city changed in scale and character.

2.6 The Federation Hall

The rate books record that the building now known as Federation Hall was built between 1889 and 1891 as a three storey brick and cement building with a flat roof.⁴ An 1889 plan of Sydney shows that the colonial Georgian buildings remained, but the adjacent site was now vacant and it appears that Royal Naval House was commenced first.

The architect of the original building has not been identified. Further research may be able to determine the architect from tender notices. The SCA Building Data record a series of shops fronting Grosvenor Street and that the large space above, entered from Harrington Street, was known as Federation Hall from 1892 until circa 1915. From circa 1915 until circa 1924, the hall was used as a Repertory Theatre. 1922 plans show substantial fixed windows indicating a retail use of the ground floor.



Figure 12: Enlargement of a 1901 view of Frog Hollow showing the rear of Federation Hall and the Harrington Street elevation

Source: *View of the Rocks* compiled by Norman Selfe - SLVIC

⁴ SCRA data sheet, Site History, Federation Hall

Some indication of the character of the buildings in 1901 can be gained from the series of photographs of The Rocks compiled by Norman Selfe. The original configuration of Federation Hall can be seen in a view of St Patricks, with the rear of the building as well as the Harrington Street elevation seen in a view of Frog Hollow (Figure 12). From these photographs it is apparent that during the 1920s work to the hall on the first floor was subdivided and an additional floor inserted. Pediments originally occurred above the first floor windows (Figure 13). The hall would have had something of the character of St George's Hall in Newtown, which retains its ground floor shops and the hall at first floor level. Photographs of the side elevation show the regular bays to the hall and the elaborate balustrade and urns above the cornice.



Figure 13: Enlargement of the view of St Patricks showing part of the Harrington Street elevation of Federation Hall. Note the pediments above the windows which have been removed at a later date. c.1901

Source: View of the Rocks compiled by Norman Selfe - SLVIC

2.7 The Rocks Resumption

Following the outbreak of the plague in December 1900, the entire area of The Rocks and Millers Point was resumed by the State Government and a special Resumed Properties Branch within the Public Works Department was set up to deal with the building stock. The Federation Hall was exempted from the 1900 resumption as it was still church property. Additional resumptions occurred circa 1914 to allow the widening of Grosvenor Street, work that resulted in the removal of the front gardens and verandahs to the surviving colonial Georgian buildings on the southern side of the street. Federation Hall and Royal Naval House were already built to the building line.

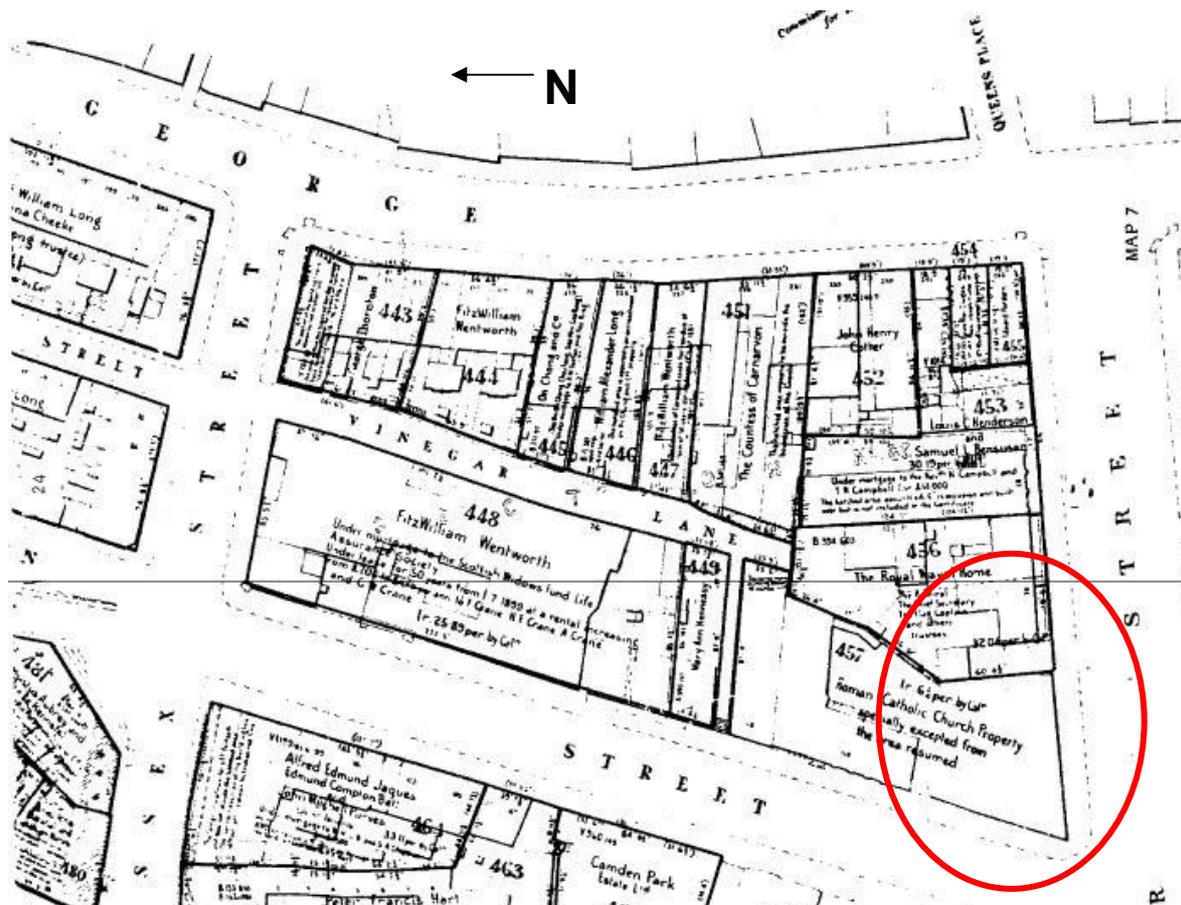


Figure 14: Extract from the 1901 Resumption plan showing the block

Source: Foreshore Authority

A series of photographs of the cleansing operations that were undertaken in the area north of Grosvenor Street, quarantined during the plague, are held in the Mitchell Library, as are the record drawings of the substandard buildings that were to be demolished. Buildings constructed using fireproof construction were retained and upgraded. The surviving plans of the proposed redevelopment show that workers' housing was to be built on the upper streets such as Gloucester and Cumberland Street, and new commercial buildings to George Street south of Globe Street, with warehouses and factories at the southern end of the resumed area, north of Grosvenor Street. The realignment of Harrington Street was necessary before this building work could occur. The position of the southern street

corners of Harrington Street was however already fixed, as both the church buildings on the western side and Federation Hall on the eastern side were to be retained. The Resumed Properties Department were housed in a new building constructed to Grosvenor Street to the west of St Patricks, on the border between the resumed area and the area under the control of the City Council.

The resumed area remains under state government control to this day. The 1900 resumption plans show that the Roman Catholic Church retained lot 1 of William Davis' claim, as well as the adjacent Marist Brothers' school and playground. The school has been established in 1872 and utilised the St Phillips Anglican School in Harrington Street. The school remained on the site until its relocation to Dundas in 1962. The buildings were demolished to allow for the construction of the Grosvenor Place tower.

A Rocks Resumption Advisory Board was established, which included the NSW Government Architect, Walter Liberty Vernon, who was responsible for the Resumed Properties Branch. The schemes that proposed the complete rebuilding of the area, such as that prepared by the engineer Norman Selfe whose photographs were mentioned earlier, were not adopted. Selfe proposed a series of regular courtyard buildings, of a similar scale and character to the blocks found in European cities like Barcelona.



Figure 15: View of the completed Royal Naval House showing a portion of Federation Hall to the left. Undated

Source: ML PICMAN

The Government Architect was aware of the planning and urban renewal of English and European cities, having visited England, Scotland, France, Belgium, Holland, Denmark and Sweden during his study tour in 1897. It was the slum clearance and urban renewal being undertaken by the London County Council that influenced the redevelopment of The Rocks and Millers Point undertaken by the Government Architect, post 1900.

Although a number of schemes were prepared the actual redevelopment occurred in piecemeal fashion, with individual buildings designed by the Government Architects Branch slotted into existing streetscapes. Allotments and laneways were regularised and the density of the area was increased by the construction of tenements to house the workers, factories, commercial buildings and public houses. Buildings such as Federation Hall and Royal Naval House that were of a high standard of fireproof construction were retained.

The increase in the density of The Rocks that occurred following the resumption had already begun with the construction of the Federation Hall and the Royal Naval House in Grosvenor Street circa 1890. Because of the location of the school and playground in Harrington Street the irregular lot boundaries were retained, particularly the northern boundary of the open area to the rear of No. 24-30 Grosvenor Street and the northern boundary of Royal Naval House.

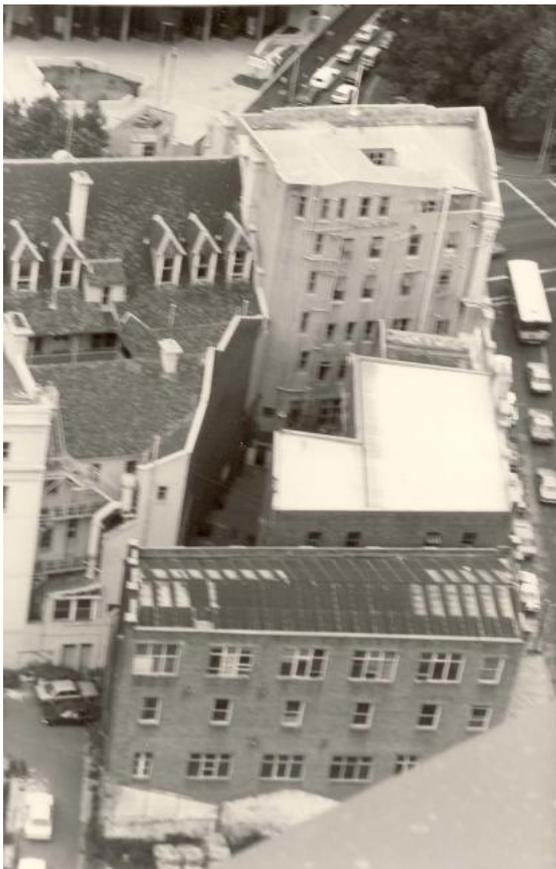


Figure 16: Photograph of the rear of Royal Naval House and Federation Hall showing the configuration of the buildings. The survival of the irregular lot boundaries is evident. Note Harrington Street is on the right and the additional storeys of Federation Hall are evident on the corner. Undated, c.early 1980s

Source: Foreshore Authority

2.8 Extensions and Alterations 1920-1960

Federation Hall, now known as No. 30 Grosvenor Street, was substantially extended in the early 1920s with two additional floors, a flat roof terrace and light well being added (Figures 16 & 17). These additions were designed by the architectural firm of Ernest A. Scott and Green and a partial set of the drawings survives in the Foreshore Authority archives. The BA submission for Grosvenor and Harrington Street made in 1922 is likely to have been for these works.⁵

The additions to the building were constructed by the Stuart D [?]. Co. of Taylor Street, Annandale, Builders. The ground floor plan and the third floor plan survive, the fourth floor was identical to the third. Preliminary drawings indicate that additions and alterations were carried out for Messers Mr. F. W. Hughes. This is likely to have been Frederick William Hughes who operated an extensive woollscouring complex at Botany. Hughes was the proprietor of the Colonial Combing, Spinning and Weaving Company and also the Colonial Wholesale Meat Company. His products, all derived from livestock, ranged from woollen cloth to glue. Hughes had consolidated his companies in 1908 into one, F. W. Hughes Limited.

The surviving plans of the building show that it was intended for commercial tenants rather than for Hughes' companies and it is likely to simply have been an investment. One of the tenants of the upgraded commercial premises between 1927 and 1930 was the National Road Motorists Association (NRMA). The NRMA had been established by a group of businessmen including the racing driver Boyd Edkins in 1920, with the NSW branch formed in 1923. The initial services provided included 'mechanical first aid for cars' and a car minding service. During the early 1920s cars could not be left unattended in the city and the NRMA guides would mind the cars whilst members were attending to business. The guides were

... all returned sailors or soldiers with distinguished war records and each of exemplary character. Each of them is a skilled mechanic and licensed motor car driver. All of them know a good deal about ambulance work and first aid⁶

Undated plans survive that show that at some point the second floor was converted into the principal's office and a two bedroom flat. The 1978 measured drawings indicate that this alteration took place, as the stair from the offices on the first floor and the flat on the second floor survived, as did the WC and the partitions to the bathroom and one of the bedrooms. The flat occupied the whole length of the floor on the Harrington Street side. It could also be accessed from the office area on the second floor. It has not been identified which principal the alterations were for, adjacent to St Patrick's Church were the primary school, secondary school and a business college. It would seem more appropriate to house the head of a business college in such circumstances however this may not have been the case. The kitchen and dining room of the flat overlooked the primary school playground next door.

Two further Building Applications survive and there are also drawings for a caretaker's flat on the roof. The flat was constructed to incorporate the existing cleaner's room and

⁵ SCC Archives BA 0937/22

⁶ NRMA website - history

extended around the lightwell. It was common practice for a caretaker to live on site on the roof of commercial buildings in the city, and similar flats are known to have existed in Martin Place, at the Trades Hall in Liverpool Street and at nearby Science House. In some cases the rooftop structures were removed during World War II, as were other prominent roof top elements. In 1961 a development application was submitted for the use of part of the basement of the premises as a commercial photographic studio.⁷



Figure 16a: Grosvenor Street elevation showing the 2 storey addition from the mid 1920s up to the late 1980s

Source: Foreshore Authority

2.9 The Meat Board Building

No. 30 Grosvenor Street was occupied by the Australian Meat Board from the early 1960s until circa 1977 when the Board moved to premises in Elizabeth Street. During the 1950s their offices had been in O'Connell Street. The move is likely to have been the result of proposed redevelopment of the entire block for high rise offices. It has not been determined if there is a connection between the 1920s enlargement of the building by the prominent Australian meat producer F. W. Hughes and the later occupation by the Australian Meat Board. During the 1970s representatives of the Australian Meat Board served on international FAO and WHO joint committees regarding food hygiene standards. Federation Hall is shown on the SCRA development site and environs plan as being the Meat Board Building.

The measured drawings prepared by the PWD in 1978 show the surviving arrangement of partitions but do not indicate any room uses other than the strong rooms and the main lobby. Photographs in the SCRA collection show that circa 1980 the building was also occupied by Australia Post and that the standard Post Office signage was attached to the Grosvenor Street façade (Figure 18).

⁷ SCC Archives BA 952/62



Figure 17: View of Federation Hall taken from George Street North showing the additional two storeys. Undated, c.late 1970s

Source: SCRA

2.10 SCRA and the Redevelopment of The Rocks

There had been plans to redevelop The Rocks area for many years, with an Observatory Hill Redevelopment Committee formed in 1938, its activities however curtailed by the war. The committee's proposals to the Sydney City Council (SCC) are held in the Council's archives. In 1960 the State Government invited developers to submit redevelopment schemes for the resumed area of The Rocks. The nine schemes that were received were discussed in *Architecture in Australia* in 1963, and in 1964 the preferred scheme was published, that by Edwards, Madigan, Torzillo & Briggs for the developer James Wallace. Two historic buildings were to be retained, Cadman's Cottage and St Patrick's church, the former erroneously believed to be the oldest building in the colony. All of the developers' schemes were eventually rejected by the State Government who appointed the Chairman of the National Capital Development Commission (NCDC), Sir John Overall to prepare a report and a planning scheme. To facilitate the proposed redevelopment, the Sydney Cove Redevelopment Authority (SCRA) was established and a board created, the members of which included the prominent architect Walter Bunning.



Figure 18: Federation Hall with Australia Post sign to Grosvenor Street. Undated, c.mid 1970s

Source: Foreshore Authority

The Local Government Areas act (1948-51) required local councils to submit a planning scheme to the minister. The SCC had established a planning committee in 1947, however it was not until 1958 that a scheme was approved by the Council. The Sydney City Council sought to retain the residential areas surrounding the city, which housed the cities workers. By the time the City of Sydney Planning Scheme was finally gazetted the planning control for The Rocks area had been placed under the minister's control, via the Sydney Cove Redevelopment Authority. A second planning scheme, the City of Sydney Strategic Plan soon replaced the City of Sydney Planning Scheme. Peter Weber notes that the City of Sydney Strategic Plan, first gazetted in August 1971, was the first planning scheme to include provisions for the retention of historic buildings. The Rocks redevelopment proposals already contained provision for the retention of some historic buildings.

The approach taken in the two planning schemes varies, the SCC scheme provided for the sale and transfer of floor space, whilst the SCRA scheme identified a series of development sites that were to be available on a long term 99 year lease. The 99 year lease method was commonly used in London but was less common in Sydney. Canberra on the other hand was developed on a leasehold basis. The resumed area was divided into four zones labelled A, B, C & D and each potential development site was given a number D1, D2, D3 etc. Site D5 included the Chamber of Commerce Building, the Johnsons Building and the Brooklyn Hotel. Site D6 included the remainder of the George Street frontage and the factory buildings to the rear (including the Crane factory) and D11 included Royal Naval House, Federation Hall and the Marist School to the rear. Later, some of these potential sites would be combined into larger sites, encompassing the whole block. The Grosvenor Place development encompassed all of sites D5, D6 and D11.

The schemes proposed by the developers were modified by Overall to allow the approaches to the Sydney Harbour Bridge to remain visible from Circular Quay East and the Tarpian Way. The proposed tower blocks were to step down in scale from Australia Square and the Qantas Building. North of the Cahill Expressway the buildings were to be of a much lower scale. The 1970 Plan of Historic, Building and Open Space parcels of land prepared by SCRA noted that the 'environment of the area is to be protected by controls constraining the development of building sites, road and public reserves in areas of historic value'. This plan shows that the whole of Essex Street was to be removed, replaced by a series of tower blocks, the southernmost of which fronted Grosvenor Street, approximately on the site of Federation Hall and Royal Naval House. Two more blocks of a similar footprint were to line George Street south of the Cahill Expressway. Perspectives prepared by SCRA show the scale and character of this intended development.

The 1970 plan provided for the preservation of St Patricks and made provision for sites that were to be 'conservation no redevelopment' and 'conservation or sympathetic redevelopment'. The majority of the buildings to be conserved were north of the Cahill expressway. The cliff face of the Argyle Cut and Gloucester Street was also identified for preservation. This planning scheme predates the provisions made by the Sydney City Council to retain historic buildings. The proposal to replace workers housing with commercial tower blocks resulted in the imposition of Green Bans by the Building Labourer's Federation (BLF) in the early 1970s. The green bans resulted in the conservation of a far greater number of buildings within the resumed area, which by 1978 had been included on the Register of the National Estate as an urban conservation area. SCRA turned its attention to the conservation of the George Street North streetscape, north of the Cahill Expressway. The character of the built environment of the resumed area was recorded in a series of photographs taken in 1970 and again in 1980.

The Rocks and Millers Point urban conservation area (UCA) was one of the first to be designated as such, and listed by the National Trust in May 1978 along with the King Street Urban Conservation Area in Newtown. The first UCA was that of Glebe, listed by the National Trust in 1974. While Glebe has retained its residential character, that of The Rocks has not being retained, nor has its industries. The small scale manufacturing industries progressively left the area and warehouses were converted into offices used for commercial tenants. The blocks closest to Grosvenor Street contained a mixture of educational facilities associated with St Patricks, Royal Naval House, a hostel for sailors, and a mixture of commercial uses. The Meat Board vacated the Federation Hall in 1977, however it would be some years before the development site was released.

2.11 Harrington Street Mall

Part of the block, known as site D6 (Figure 19), was released for development in 1971. The brief noted that a pedestrian mall was to be created above Harrington Street that would link site D6 with sites D2 and D3 to the north. Escalators would be installed in Essex Street and in Milson Lane at the rear of Royal Naval House, where a pedestrian plaza was to be created. Federation Hall and some of the former school buildings are shown as being retained. These pedestrian areas were intended to be linked to the pedestrian route from Wynyard Station being created through the Qantas Building. This development proposal did not proceed.

Although not listed individually as a heritage item, Federation Hall was part of a group of buildings identified as “an outstanding streetscape of Victorian and Edwardian buildings of complementary scale, rich in exuberant detail and texture”.

