



JOHNSONS CORNER

229-235 GEORGE STREET, THE ROCKS

CONSERVATION MANAGEMENT PLAN

Prepared for the Sydney Harbour Foreshore Authority

Urbis Pty Ltd

June 2012



Planning & Infrastructure
Sydney Harbour Foreshore Authority



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June 2012

This document is an update of a 2010 Conservation Management Plan prepared by Urbis.
This 2010 report was itself an update of three CMPs prepared in 2008 for the Brooklyn,
Commercial and Johnsons Buildings.

Sydney Harbour Foreshore Authority

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Executive summary

The Johnson's Building group, located at 229-235 George Street, The Rocks, is comprised of three buildings, the Brooklyn Hotel (229), the Commercial Building (231) and the Johnson's Building (233-5) formerly known as the Chamber of Commerce Building. The Brooklyn Hotel and Johnson's Buildings were both constructed circa 1912 to the design of Government Architect Walter Liberty Vernon with modifications to the final design for the Johnsons Building by G M Blair who later succeeded to the position of Government Architect in 1923. The Commercial Building was constructed circa 1914 and was designed in the Government Architects office, possibly also by Walter Liberty Vernon before he left the office in 1911.

The buildings were listed on the Sydney Cove Authority Register in 1998 and the State Heritage Register in 2002. The buildings are also included on the Sydney Harbour Foreshore Authority Section 170 Register. The group are also included on a number of non statutory registers including the National Trust of Australia Register and the Institute of Architects Register as well as the Register of the National Estate (which is no longer maintained as a statutory list).

Site	Sydney Cove Authority Register	State Heritage Register	Heritage Act Section 170
Brooklyn Hotel	B068 (1998)	Listing number 01533 Gazettal number 85 (10 th of May 2002)	Sydney Harbour Foreshore Authority
Commercial Building	B069 (1998).	Listing number 01540 Gazettal number 85, (10 th of May 2002).	Sydney Harbour Foreshore Authority
Johnson's Building	B070 (1998)	Listing number 01554 Gazettal number 85, (10 th of May 2002).	Sydney Harbour Foreshore Authority

The building group is part of an homogenous streetscape of Edwardian commercial premises encompassing the Johnson's Building group, Federation Hall and the Royal Naval House on Grosvenor Street. As a group, the façades have important landmark qualities and respond to the Edwardian buildings opposite, being the Metropolitan Hotel and the Burns Philp building on Bligh Street.

The Johnson's Buildings are constructed in brick and sandstone in the Federation Free style; they are four, five and six storeys respectively. Each has a common design language and strong vertical articulation in the façade treatment, with hipped roofs obscured behind characteristic triangular pediments. Across the three facades the cantilevered awning has been restored, with some modifications and/or restoration to the shopfronts.

Both the Brooklyn Hotel and the Commercial building facades are configured with a central bay surmounted by open balconies; the Brooklyn Hotel façade features a projecting sandstone bay, flanked by narrow multi-pane windows with small ionic columns and dentilled trim to the third floor balcony. The Commercial Building façade bay is clad in copper/ metal sheet and surmounted by two open balconies on the upper levels with triangular chequered detail to the pediment.

The Johnson's Building addresses the corner, presenting detailed facades to both the Grosvenor and George Street frontages. The splayed corner is flanked by copper clad two storey window bays, surmounted by arched window bays, with a third bay on the George Street elevation. Windows are largely narrow, double hung timber, with large arched windows on the fifth floor and over the two storey window bays. Sandstone trimmings frame most openings and the windows are divided by brick pilasters, accentuating the vertical emphasis of the façade. At the roof level, the façade features four triangular pediments, the western-most pediment on the Grosvenor frontage featuring a semi circular sandstone accent at its peak, and below, a plaque noting the construction date of the building, in 1912.

The group was damaged by fire in September 1985 and were also substantially demolished and altered as part of the 1980s Grosvenor Tower development. Their use was combined, with openings made between the three buildings to facilitate commercial lease of individual common floors. A new hotel was configured on the ground floor across the three sites, taking its name from the Brooklyn Hotel building at 229 George Street. The first floor of the building group was also configured for use as part of the new hotel, while the upper two levels became part of commercial office fit-outs.

The Johnson's Building group is of State significance for its historic, cultural and aesthetic values. They are also associated with the renowned Government Architect Walter Liberty Vernon, one of the key practitioners of the Federation Free Style. The highly picturesque façades and shopfronts are representative of Edwardian commercial buildings designed by the Government Architects Office. The Edwardian shopfront group is rare in Sydney and all façades contribute to the overall richness of the group.

An analysis of the assessed significance of the group and the site's relevant constraints, issues and opportunities has resulted in a set of conservation policies and guidelines to retain and enhance the cultural significance of 229-235 George Street, The Rocks, over the short and long term.

It is noted that the group is considered to be in good condition generally, having only recently undergone building works, including the 1989 building redevelopment and various subsequent alterations. Refurbishment and maintenance works were undertaken by Tanner Architects in 2010 following recommended maintenance from a former draft of this Conservation Management Plan (CMP).

1 Introduction

1.1 Context of the report

In 2008 Urbis was engaged by the Sydney Harbour Foreshore Authority (SHFA) to prepare three separate Conservation Management Plans for the Johnsons Building, the Commercial Building and the former Brooklyn Hotel. In 2010 following a further brief from the Authority, Urbis consolidated the three reports into a single volume for the three sites. Urbis was subsequently engaged in 2012 to undertake a review of the CMP to reflect execution of conservation works, amendments to the site's curtilage and update available drawings.

The Conservation Management Plan (CMP) for the Johnson's Buildings, 229-235 George Street, The Rocks has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for adoption by the Foreshore Authority.

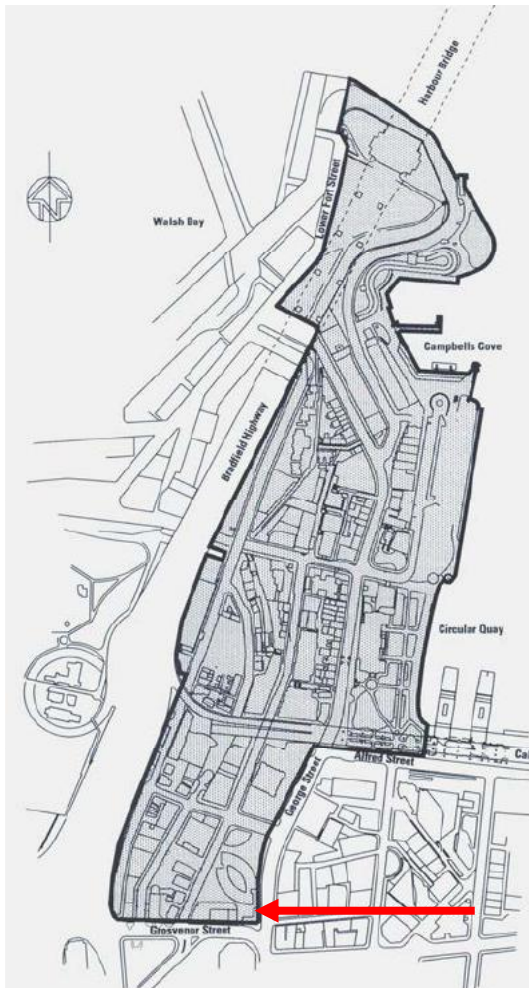


Figure 1: - Location of *The Johnson's Buildings* within the context of The Rocks¹

¹ Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2000), p.6. *The Rocks Heritage Management Plan*, adopted February, 2002, is in three volumes, Vol. 1, Vol. 2, *Background Papers*, and Vol. 3, *Supporting Documentation*. *The Rocks Heritage Management Plan* (2000) may be accessed at www.shfa.nsw.gov.au

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the Johnson's Buildings (229-235 George Street, The Rocks) to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

1.3 Site identification

The *Johnsons Building Group* is located at 229-235 George Street, The Rocks. The property is part of Lot 1, DP 771884, Grosvenor Place.