2.12 Prime Development Sites D5, D6 and D11

Federation Hall was not considered to be a heritage item. The development brief for the ‘prime development sites D5, D6 and D11’ noted that:

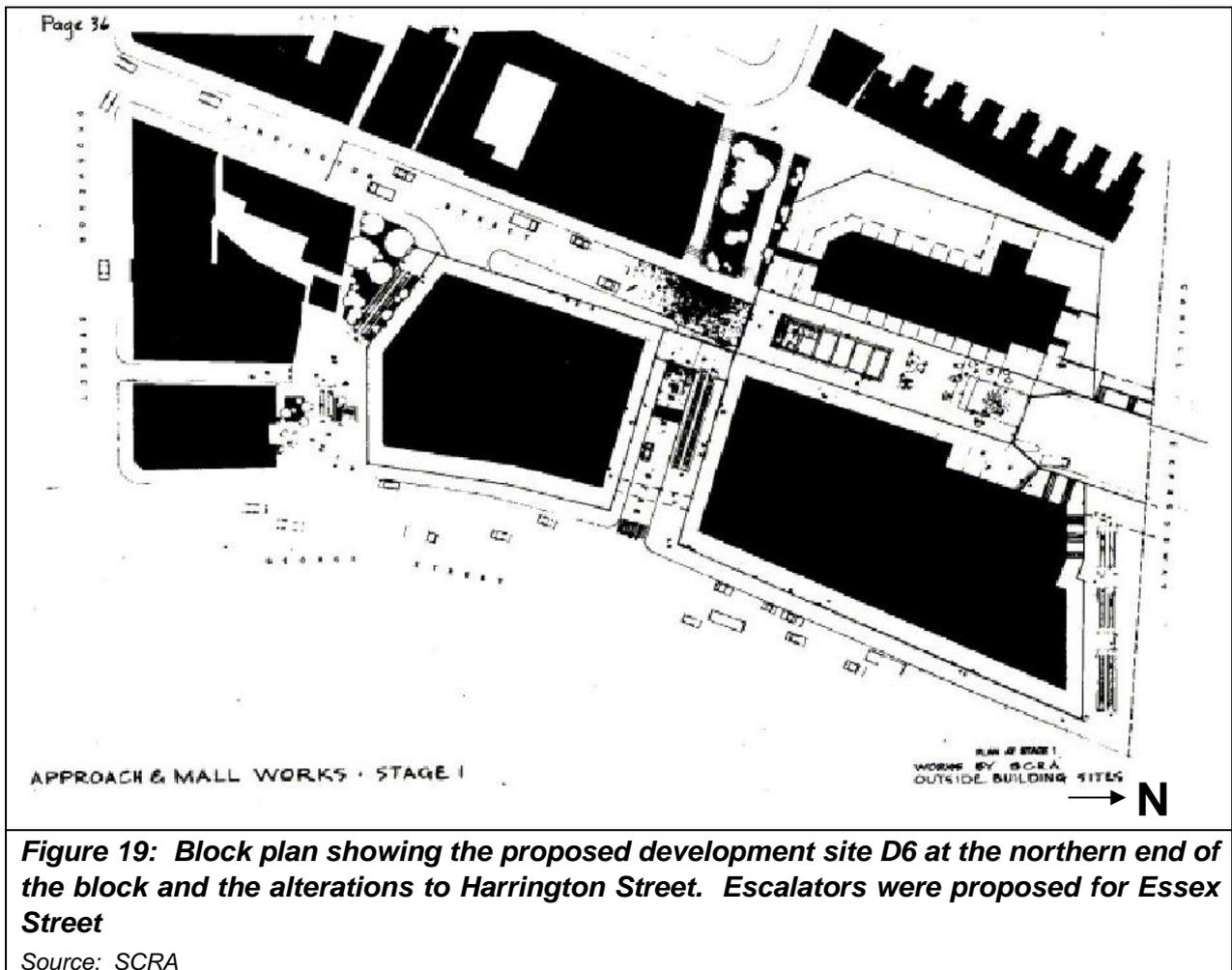
... the site includes two buildings of historical importance and architectural interest (Royal Australian Naval House and the Brooklyn Hotel) and the preservation and incorporation in the redevelopment scheme of their principal features are mandatory requirements.⁸

The brief also noted that SCRA has sought to integrate the new with the old in such a way that the precinct character of earlier development, where possible, has been retained in the preservation and restoration of existing buildings and in the new work that has been undertaken.

The development brief for the entire block was released in May 1980, a decade after the initial release of site D6. The brief provided for a building of a similar scale to the existing Federation Hall, noting that the ‘building to be in scale with Royal Naval House’. The replacement building was intended to contain basement carparking. The front sections of Royal Naval House, the internal court and the front bar of the Brooklyn Hotel were to be retained. Two tower blocks were proposed on the site, surrounded by a series of lower scale buildings set within pedestrian plazas. The Grosvenor Street streetscape identified in the National Trust listing was not shown as being retained, while the Chamber of Commerce building and Johnson’s building were to be removed.

There is some discrepancy between the 1987 EIS and the brief released in 1980. The EIS notes that Federation Hall was to be retained however the outline scheme plan does not show this. The National Trust, the Planning and Environment Commission and the Royal Australian Institute of Architects (RAIA) sought to have the George Street corner retained. The SCC on the other hand sought to widen George Street North.

⁸ Development Brief for Prime Development Site D5, D6, D11 held by Foreshore Authority



The preferred developer for the site was the Kern Corporation, with their architect Harry Seidler. Seidler had proposed a single tower, rather than the two towers permitted in the planning controls. As a result of discussions between the Heritage Council and SCRA a conservation plan for the development site was proposed, which was to be prepared in-house by SCRA.

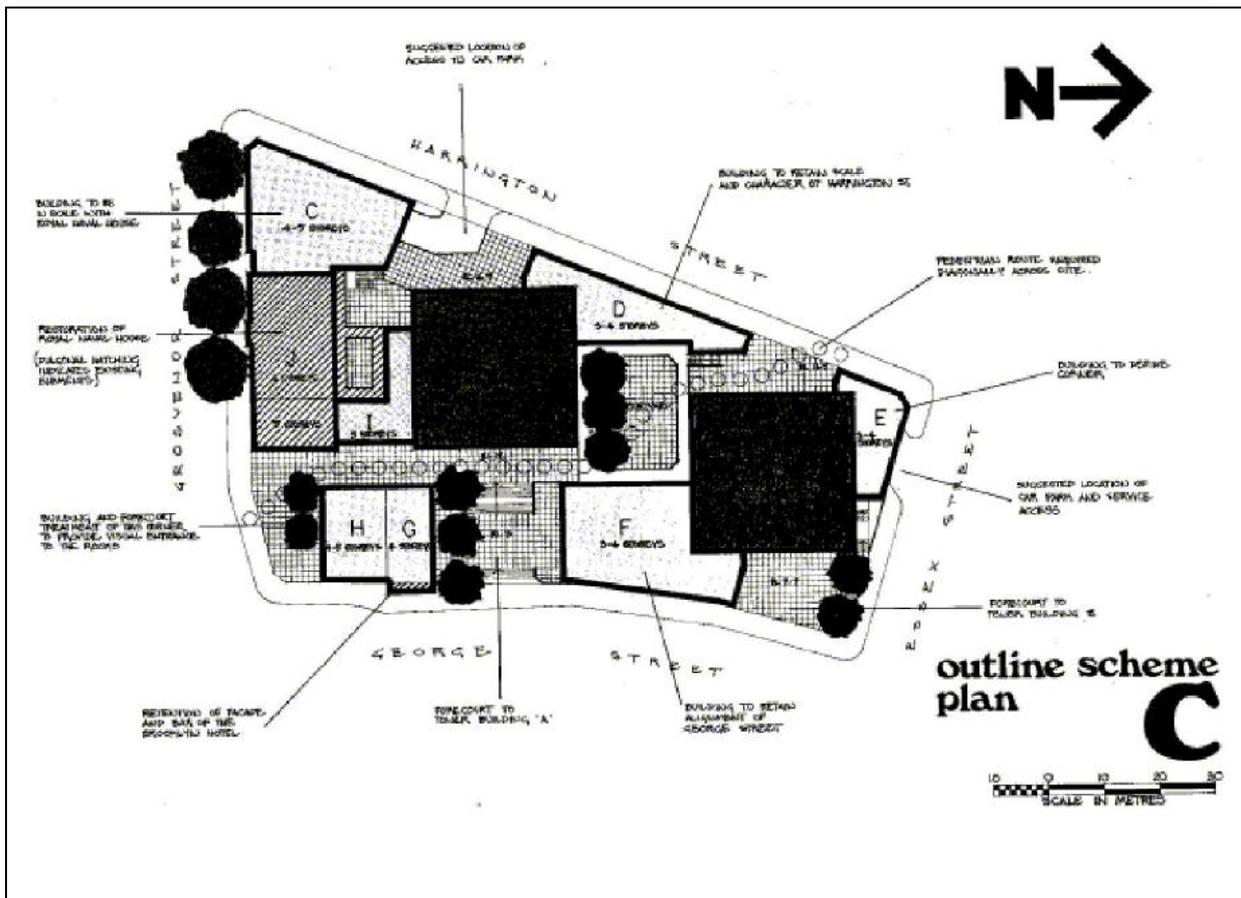


Figure 20: Outline scheme plan C which provided for the removal of Federation Hall

Source: SCRA

2.13 Conservation Plan for Sites D5, D6 and D11

The Conservation Plan for the block and prepared by SCRA, developed graded zones of significance. The CMP conclusion was that:

As a group, the individual facades along Grosvenor Street and George Streets are interesting but not particularly distinguished...however as a group they have considerable significance. The group includes Federation Hall, Royal Naval House, Chamber of Commerce, Infill Building and Brooklyn Hotel. The two buildings in Harrington Street do not form a strong enough part of the group to warrant inclusion...

In all this, the trees add very considerably to the scene, although planted only about 30 years ago and their significance is considerable. The fact that they are deciduous gives an added quality to the richness of the facades, and links them together in a very satisfactory way. Looking at these facades in the context of Grosvenor Street, they have an added quality in their contrast to the southern side of the street, with the open space of Lang Park, and the Qantas Centre which largely disregards the traditional concept of a street alignment. The juxtaposition of the two radically different approaches is very good, particularly as the northern side has no modern intrusions.



Figure 21: View of Federation Hall taken from Harrington Street before the additional levels were removed

Source: SCRA

The two facades and the two entrances of Federation Hall were ascribed Grade 2 level of cultural significance, and therefore conservation warranted if at all practical. The justification for the listing appears to have been solely on architectural grounds, as the assessment criteria that exist today had yet to be introduced.

Federation Hall has a pleasing neo-classical façade with a fairly obvious later addition of the top two storeys. The interior spaces are fairly simple, the entrances are good and the whole building will amply repay sensitive treatment. However the façade is primarily an important element in the streetscape.

The Conservation Plan concluded that:

Both street facades should be conserved. This includes both the existing entrances, and associated entrance spaces. Nothing should be done to the street level interiors that does not complement the exterior.

In addition a number of elements of the adjacent building, Royal Naval House, have been given the highest level of significance (Grade 1), namely the Grosvenor Street façade and a considerable part of the return along Milson Lane, at least as far as the south wall of the courtyard.

The interior spaces of the 1890 building as follows:

Stair Hall, full height ...

Courtyard including surrounding walls and verandahs

Roofscape.

Other internal elements were given a lesser grading. The Conservation Plan required that all of the zones attributed Grade 1 level should be conserved.

The developers revised their scheme, releasing a report that noted:

The Meat Board Building has been retained to preserve the Grosvenor Street streetscape and to provide a consistent backdrop to the solarium. Constructed about 1920 the building has a classical revival façade and has been considerably added to. Nevertheless the building interiors could be refurbished to provide good quality office space on five floors with a tavern, restaurant opening into the solarium.

The solarium refers to the courtyard covered by a space frame to the rear. The scheme that was submitted by the architects for the developer did not include the refurbishment of the existing interiors of either Federation Hall or Royal Naval House.



Figure 22: View of Royal Naval House with Federation Hall to the left hand side before the upper two levels were removed. Undated, c late 1970s

Source: SCRA

2.14 Sydney Futures Exchange

The scheme for Royal Naval House and Federation Hall was prepared by Harry Seidler in association with Davis Heather & Dysart, and showed little regard for the findings of the Conservation Plan. The two main facades of Federation Hall were to be retained however only one of the entrances was to remain in its original position. The main façade of Royal Naval House was to be retained, as was part of the return to Milson Lane. The significant

internal features, the main stair and the courtyard were to be relocated into Federation Hall. The stair and lightwell that already existed in Federation Hall were to be removed, as were the top floors and the caretakers flat, added progressively from 1922. A development application was submitted in 1986. SCRA approved the extensive internal changes to the buildings and the relocation of the courtyard and staircase. The two buildings were combined into one, with consistent floor levels.

The approach taken in creating the Sydney Futures Exchange was considered to be facadism by Sydney's conservation architects. The relocation of elements was not an approach that was to be repeated in The Rocks. The arguments about the retention of the corner building that occurred after a 1985 fire noted that the buildings were more than simply facades and should be retained.



Figure 23: View of the completed Sydney Futures Exchange building, late 1980s

Source: SCRA

The Sydney Futures Exchange has occupied the premises in Grosvenor Street since the completion of the building in the late 1980s until circa 2002 when the trading room was removed. Additions to the building were made, with the majority of changes occurring within Royal Naval House. A canopy was installed above the courtyard to keep the rain out. A second major refit of the interior of the office levels within Federation Hall is currently underway, in conjunction with the refit of the Royal Naval House next door. The building is to be occupied by a trading company, Optiver. The commercial tenancies in the courtyard remain.



Figure 24: View of the completed Sydney Futures Exchange building with Grosvenor Place to the rear. Note the fire stair at the end of the Federation Hall façade

Source: SCRA

3. Physical Evidence

The aim of this chapter is to describe Federation Hall, 24-30 Grosvenor Street, in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

Federation Hall is situated on the corner of Grosvenor and Harrington Streets. The building sits at the southern end of Grosvenor Place, separated by a sunken courtyard, below the level of Harrington Street, and which is covered by a space frame or 'solarium'.

Both street facades have a similar neoclassical character, with show windows at ground floor level, separated from the first floor by a string course. The show windows are divided into bays by rendered piers designed to give the appearance of ashlar. The main entrance, as well as the entrance to the courtyard, are from Grosvenor Street. The first and second floors are divided into bays by pilasters with Corinthian capitals, which support the cornice. The first floor windows have elaborate surrounds that include an individual balustrade to each window. The second floor windows have been inserted above the first floor windows and both openings now contain metal windows. The current parapet detail is relatively plain.



Figure 25: View of Federation Hall showing the gable end of Royal Naval House

Source: Conybeare Morrison International December 2007

3.1.1 Views and Vistas

The parapet of the building is highly visible from Grosvenor Street, as is the end gable of Royal Naval house to the east. From Harrington Street and within the solarium, the blank wall of the addition to the northern end of the building is visible, an addition which contains the toilets and fire stairs.



Figure 26: View of the Solarium and the blank wall of the fire stair added to the rear of Federation Hall

Source: Conybeare Morrison International December 2007



Figure 27: The Harrington Street façade of Federation Hall

Source: Conybeare Morrison International December 2007

3.2 Building Description

This building description describes the surviving historic fabric. At the time the building was inspected (December 2007) the office areas to the ground floor and the first and second floors were being refitted for the *Optiver* tenancy.

External Fabric

Externally the Grosvenor Street façade and the Harrington Street façade retain significant fabric. The remainder of the external fabric, the northern extension and the roof is modern.

Internal Fabric

Internally there are two elements that retain historic fabric, both of which have been relocated from Royal Naval House. These elements are described in more detail in the following section. The remainder of the interior is modern.

It should be noted that the interior was substantially altered in 1922, gutted in 1987 and altered circa 2002, and is currently being altered. The surviving fabric is described in more detail below, and the changes to the configuration have been identified.

3.3 Identification of Fabric Development – External

What survives of the exterior of the building largely relates to the first stage of construction, with the exception of the metal windows, which were added when the pediments were removed and additional storeys added circa 1922. The additional storeys, which had a similar window detail, were removed when the building was converted into the Sydney Futures Exchange in the late 1980s. Some floor plans and historic photographs showing the full extent of the building survive, however these are primarily of the building in its extended configuration.

The Grosvenor Street façade retains considerable evidence of the nineteenth-century configuration of Federation Hall. The main doorway to the upper level hall was located adjacent to Royal Naval House. An entrance has been in this position since the nineteenth-century.

A photograph of Royal Naval House and the 1907 addition show the original detail of the pilasters to the main entry. The present brackets and the trachyte base appear to have been added during the 1920s. The metal windows date from the 1920s, as identical windows were installed to the upper floors. The original detail of the timber windows is likely to have been the same as the Harrington Street elevation.

The Harrington Street façade retains considerable evidence of its nineteenth-century configuration, with the exception of the windows added in the 1920s, the addition of the fire stair with blank wall to the north (mid 1980s), and the new opening at ground level at the corner with Grosvenor Street. The lightwells in the pavement that light the basement appear at basement level on the 1978 plans but not on the plans at ground level. A photograph of the Harrington Street elevation circa 1901 (Figure 28) shows the original configuration of the timber casement window sashes as well as the pediments above the windows, which have been removed and replaced with windows. The pilasters, cornice and balustrade were retained.

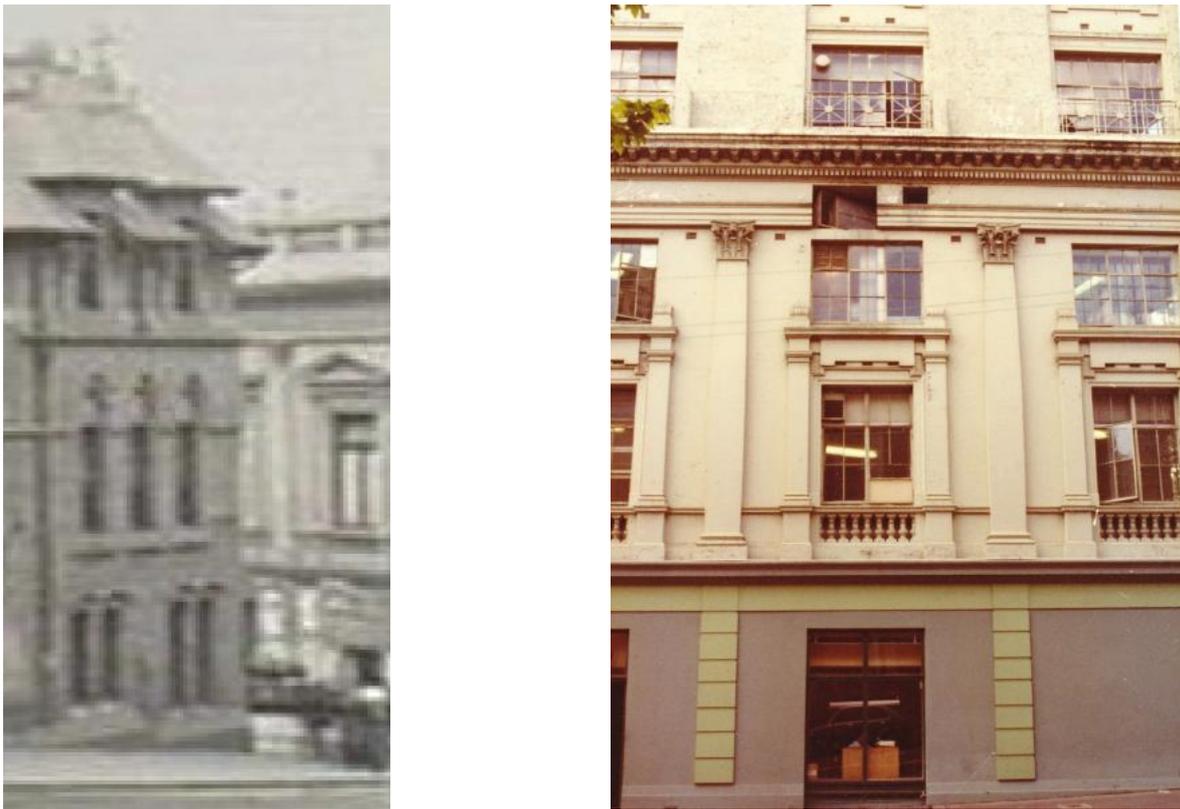


Figure 28: Comparative views of the Harrington Street elevation showing the original detail of the first floor windows (left) and the metal windows added in the 1920s (right). Note also the different configuration of the roof in the view on the left

Source: ML Picman (left) and SCRA

3.4 Identification of Fabric Development - Internal

Original Configuration

The original plans of the building have not been located and the detail of the interior layout remains unknown. From the plans for alterations prepared in the early 1920s, it is evident that the ground floor was supported on 6" by 6" timber posts which would have been hardwood. The position of the two staircases, the main stair to the upper levels at the eastern end of the building and the stairs at the entry to the ground floor which led to the basement, and shown on the 1922 plans, all probably date from the original scheme, as does the location of the toilets, external area and bridge at the rear. The date of the installation of the strong rooms in the basement and on the ground floor is unknown.

The Federation Hall was located on the first floor. No plans or interior photographs survive showing the internal layout. The surviving glimpses of the building in historic photographs show that the slope of the roof was partly concealed by the parapet. Two chimneys were located on the rear façade, which do not appear on the 1920s plans. The ground floor appears to have contained a series of shops, with 1 shop window to Harrington Street and four to Grosvenor Street.

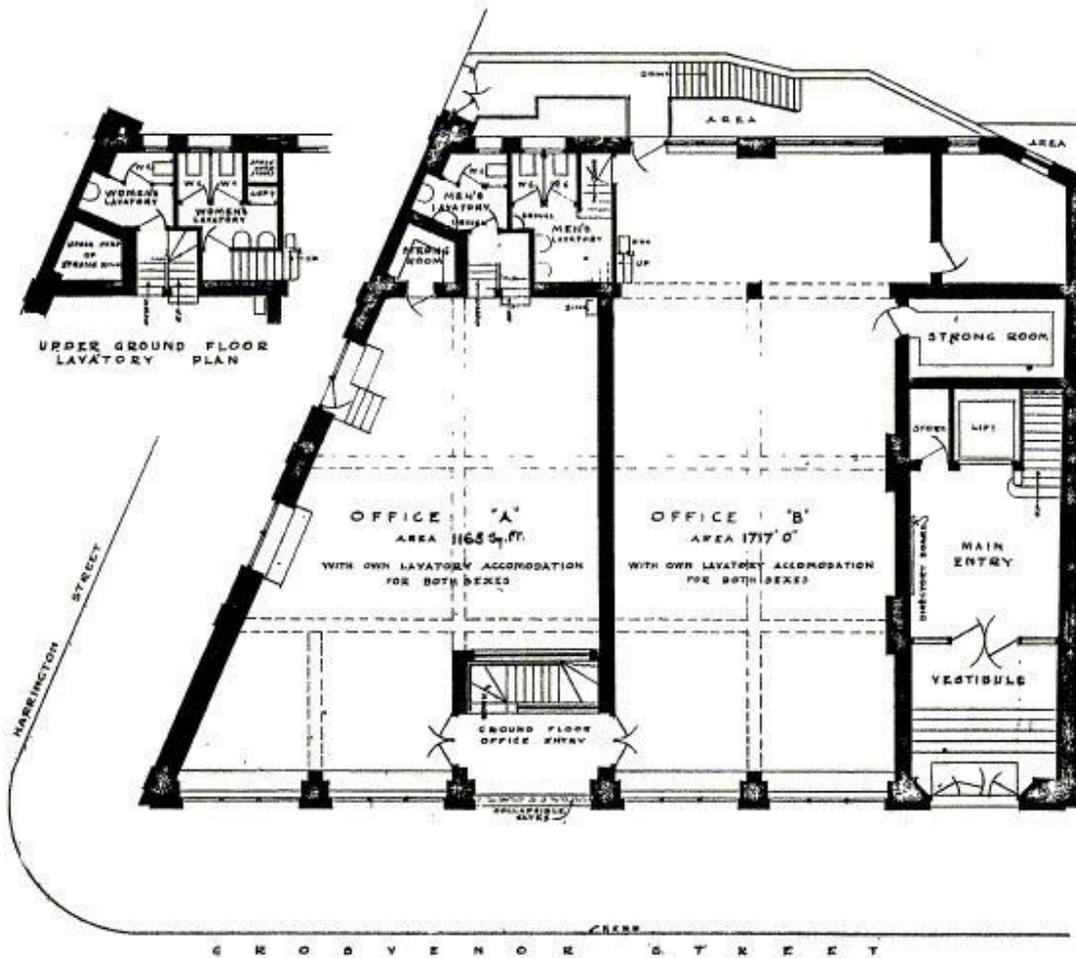


Figure 29: Plan of the proposed interior prepared by Ernest A. Scott & Green c.1922

Source: SCRA

1922 Configuration

The ground floor was altered to create two separate office areas, each with a strong room and separate male and female lavatories (Figure 29). Office A had an entrance from Grosvenor Street and a side entrance from Harrington Street. The position of the ground floor strong room for Office A is still evident in the external wall; the northern most bay to Harrington Street lacks an opening. The bay closest to the corner with Grosvenor Street also originally did not have a window. Office A retained the same configuration internally and externally in 1978 with the exception that the office had been subdivided.

In 1978 Office B also largely retained its circa 1922 configuration, however partitions had been added and a door had been installed between the two offices. The lift may have been added in 1922, within the stairwell in a similar manner to the lift added into the stair adjacent to the vestibule of the town hall.

The proposed Futures Exchange scheme by Harry Seidler & Associates, Davis Heather & Dysart proposed to remove the entire internal configuration of the building and relocate the 'historic courtyard' (void) from the adjacent Royal Naval House. Two firestairs were added, replacing the strongroom and the toilets on the north western corner of the building. The historic stair was not constructed in the position shown on the plan below.

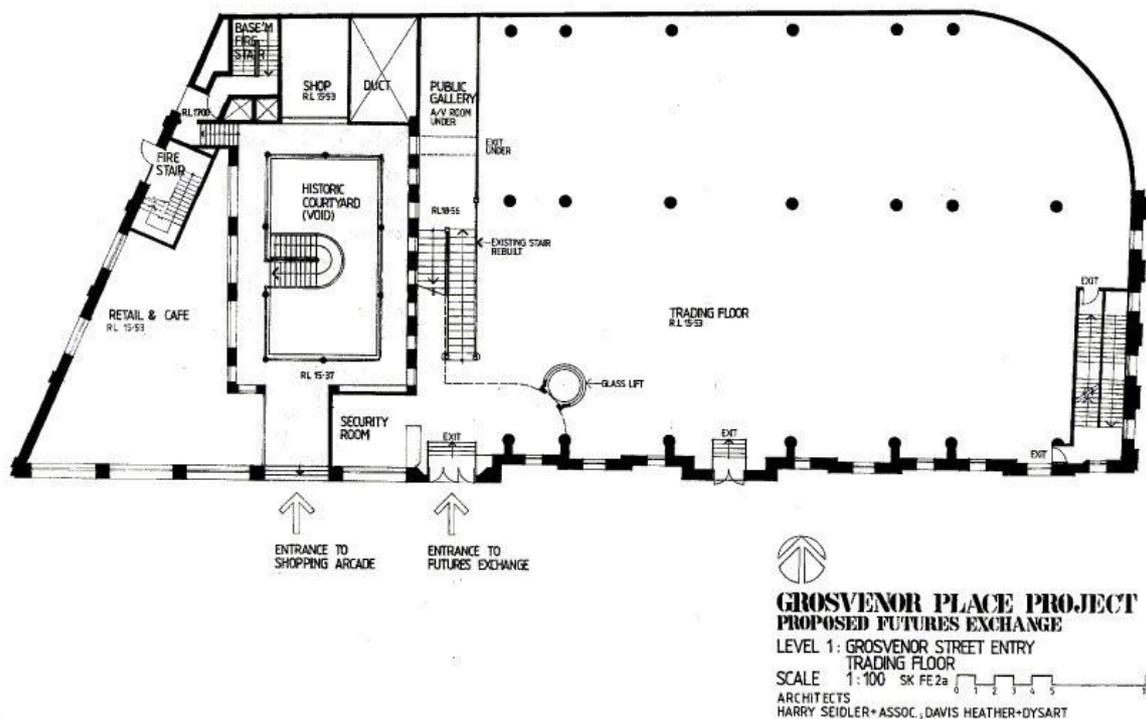


Figure 30: The Futures Exchange proposal prepared by Harry Seidler in association with Davis Heather & Dysart

Source: SCRA

Sydney Futures Exchange DA

The DA for the Sydney Futures Exchange further developed the scheme prepared by Seidler et al. Essentially only the Grosvenor Street and Harrington Street facades were retained. The division between Royal Naval House and Federation Hall was removed as were the rear walls. The load bearing masonry walls are evident on the plan.

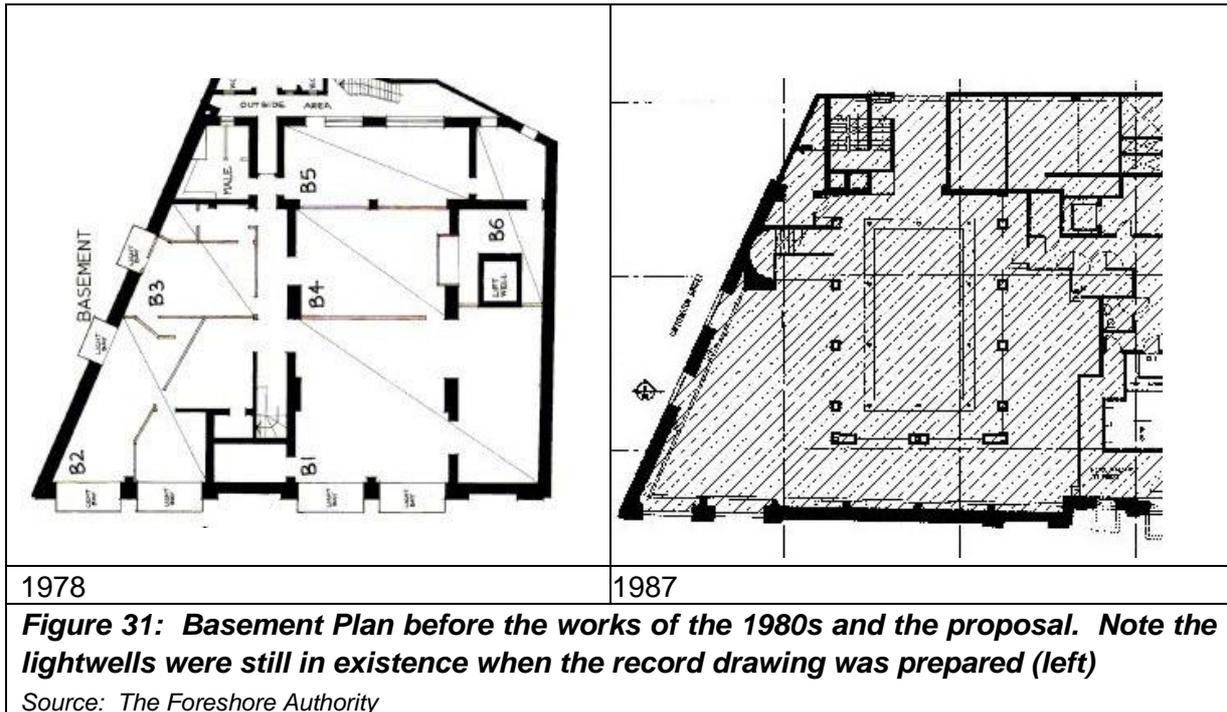
Basement

No record photographs of the interior of this building have been located.

The basement level is shown as containing the relocated, and reoriented courtyard. In its original configuration the courtyard ran east west, with the galleries continuing beyond the bridge that served to delineate the courtyard. When relocated the courtyard was rectangular. The existing timber structure was removed as was the stair to the basement.

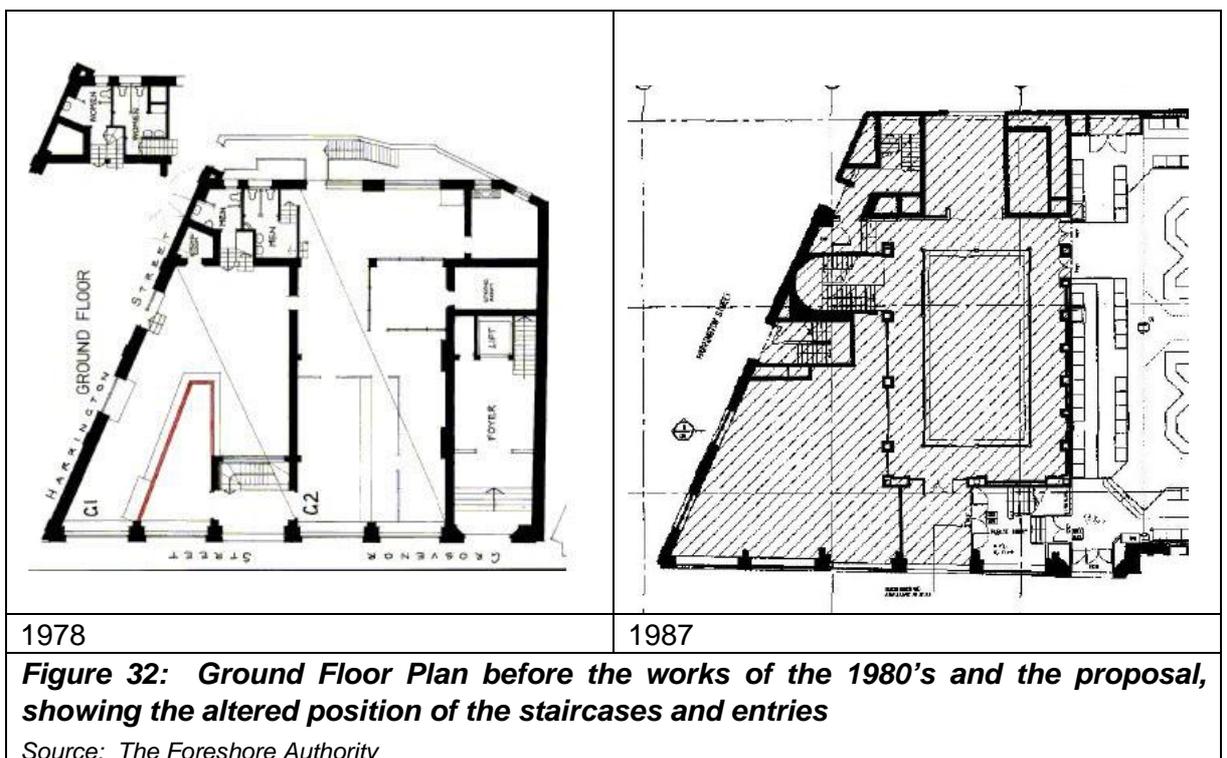
The basement and ground floor levels were to contain retail. The north western corner, where the toilets had been located, was converted into a stair, removing the surviving evidence of the strong room.

A comparison between the PWD measured drawing of 1978 and the 1987 DA drawings shows that only the external walls to Grosvenor and Harrington Street were retained. The basement floor levels appear to be similar.



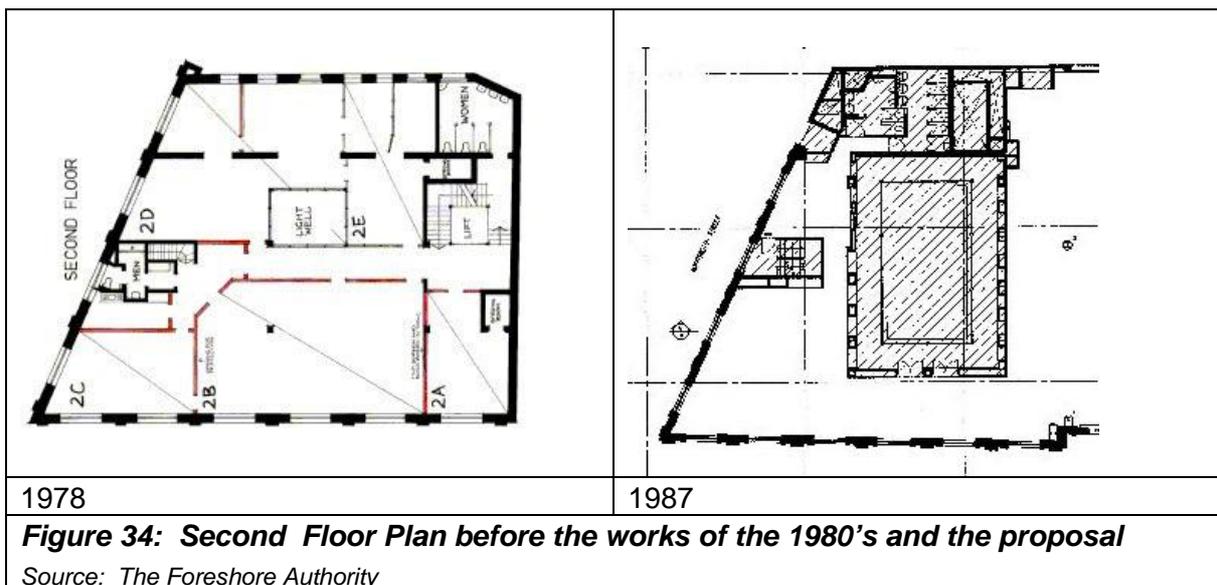
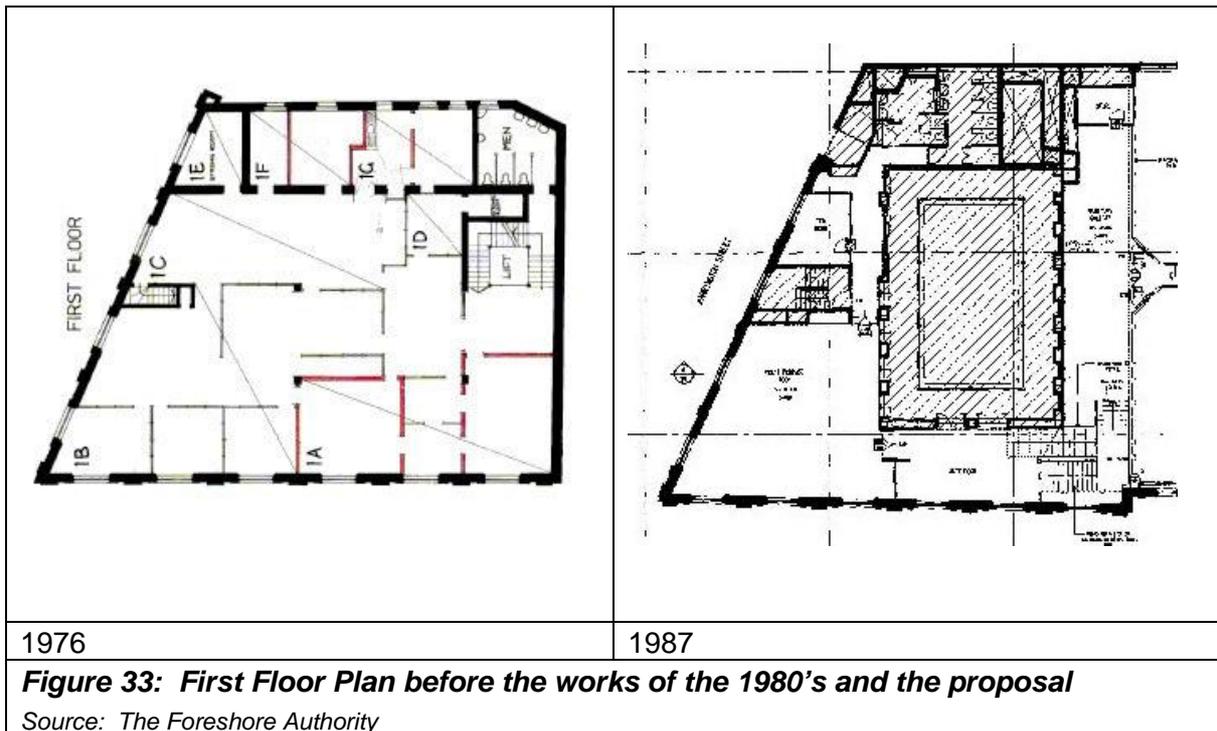
Ground Floor – Level 1

Like the basement, very little of the ground floor configuration was shown to be retained in the DA submission. The main entrance was retained, however the configuration of the lobby was altered to accommodate the stair salvaged from Royal Naval House. The stairs from Federation House were removed and no detail, other than the plan layout shown in the 1920s plans, has been located. There do not appear to be record photographs of the interior of Federation Hall.