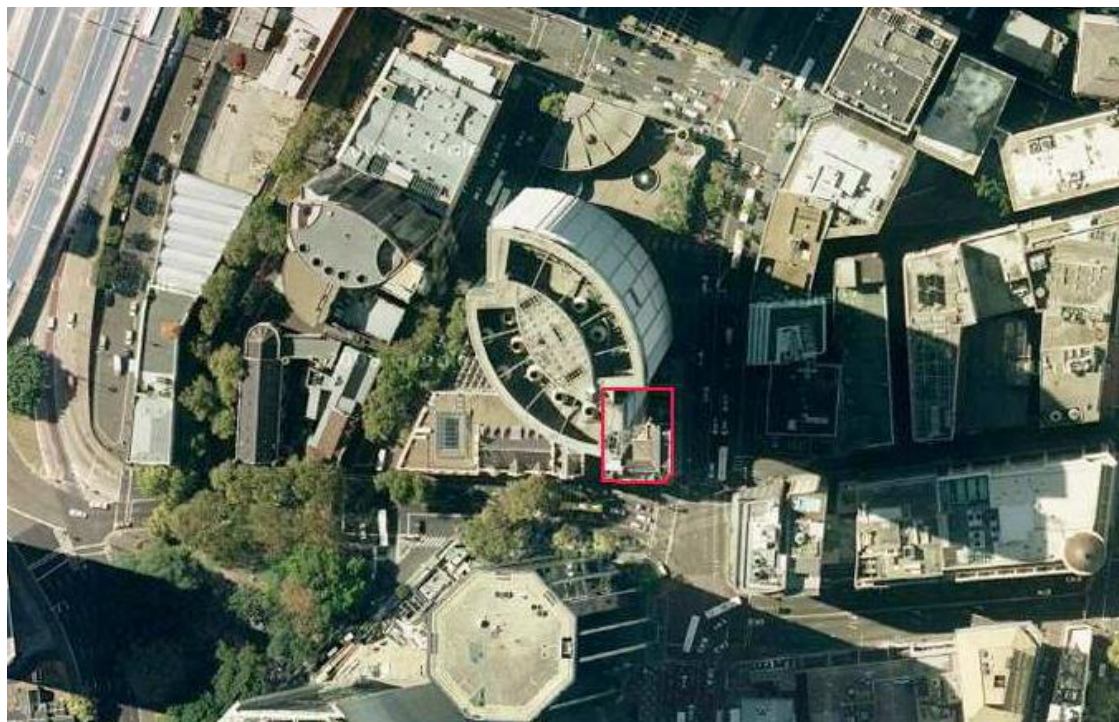


Figure 2 – Site map and aerial view with approximate location of site indicated.



Figure 3 – The Johnsons Group



Figure 4 – The Johnson's buildings as viewed from the intersection of George and Bridge Streets.

1.4 Listings

1.4.1 Statutory listings

Site	Sydney Cove Authority Register	State Heritage Register	Heritage Act Section 170
Brooklyn Hotel	B068 (1998)	Listing number 01533 Gazettal number 85 (10 th of May 2002)	Sydney Harbour Foreshore Authority
Commercial Building	B069 (1998).	Listing number 01540 Gazettal number 85, (10 th of May 2002).	Sydney Harbour Foreshore Authority
Johnson's Building	B070 (1998)	Listing number 01554 Gazettal number 85, (10 th of May 2002).	Sydney Harbour Foreshore Authority

1.4.2 Non-statutory listings

Site	Register of the National Estate	National Trust Register	Royal Australian Institute of Architects Register
Brooklyn Hotel	Place ID 2391 (21/10/1980)	Listed	Listing number 4703192
Commercial Building	Place ID 2392 (21/10/1980)	Listed	Listing number 4703193
Johnson's Building	Place ID 2393 (21/10/1980)	Listed	Listing number 4703194
Edwardian Building Group 229-235 George Street, The Rocks	Place ID 2390 (21/10/1980)	Listed	

1.5 Building description

The building group forms part of a homogeneous Edwardian streetscape group incorporating the Federation Hall and Royal Naval House on Grosvenor Street.

The group was partially demolished and altered during the 1980s Grosvenor Tower development with openings made between the sites, combining the use and facilitating commercial lease of individual floors. The Johnson's Building Group was damaged by fire on 8 September 1985.

The site currently operates as a Hotel (ground floor and first floor of 229 and 231) while the upper floors are occupied as individual commercial tenancies, with contemporary office fit outs. (Refer elevations and floor plans at figures 5-14 below.) Following the redevelopment, the hotel was known as the Brooklyn Hotel, taking its name from the former hotel at 229 George Street. The Hotel was renamed the Morrison Hotel in 2012.

1.5.1 The former Brooklyn Hotel, 229 George Street, The Rocks

The former Brooklyn Hotel, located at 229 George Street, The Rocks, is a four storey brick and sandstone building constructed in 1912 with elements of the Federation Free and Art Nouveau styles. The building was designed by NSW government architect W L Vernon, assisted by William Moyes who had trained under Charles Rennie Macintosh in Glasgow. The façade features a projecting sandstone bay on the first and second floors, surmounted by an open balcony above with small ionic columns and dentilled trim, flanked by narrow multi-pane windows². There is a large triangular brick pediment at roof level with dentilled eaves. The cantilevered awning, which was restored based on the original design, was claimed to be one of the first uses of its type in Australia, being suspended over the footpath on iron rods.³

The shopfront is typical of the period and may be contemporary with the building although investigation of the fabric suggests some refurbishment and/ or restoration. The shopfront features a pressed metal circular bay window with intact original doors to the basement chute. Two of the original pairs of access doors are no longer used though they have been retained. Following the 1985 fire, the subsequent conservation works restored the façade although the interiors were substantially modified in association with the redevelopment of the site.

1.5.2 The Commercial Building, 231 George Street, The Rocks

The Commercial Building, located at 231 George Street, The Rocks, is a five storey building constructed circa 1914 with elements of the Federation Free and Art Nouveau styles. The building was designed by the NSW Government Architects Office, possibly during the tenure of Walter Liberty Vernon, before leaving the office in 1911. The narrow façade constructed in characteristic dual sandstone and redbrick materials, features a central projecting bay surmounted by a triangular pediment at the roof level, in a chequerboard design. The four storey bay incorporates a two storey window bay to the first and second floors, clad in metal sheeting and featuring timber double hung windows, with two recessed balconies on the upper levels, the third floor balcony incorporating a decorative waratah motif in the sheet metal cladding. The central arch is dominated by variegated sandstone and red brick voussoirs.

Early plans of the building show that the shopfront featured a single entry on the north side of the facade and it is likely that the existing shopfront was rebuilt and modified following

² NSW Heritage Office website – online database

³ Australian Heritage Database 2012

the 1985 fire. The shopfront incorporates a central timber double entry door flanked by two full height glazed window bays.