First and Second Floors

A void was created through the ground, first and second floors accommodate the relocated courtyard, which is encased within a masonry shaft that continues up to the roof to form a parapet. It appears from the drawings that the floors were removed and replaced with concrete slabs and beams. The floor levels correspond approximately to the floor levels in the 1920s refurbishment and do not relate to the courtyard, or the windows at the upper levels. On the first floor there are two steps down to the courtyard, on the second floor there is one step up to the courtyard.



Current Configuration – Basement

Other than the external walls and the one surviving glazed bulkhead (Figure 35), no evidence of the basement configuration has been retained with the other openings to the basement having been closed up. The relocated courtyard was installed from the basement level up (Figure 36). The bulkhead may date from the 1890s or may have been altered in the 1920s.

The courtyard is paved with granite setts in the fan motif characteristically used by Harry Seidler in his commercial buildings. The relocated cast iron columns surrounding the courtyard sit directly on the paving. Modern shop fronts have been installed into the archways. The brickwork and the archways are modern as is the stair to the ground floor. At this level it is only the metalwork, the columns and the valence or frieze that appears to be original, albeit no longer in its original location.



Figure 35: View of the surviving glazed bulkhead that provided light for the basement

Source: Conybeare Morrison International December 2007

Current Configuration – Ground Floor

Other than the external walls, the show windows and the entrance to the stair hall, no evidence of the ground floor configuration, as altered in 1922, was retained. The trachyte surround to the door and the show windows are both probably 1920s work. The scale of the openings of the original scheme was retained but not the detail. The entrance to the courtyard is modern, replacing a show window.



Figure 36: View of the courtyard from the first floor looking into the basement

Source: Conybeare Morrison International December 2007



Figure 37: View of the entrance to the stair hall and the show window, both of which probably date from the 1920s

Source: Conybeare Morrison International December 2007

Current Configuration - The Courtyard

Internally the courtyard has been installed within a shaft of modern brickwork within which some salvaged joinery has also been inserted. The glass is new and some of it has been sandblasted for privacy. The arrangement of windows to the eastern wall of the court relates to the functions that were added within Royal Naval House in 1987, with double hung windows at ground floor level. In its original configuration the court had a blind wall to its eastern elevation, French doors to the south (dormitory) and double hung windows to the dining room (north). In its reconfiguration, French doors open out of the office areas on the first and second floor, with double hung windows in the corridor to the toilets.

Current Configuration – The Relocated Stair

Sections of the substantial timber stair that was once located in the main hall of Royal Naval House have been relocated into the south eastern corner of Federation Hall (Figures 39 & 40). The generous configuration of the stair, with twin flights from the landing to the first floor was not retained. It is not known what happened to the remainder of the joinery, as only part could be re-used. Added elements such as the knob to the upper newel post have been clearly identified as new work, as the detail is plainer than the original. The staircase is no longer lit from windows to the landing but remains lightfilled as it has been located adjacent to the windows to Grosvenor Street.



Figure 38: The galleried courtyard in its original configuration (left) and after relocation (right). The proportions have been retained, but not the arrangement of openings in the masonry walls

Source: SHFA (left) and CM+ December 2007



Figure 39: The relocated stair in its original configuration in Royal Naval House. Note the single newel post.

Source: The Foreshore Authority



Figure 40: The relocated stair in its current position (in Federation Hall). Note the double newel post.

Source: Conybeare Morrison International December 2007

Current Configuration – First Floor

Other than the external walls, almost no evidence of the first floor configuration was retained during the conversion to the Futures Exchange. Other than the metal windows and possibly some of the skirting all the remaining traces of the original internal layout and the 1920s refit have been removed, including the floors, floor structure, ceiling, strong rooms, partitions, stairs and chimneys. The metal windows have been retained and have had a second layer of glazing added internally (Figure 41). There are currently no sills. No drawings or photographs showing the detail of the interiors survive. The lowered ceilings have been set back and designed so that the full extent of the windows has been retained.

The same profile of skirting is used to the external masonry wall and to the shaft containing the stairwell. At the top of the relocated stair is an intersection between the salvaged skirting that matches the salvaged stair and a second skirting that may have survived from the first stage of the building (Figure 42). It now has a painted finish. The historic stair has a varnished finish.

The French doors to the courtyard are unevenly sized and appear to have been modified to fit the new layout. The original finish to the internal joinery is likely to have been a varnish or a polish. Externally the doors are likely to have always been painted.



Figure 41: The office space on the first floor showing the metal windows to the external facades and a new lowered ceiling.

Source: Conybeare Morrison International December 2007



Figure 42: The intersection between the skirting that matches the historic stair relocated from Royal Naval House and the first floor skirting.

Source: Conybeare Morrison International December 2007

Current Configuration – Second Floor

Other than the external walls, no evidence of the second floor configuration was retained. The floor level is one step below the courtyard level. The floor levels internally also do not correspond with the external windows.

Current Configuration – Roof

The roof of the Federation Hall is currently a flat roof concealed behind the parapet. River pebbles have been placed over a membrane. The shaft that contains the courtyard also has a parapet, within which is the slate roof to the galleries surrounding the court. In their original configuration the galleries had a slate roof.

3.5 Assessment of Archaeological Potential

The archaeological potential of all of the sites in the areas was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* and the relevant information included in the Foreshore Authority's S.170 Heritage Register. There are no specific archaeological requirements listed for this building.

3.5.1 Below Ground

The historical development of the site indicates European occupation of this precinct since 1788. The basement of Federation Hall when constructed circa 1890, probably removed substantial evidence of the colonial Georgian buildings that were on the site. Wells and/or cess pits are likely to have once been present on this site and may survive, however they would be below the sub-floor structures constructed with the major alterations of the 1980s.

The alterations to Federation Hall to create the Sydney Futures Exchange included changes at basement level, although the existing nineteenth-century basement floor level was largely retained. The site has very limited below ground archaeological potential.

3.5.2 Above Ground

Very little of the internal configuration of the building survives and there is no above ground archaeological potential.

4. Assessment of Cultural Significance

4.1 Assessment of Significance

4.1.1 Comparative Analysis

The Federation Hall has been altered from its original configuration not once but twice. This comparative analysis considers the original building type, that is the Hall, the 1920s commercial building that the hall was converted into, as well as the internal courtyard. The designers are also considered.

Late Nineteenth Century Halls

A number of halls were built in the late nineteenth-century in Sydney and the surrounding inner suburbs, particularly Newtown and Darlinghurst. In addition to municipal halls such as the Centennial Hall added to the Sydney Town Hall circa 1890, there were halls built for Trade Unions, including the main Trades Hall in Liverpool Street, and music halls and theatres built by entrepreneurs. The Trocadero and Georges Hall in Newtown both date from the late 1880s, the former built as a roller skating rink, the later as a hall. Both had shop fronts to King Street. Georges Hall retains its nineteenth century shop fronts, while the shop fronts of the Trocadero were replaced in the 1920s. Both buildings have now been conserved, however the main hall of the Trocadero is no longer used as a hall. The Hippodrome in the Haymarket, once a large hall, was converted into the Capitol Theatre during the 1920s. Shopfronts, which date from the 1920s, line the two main street frontages.



Figure 42: The Georges Hall, King Street Newtown. The side elevation, with the shops at ground level and the arched windows to the hall above is very similar in character to the original form of the Federation Hall. Undated

Source: ML PICMAN

Sydney Theatres

Of the numerous theatres that could be found in Sydney between 1910 and 1920, very little physical evidence survives. Halls were intended to be more all purpose rather than theatres, however a number of halls appear to have been used primarily as theatres. The Federation Hall was used as a Repertory Theatre from World War 1 until the conversion to commercial offices in the early 1920s. The following list, drawn from the Sands Directories, forms a part of the archive of the History of Australian Theatre (HAT). Additional comments have been added in the column on the right.

Place Name	Address / Location	Comment
Adelphi theatre	Castlereagh and Campbell streets. (Sands 1911) Later became the (new) Tivoli Theatre from 1929	Demolished
Alhambra Music Hall	724 George Street	No heritage item at 724 George Street.
Criterion Theatre	262 Pitt Street	Demolished 1935 for widening of Pitt Street, images in SCC collection
Gaiety Theatre	17 Oxford Street (Sands 1920)	No heritage item at No 17 Oxford Street
Grand Opera House	331 Castlereagh Street (Sands 1920) between Hay and Campbell Streets	Demolished, image of theatre in SCC collection
Her Majesty's Theatre	188 Pitt Street (Sands 1911)	Demolished 1933 for a Woolworths store
Hippodrome	Wirrths Circus (Sands 1920)	Originally a city market, then the hippodrome, then Capitol theatre, extant and still used as a theatre.
Kings Theatre	863 George Street and 730 Harris Street (Sands 1911)	Now Broadway. Location of building not confirmed
Lyceum Hall	212-214 Pitt Street (Sands 1911)	Later the Lyceum Theatre. No heritage item at 212-214 Pitt. In group with Her Majesty's.
Lyric Theatre	745-751 George Street	Demolished
Masonic Hall	283 Castlereagh Street (Sands 1911)	New Masonic Hall built in the 1970s. Earlier building survives
National Amphitheatre	James Brennan (Sands 1911) 73 Castlereagh Street Later became Fullers Theatre (Sands 1920)	Located next to Culwalla Chambers (No, 71). Theatre no longer extant
Oxford Hall	175 Liverpool Street (Sands 1920)	No heritage item at 175 Liverpool Street

Place Name	Address / Location	Comment
Palace Theatre	259-261 Pitt Street (Sands 1911)	No heritage item at 259-261 Pitt
The Playhouse	217 Castlereagh Street (Sands 1920)	Street numbering has changed. Fire Brigade is now 217 Castlereagh
Princess Theatre	833 George Street (Sands 1920) Next to Marcus Clarke at Railway Square	Demolished in mid 1920s
Standard Theatre	219 Castlereagh Street (Sands 1911) Leased by Harry Clay.	City South Telephone exchange built 1920s is now 219 Castlereagh
Repertory Theatre	Harrington Street (Sands 1920)	Building extant, theatre no longer evident
Theatre Royal	Castlereagh and King Streets (Sands 1911)	New theatre built as part of Australia Square.
Tivoli Theatre Site previously occupied by the Victoria Hall	81 Castlereagh Street Became Empire cinema 1929 Moved to Adelphi Location 1929	Earlier building, the Victoria Hall and the Tivoli illustrated in PICMAN
Victoria Hall	254 Pitt Street (Sands 1911)	No heritage item at 254 Pitt

From this list of theatres, only the Hippodrome (Figure 44, now the Capitol) and the Federation Hall buildings survive, however both have been substantially altered. The neo-classical style was popular for theatres. Federation Hall is the only surviving building in the city designed as a theatre, as the Capitol Theatre was designed as a covered market. A similar, but more intact example survives in Newcastle (discussed below).

Federation Hall is significant as a building type prevalent in the nineteenth century that has now, due to commercial pressures, completely disappeared from the city.

Ernest A. Scott and Green

Ernest A Scott had a long career as an architect in Sydney, becoming the president of the RAIA in 1932. He followed changes in architectural style and his commercial work before the first World War, which is Federation in style, is very different from his output after the war. From the 1920s and 30s there is a distinct American influence in his work, as can be seen in the Californian Bungalow at 49-51 Robertson Road. This house is very different from the substantial Federation Arts and Crafts House at No. 30 Martin Road designed some years earlier

The firm of Ernest A. Scott and Green undertook a considerable amount of commercial work, examples of which include the former ANZ bank in Oxford Street (1911). There is some similarity between this façade and the windows added below the cornice of Federation Hall. The firm later undertook work for the Catholic Church including alterations to convents in North Sydney.



Figure 44: The Hippodrome in the Haymarket, later the Capitol Theatre, from Hay Street. c.1920s

Source: ML PICMAN

The firm adopted the Art Deco style and a substantial apartment building, with shops at ground level, survives at 389-393 Bourke Street, Surry Hills. The firm also designed *Kingsgate*, a residential flat building at 397-403 Bourke Street. Other examples of residential flat buildings include the conversion of *Manar* in Potts Point to flats in 1920, followed by an additional building in 1926. The additions to Federation Hall would appear to be a typical example of the firm's commercial work.

The Victoria Theatre, Newcastle

The Federation Hall conversion was not the first alteration to a theatre building that the firm had undertaken. In 1905 they had upgraded the backstage facilities at the Victoria Theatre in Newcastle (Figure 45). Constructed in 1890-91, Victoria Theatre is contemporary with Federation Hall. The statement of significance for the Victoria Theatre notes that it is the oldest theatre building still standing in NSW, representing an age of silent pictures, vaudeville and early legitimate theatre. This theatre retains both its façade and its auditorium. The main façade is of a similar scale to Federation Hall and there appear to have been shops at ground level.

1920s Commercial buildings

Following resumptions in the area, the southern ends of Harrington and Gloucester Streets developed a commercial character, with buildings erected both for individual clients and for tenants. The area contains a mix of buildings designed by the State Government (the NSW Government Architect and later the Housing Board) and prominent private Sydney architects.



Figure 45: Main façade of the Victoria Theatre, Newcastle

Source: AHC photographic database

The substantial change in commercial architecture that occurred after World War 1 is very evident, showing the move away from the Federation Free style that was characterised by the use of face brick, to the American influenced stripped neoclassical style. Buildings in the vicinity that date from the 1920s include the Bushells building and Lawson House (both circa 1924) and the Sulman award winning Science House (1931). The additions to Federation Hall increased the scale of the building to almost the scale of the purpose built 1920s commercial buildings.

Externally the replacement of timber windows and shopfronts with metal windows and shopfronts, and the simplification of façade details during the 1920s' additions and alterations, highlight the differences between the rigorous application of neoclassical details in the nineteenth-century and the stripped neoclassicism employed during the 1920s. It was not uncommon during the 1920s for facades to be reworked to become more fashionable.

Internally the buildings show the transition from the use of hardwood beams and columns to the use of steel RSJ's (rolled steel joists). The surviving drawings of Federation Hall show both construction types were employed, hardwood in the first stage and steel RSJ's in the second stage. As noted above, the use of metal windows is typical of 1920s commercial buildings, however limited documentary evidence of the original timber windows survives.

Drawings and photographs of contemporary shopfronts such as Thomas Rowe's arcade drawings give an indication of what the show windows might have looked like (Figure 46).⁹



Figure 46: Extract from Thomas Rowe's drawing of the Sydney Arcade showing the timber shop fronts

Source: ML PXD 532

When the show windows were altered in the 1920s the bulkheads may also have been altered, providing more light for the basement area. This detail was once comparatively common in commercial buildings and retail stores from circa 1890, used in combination with glazed pavement lights. Bulkheads can still be found in shop fronts in Collins Street in Melbourne and in the former bank on the northern corner of Martin Place and George Street.

It is the surviving documentary evidence rather than the physical fabric that provides evidence of the changes in taste in commercial architecture between the late 1880s and the 1920s. There is limited surviving evidence of 1920s show windows.

Cast Iron

The use of cast iron galleries and verandahs to access rooms was common in the design of barracks and hostels in the nineteenth-century, such as was found in the Sailors' Home in The Rocks. The origin of this type of planning rather than the corridor form widely used in hotels, has its origins in the cast iron galleries which re-interpreted the arcade.

⁹ Thomas Rowe's drawings of the Sydney Arcade can be found in the ML PXD 532

Naval engineers at the beginning of the nineteenth century pioneered the use of cast iron for galleries and verandahs, adding two-storey cast iron verandahs to barracks and naval hospitals in the Caribbean. The concept was adopted by military engineers in Australia and cast iron columns were first used in Sydney at the Victoria Barracks at Paddington in the early 1840s. The substantial barracks on Garden Island, designed by the Colonial Architect James Barnet in the 1880s utilised cast iron, in this case to the exterior of the building (Figure 47).



Figure 47: Naval Barracks, Garden Island designed by the Colonial Architect James Barnet in the late 1880s.

Source: ML

Similar components to the columns used in the construction of the courtyard in Royal Naval House were employed in the construction of city market buildings, including the former Corn Exchange in Sussex Street. Few examples of this form of construction survive in the city today, as all of the external cast iron verandahs have been removed by Sydney City Council.

Harry Seidler in association with Davis Heather & Dysart

The scheme for Grosvenor Place is significant in terms of the retention of historic buildings and laneways and in SCRA's attempts to marry the old with the new within the block. It is also a departure in the work of Harry Seidler in that he preferred not to integrate existing buildings into his schemes. In the majority of his commercial city developments, such as Australia Square and the MLC complex, the entire site is given over to the design with the removal of historic lot boundaries and laneways.

The scheme also demonstrates the technique of 'facadism', a not unusual approach to 'conservation' during the 1980s, with a completely new structure installed behind the original facade.

4.1.2 Assessment Criteria

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

Federation Hall provides evidence of an increase in the scale and density of Sydney that occurred during the late nineteenth century. Colonial Georgian merchant's houses were replaced with substantial buildings that provided a continuous street frontage.

The original use of the building as a hall and theatre, with shops underneath, indicates that this area once had a substantial population living in hotels and boarding houses on Church Hill and in the residential streets of The Rocks. The conversion of the hall into a commercial building in the early 1920s coincides with the decline in live theatre and the associated rise of cinema.

Federation Hall owes its survival to its ownership, first by the church and then by the State Government.

The debate by architects at the time of the 1980's conversion with regard to the retention of historic buildings on the site and the manner in which they were to be conserved, reflected a changing attitude towards conservation in general, and in particular with 'facadism'. The eventual retention of the streetscape of Grosvenor Street, a result of the initial development brief, which required the conservation of buildings on the site, was SCRA's attempt to create a townscape that retained historic buildings as corner markers.

The item meets the criterion at State level.

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

Federation Hall is associated with the extensive commercial activities of Frederick William Hughes. It is also associated with the early years of the NRMA and the activities of the Meat Board in promoting Australian produce.

Federation Hall once contained a hall and theatre, and remains one of few sites in the city where the building remains (albeit without its interior).

The item meets the criterion at Local level.

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area natural history (or the cultural or natural history of the local area)

In its original configuration and in its altered configuration, Federation Hall is a typical example of its type. The simplification of façade details during the 1920s' additions and alterations highlights the differences between the rigorous application of neoclassical details such as capitals in the nineteenth-century and the stripped neoclassical style employed during the 1920s. Internally, the building demonstrates the change from the widespread use of hardwood structural members to the use of RSJ's.

An example of a once common building type, Federation Hall is the only surviving example of a purpose built nineteenth-century public hall and theatre building with retail underneath, in the inner city and is a rare surviving example of a nineteenth-century theatre in the state. The original arrangement of the façades, including the shopfronts, was similar to the surviving side elevation of Georges Hall in King Street, Newtown.

The retention of the stair and the galleried courtyard, both of which are fine examples of their type, shows an approach to the retention of significant fabric that was not in accordance with accepted conservation methodology and practice.

The item meets the criterion at a State level.

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The site was associated with the continued development of the Saint Patricks Church and the wide range of associated educational facilities that developed adjacent to the church. The retention of Federation Hall is a direct result of the green bans of the 1970s, reflecting changes in the redevelopment philosophy of the SCRA during the 1970s and 1980s.

The item meets the criterion at Local level.

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

The pattern of development of the site demonstrates the increasing density of the city, commencing with the colonial Georgian character of Charlotte Place. Externally the north side of Grosvenor Street still largely retains its Victorian and Edwardian streetscape, the survival of which is due to the resumption of the area in 1900. In particular the range of architectural styles to the north side, Gothic Revival, Neoclassical, Federation Anglo Dutch (Queen Anne) and Federation Free Style is now rare in the city, a range that demonstrates the changing approach to the rebuilding of city buildings from the late 1880s until the 1920s.

The documentary evidence has the potential to yield further information regarding the development of the city. The survival of any archaeological features is unlikely.

The item meets the criterion at Local level.

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW’s cultural or natural history (or the cultural or natural history of the local area)

Federation Hall retains some evidence of its original configuration as a hall and shops, a common building type in the late nineteenth century that is now rare. The building now contains a rare surviving example, in Sydney, of a multi-layered internal courtyard.

In its original configuration the building was designed to allow light to penetrate into the basement, using pavement lights and a rear area with bridges. The lightwell, added in the 1920s, provided daylight for the offices. The relocated courtyard also served to provide daylight to offices on each level. This contrasts with current floor layouts of commercial buildings such as Grosvenor Place.

The item meets the criterion at State level.

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW’s cultural or natural places or cultural or natural environments (or a class of the local area’s cultural or natural places; or cultural or natural environments)

Federation Hall in its original configuration was a typical example of a combined hall and shops. In its altered form it was a typical example of an interwar commercial building. Commercial buildings of this scale are now comparatively rare in the City, having been replaced by more substantial buildings. Unlike the remainder of the block, Federation Hall and the adjacent Royal Naval House retain some evidence of the original lot boundaries of the land claims made in the 1830s.