1.5.3 The Johnson's Building, 233-5 George Street, The Rocks

The Johnson's Building is a six storey brick and sandstone building constructed in 1912 in the Federation Free style. The building was designed by NSW government architect W L Vernon, with amendments to the final design by G M Blair. The building has a strong vertical articulation and addresses the corner, with a splayed corner treatment, third floor Juliet balcony and recessed ground floor entry. The splayed corner is flanked on both the George and Grosvenor Street frontages by copper clad two storey window bays (second and third floors), surmounted by arched window bays, the cladding featuring a stylised fleur-de-lys motif. A third matching bay window on the George Street elevation and the comparable façade bay on the neighbouring Commercial building contributes to the consistent rhythm of the building group facades.

The vertical emphasis is also accentuated by the vertical pilasters which divide the façade between the narrow timber double-hung windows. At the roof level, the façade features four triangular pediments, the western-most pediment on the Grosvenor frontage featuring a semi circular sandstone accent at its peak and below, a plaque noting the construction date of the building, in 1912. The hipped and slate clad roof is visible behind the parapet, with two prominent chimneys. The façade also features four sandstone cartouche decorations (two on each frontage), above the fourth floor central windows, while the George Street elevation also boasts a triple arched balcony with colonnade to the fifth floor.

The entry to the commercial levels is via the large arched Grosvenor Street entry which incorporates a board of chequered terracotta and sandstone. Sandstone trimmings frame most openings.

The George Street shopfront was refurbished following the fire and late 1980s building works and a secondary entry on the George Street frontage was infilled at this time or in subsequent works. The shopfront is however typical of the period, and retains and interprets the display windows internally, although with some modification. The cantilevered awning was restored based on the original design and at the time of the construction, the awning was claimed to be one of the earlier uses of its type in Australia, being suspended over the footpath on iron rods.⁴ The awning incorporates signage associated with the Hotel use of the ground floor, with the words "Johnson's Corner" on the splayed corner, interpreting the former use of the ground floor shopfront. The lettering is in an Art Nouveau inspired style, appropriate to the Federation period of the building group. The awning also incorporates a cartouche decoration, matching the sandstone façade decoration and decorative tie rods.

The rear Milsons Lane elevation is partially intact, with original and new building sections clearly demarcated by the new brickwork. There have also been modifications to the remaining original openings, including refurbishment and modifications for a new egress in the location of the original lift well. The new northern elevation at the rear, which incorporates an outdoor terrace for the hotel, was constructed as part of the late 1980s additions. The addition was designed to be sympathetic to the character of the original Johnson's Building and features similarly proportioned arched window bays with copper sheet cladding.

Subsequent conservation works restored the façade, with some modification, and the interiors were also substantially modified in association with the redevelopment of the site.

⁴ Ibid



Figure 5 – Principal/ East Elevation of the Johnson's Building Group showing (from left to right) the Johnson's Building (233-235), the Commercial Building (231) and the former Brooklyn Hotel (229).

Source: Prepared by Studio MKN for SHFA 2012



Figure 6: The southern Grosvenor Street façade

Source: Prepared by Studio MKN for SHFA 2012

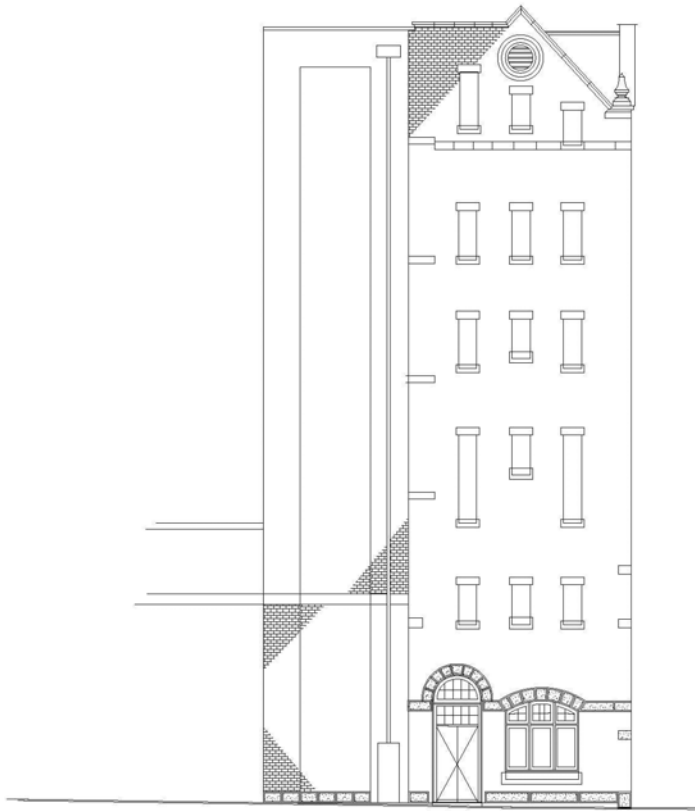


Figure 7 – Western/ Milson's Lane elevation

Source: Prepared by Studio MKN for SHFA 2012

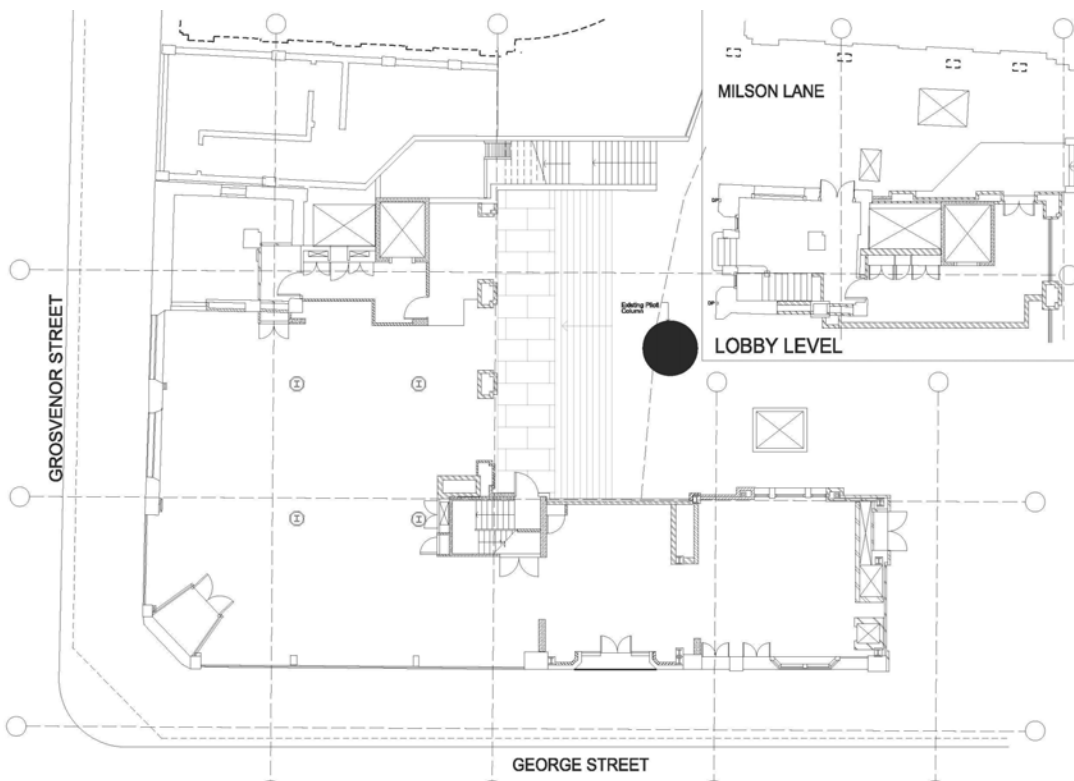


Figure 8 –Ground floor plan across the three sites.

Source: Prepared by Studio MKN for SHFA 2012

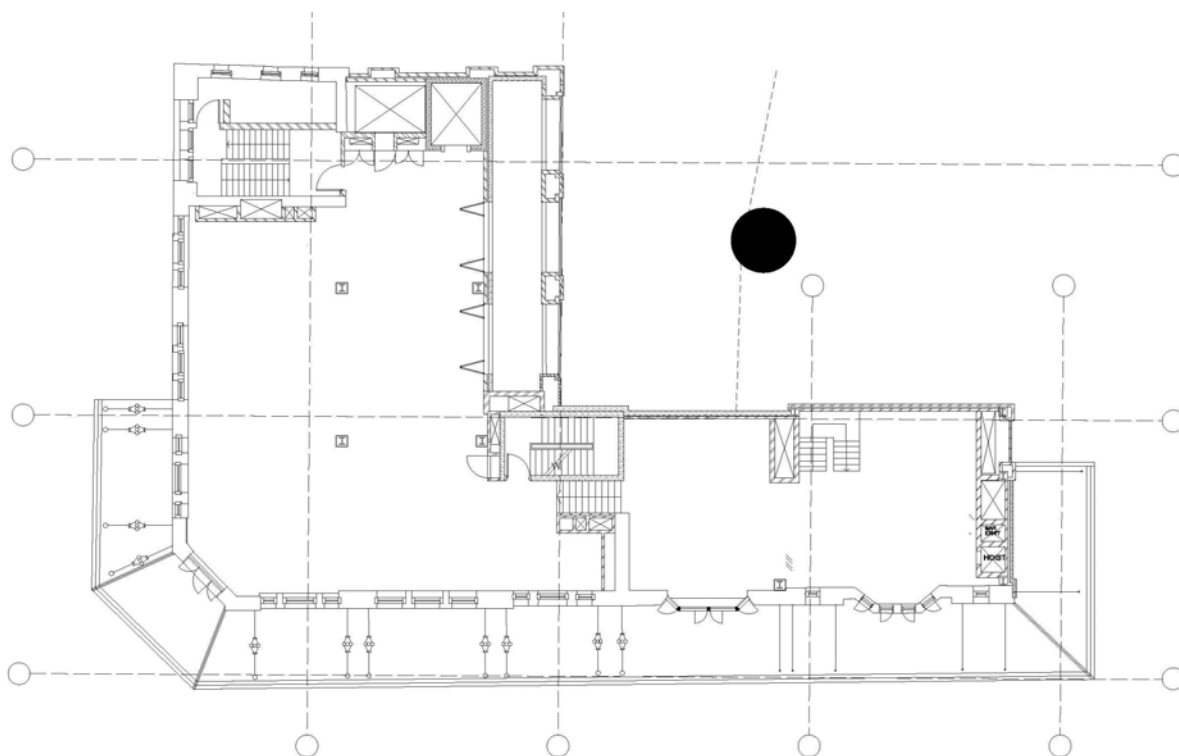


Figure 9 – Level 2/ First floor plan

Source: Prepared by Studio MKN for SHFA 2012

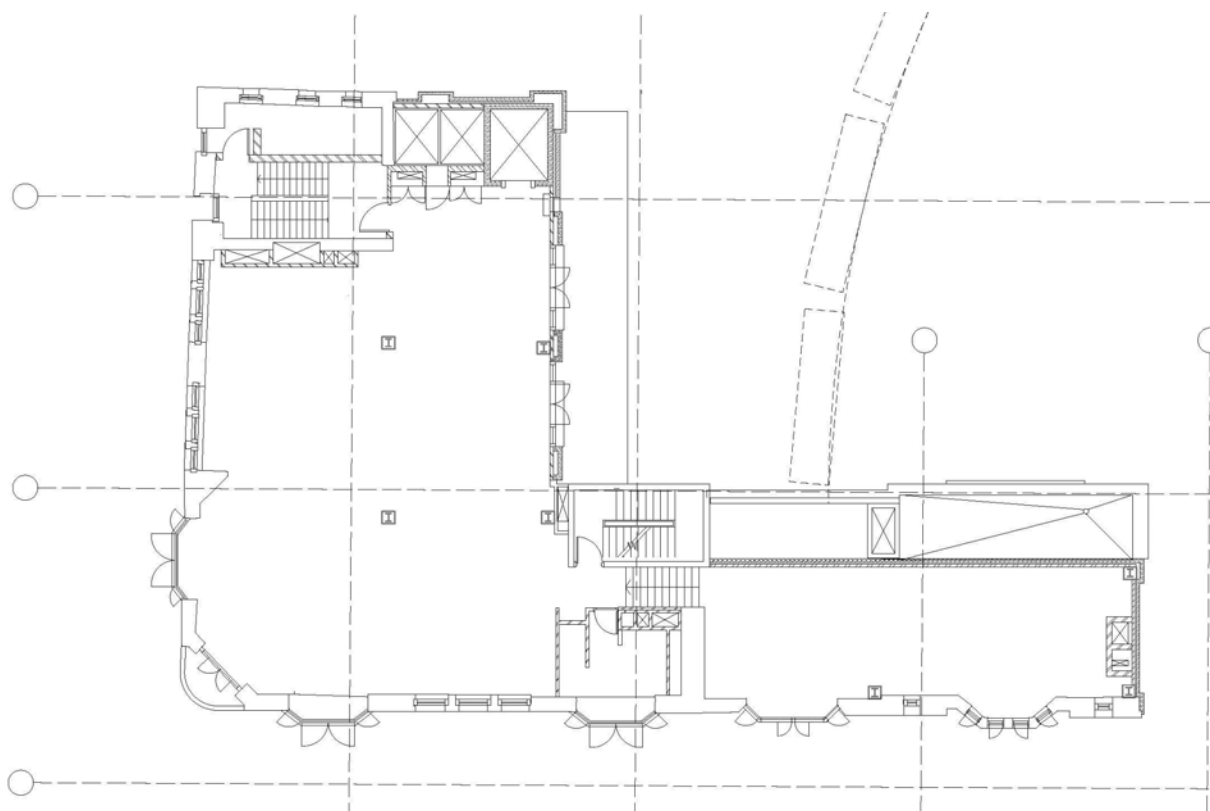


Figure 10 – Level 3/ Second floor plan

Source: Prepared by Studio MKN for SHFA 2012

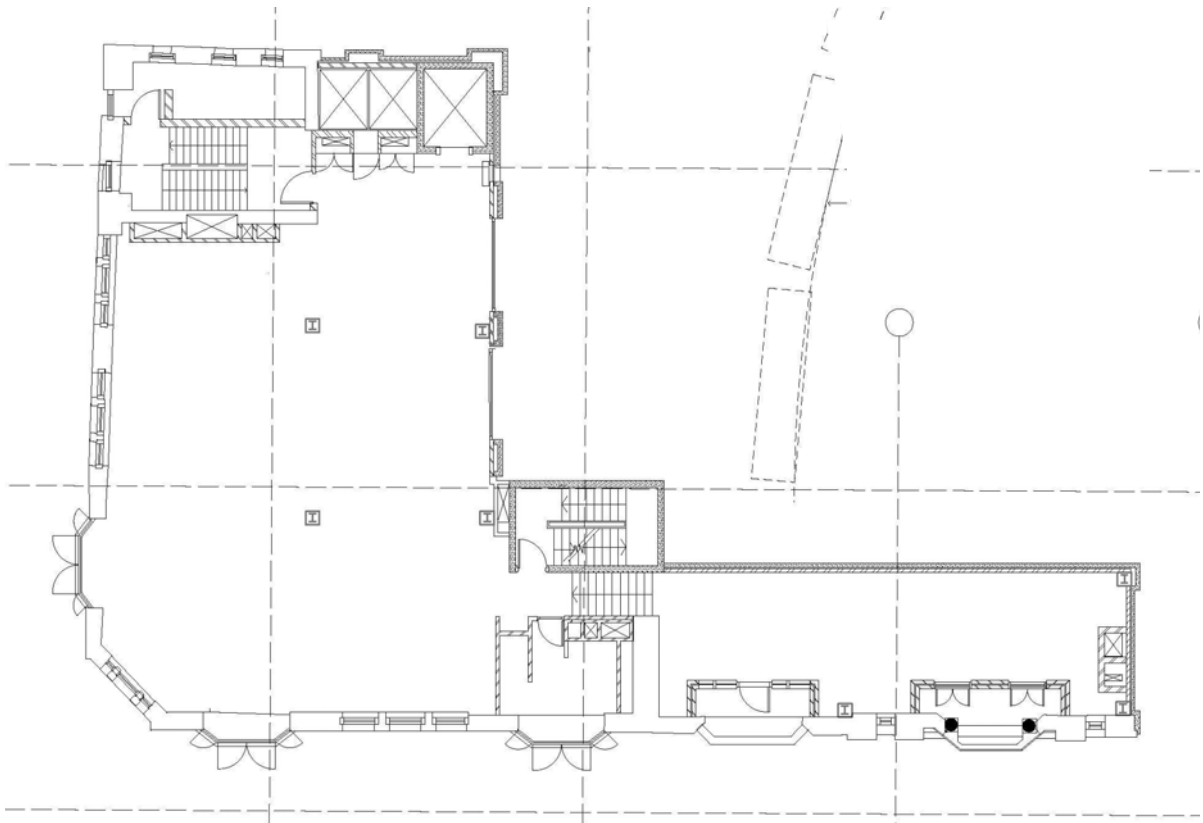


Figure 11 – Level 4/ Third floor plan

Source: Prepared by Studio MKN for SHFA 2012

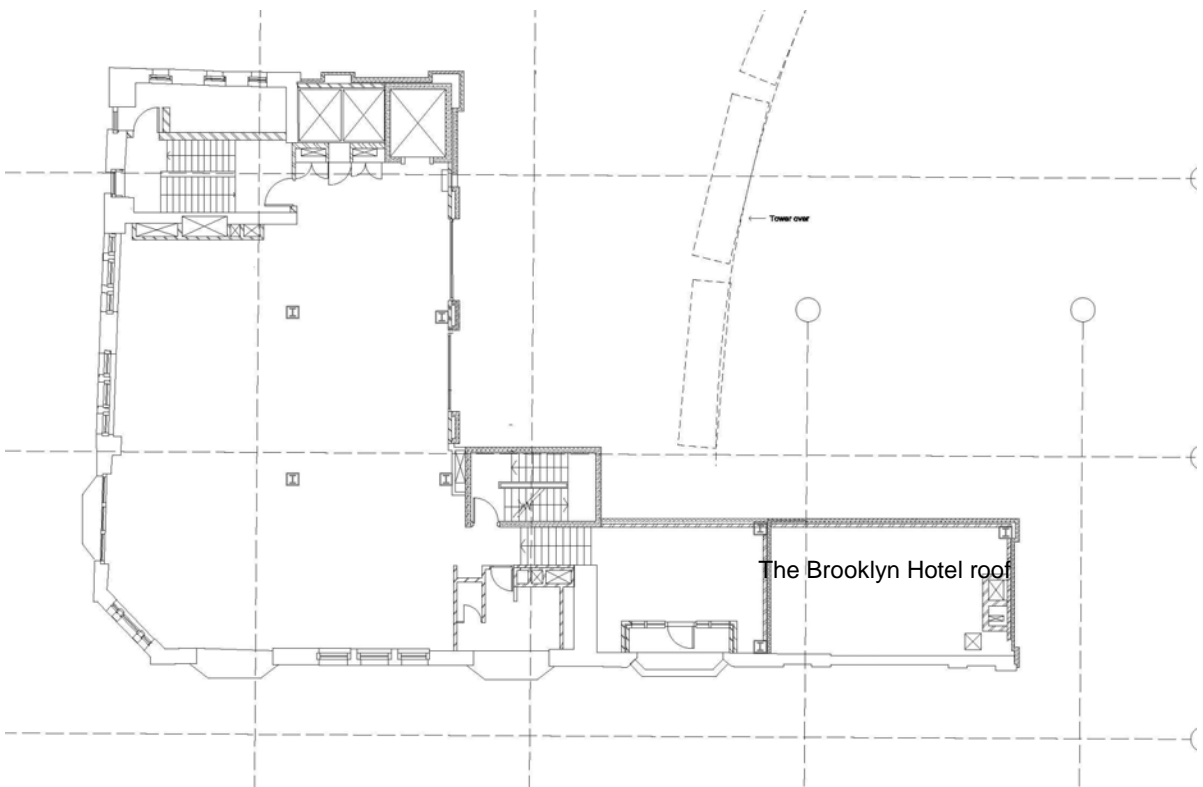


Figure 12 - Level 5/ Fourth floor plan

Source: Prepared by Studio MKN for SHFA 2012

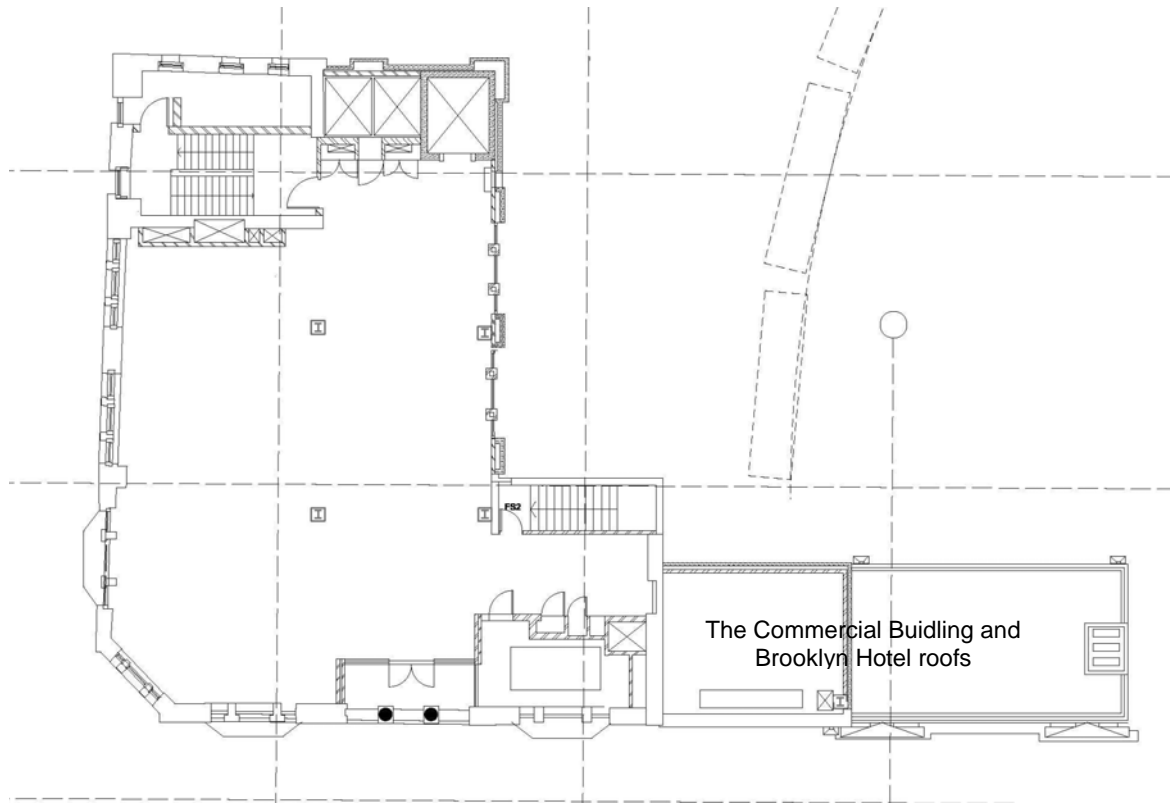


Figure 13 – Level 6/ Fifth floor plan

Source: Prepared by Studio MKN for SHFA 2012

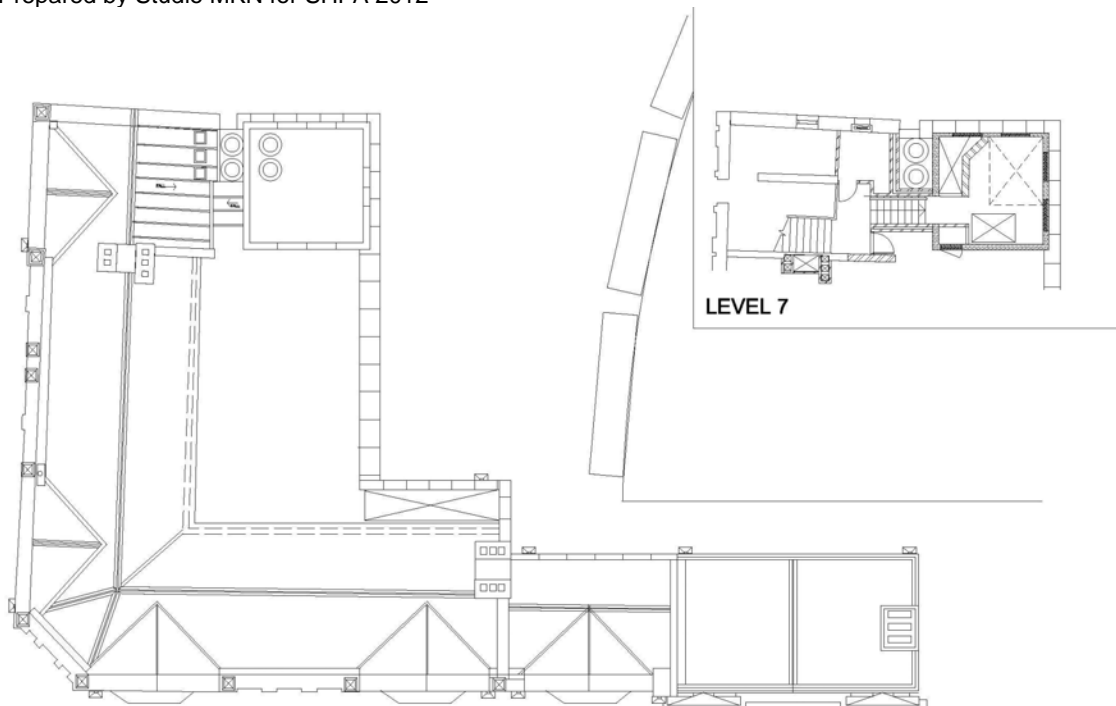


Figure 14 – Level 7/ Roof Plan

Source: Prepared by Studio MKN for SHFA 2012

1.6 Methodology and structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999*, known as *The Burra Charter*; the NSW Heritage Office's Guidelines on *Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

Urbis prepared three individual draft conservation management plans for the site in 2008. This CMP consolidates the three individual reports into a single volume with no additional site inspection or investigation.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the Chamber of Commerce building.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and photographic sources

1.7.1 Photographic Sources

Unless otherwise indicated, all photographs of the current site included in this report were taken by the author, Fiona Binns, for the purposes of writing this report. The site was initially inspected in November of 2007 though there have been subsequent inspections.

Photographs of the Johnson's group following the 1985 fire have also been provided by the NSW Heritage Office, with photographs of the 1980s building works provided by the Sydney Harbour Foreshore Authority. Sources have been acknowledged.