The item meets the criterion at Local level.

4.1.3 Ability to Represent Historic Themes

The NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.¹⁰ The relevant themes are identified below:

Australian Theme	NSW Theme	Local Theme
3. Economy - Developing local, regional and national economies	Commerce - Activities relating to buying, selling and exchanging goods and services	Australian Stock Exchange
3. Economy - Developing local, regional and national economies	Industry - Activities associated with the manufacture, production and distribution of goods	Promoting Australian produce internationally
3. Economy - Developing local, regional and national economies	Transport - Activities associated with the moving of people and goods from one place to another, and systems for the provision of such movements	Use of the motor car in the city

¹⁰ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

Australian Theme	NSW Theme	Local Theme
6. Educating - Educating	Education - Activities associated with teaching and learning by children and adults, formally and informally	Roman Catholic Schools
8. Culture - Developing cultural institutions and ways of life	Creative endeavour - Activities associated with the production and performance of literary, artistic, architectural and other imaginative, interpretive or inventive works; and/or associated with the production and expression of cultural phenomena; and/or environments that have inspired such creative activities	Theatrical performances
8. Culture - Developing cultural institutions and ways of life	Leisure - Activities associated with recreation and relaxation	Theatrical performances

4.2 Statement of Significance

4.2.1 Previous Statement of Significance

The previous statement of significance for Federation Hall from the State Heritage Register is:

Federation Hall and courtyard and site are of State heritage significance for their historical and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks area which is of State Heritage significance in its own right.

As a group, the buildings (Federation Hall, Royal Naval House, Johnson's Building, 231 George Street & Brooklyn Hotel) have considerable significance. All facades contribute to the overall richness of the group, with Royal Naval House the focal point and the Johnson's Building leading nicely around the corner to a 'coda' of two small but heavily textured facades which seem to be a logical end to the whole. The trees, which are deciduous, give an added quality to the richness of the facades and have considerable significance, linking them together in a very satisfactory way. In the context of Grosvenor Street, the facades have a landmark status facing the open space of Lang Park on the southern side of the street.

Federation Hall: This building has an aesthetically pleasing neo-classical facade with a sympathetic later addition of two top storeys. The interior spaces are fairly simple, the entrances are good, and the facade is an important element in the streetscape.

It should be noted that this statement of significance was prepared before the alterations to the building were made in the late 1980s and the sympathetic later addition, the internal spaces and one of the entries no longer exists.

This Statement of Significance has also been used in the Foreshore Authority's S.170 Heritage Register listing for Federation Hall.

4.2.2 Revised Statement of Significance

Federation Hall is of heritage significance for the State of NSW for its contribution to the substantially intact nineteenth-century streetscape of Grosvenor Street. The external facades retain evidence of the original configuration of the building as a theatre and hall with shops below, making this the only surviving example of a once common building type, a purpose built public hall/theatre and shops, in inner Sydney.

It is of heritage significance for NSW for its continued use as a commercial building since its conversion in the 1920s, and one whose tenants included the fledgling NRMA and later the Australian Meat Board. The conversion of the hall into a commercial building in the early 1920s coincides with the decline in live theatre and the associated rise of cinema. It is also associated with the expansion of commercial activities by Frederick William Hughes.

The surviving documentary evidence records changes in building technology from the late 1880s until the 1920s, however neither the original hardwood structure nor the later roled steel joists (RSJ's) survive. The removal of the pediments and timber joinery with the installation of metal windows, indicates the changing taste in commercial architecture between 1890 and the 1920s.

The retention of the historic buildings at the southern end of the block, including Federation Hall during the Grosvenor Place redevelopment, indicates the changing approach of the Sydney Cove Redevelopment Authority from 1970 until the mid 1980s. The relocation of salvaged building components from Royal Naval Hall into Federation Hall and the retention of only the nineteenth-century portion of the façade is indicative of conservation approaches at the time.

In its original as well as altered configuration, the hall was associated with the educational activities carried out within the adjacent St Patricks church and school group.

Federation Hall retains a number of building elements that are rare examples once widespread in the commercial architecture of the city including the timber stair, the galleries to the courtyard, the bulkhead with inset pavement lights and the trachyte plinth.

4.3 Curtilage

The original historic curtilage of the building has been removed by the addition of the firestair to the rear, and the provision of the basement link to the solarium. Federation Hall has been combined with Royal Naval House, the dividing wall having been removed.

Internally, the placement of new structural elements no longer reflects the individual buildings. The only evidence of the original extent of the building is the two main facades, to Grosvenor Street and to Harrington Street.

The current footprint of the Sydney Futures Exchange building (now occupied by Optiver) currently forms the site boundary.

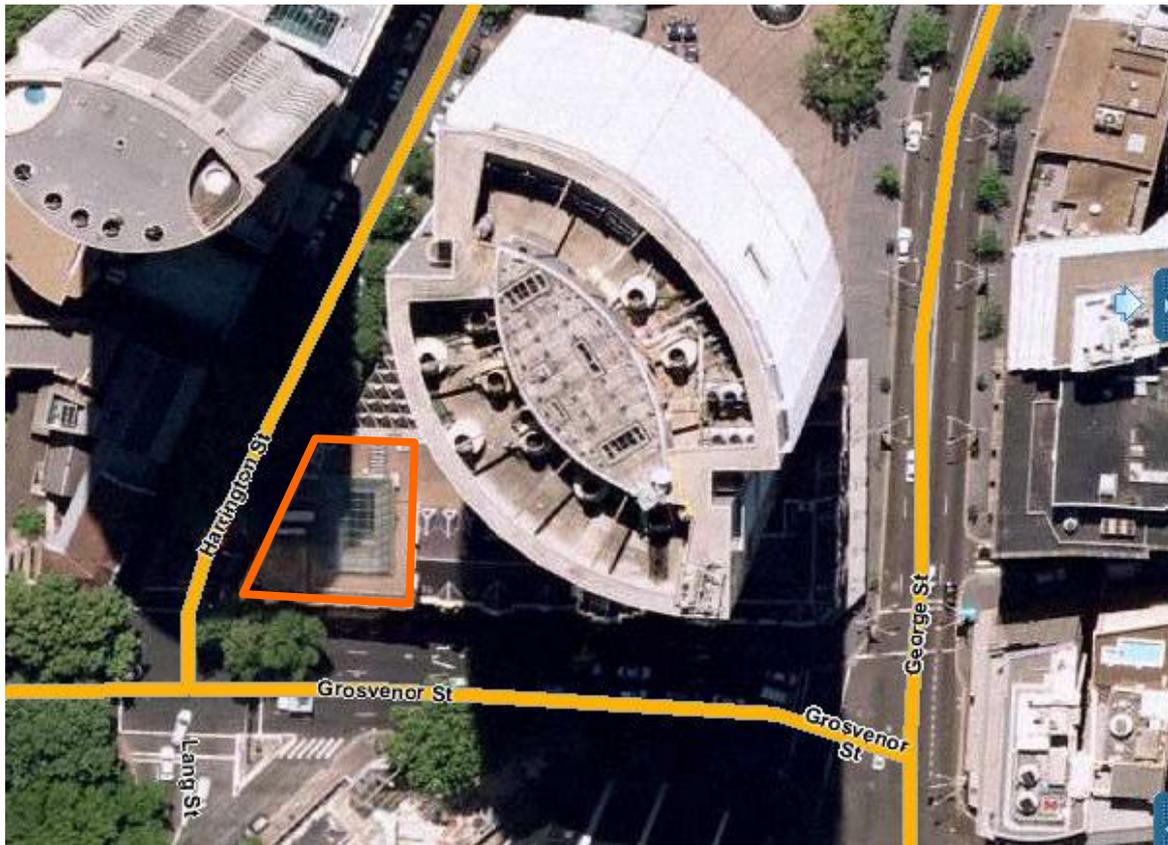


Figure 48: Curtilage of Federation Hall. Bottom image showing the visual curtilage and the street trees, as viewed from the south west from Lang Park

Source: Top: Foreshore Authority; Bottom: Conybeare Morrison International, December 2007

Visual Curtilage

The street trees lining Grosvenor Street are important to the visual curtilage of the precinct, having been in place since at least 1946. The visual curtilage relates to the significant streetscape as a whole, from St Patricks near the top of the hill to Johnson's corner at George Street, with the Federation Hall façade glimpsed through the trees (Figure 48).

Views and Vistas

From within the building, views have always been able to be gained of Grosvenor Street and Harrington Street. The views over what was the schoolyard to the rear, no longer exist.

Historic Views

Historically, Federation Hall has appeared in views from George Street North, which are currently limited due to the scale of buildings lining George Street south of Grosvenor Street.

The corner of the building was visible in historic views of St Patricks from Church Hill (Lang Park) and is still visible today, although this view of the streetscape now has the backdrop of the Grosvenor Place tower (Figure 49). The form of each of the buildings lining Grosvenor Street east of St Patricks can still be appreciated.

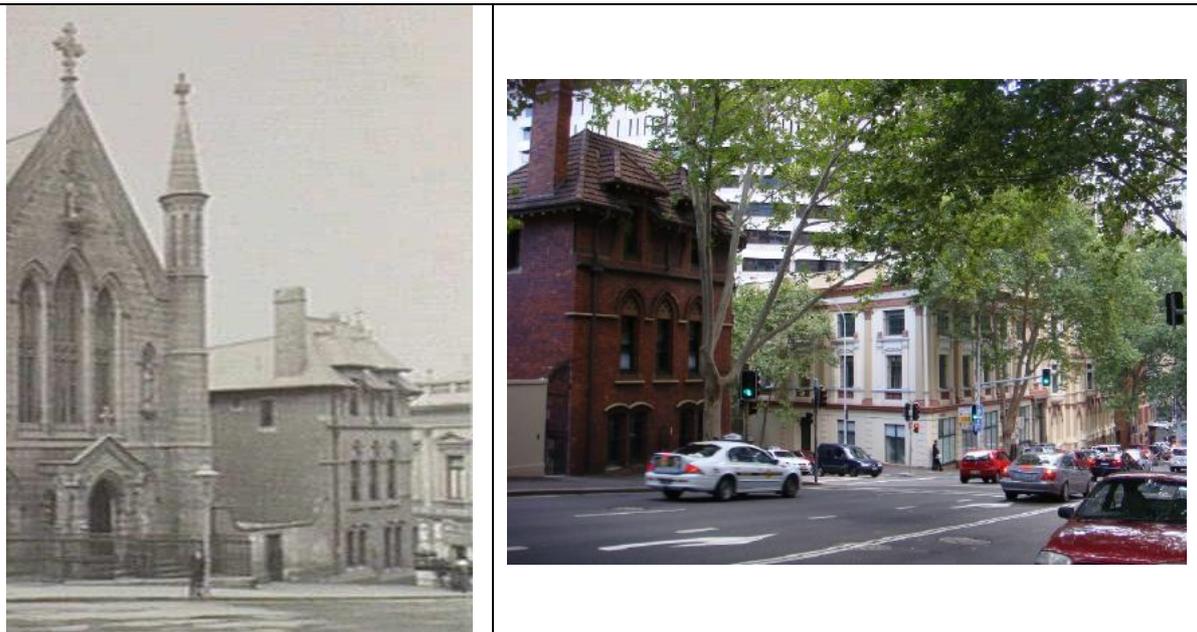


Figure 49: View from Lang Park

Source: *ML SPF (left) and Conybeare Morrison International, December 2007*

5. Grading of Significance

Grading reflects the contribution the element makes to the overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. Federation Hall, 24-30 Grosvenor Street, has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard grading system has been applied to assess the individual contribution of each element to the overall significance of the item. This system is a valuable planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces as well as the various elements. The category of neutral significance has also been added to the standard five categories, to describe modern fabric that does not detract from heritage significance. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, including unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved in situ. Any work, which affects the fabric or external appearance of these elements, should be confined to *Preservation*, *Restoration* and *Reconstruction* as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance, albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements, wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved in situ subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including *Adaptation* and *Alteration* as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

NEUTRAL

Neutral fabric is modern fabric that has been added that does not detract from the significance of the place yet has no level of heritage significance. Neutral fabric can be retained or removed without impact to the surviving significant fabric.

LITTLE SIGNIFICANCE

Includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

INTRUSIVE

Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of Federation Hall, 24-30 Grosvenor Street, and its elements. Good conservation practice encourages a focus on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

5.1 Grading of Significant Elements and Spaces

5.1.1 Grosvenor Street Elevation



Figure 50: Grosvenor Street elevation showing the fabric of significance

Source: *The Foreshore Authority*

<ul style="list-style-type: none"> • Cornice, string courses and pilasters (first stage) • Surviving masonry walling (rendered) • Neoclassical surrounds to the first floor windows (first stage) • Remnant of the bulkhead with pavement lights (possibly modified 1920s) 	Exceptional
<ul style="list-style-type: none"> • Metal Windows to first and second floor windows (second floor) • Character of the Grosvenor Street elevation • Surviving metal show windows including rosettes (added 1920s) • Trachyte plinth (added 1920s) 	High
<ul style="list-style-type: none"> • Reconfigured parapet • Triple leaf main door (modified) 	Moderate
<ul style="list-style-type: none"> • Modern glass doors 	Neutral

5.1.2 Harrington Street Elevation

- Note: Refer to Figure 50 as being similar in terms of the grading of elements

<ul style="list-style-type: none">Cornice, string courses and pilasters (first stage)Surviving masonry walling (rendered)Neoclassical surrounds to the first floor windows (first stage)	Exceptional
<ul style="list-style-type: none">Character of the Grosvenor and Harrington Street elevationsMetal Windows to first and second floor windows (second floor)Main entrance (altered 1920s)Surviving metal shop front (added 1920s)	High
<ul style="list-style-type: none">Reconfigured parapet	Moderate
<ul style="list-style-type: none">Modern shopfront (to recent opening in bay at the corner of Harrington and Grosvenor Streets)	Neutral

5.1.3 Interior – Basement

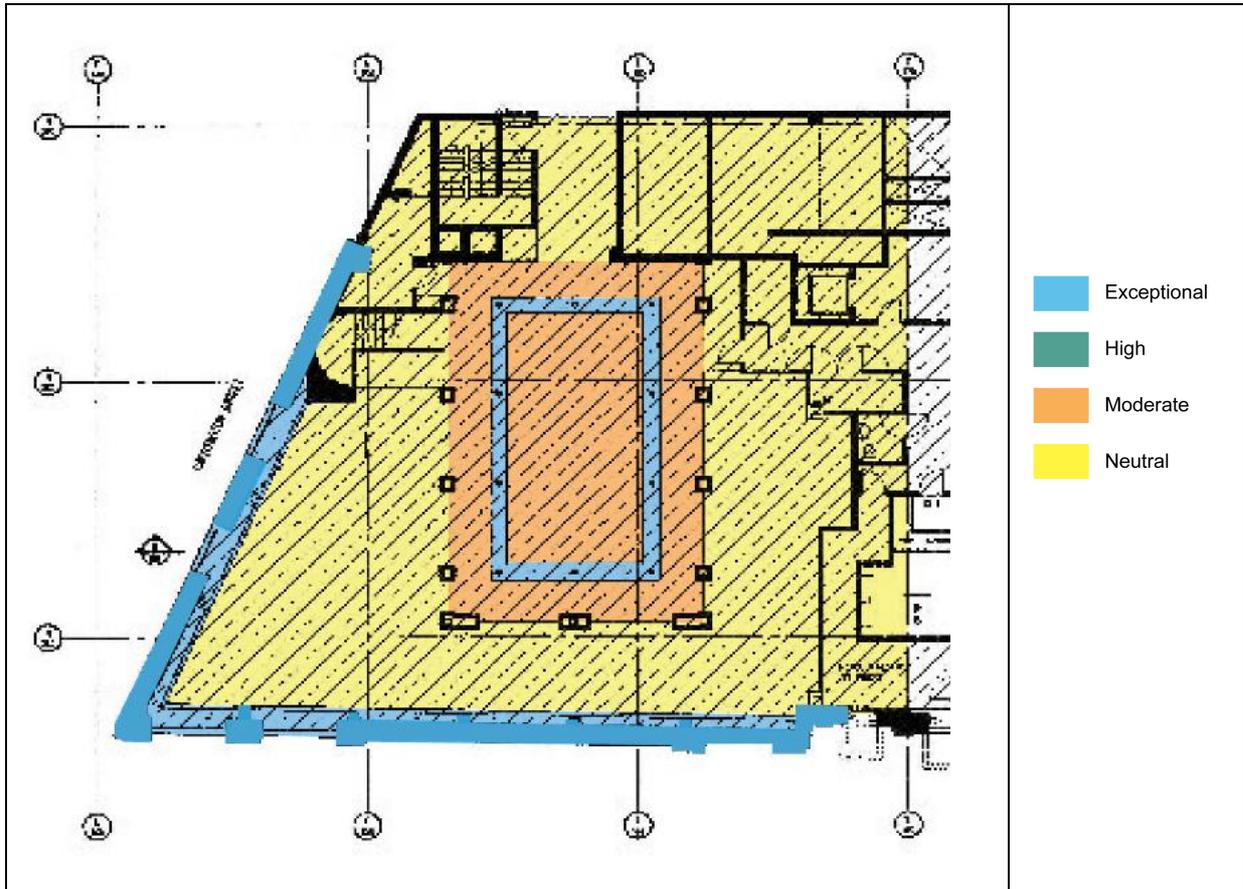


Figure 52: Basement Plan showing the overall levels of significance

<ul style="list-style-type: none"> • Perimeter basement masonry walls • Cast iron columns to gallery verandah including sandstone paving 	Exceptional
<ul style="list-style-type: none"> • Spatial organisation generally (not shown on plan) 	Little
<ul style="list-style-type: none"> • Retail tenancies in the basement • Modern toilets • Modern Fire Stairs • Granite setts (mid 1980s) 	Neutral

5.1.4 Interior – Ground Floor

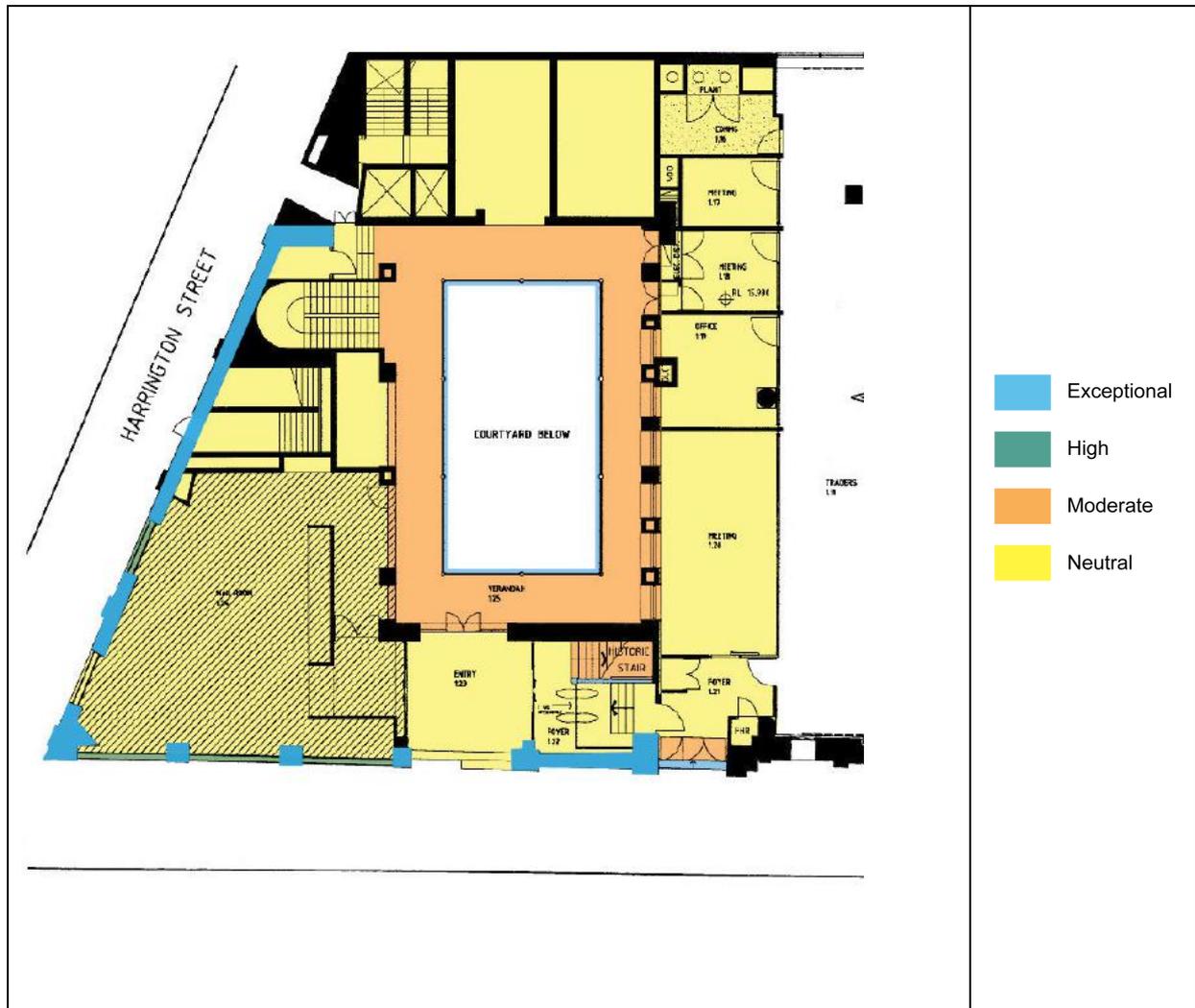


Figure 53: Ground Floor Plan showing the overall levels of significance

<ul style="list-style-type: none"> Surviving openings in the Grosvenor and Harrington Street elevations (including openings in fire stairs) Surviving masonry walling (rendered) Salvaged cast iron columns, uprights to balustrade and frieze 	Exceptional
<ul style="list-style-type: none"> Current layout of the stair and courtyard Timber decking and structure (modern replica) 	Moderate
<ul style="list-style-type: none"> Spatial organisation generally (not shown on plan) 	Little
<ul style="list-style-type: none"> Modern Office Fit Out (all levels) Modern toilets Modern Fire Stairs Reworked internal floor levels 	Neutral

5.1.5 Interior – First Floor Plan with Main Stair (relocated)

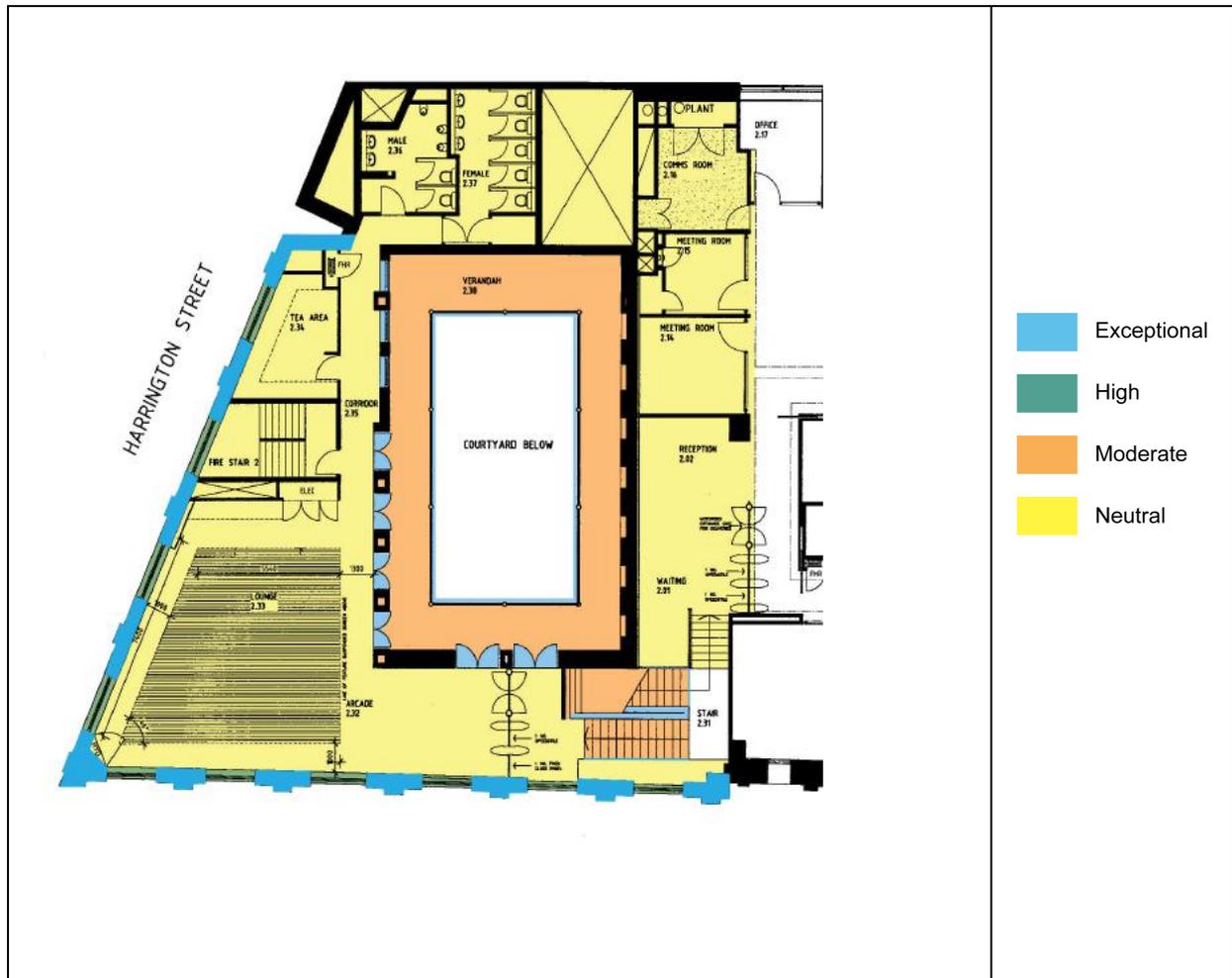


Figure 54: First Floor Plan showing the overall levels of significance, including the stair and the courtyard

<ul style="list-style-type: none"> Surviving openings in the Grosvenor and Harrington Street elevations (including openings in fire stairs) Surviving masonry walling (rendered) Salvaged balustrade, stringers, newel posts and skirting Salvaged cast iron columns, uprights to balustrade and frieze Surviving skirtings (to Grosvenor Street wall) (first floor) 	Exceptional
<ul style="list-style-type: none"> Current layout of the stair and courtyard Timber decking and structure (modern replica) 	Moderate
<ul style="list-style-type: none"> Replacement elements to newels (not shown on plan) 	Neutral
<ul style="list-style-type: none"> Floor covering (not shown on plan) 	Neutral

5.1.6 Interior – Second Floor, Galleried Courtyard (relocated)

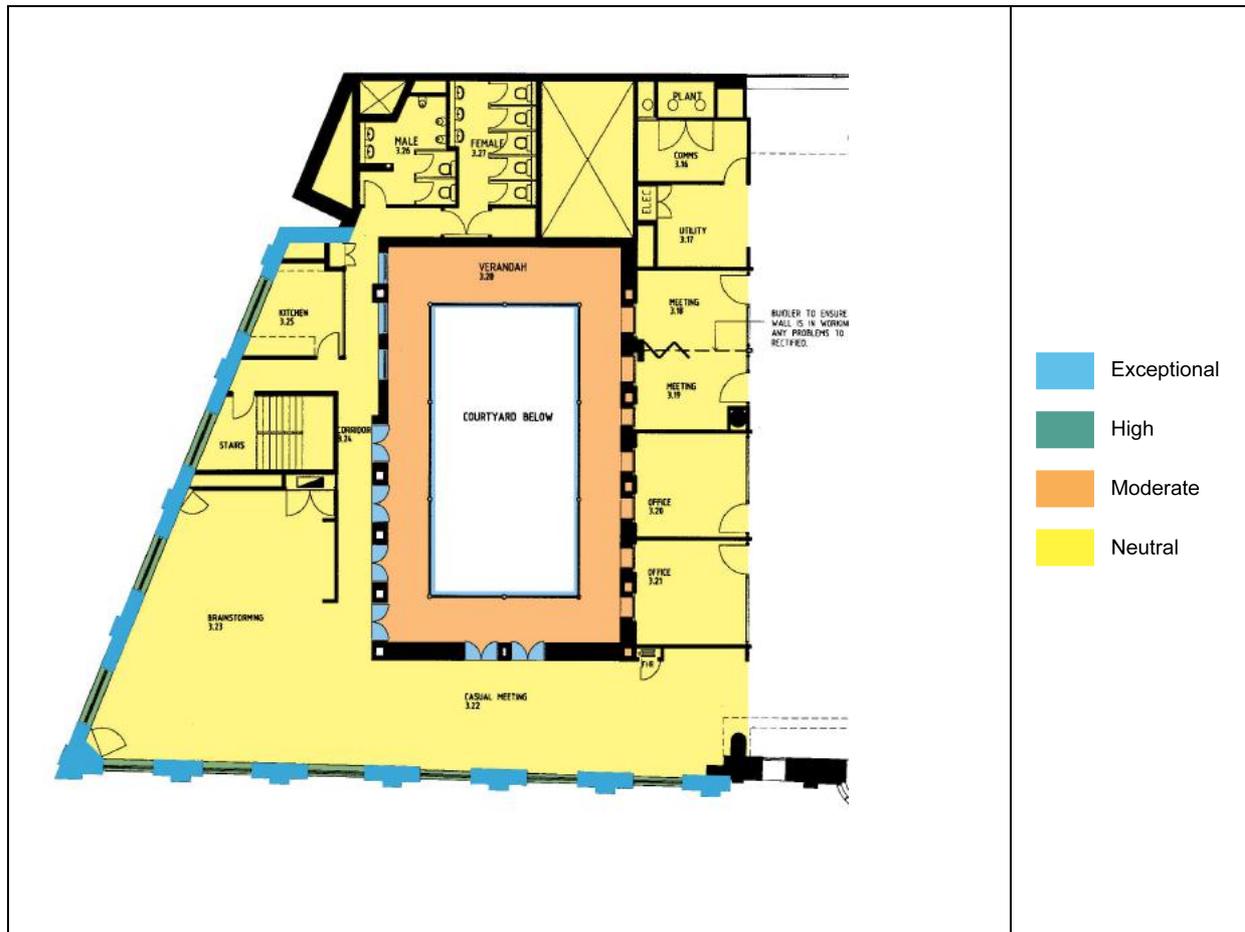


Figure 55: Second Floor Plan showing the overall levels of significance (including the courtyard)

<ul style="list-style-type: none"> Surviving openings in the Grosvenor and Harrington Street elevations (including openings in fire stairs) Surviving masonry walling (rendered) Salvaged Cast iron bases, columns, uprights to balustrade and frieze Relocated joinery elements (French doors, windows, architraves) to Federation Hall 	<p>Exceptional</p>
<ul style="list-style-type: none"> Current layout of the galleried courtyard Timber decking and structure (modern replica), heritage style lights (modern replica) and modern replica joinery to Royal Naval House offices 	<p>Moderate</p>
<ul style="list-style-type: none"> Modern canopy (not shown on plan) 	<p>Neutral</p>

5.2 Schedule of Significant Elements

Schedule of Significant Elements		
Federation Hall 24-30 Grosvenor Street		
Element	Significance	Commentary
EXTERIOR		
Character of the Grosvenor and Harrington Street Elevations	High	Substantial evidence of both the first stage of the 1890s and the 1920s character of the building survives
Cornice, String Course and Pilasters Neoclassical surrounds to the first floor windows Surviving masonry walling (rendered)	Exceptional	These belong to the first stage of construction circa 1890-91 and provide evidence of the original configuration of the hall
Remnants of the bulkheads, including the pavement lights	Exceptional	These bulkheads were probably altered in the 1920s and provide evidence of the conversion to offices. The original configuration is unknown
Metal windows to the first and second floor windows	High	These windows were installed in the 1920s and provide evidence of the conversion to offices
Surviving metal show windows including rosettes	High	Modified in the 1920s; indicative of changing taste in commercial architecture
Trachyte Plinth	High	The trachyte plinth appears to have been added in the 1920s, indicating the changing taste in commercial architecture
The reconfigured parapet	Moderate	The parapet was reconfigured when the additional two storeys were removed in the mid 1980s, and provide evidence of the second major refit of the building
The reconfigured main door (triple leaf)	Moderate	Added in the mid 1980s; provides evidence of the second major refit of the building
The glass doors	Neutral	Added in the mid 1980s; provides evidence of the second major refit of the building
INTERIOR		
Basement, Ground, First and Second Floors		
Spatial organisation generally	Little	No evidence of the original or the 1920s configuration survives internally other than the external walls
Skirtings	Exceptional	The different skirting profiles provide evidence of changes to the building during the 20th century
Surviving openings to Grosvenor and Harrington Street	Exceptional	The position of the openings provides evidence of the original configuration and the 1920s alteration

Schedule of Significant Elements		
Federation Hall 24-30 Grosvenor Street		
Element	Significance	Commentary
INTERIOR		
Modern Office Fit Out	Neutral	The current fit out is not considered to have any heritage significance
Modern toilets	Neutral	The modern toilets are not considered to have any heritage significance
Modern fire stairs	Neutral	Within the fire stairs the surviving windows were retained during the 1980s work
RELOCATED COURTYARD		
Current layout	Moderate	The layout was altered to suit the Sydney Futures Exchange requirements in the mid 1980s and is not significant, however the relationship of the reassembled components, which were positioned in the correct relationship with the other parts, is of significance
Salvaged elements: cast iron columns, balustrade uprights, valence	Exceptional	The surviving cast iron work is all of the highest level of significance for its relative rarity as a construction material and for its galleried construction
Relocated joinery	Exceptional	Some of the joinery elements were retained, however their present configuration is not of significance as it related to the Sydney Futures Exchange tenancy
Modern timber decking, handrail, heritage type lights and modern replica joinery	Moderate	This fabric contributes to the overall character of the space but is not fabric of heritage significance as it is reproduction. The details have been based on the original details and should be retained
Granite setts to basement level paving	Neutral	Granite setts are a characteristic of urban public spaces designed by Harry Seidler
Modern canopy	Neutral	The canopy does not detract from the significance of the recreated courtyard however the fabric is not of significance
RELOCATED STAIR		
Current layout	Moderate	The layout was altered to suit the Sydney Futures Exchange requirements in the mid 1980s and is not significant however the reassembled components used to form the stair are of significance
Salvaged elements: stair treads, stringer, newels balustrade, skirting	Exceptional	The surviving timberwork is all of the highest level of significance for its high degree of craftsmanship
Replacement elements to newels	Little	The replacement elements contribute to the overall character of the stair but are not significant fabric
Modern flooring	Little	The current floor coverings are not of significance

5.3 Archaeological Significance

The site has very limited archaeological potential, however given the high rate of survival of archaeological deposits within basements in The Rocks that were created in the late nineteenth-century, the archaeological requirements of the NSW Heritage Act 1977 should still apply.

6. Constraints and Opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the Statement of Significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*. It identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from the Statement of Significance

In terms of the Statement of Significance, the following issues need to be addressed:

- All surviving fabric of significance, including the salvaged components, should be retained and conserved and continue to be used principally for commercial and retail purposes.
- No new work should be carried out that will detract from or obscure the physical evidence of the past pattern of use of the place, including the first stage of development and the major alterations in the 1920s as well as the surviving individual building components.
- No new work should occur that will result in further removal of significant fabric.
- New work, including adaptive re-use, should aim to enhance the cultural significance of the place.
- Relocated items should be clearly identified as such.

6.2 Issues Arising from the Physical Condition of the Place

The surviving fabric of *Federation Hall, 24-30 Grosvenor Street* is largely in good condition. A considerable amount of original fabric was lost during the mid 1980s re-development. The building has been very well maintained and there are no major constraints that arise out of the current condition of the place.

In the future there is the possibility to interpret the changes that have occurred to the building over time using the record photographs of the stair and light well in their original position.

6.3 Sydney Harbour Foreshore Authority

The Rocks area is managed by the Sydney Harbour Foreshore Authority, constituted on 1 February 1999 under the Sydney Harbour Foreshore Act 1998. The Rocks area is not within the jurisdiction of the Council of the City of Sydney.

The primary functions of the Foreshore Authority, stated in its Act, are to:

- Protect and enhance the natural and cultural heritage of the foreshore area;
- Promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- Promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.3.1 Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

The Sydney Harbour Foreshore Authority's Charter committed the Authority to:

1. Add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour;
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders;
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront;
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites;
5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership;
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

The Authority proposes to continue to use ***Federation Hall, 24-30 Grosvenor Street as a commercial tenancy, with small retail outlets within the courtyard.***

6.3.2 Asset Owner's Requirements

The building is currently occupied by a commercial tenant and a number of small retail tenancies and is maintained as part of the overall Grosvenor Place development. The development site is leased from The Foreshore Authority on a 99 year lease basis.

It is envisaged that this use of the premises continue. Whilst this report was being prepared a new commercial fit out to both this building and the adjacent Royal Naval House was underway.

6.4 Heritage Management Framework

It is essential that the Foreshore Authority is consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the minister. Applications are to be made to the Sydney Harbour Foreshore Authority.

In some instance, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Sydney Harbour Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

6.4.1 New South Wales Heritage Act

Architectural Works

Federation Hall, 24-30 Grosvenor Street is listed on the NSW State Heritage Register, under SHR No. 01546. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act (1977).

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of an SHR item is *prohibited* under the Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). The Foreshore Authority can determine Section 60 applications for minor works which do not materially affect the significance of the item under delegation. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the NSW Heritage Office, or from the Foreshore Authority.

Archaeological Management

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as:

Any deposit, object or material evidence

(a) which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and

(b) which is 50 or more years old.

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications extends to archaeological works.

Standard Exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items. Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to the appendices.

Applicants should confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP or in a Conservation Management Strategy endorsed under delegation by the Executive Director of the Tennant and Asset Management Services, Sydney Harbour Foreshore Authority. Currently, there are no site specific exemptions for Federation Hall, 24-30 Grosvenor Street.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards). For details of the minimum standards refer to the Heritage Information Series leaflet outlining the minimum standards of maintenance:

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

6.4.2 NSW Government Total Asset Management Guidelines

The Total Asset Management (TAM) Manual prepared by NSW Government's Asset Management Committee requires that: *'sustainable management of heritage values should be treated by an agency as part of its core business'*. Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require *'planning use of heritage assets to maximise their service delivery while protecting their cultural values'*.

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

Further information can be found on the NSW Government Asset Management Committee website www.gams.nsw.gov.au

6.5 Environmental Planning Instruments (EPIs)

There are three main Environmental Planning Instruments (EPIs) under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks:

A. State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 Million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The Minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the EP&A Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the EP&A Act (development under \$5 million) has been delegated from the Minister to the Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

B. Sydney Regional Environmental Plan (SREP) (Sydney Harbour Catchment) 2005

The Sydney Regional Environmental Plan (SREP) for the Sydney Harbour Catchment, released in September 2005, consolidated two former planning instruments, the SREP No. 22 – Parramatta River and the SREP No. 23 – Sydney and Middle Harbours.

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks, however it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items.

Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and the impact on views to the Opera House are to be taken into consideration. This buffer zone has been created around the Sydney Opera House so as to give protection to its world heritage values. The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction. The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

C. Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

6.6 Non-statutory listings and Community Groups

6.6.1 National Trust of Australia (NSW)

The building is not individually listed on the National Trust Register however it falls within The Rocks Urban Conservation Area.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.6.2 Australian Heritage Commission – Register of the National Estate

Federation Hall, 24-30 Grosvenor Street, has not been classified as an individual building by the Australian Heritage Commission, however it is included within The Rocks Conservation Area listed in the Register of the National Estate.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government, however, it is indicative of the high cultural values of the place.

6.7 Building Regulations

The Building Code of Australia (BCA) is concerned with establishing uniform building regulations across Australia. The BCA is implemented in NSW through the Local Government Act 1993.

The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works. Federation Hall was substantially upgraded in the mid 1980s and lifts and fire stairs were added.

An assessment of compliance of the complex with the BCA has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the BCA in heritage buildings, proposals must ensure that significant fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured. It should be noted that the BCA is not applied retrospectively to buildings.

The Fire Access and Services Advisory Panel of the NSW Heritage Office (FASAP) provides advice regarding the upgrading of significant fabric in heritage buildings. An expert panel which provides advice on the latest thinking on fire safety, access, services and occupational health issues, FASAP helps government agencies, local councils and property owners to achieve acceptable compliance with modern building standards while retaining the heritage significance of places.

Further information can be sourced from the NSW Heritage Office, including frequently asked questions and a list of publications.