1.7.2 References and Repositories:

The Foreshore Authority

- The Foreshore Authority Archive files
- The Foreshore Authority Property files:
 - 07/01482 Pt 1 – Tenant and Asset Management Services, Planning Heritage and Urban Design 229 George Street – Brooklyn Hotel – SHR #01533 Foreshore Authority NSW Heritage Act Approvals
 - 07/01544 Pt 1 - Tenant and Asset Management Services, Planning Heritage and Urban Design 233-235 George Street, Johnson's Building SHR #01544 Foreshore Authority NSW Heritage Act Approvals- Under Delegation

- 07/01544 Pt 2 - Tenant and Asset Management Services, Planning Heritage and Urban Design 233-235 George Street, Johnson's Building SHR #01544 Foreshore Authority NSW Heritage Act Approvals- Under Delegation
- 03/01798 Pt 1 – Grosvenor Place management DA 526-10-03 Construction of New Bar after Demolition Brooklyn Hotel, Johnson Building, 229 George Street.
- The Rocks, Sydney NSW Australia, Prime Development D5,6,11 Preliminary Particulars May 1980 Sydney Cove Redevelopment Authority on behalf of the NSW Government
- Conservation Plan Sites D5, D6, D11 Sydney Cove Redevelopment Authority April 1983
- Grosvenor Place Historic Buildings Report on Design Proposals – Ken Maher and Partners Pty Ltd Architects for Grosvenor Place Pty Ltd July 1988
- Grosvenor Place Historic Buildings Report on Design Proposals – Ken Maher and Partners Pty Ltd Architects for Grosvenor Place Pty Ltd – Revision October 1988
- Sands Directory, 1863-1892 (George Street)
- SCRA tenancy cards
- Foreshore Authority Building Data Sheets
- The Rocks\Foreshore Authority historic correspondence files

State Records NSW

- Original plans and elevations – AO Plans 63186-63188 and 72255

NSW Heritage Office

- 'Statement of Cultural Significance 229, 231 and 233-235 George Street Sydney', prepared by Clive Lucas and Partners, September 1987