6.8 Application of *The Burra Charter*

The *Australia ICOMOS Burra Charter 1999*,¹¹ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to places identified as having national, state and regional significance are undertaken.

Because ***Federation Hall, 24-30 Grosvenor Street*** is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of the *Burra Charter*. It should however be noted that the works undertaken in the mid 1980s were not undertaken in accordance with accepted conservation principles.

Principles of the Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric.

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance. Removed significant fabric should be reinstated when circumstances permit.

¹¹ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place.

New work should be readily identifiable as such on close inspection.

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7. Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is significant to an item within a process of change and development. It is essential to establish criteria, policies and recommendations of the conservation, and on-going use of the item to ensure best practice in heritage management. Within this framework owners and managers of the item will be able to formulate suitable proposals, and planning authorities will be able to assess those proposals against the site specific criteria.

The conservation policies are intended to assist in the ongoing use, maintenance and conservation of the site. These policies are intended to manage change, rather than prohibit it. Each policy is supported by a series of guidelines which will ensure that future decisions are made in an informed manner, ensuring the significance of the place.

7.1 Current and Potential Future Use

Background

Federation Hall, 24-30 Grosvenor Street, in its original configuration included a hall on the first floor with shops below. The use of the hall continued until the building was extended in the early 1920s. Additional floors were added for the intention to let to commercial tenants. The ground floor contained two lettable areas which, although referred to as offices, had show windows to the street.

In the mid 1980s the internal configuration of the building was completely altered, however the mix of retail use at the lower levels with commercial above, was retained. Elements salvaged from Royal Naval House were re-erected in a different configuration and orientation.

Policy 1

The continued dual use of the building for retail and commercial uses is desirable.

Guidelines

- The adaptive re-use of all building components is acceptable, with compatible new uses selected that utilise the original character or permit a creative and responsible re-use of the fundamental architectural, functional and spatial characteristics as far as possible.
- The Foreshore Authority shall ensure that any new uses selected for the existing building shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work around the galleries of the courtyard and stair, salvaged from Royal Naval House.
- Adaptation of a building's interior should ensure that salvaged fabric is retained and interpreted as far as possible.
- The detailed requirements of the new uses should not generate undue changes to the existing facades that cannot be reversed in the long term, rather changes should be limited to the areas that were totally gutted and rebuilt in the mid 1980s, including the fire stair and services addition to the rear.
- Subdivision of internal spaces should not impact on the surviving external facades or the salvaged stair and the galleries of the courtyard.

- External alterations or additions should be discouraged, however there is some potential to replace the modern shopfronts and re-introduce daylight into the basement area.
- The introduction of new services and associated fittings as part of approved adaptive re-use programs should be carried out within areas that were totally gutted and rebuilt in the mid 1980s, including the firestair and services addition to the rear.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.
- Future uses should be compatible with the nature and significance of the building components and should enable Federation Hall, 24-30 Grosvenor Street, to remain a vital and important component of The Rocks precinct.

7.2 Asset Management

7.2.1 Sydney Harbour Foreshore Authority responsibilities

Background

Federation Hall, 24-30 Grosvenor Street as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority. The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy 2

Sydney Harbour Foreshore Authority shall retain management of Federation Hall, 24-30 Grosvenor Street and the former Royal Naval House as a single entity within the overall context of The Rocks precinct

Guidelines

- Sydney Harbour Foreshore Authority should implement a management structure that integrates development and conservation work with the overall management of Federation Hall, 24-30 Grosvenor Street and Royal Naval House, **32-36 Grosvenor Street**.
- The Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
- The Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of Federation Hall, 24-30 Grosvenor Street.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
- All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.
- A program of regular monitoring should be established, covering both the physical changes to the surviving significant fabric of Federation Hall, 24-30 Grosvenor Street and visitor experience issues, and be incorporated, where relevant, into management decisions.
- The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.2.2 Total Asset Management Plans and CMPs

Background

This CMP will be one of documents used by the asset owners, managers and tenants for management and maintenance of the **Federation Hall, 24-30 Grosvenor Street** and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and Total Asset Management (TAM) Plans. All the relevant asset management documents were included in the preparation of this CMP.

Policy 3

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property

Guidelines

- The Authority should include findings of this CMP into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for Federation Hall, 24-30 Grosvenor Street.

7.2.3 Adoption and Review of the CMP

Background

The Conservation Management Plan (CMP) for Federation Hall, 24-30 Grosvenor Street, proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to progressively respond to changing situations if they are to remain relevant.

Policy 4

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every ten years

Guidelines

- Reviews of the CMP should be based on *The Burra Charter* and its guidelines as well as the the NSW Heritage Manual.
- Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Irrespective of the requirement to review the document every 10 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.2.4 Approvals Process and Landowners' Consent

Background

To prevent loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric. Forms for development applications, Section 60 applications and Standard Exemption applications are available from the Foreshore Authority.

Policy 5

Prior to the lodgement of applications and the commencement of works, the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.

Guidelines

- As the Foreshore Authority is the owner of land and buildings in The Rocks, the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowners consent to lodge an application does not prevent the approval to actually undertake the works.
- Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal.
- Where necessary, a Heritage Impact Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.

7.2.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy 6

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected and approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance of the item and the sensitive fabric and spaces, and that the required changes to the item can be installed and removed without impact.

Guidelines

- Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority consent to the proposed development. This includes completion of the Schedules of Works as per the Chapter 8 – *Implementation* of this CMP.
- Tenants should be aware of Sydney Harbour Foreshore Authority policies.
- The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of land owner's consent.

7.3 Management of Significance

7.3.1 Retention of Significance

Background

The significance of the Federation Hall is derived from its architectural character, particularly its contribution to the streetscape, and from the range of uses that the building has contained including the theatre, shops and commercial tenants. The changing pattern of use has resulted in two very different internal configurations occurring behind the façade.

Policy 7

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

- The significant aspects of the facades of Federation Hall, 24-30 Grosvenor Street and the salvaged elements from Royal Naval house should be retained and conserved. Conservation should be undertaken in the context of the on-going use of the building components as retail areas, commercial areas and a courtyard.
- The conservation, adaptation and maintenance of Federation Hall, 24-30 Grosvenor Street should be approached with the general Burra Charter principle of changing 'as much as necessary but as little as possible'.
- Structural alteration to the surviving building components, which impact on the integrity or significance of Federation Hall, 24-30 Grosvenor Street should not occur.
- Internal alterations and renovations are acceptable within the context of compatible use, however they should not impact on the external masonry walls, the surviving evidence of the main entry, the relocated stair, the relocated courtyard or the two main external façades.
- Evidence of the progressive evolution of Federation Hall, 24-30 Grosvenor Street should be respected and retained.

7.3.2 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 8

Appropriate conservation skills and experience should be employed for documentation and supervision within project teams to deal with any programs of conservation and upgrading of the building components of Federation Hall, 24-30 Grosvenor Street

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, historians, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.3.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much as possible of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations.

While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

The existing building fabric of Federation Hall, 24-30 Grosvenor Street both internally and externally has undergone substantial change. The facades retain their nineteenth-century scale but the detailing is from the 1920s. Internally the salvaged components were reassembled in a different configuration. Both the stair and the galleries to the courtyard are fine specimens of their type; however their layout is no longer a nineteenth-century one.

Policy 9

Extant building fabric from the original construction of the building, the 1920s additions and the salvaged fabric from Royal Naval House should be retained and conserved, in accordance with the levels of significance identified in Section 5.0 Grading of Significance of this CMP and in accordance with particular actions specified in the Section 8.2 –Schedule of Conservation Works of this CMP.

Guidelines

- External and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
- No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of High or Exceptional level of significance.
- Aged building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
- Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should be identifiable on close inspection.
- All evidence of the original structure, load bearing masonry and any structural elements added during the 1920s should be retained as existing, with appropriate maintenance. No structural members should be removed, other than to re-instate significant architectural elements.
- This building has undergone such a high degree of internal change that reconstruction of either the original configuration or the 1920s configuration is not appropriate, rather the two main facades should be retained, as should the salvaged elements.
- Where it is clear that original or significant fabric has been removed it is considered appropriate to adaptively reconstruct the following, based on documentary evidence:
 - 1920s Shop windows
 - Pavement lights in bulkhead that provided daylight into the basement
- While the Foreshore Authority is liable for the execution of works identified in *Section 8.2 – Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.

- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The NSW Heritage Office 'Maintenance Series' provides general advice as to the cause, treatment and remediation of various traditional building materials. These publications can be sourced from the NSW Heritage Office. Guidelines on the conservation of certain materials such as roofing are also available from equivalent heritage agencies in the other states. The American Historic Preservation Briefs are particularly useful for building materials used in commercial architecture.

7.3.4 Conservation of Significant Spaces

Background

The significance of various spaces within of *Federation Hall, 24-30 Grosvenor Street* is characterised by the reuse of salvaged fabric from the adjacent Royal Naval House.

Policy 10

The salvaged elements contribute to the significance of the combined Federation Hall and Royal Naval House and therefore should be conserved, as part of the on-going use, on-going management and any future development strategy

Guidelines

- The configuration of the salvaged elements is not of the same level of significance as the fabric itself and there is currently no interpretation that shows what occurred.

7.3.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy 11

Surviving segments of the historic built fabric and other elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 5.1 of this CMP – Grading of Significant Elements and Spaces, and managed in accordance with the table in Section 7.3.5 below.

Guidelines

- The following schedule contains conservation policy statements for specific individual elements of Federation Hall, 24-30 Grosvenor Street. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

Element Specific Conservation Policies		
<i>Federation Hall 24-30 Grosvenor Street</i>		
Element	Significance	Policy
EXTERIOR		
Grosvenor and Harrington Street elevations	High	Conserve the surviving original fabric of the two street facades of Federation Hall and the alterations made during the 1920s (metal windows, show windows and the trachyte plinth). New external openings in the two main facades are not permitted; the existing pattern of fenestration is to be retained and the metal windows conserved
Façade elements of cornice, string course, neoclassical pilasters, window surrounds to 1 st floor, masonry walling, remnant bulkheads and pavement lights	Exceptional	Repairs to match fabric from the corresponding phase of development (ie c. 1890, 1920s or from Royal Naval House). Further modification to the surviving historic fabric should be limited to conservation actions only. Retain and conserve as above
Metal windows, show windows and Trachyte plinth	High	Retain and conserve as above
The reconfigured parapet and main door	Moderate	Generally retain
Glass doors	Neutral	Retain or remove if replacement is also neutral
INTERIOR		
Basement, Ground, First and Second Floors		
Significant historic use	High	Continue to use for a combination of commercial and retail uses. Retail use of the ground floor is permissible however the show windows are to be retained. In the long term the building could operate as two separate commercial tenancies if required, largely following the original division between the buildings
Entrances	High	Retain the former main entrance and continue to use as an entrance to the stair hall
Spatial organisation generally	Little	Retain as required or modify
Surviving historic fabric including skirtings	Exceptional	Retain and conserve as above for Exterior fabric

Element Specific Conservation Policies		
<i>Federation Hall 24-30 Grosvenor Street</i>		
Element	Significance	Policy
Surviving openings to Grosvenor and Harrington Streets	Exceptional	Retain the existing window and door openings. Openings are not to be blocked up internally
Modern office fitouts, toilets, fire stairs	Neutral	Retain or remove as required
North Addition	Neutral	Should new lifts be required they should be provided within the rear addition rather than within the original building footprint. Utilise the north addition for riser ducts and other services
RELOCATED COURTYARD		
Current layout	Moderate	Retain and interpret the courtyard relocated from Royal Naval House. Encourage the use of the galleries surrounding the courtyard
Salvaged items: columns, balustrade uprights, valence, relocated joinery	Exceptional	Retain and conserve as above for Exterior fabric
Modern timber decking, handrail, modern joinery, lighting	Moderate	Retain and conserve
Modern canopy and basement granite paving setts	Neutral	Retain or remove as required
RELOCATED STAIR		
Current layout	Moderate	Retain and interpret the main stair relocated from Royal Naval House
Salvaged items: stair treads, stringer, newel balustrade, skirting	Exceptional	Retain and conserve as above for Exterior fabric
Replacement elements to newels	Little	Generally retain
Modern flooring	Little	Retain or remove as required

7.3.6 Archaeological Monitoring

Background

A detailed assessment of the archaeological potential of Federation Hall, 24-30 Grosvenor Street has not been carried out. Although the current building has a basement there is a small possibility that features may survive below this level. In general the basement

construction in The Rocks during the late nineteenth-century did not totally destroy the archaeological potential and the foundations of previous buildings, wells and cisterns have been found on a number of sites.

The Heritage Act 1977 states that any excavation, where relics may be disturbed, requires an excavation permit.

Policy 12

Where the site is identified as having archaeological potential all excavation should be carried out under supervision by a qualified archaeologist. Appropriate permits should be sought from the NSW Heritage Council prior to the commencement of works

Guidelines

- Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan (1991)*, and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any excavation below the current basement level be the subject of further archaeological assessment or archaeological monitoring.

7.3.7 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy 13

The significant fabric of Federation Hall, 24-30 Grosvenor Street should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3 – On-going Maintenance.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

- The building fabric and services not part of individual tenancy fitouts should be subject to continuing care and maintenance by the Foreshore Authority.
- In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
- Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with buildings and materials of this nature.
- No maintenance work or repairs should negatively impact on significant fabric.
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.3 – Schedule of On-going Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.

- New internal floor coverings are permissible, but should have minimal impact on the surviving significant fabric.
- New internal floor partitions are permissible provided that they have minimal impact on the surviving significant fabric.

7.3.8 Retention of Fixtures and Fittings

Background

The cast iron work within the courtyard and the relocated stair are relics of Royal Naval House which contribute to the special character of the Sydney Futures exchange complex, of which the Federation Hall, 24-30 Grosvenor Street is an integral part.

Policy 14

Features and fixtures including the relocated cast iron work to the courtyard and the relocated main stair are associated with the adjacent site's historic use as Royal Naval House should be retained and preserved in their current location.

Guidelines

- The retention and conservation of these features and fixtures should be considered as part of the design work for future adaptive re-use programs.
- The relocated elements should be identified as such.

7.3.9 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception of the significance of the place.

Due to its history, significance and setting in The Rocks area, Federation Hall is capable of being interpreted for promotional and educational purposes.

Policy 15

The heritage significance of Federation Hall, 24-30 Grosvenor Street, should be interpreted on site by appropriate method.

Guidelines

- One of the primary components of the conservation management of the Federation Hall, 24-30 Grosvenor Street, should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
- The ongoing management of Federation Hall, 24-30 Grosvenor Street should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
- In making significance accessible, the Foreshore Authority should take into account of the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
- Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the Federation Hall, 24-30 Grosvenor Street.
- Interpretation at Federation Hall, 24-30 Grosvenor Street should take into account all periods of development and occupation in the context of the history of The Rocks area under the management of the Foreshore Authority, and be presented in an accurate and insightful manner.

- Interpretation should take into account all the historic phases of Federation Hall, 24-30 Grosvenor Street.
- Interpretation should clearly identify the relocated fabric and explain the two major changes in the configuration of the building.
- The surviving photographic record should be utilised when designing on site interpretation. In particular consideration could be given to mounting images within the blind openings of the courtyard.

7.4 New Work Policies

7.4.1 Integration of New Work

Background

Because of the significance of ***Federation Hall, 24-30 Grosvenor Street***, scope for new development is limited. Within the general principles outlined in this Conservation Management Plan, some relatively minor internal alterations to the office layout and additions could occur. These should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components.

It should be noted that from the 1920s until the mid 1980s the building was two storeys taller. The internal structure of the building was substantially altered in the mid 1980s and this alteration may limit any future additions. There is, however some potential for a roof top addition of a similar scale to what was demolished.

Policy 16

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

- If a new function is being introduced, a new architectural vocabulary of details and materials may be adopted however these should complement the existing architectural character.
- Any new development should be carried out within extensive footprint that was created in the mid 1980s that extended the original Federation Hall to the north.
- Period detailing should only be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in the documentary record.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.

7.4.2 Integration of Services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

The services within the building have been upgraded to meet modern standards. Future services upgrades should utilise the existing areas where services have already been installed. The northern section of the building, which falls outside of the original building envelope, currently contains toilets and ducts. Alterations within this area will not impact on significant fabric.

Policy 17

The extension or alteration of existing services in Federation Hall, 24-30 Grosvenor Street is acceptable in the context of re-use, but should not have a detrimental impact to the significance of the significant facades or the relocated historic building component.

Guidelines

- Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric.
- Any upgrading of services is subject to the statutory approval process.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion.
- Areas previously modified for services should be re-used, in preference to modifying intact fabric. In particular, the addition to the north should be utilised for services.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The surface mounting of services is preferable to chasing services into significant fabric. Services can be painted out to match the background. Brackets or fixings for services should not damage significant fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façade.
- The existing parapet can be used to conceal services and roof penetrations.

7.4.3 Ordinance Compliance

The *Building Code of Australia* is the operative building ordinance in New South Wales.

In terms of on-going use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex not be degraded by inappropriate responses to meeting ordinance requirements.

The building already contains modern fire stairs. In the future these locations should be retained, rather than further impacting on the surviving fabric of the significant façades.

Policy 18

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of Federation Hall, 24-30 Grosvenor Street should focus on responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

- Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
- Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document “Access to Heritage Buildings for People with Disabilities” prepared by E.J. Martin (Cox), August 1997.
- Consultation with the NSW Heritage Office FASAP advisory panel may also assist in achieving appropriate compliance solution. For contact details go to the NSW Heritage Office web-page.

7.4.4 Signage and External Lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of Federation Hall, 24-30 Grosvenor Street as a whole. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy 19

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Policy 20

All commercial signage should be consistent with the Foreshore Authorities' Commercial Signage Policy.

Guidelines

- Suitably located signs that provide a legible and clear message and contribute to the vitality of the Federation Hall, 24-30 Grosvenor Street are encouraged.
- Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
- Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
- It is not necessary to attempt to create or recreate an ‘historic’ character in the signage, but modern standardised ‘trademark’ signage is not appropriate.
- Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by external lighting.
- The illumination of Federation Hall, 24-30 Grosvenor Street should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.

7.4.5 New Services and Other Relevant Foreshore Authority Policies

Background

In addition to specific requirements for new work as presented in the previous Section, all new work has to comply with other relevant Foreshore Authority Planning Policies to assure grant of consent to the proposal.

Policy 21

Any proposed work to Federation Hall, 24-30 Grosvenor Street will fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks

Guidelines

- In addition to the Authority's Policies for Lighting and Signage presented in the previous Section, all new work will comply with Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

7.5 Archaeological Resources

7.5.1 Prehistoric (Aboriginal) Archaeological Resources

Background

Sites of pre-historic archaeological potential are protected under clauses of the NSW National Parks and Wildlife Act 1979.

Policy 22

Any potentially encountered Aboriginal archaeological resources should be conserved in accordance with the requirements of the NSW National Parks and Wildlife Act 1979 and their potential for interpretation considered

Guidelines

- Works on this site should avoid areas of high archaeological potential or significance.
- In the event archaeological material is unexpectedly discovered during works to this site, work shall immediately cease in the affected area and the Foreshore Authority and the NSW National Parks and Wildlife Service will be contacted for advice.
- Should disturbance be required where Aboriginal archaeological material has been identified, an application under Section 90 of the National Parks and Wildlife Act will be required for this disturbance.

7.5.2 Historic (European and Aboriginal) Archaeological Resources

Background

Sites of Historic archaeological potential are protected under clauses of the NSW Heritage Act 1977.

Policy 23

Any potential archaeological resources on the property should be conserved in accordance with the requirements of the NSW Heritage Act 1977 and their potential for interpretation considered

Guidelines

- Wherever possible, works to this site should avoid areas of high archaeological potential or significance.
- Should disturbance be required to areas of archaeological potential or significance, an application under Section 60 of the Heritage Act will be required for this disturbance.
- Any archaeological resources must be managed in accordance with the recommendations arising from the Archaeological Assessment and any approval issued by the Sydney Harbour Foreshore Authority or the NSW Heritage Council.
- In the event archaeological material is unexpectedly discovered during any works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority will be contacted for advice.

8. Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of **Federation Hall, 24-30 Grosvenor Street** and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the NSW Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of **Federation Hall, 24-30 Grosvenor Street** with their provisions are those for **Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security**.