- 'Submission on application by Grosvenor Place Pty Ltd to demolish Edwardian buildings at 229-235 George Street cnr Grosvenor Street, Sydney'. National Trust NSW February 1987
- 'Report on No.s 231-235 George Street, Sydney "Johnson's Building", "Commercial Building", "Brooklyn Hotel" prepared for the Sydney Cove Redevelopment Authority' Wellings Smith and Byrnes, November 1985
- 'Comments on Written Representations on Environmental Impact Statement for Johnson's Corner Development, 229-235 George Street Sydney. Submitted on behalf of Grosvenor Place'. Wellings, Smith and Byrnes, August 1987

City of Sydney Council

- City of Sydney Heritage Database SHI numbers 2423760 and 2423758

National Trust NSW

- Original floor plans of the Johnson's Building and Commercial Building, including elevations and sections for the Commercial Building
- Correspondence and media information

State Library NSW

- 'Proposal to demolish buildings on the corner of George Street and Grosvenor Street: Environmental Impact Statement Assessment Report' The Rocks, Sydney Cove Authority November 1987

Newspaper and magazine articles:

- National Trust Magazine ' Surprise Move on old Sydney Buildings' February 1987 pp 7-8
- Sydney Morning Herald 'Ombudsman under fire on high rise complaint' September 12, 1985

Web Resources

- NSW Heritage Branch Website- Online Database
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053148
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053155
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053170
- Picture Australia: <http://www.pictureaustralia.org/>

- City of Sydney Archives digital photograph bank:
<http://www.cityofsydney.nsw.gov.au/ArchivesWeb/scripts/home.asp>

The author would like to gratefully acknowledge the assistance of Lynda Kelly (Archivist Librarian) of the Foreshore Authority and Elizabeth Robertson (Librarian) NSW Heritage Office in compiling historical information.

Michael Dysart, one of the architects of the 1980s Grosvenor development and Dale McBean of McBean and Crisp, the firm who carried out one of the fire assessment reports following the 1985 fire, were also contacted (by phone and email respectively) for information regarding the site. Michael Dysart has advised on both the fit out of the Brooklyn Hotel and the restoration works.

1.7.3 Limitations

A variety of plans have been used in this report, sourced from recent applications for alterations and additions, however, as the fit outs change with the tenancy and the occupancy of the building is always changing, a number of the plans do not reflect the most current fit out and some of the partitioning has been altered. This is noted on the appropriate plans. Where required, some minor deletions have been made to these plans, any changes have been acknowledged.

1.8 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions⁵:

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Related place means a place that contributes to the *cultural significance* of another place.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

⁵ Australia ICOMOS Burra Charter 1999, p. 2.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a *place*, as well as the activities and practices that may occur at the *place*.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

1.9 Authorship

This report has been prepared by Fiona Binns (Senior Heritage Consultant) B Arts, M Arts (Curatorial Studies) and revises and consolidates previous Conservation Plans for the site prepared by Urbis in 2008 and revised in 2010.

The content of the report has been reviewed and endorsed by Stephen Davies (Director Heritage) B Arts Dip. Ed., Dip T & CP, Dip.

Unless otherwise indicated, all images included in the report were taken by the author for the purposes of writing this report.

Historical Research was compiled by Mark Butler. (Ass. Dip. Inter.Des, Cert.Arch Drafting, Cert. Library Practice), Pam Lofthouse. (BSc, Dip Ed, MBA, M Herit. Cons (Hons)) and the author.

This document has been prepared following a template provided by the Foreshore Authority and already incorporated some historical background (refer section 2.1.1).

2 Documentary evidence

2.1 Thematic history

In order to better understand how *229-235 George Street, The Rocks*, developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The thematic framework identifies 38 principal themes.⁶ The organising principle for the thematic framework is the dynamism of human activity.

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁷

The State historical themes of *commerce and leisure* are used in this history to guide research questions, interpret the history and structure the narrative of the development of 229-235 George Street, The Rocks, within the context of the development of The Rocks.

2.1.1 Development of The Rocks

Indigenous Sydney –the Cadigal

Archaeological evidence for the Indigenous People of the Sydney Region suggests they have been in the area for 15000 years⁸ however earlier evidence may have been drowned when the sea levels and the harbour shoreline rose to approximately its current level around 6000 years ago. The people of the Port Jackson area around where the future city of Sydney would be built were of the coastal Dharug (or Darug) Language and were called, erroneously by the Europeans the Eora. The clan or subgroup who inhabited the southern side of the Harbour called themselves the Cadigal (or Gadigal). The Cadigal's name for The Rocks, or more specifically the western shore of Sydney Cove between Globe Street and Argyle Street was *Tallawolodah*, Sydney Cove itself was known as *Warrang* or *Warrane* and Dawes Point called *Tarra*⁹. In May 1788, Captain Arthur Phillip wrote to the Colonial Secretary estimating that the local indigenous population was 1500 people.¹⁰

Whilst the evidence may have been destroyed, it is unlikely that the Cadigal occupied The Rocks as a permanent base because of the rugged nature of the rocky topography. They did use the area extensively and flat stones by the shore at Dawes Point were used for cooking fish. In the 1870s a rock engraving of a whale was reported, but it appears to have disappeared when the seawall was constructed around 1880. A campfire dated to the late 1400s was excavated on the site of the Shangri-la Hotel in Cumberland Street in

⁶ Both the Australian Heritage Commission (national) and the NSW Heritage Council (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

⁷ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

⁸ Attenbrow Val. *Sydney's Aboriginal Past* Introduction p 3. 2003 University of NSW Press

⁹ Attenbrow 2003 Table 2.1 pp 9-13

¹⁰ *Historic Records NSW* 15 May 1788 Governor Phillip to Lord Sydney pp 121-36 Government Printer Sydney.

1989. The campfire was made for a single meal of rock oysters, bream, schnapper and other shell fish¹¹.

After the arrival of the Europeans in 1788, the Cadigal people were decimated by introduced diseases, the most notable event being the outbreak of Smallpox in April and May of 1789 which it is estimated killed at least half of them¹². However some Cadigal survived and continued to occupy the area, although they appear to have disappeared by the 1860s a group continued to camp around the boatsheds until they were moved out to La Perouse in 1881¹³. Some may have stayed, integrated into colonial society, or moved back into the area, in later years and Aboriginal men were employed on the docks and wharves and other maritime occupations.

The Convict Settlement (1788-1820)

When the British arrived in the First Fleet in 1788, the land around Sydney Cove was loosely segregated into different areas for the Government, Military, Administration, and the convicts' shelter. Government House was set up on what is now the corner of Bridge and Phillip Streets, where the Museum of Sydney now stands, the Military Barracks were approximately where Wynyard is now, Administrative necessities, such as the Hospital, dockyards, marketplaces and store were built along what is now George Street on the shoreline of Sydney Cove. The convicts were directed to set up their small tents 'on the rocks' of the peninsula on the western side of the Cove. Hence the name "The Rocks" was coined and it stuck, despite attempts in later years to change it. At the northern end of the peninsula, Lt Dawes built a small observatory, and named the area Port Maskelyne after the Astronomer Royal. The guns from the Sirius were set up to defend the infant colony and later a fort was constructed, Dawes Point Battery, and Dawes Point became the accepted name.

The first huts constructed on The Rocks were of wattle and daub, a simple technique of digging in postholes and intertwining branches between them for a frame, with clay daubed over it to attempt to make the structure weatherproof. These crude dwellings were soon replaced with small cottages and modest houses built of wood, stone and locally produced brick. As the colony grew in size and prosperity, several wealthy merchants and others constructed mansions on the upper levels of The Rocks. At first all the dwellings faced outwards to the harbour, displaying the reliance on the shipping that was the lifeline of the colony.

Archaeological investigations carried out in The Rocks since the late 1980s have found evidence of the building techniques and lives of the convicts. Although the evidence for the first wattle and daub buildings did not survive later development, the earliest house found in the archaeological excavations dates to 1795. The material culture recovered has given a greater insight into the lives of the convicts who lived in The Rocks and has helped to dispel the stereotype of the convict lifestyle as being desperately impoverished. Many of the convicts who settled in The Rocks were trades people from British cities who were transported for crimes against property such as forgery and theft. After the 1798 Rebellion in Ireland, numerous Irish were exiled, they considered themselves political prisoners, many settled in The Rocks. Regardless of why the convicts found themselves sent to Sydney, the archaeological evidence suggests that they lead far better lifestyles here than many could have hoped for in the homelands. Their diet was more varied and included more meat and varieties of fruit and vegetables than their contemporaries at home. They

¹¹ Godden Mackay Logan. *The Rocks – Heritage Management Plan* pp 7 Prepared for Sydney Harbour Foreshore Authority June 2001

¹² Bennelong's Estimate to Phillip 13 Feb 1790 in Historical Records, letter from Governor Phillip to Lord Sydney pp 304-10

¹³ Hinkson Melinda. *Aboriginal Sydney* pp xix 2001 Aboriginal Studies Press Canberra

also had the means to equip themselves with household items such as crockery, some of it quiet fine and expensive and to decorate their homes with figurines and exotic curios. Some made substantial fortunes in pursuits such as mercantile activities and shipping, opportunities that they may not have had in their homelands.