The works are presented for relevant elements only. To assure compliance with the Minimum Standards of Maintenance and Repair on the site of Federation Hall, 24-30 Grosvenor Street, the following works need to be undertaken:

Minimum Standards of Maintenance and Repair <i>Federation Hall 24-30 Grosvenor Street</i>
Work or Activity Required for Compliance with the Standards for: INSPECTION
ALL AREAS
Inspections are to be carried out annually to identify maintenance and repairs needed to ensure compliance with the minimum standards listed below, generally once every year as a minimum Also refer to the Schedule in Section 8.3 On-going Maintenance Inspections are to be carried out by a person with heritage expertise and experience or as appropriate to the item concerned
Work or Activity required for compliance with the standards for: WEATHER PROTECTION
For stormwater systems, external fabric, doors and windows, damp proof courses and flashings, refer to the Schedule in Section 8.3 On-going Maintenance Maintain and repair components that may be at risk of dislodgement by high winds such as parapet cappings, finials, lightning conductors and other exposed items
Work or Activity required for compliance with the standards for: FIRE PROTECTION
Ensure that no accumulation of rubbish occurs that could be a fire hazard. Check every 6 months
Annually check the fire protection systems – refer to Schedule in Section 8.3 On-going Maintenance
Annually check the electrical services systems

Minimum Standards of Maintenance and Repair <i>Federation Hall 24-30 Grosvenor Street</i>	
Work or Activity required for compliance with the standards for: SECURITY	
Annually check the security and alarm system, or as per authority requirements	
Work or Activity required for compliance with the standards for: MAINTENANCE AND REPAIR	
Annually inspect for vermin, termites and pests	
Ensure control measures for vermin are maintained and up to date annually	
For inspections and maintenance of building fabric and structure refer to the Schedule in Section 8.3 On-going Maintenance	

8.2 Schedule of Conservation Works

Fabric condition ratings in this report use the following table:

Condition Ratings	Description
5 - Excellent	Fabric element has no defects. Condition and appearance are as new
4 - Good	Element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist
3 - Fair	Element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists
2 - Poor	Element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exist
1 - Very Poor	Element has failed. It is not operational and is unfit for occupancy or normal use

These condition grades indicate the level of intervention required. For elements in *Very Poor* condition, reconstruction may be the only available option. For elements assessed as being in *Poor* or *Fair* condition, various degrees of repair or maintenance may be required, immediately or in the short term, to prevent further deterioration and the subsequent loss of significance. Elements in *Good* condition may need some maintenance but the need for repair is not anticipated in the next two or three years, while elements in *Excellent* condition are likely to need only minor maintenance in the next five to ten years.

The following *Schedule of Conservation Works* describes work that should be implemented to preserve the significant fabric of Federation Hall, 24-30 Grosvenor Street.

Schedule of Conservation Works

Federation Hall 24-30 Grosvenor Street

Element	Condition	Significance	Action/Treatment
EXTERIOR			
Grosvenor and Harrington Street elements including: surviving masonry walling, cornice, string courses, pilasters, neoclassical surrounds to first floor windows	Good	Exceptional	No immediate action required. Maintain paint finish
Remnant of bulkhead with pavement lights	Fair	Exceptional	No action required. Replace individual pavement cast glass lights as necessary. Lower asphalt where covering metal work
Metal windows to first and second floors	Fair	High	No action required, maintain paint finish
Metal show windows with rosettes	Fair	High	Re-instate missing rosettes. Maintain paint finish
Trachyte plinth and threshold	Excellent	High	No action required
Reconfigured parapet	Good	Moderate	Conserve parapet and capping
Triple leaf door	Good	Moderate	Conserve, maintain paint finish
Modern glass doors	Good	Neutral	No action required
Recent show window, (nearest to corner on Harrington Street)	Little	Neutral	No conservation action, modern fabric
INTERIOR			
Surviving Skirtings	Excellent	Exceptional	No action required. Maintain paint finish
Surviving openings in external masonry walls	Excellent	Exceptional	Maintain openings in situ
Metal windows within fire stair	Good	High	No action required. Monitor and seek specialist conservation advice if deterioration occurs
Modern office fit out, modern fire stairs	Excellent	Neutral	No action required
Reworked internal floors	Good	Neutral	No action required

Schedule of Conservation Works			
<i>Federation Hall 24-30 Grosvenor Street</i>			
Element	Condition	Significance	Action/Treatment
INTERIOR			
Colour Scheme	n/a	Neutral	No action required. Generally in keeping with the overall neoclassical style of the building
RELOCATED COURTYARD			
Salvaged items: cast iron columns and bases, balustrade uprights and frieze, relocated joinery	Fair	Exceptional	No action required. Maintain paint finish. Monitor condition and seek specialist conservation advice if deterioration of metalwork becomes evident in the future
Timber decking (modern), habdrail, modern joinery	Good	Moderate	Maintain and ensure deterioration of timberwork does not impact on significant metalwork
Heritage style lights	Excellent	Moderate	Maintain
Colour Scheme	Good	Neutral	No action required. May be altered based on research into earlier configurations
Modern canopy and basement granite paving setts	Good	Neutral	No action required
RELOCATED STAIR			
Salvaged items: balustrade, stringer, newel posts and skirting and replacement timber elements	Good	Exceptional	No action required. Maintain varnished finish
Floor covering	Good	Little	No action required. Renew fabric without damage to historic stair

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of Federation Hall, 24-30 Grosvenor Street. Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

Schedule of Ongoing Maintenance

Federation Hall 24-30 Grosvenor Street.

Element	Every Year	Every Two Years	Every Five Years
GENERALLY			
Overall Building	Check modern roof structure, canopy, masonry walls and the galleries to the courtyard for structural faults. Inspect structural timbers to courtyard (including decking) for termites and rot; Inspect metalwork for rust, spot repair if necessary	Inspect concrete structure for spalling and concrete cancer and take remedial action	Inspect cast ironwork to courtyard for deterioration
EXTERIOR ELEMENTS			
Masonry and render finishes	Inspect external render. Check any flashings to the parapet, cornice, string course and other projections. Repair if necessary	Inspect for loose or drummy render	Repaint previously painted masonry with an appropriate paint system. Do not apply any coatings without having sought advice from the Foreshore Authority's conservation architect
Metal windows and Shop windows (historic)	Check and repair the operation of all moving windows parts	Inspect for loose or decayed sash joints, broken or cracked glass or putty. Inspect paint finish for deterioration	Repaint metalwork with an appropriate paint system if required
Shop windows (modern)	Inspect and repair if sills, frames and fixed sashes are defective	Inspect for loose or decayed sash joints, broken or cracked glass or putty	Paint joinery as necessary

Schedule of Ongoing Maintenance

Federation Hall 24-30 Grosvenor Street.

Element	Every Year	Every Two Years	Every Five Years
Doors	Inspect and repair if frames are defective, check and repair operation of all moving door parts	Inspect for paint deterioration or weathering. Check hardware operation. Inspect for loose jambs	Repaint timberwork with an appropriate paint system if required
Thresholds and plinth		Inspect trachyte	
STORMWATER DISPOSAL			
Gutters, rainwater heads and downpipes	Inspect and clean out all gutters, downpipes and rainwater heads, particularly those on the flat roof. Check operation of stormwater drains. Replace deteriorated gutters and downpipes with items of a similar material and profile		
ROOFING			
Pebbles and paving over roof membrane	Inspect roof, paying particular attention to the drainage from the canopy		In the longer term consider modifying canopy drainage, rather than discharging onto the flat roof
Flashing		Inspect for loose or raised cappings that have lifted or slipped or are deformed due to wind damage. Repair if necessary	
Parapets	Inspect for loose elements. Repair as necessary		Inspect for loose, cracked or drummy render. Repair as necessary
Capping	Inspect for loose elements. Repair as necessary		

Schedule of Ongoing Maintenance

Federation Hall 24-30 Grosvenor Street.

Element	Every Year	Every Two Years	Every Five Years
INTERNAL ELEMENTS			
GENERALLY			
Walls	Inspect painted finish to walling		Repaint when required
Joinery	Inspect timber joinery to courtyard (French doors and windows). Maintain in working order		Repaint as required
SERVICES			
Air Conditioning	Inspect equipment		
Electrical	Check if light bulbs are blown and if fittings are damaged. Check fittings are well secured to walls		
Plumbing		Inspect sumps and grates for damage. Inspect taps for drips and ease of operations. Repair or replace as necessary.	
Fire Service	Check all fire protection equipment throughout		

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10.Appendix

10.1 Appendix A

Heritage Register Listings - NSW Heritage Office



Working with the community to know, value and care for our heritage



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Federation Hall and courtyard

Item

Name of Item: Federation Hall and courtyard
Other Name/s: Meat Board Building
Type of Item: Built
Group/Collection: Commercial
Category: Theatre
Primary Address: 24-30 Grosvenor Street, The Rocks, NSW 2000
Local Govt. Area: Sydney

Property Description:

Lot/Volume Code	Lot/Volume Number	Section Number	Plan/Folio Code	Plan/Folio Number
PART LOT	1	-	DP	771884

All Addresses

Street Address	Suburb/Town	LGA	Parish	County	Type
24-30 Grosvenor Street	The Rocks	Sydney	St Philip	Cumberland	Primary

Owner/s

Organisation Name	Owner Category	Date Ownership Updated
Sydney Harbour Foreshore Authority	State Government	

Statement of Significance

Federation Hall and courtyard and site are of State heritage significance for their historical and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks area which is of State Heritage significance in its own right.

As a group, the buildings (Federation Hall, Royal Naval House, Johnson's Building, 231 George Street & Brooklyn Hotel) have considerable significance. All facades contribute to the overall richness of the group, with Royal Naval House the focal point and the Johnson's Building leading nicely around the corner to a 'coda' of two small but heavily textured facades which seem to be a logical end to the whole. The trees, which are deciduous, give an added quality to the richness of the facades and have considerable significance, linking them together in a very satisfactory way. In the context of Grosvenor Street, the facades have a landmark status facing the open space of Lang Park on the southern side of the street. Federation Hall: This building has an aesthetically pleasing neo-classical facade with a sympathetic later addition of two top storeys. The interior spaces are fairly simple, the entrances are good, and the facade is an important element in the streetscape.

(SCRA 1982: 99-100, 103)

Date Significance Updated: 24 Jun 02

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer: Alterations - Scott and Green

Construction Years: 1889 - 1891

Physical Description: Style: Late Victorian; Storeys: three plus two

Modifications and Dates: 1922- Proposed alterations and additions to 24-46 Grosvenor Street were submitted to the City Council by Scott and Green, Architects. The plans show the addition of two further floors and other modifications. Evidence from the Rate Assessment Books suggest this work took place in the period 1923-1924. 1989 -The reconstruction and renovation of this building and Royal Naval House was undertaken for the Sydney Futures Exchange, involving the reinstatement of the original verandah and courtyard in a new location within the building and the restoration of the street facades.

Current Use: Sydney Futures Exchange

Former Use: Shops, Meeting Hall, Theatre

History

Historical Notes: This site was originally at the western limit of the Parade Ground of the Colony and the commencement of the then unnamed Grosvenor Street. The original claimant to the site was William Davis who owned extensive land holdings within The Rocks in the early years of the Colony. In 1848 the site with a simple two-storied Georgian residence erected upon it. Between 1887-89 demolition took place for the Royal Naval House site. It has been assumed here, from the evidence examined, that these buildings were all demolished in that period. Between 1889 and 1891 a three storey brick and cement building with flat roof was erected on this site. This building with its plastered facade and pediment decoration forms the first three floors of the present building. The early section was constructed as a series of shops to Grosvenor Street and a large space above with entry from Harrington Street known from c.1892 -c.1915 as Federation Hall. From c.1915-c.1924 the Hall was known as the Repertory Theatre. (SCRA 1982: 12-14)

From 1980 negotiations proceeded with the private sector on proposals for mixed development and recycling on the land bounded by George, Grosvenor, Harrington and Essex Streets, known as Sites D5, D6 and D11. The agreement for the Grosvenor Place project was signed in June, 1983 involving the renovation of Royal Naval House and four adjacent buildings, including Federation Hall. Work on Grosvenor Place commenced in 1984 and was completed in 1988. In 1987, work commenced on the \$12.5m reconstruction and renovation of Royal Naval House and Federation Hall in Grosvenor Street to enable the buildings to house the Sydney Futures Exchange. The work involved the reinstatement of the original verandah and courtyard in a new location, and the restoration of the street facades. The reconstruction and renovation of the three remaining historic buildings on the site was carried out in 1989 for use as bars and restaurant. (SCRA Annual Reports 1980-1989)

Historic Themes

Australian Theme (abbrev)	New South Wales Theme	Local
----------------------------------	------------------------------	--------------

		Theme
3. Economy - Developing local, regional and national economies	Commerce - Activities relating to buying, selling and exchanging goods and services	(none) -
8. Culture - Developing cultural institutions and ways of life	Leisure - Activities associated with recreation and relaxation	(none) -

Assessment Criteria Items are assessed against the  **State Heritage Register (SHR) Criteria** to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Recommended Management

The 1982 Conservation Plan for the group of five buildings was prepared prior to the major work undertaken to the buildings in the late 1980s. An updated conservation plan should be prepared prior to any further work being proposed for the buildings, addressing each building individually and the group as a whole. This should follow the requirements of the NSW Heritage Office's Heritage Manual.

Procedures / Exemptions

Section of Act	Description	Title	Comments	Action Date
57(2)	Exemption to allow work	Standard Exemptions	<p>SCHEDULE OF STANDARD EXEMPTIONS HERITAGE ACT, 1977 Order Under Section 57(2) of the Heritage Act, 1977</p> <p>I, the Minister for Planning, pursuant to section 57 (2) of the Heritage Act 1977, on the recommendation of the Heritage Council of New South Wales, do by this Order:</p> <p>1. revoke the Schedule of Exemptions to subsection 57(1) of the Heritage Act made under subsection 57 (2) and published in the Government Gazette on 7 March 2003, 18 June 2004 and 8 July 2005; and</p> <p>2. grant standard exemptions from section 57(1) of the Heritage Act 1977, described in the Schedule below.</p> <p>FRANK SARTOR Minister for Planning Sydney, 25 March 2006</p> <p>To view the schedule click on the Standard Exemptions for Works Requiring Heritage Council Approval link below.</p>	Mar 25 2006

 **Standard Exemptions** for Works Requiring Heritage Council Approval

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
<i>Heritage Act - State Heritage Register</i>		01546	10 May 02	85	2865
<i>Heritage Act - s.170 NSW State agency heritage register</i>	Sydney Harbour Foreshore Authority				

Study Details

	Inspected	Guidelines

Title	Year	Number	Author	by	Used
SCA Register 1979-1998	1998	B082	Sydney Cove Authority (SCA)		Yes

References, Internet links & Images

None

Note: Internet links may be to web pages, documents or images.



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10.2 Appendix B

Standard Exemptions under the NSW Heritage Act

Standard Exemptions

Any major works that are proposed to a SHR item need to be assessed and approved by the Heritage Council of NSW to ensure that the heritage significance of the item will not be adversely affected.

To achieve efficiency and focus only on activities that may affect significance, s.57 of the Heritage Act contains provisions for granting exemptions for certain activities that would otherwise require approval under the Act. There are two types of exemptions that can apply to the property:

- Standard exemptions such as building maintenance, minor repairs, alterations to certain interiors and change of use.
- Site-specific exemptions that relate to a particular property.

This Section presents list of activities eligible for exemptions from seeking further approval under Standard Exemptions presented in S.57 of the Heritage Act. The site-specific conservation framework developed within this Conservation Management Plan presented in Sections 8.2 –Minimum Standards of Maintenance and Repair, 8.3 –Schedule of Conservation Works, and 8.4 –On-going Maintenance, will also be exempt from further reference to the NSW Heritage Council, once this document has been endorsed by the Foreshore Authority, under delegated authority to the Foreshore Authority to endorse minor development to SHR items.

SCHEDULE OF EXEMPTIONS TO SUBSECTION 57(1) OF THE *HERITAGE ACT 1977* MADE UNDER SUBSECTION 57(2)

GENERAL CONDITIONS

These general conditions apply to all of the following Exemptions.

1. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the NSW Heritage Office including *“The Maintenance of Heritage Assets: A Practical Guide” 1998*, *“Moveable Heritage Principles” 2000* and *“The Heritage Council Policy on Managing Change to Heritage Items”*.

The following standard Exemptions do not apply to anything affecting relics, places, items or sites if heritage significance to Aboriginal peoples or which affects traditional access by Aboriginal people.

The Assistant Director or Principal Heritage Officers may carry out any of the functions or powers of the Director of the Heritage Office under these Exemptions.

2. In these Exemptions, words shall be given the same meaning as in the *Heritage Act 1977* (“the Act”) unless the contrary intention appears from the context of the exemption.

Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

STANDARD EXEMPTION 1: MAINTENANCE AND CLEANING

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
- cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

STANDARD EXEMPTION 2: REPAIRS

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

- the replacement of services such as cabling, plumbing, wiring and fire services that used existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
- the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

STANDARD EXEMPTION 3: PAINTING

1. Painting does not require approval under s. 57(1) of the Act if the painting:

- does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
- involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting;
- employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.

2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:

- the Director is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
- the person proposing to undertake the painting has received a notice advising that the Director is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

STANDARD EXEMPTION 4: EXCAVATION

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director is satisfied:

- where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that there is little likelihood of there being any relics in the land or that any relics in the land are unlikely to have State or local heritage significance; or
- where the excavation or disturbance of land will have a minor impact on the archaeological resource; or
- where the excavation or disturbance of land involves only the removal of fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director shall notify the applicant.

NOTE: Any excavation with the potential to affect Aboriginal objects should be referred to the Director-General of the National Parks and Wildlife Service.

STANDARD EXEMPTION 5: RESTORATION

1. Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under s. 57(1) of the Act.

2. The following restoration does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director is satisfied:

- the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.

3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director shall notify the applicant.

8.5.6 STANDARD EXEMPTION 6: DEVELOPMENT ENDORSED BY THE HERITAGE COUNCIL OR DIRECTOR

1. Development specifically identified as exempt development by a conservation policy or strategy within a conservation management plan which has been endorsed by the Heritage Council of NSW or within an interim conservation management strategy endorsed by the Director does not require approval under s. 57(1) of the Act.

8.5.7 STANDARD EXEMPTION 7: MINOR ACTIVITIES WITH NO ADVERSE IMPACT ON HERITAGE SIGNIFICANCE

1. Anything which in the opinion of the Director is of a minor nature and will not adversely affect the heritage significance of the item does not require approval under s.57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed activity. If the Director is satisfied that the proposed activity meets the criteria set out in paragraph 1, the Director shall notify the applicant.

STANDARD EXEMPTION 8: NON-SIGNIFICANT FABRIC

The following development does not require approval under s.57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

- the alteration of the building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed development. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a), the Director shall notify the applicant.

STANDARD EXEMPTION 9: CHANGE OF USE

The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director is satisfied:

- the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; or
- the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant association with the item by current users;

2. A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director and describe the changes proposed. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director shall notify the applicant.

STANDARD EXEMPTION 11: TEMPORARY STRUCTURES

1 The erection of temporary structures does not require approval under s. 57(1) of the Act, providing that the Director is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director is satisfied:

- the structure will be erected and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 months;
- the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological feature of its curtilage or obstruct significant views of and from heritage items.

2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director is satisfied that the proposed development meets the criteria set out in paragraphs 1(a) and 1(b) the Director shall notify the applicant.

STANDARD EXEMPTION 13: SIGNAGE

1. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act:

- temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
- a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;

2. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act provided that the Director is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect it has received a notice advising that the Director is satisfied:

- the erection of non-illuminating signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
- signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;

3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director and describe the nature and purpose of the advertising or signage. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director shall notify the applicant.

4. Signage of the kind described in paragraph 1 and 2 must:

- not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
- be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
- be able to be later removed without causing damage to the significant fabric of the item; and

- reuse existing fixing points or insert fixings within joints without damage to adjacent masonry.

STANDARD EXEMPTION 15: COMPLIANCE WITH MINIMUM STANDARDS AND ORDERS

1. Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the *Heritage Regulation 1999* or an order issued under either:

- (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or
- (b) section 121S of the *Environmental Planning and Assessment Act 1979* regarding an order which is consistent with a submission by the Heritage Council under section 121S(6) of the Act;

does not require approval under s. 57(1) of the Act.

STANDARD EXEMPTION 16: SAFETY AND SECURITY

1. The following development does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

- the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
- development, including emergency stabilisation, necessary to secure safety where a building or part of a building has been irreparably damaged or destabilised and poses a safety risk to its users of the public.

2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director shall notify the applicant.