Although land at Parramatta, or Rose Hill as it was initially known, had been settled soon after the arrival of the First Fleet, the initial concentration of the population was around The Rocks. Free settlers began arriving in the Second Fleet, landing in Sydney in 1790, and land grants further west of Sydney was taken up by them and convicts to start farming. The concentration of the population in The Rocks began to thin, and those who remained consolidated larger areas around themselves for yards and gardens on permissive occupancies, there were no title deeds. When Governor Macquarie arrived in 1810, he began to formalize the ownership, a daunting task as land had been bought and sold, passed along in families, and leased out. Permanent occupiers of land in The Rocks had to present submissions to the Government to prove their long term occupancy and/or the legitimacy of their claims to the land. Town leases were set up and people were forced to register the land they occupied and pay a fee to the colonial secretary.

Governor Macquarie also formalised the town layout and named the streets. The main road, High Street became George Street after the ruling Monarch, King George III. Other streets in The Rocks lost their local names; Church Row, Windmill Row and were replaced with regal or viceregal titles after various Lords and Aristocrats in Britain.

The Port Town (1800-1900)

Although Sydney was founded as a penal colony, it soon became a busy bustling Port Town. Robert Campbell led the way for free merchants; many would make fortunes from the dependence of the colony on goods brought in by ship. Campbell was fundamental in initiating the first export industries by starting the whaling and sealing fisheries. Along with trade to Southeast Asia, the fisheries attracted mariners and The Rocks became the centre of the maritime industry. Soon after the wool industry began to boom, increasing the amount of shipping from Sydney. From the early 19th Century the waterfront was extensively developed with wharves and warehouses. Numerous The Rocks men were involved in the maritime industry, either as directly employed on ships and boats or employed in jobs that supported the shipping. Many of the Hotels operating through the 19th Century reflected the importance of the maritime industry, with names such as "The Whalers Arms" "Marine" and "British Seaman's Hotel".

The arrival of Governor Macquarie saw the formalization of land ownership and the opening of areas beyond Sydney for free settlers and time expired convicts. Promises of large tracts of land for well off settlers encouraged immigration and assisted immigration began in the 1820s. This caused a population boom and landowners in The Rocks and other parts of Sydney began to subdivide their land and build tenements and terraces. The pressure for housing became greater in the 1850s when the Gold Rushes began. Absentee landlords exploited this and ran up housing that was quick and cheap to build, unfortunately they did not always keep up the maintenance of their buildings. By the late 19th Century the population density in The Rocks was among the highest in Australia. The area was considered a slum from around the mid-19th Century, it was a typical waterfront area with its numerous pubs and prostitutes, the rundown housing and buildings contributed and Sydney had begun to spread into suburbs with freestanding homes and gardens. This and other older suburbs working class suburbs were not considered healthy by the middle classes.

When the Bubonic Plague arrived in Sydney in 1900 it was thought that the densely occupied Rocks would be hard hit. Of the 103 deaths from the plague only 3 were people in The Rocks. The plague had been brought to Sydney by ship and the Government was

forced to clean up the waterfront because of the panic the disease caused. The Rocks, along with Darling Harbour, Millers Point and other waterfront areas were resumed and cleansing operation and demolitions of substandard buildings and wharf areas commenced. The Sydney Harbour Trust was formed to bring the waterfront up to world class standards along with this came the responsibility to construct workers housing to ensure a local labour force that could respond to the irregular hours required on the wharves.

Redevelopment (1900-current)

The newly formed State Government Housing Board designed and built “workers” housing in 1911-13. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of “terrace” housing as being unhealthy; this being the period of sub-urban expansion and the development of the “Garden Suburb” ideal. The First World War halted much of the Government’s redevelopment plans for the area and effectively stopped further demolition.

In the inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War & Glenmore), and some NSW Government offices (Housing Board, Dept of Labour & Industry, State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair’s butchers, Bushell’s, Cadbury’s). These factories and the waterfront employed locally based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953 and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932 saw the demolition of some 400 buildings in The Rocks, including housing, shops churches and pubs. The western side of Cumberland Street, much of Lower Fort Street and all of Princes Street were completely cleared for the building of the Bradfield Highway.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c1932-1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex St (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as one of the post-war immigration gateways to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The “Wallace Scheme” was accepted as the successful tender but the plans did not eventuate. The building boom in the 1960s changed the CBD with high rise construction and land at The Rocks, seen as the gateway to the CBD became more valuable, although the building stock had been let run down. In 1970 the Sydney Cove Redevelopment Authority was formed with the charter to plan redevelopment:

‘in an economically feasible way, with a maximum financial return, at the same time taking advantage of its location, setting and historical links.’

The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development and in 1973 a “Green Ban” was placed on any demolition in The Rocks, although restoration of buildings was allowed. SCRA was forced to give in to their demands and local residents were re-housed in the area. Whilst SCRA originally planned to restore historic buildings north of Argyle Street, the Green Ban ensured that much more of the historic built environment also remained. The area south of the Cahill Expressway, known as the “sacrificial zone” was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

2.1.2 Development of the precinct

The development of the precinct ("Site D5") containing the Johnson's building group, has been addressed in detail in the Sydney Cove Redevelopment Authority's (SCRA) *Conservation Plan for Sites D5, D6, D11* (April 1983), and the SCRA 1980 *Preliminary Particulars D5, D6, D11* report. The following summary draws heavily from those sources.

As noted above, following the outbreak of the bubonic plague in Sydney, the State Government acquired an area of some 12 hectares, including the subject site, for slum clearance and redevelopment. The area was resumed by the Crown in December 1900 under the Public Works Act 1900, in conjunction with the Darling Harbour Wharves Resumption Act 1900. Development control was vested in the Minister for Public Works and a Public Works Board, which included the Government Architect Walter Liberty Vernon and was appointed to submit proposals for remodelling the resumed area¹⁴.

The widening of George Street to a uniform 80 feet (24.4 metres) north of Grosvenor Street, which was carried out by the Public Works Department in 1912, was part of the approved redevelopment plan and all of the buildings dating from the 1840s to the 1880s along the George and Grosvenor Street frontages in the precinct were demolished.

The Johnson's Building, Commercial Building and Brooklyn Hotel (229-235 George Street) were part of the new commercial streetscape which emerged under the guidance of Vernon. The Brooklyn Hotel and former Chamber of Commerce Building/ Johnson's Building were built in 1912, while the Commercial Building (231 George Street) was constructed later in 1913-1914 for the Housing Board¹⁵. The road widening was regarded as one of the great metropolitan improvements of the Edwardian period and the Annual Report of the Department of Public Works to 30th June 1913 commented that "amongst the most important buildings completed through the year were the shops and premises at the corner of George and Grosvenor Streets and the Brooklyn Hotel."¹⁶

¹⁴ Wellings, Smith and Byrnes, 229-235 George Street - Environmental Impact Statement, 1987, p17.

¹⁵ The building group has been collectively addressed in the following documents associated with the 1980s Grosvenor Development: 'The Rocks, Sydney NSW Australia, Prime Development, D5, 6, 11 Preliminary Particulars, May 1980'. Sydney Cove Redevelopment Authority on behalf of the NSW Government and 'Conservation Plan Site D5 D6, D11' Sydney Cove Redevelopment Authority, April 1983.

¹⁶ Clive Lucas and Partners, Statement of Cultural Significance, 229, 231-35 George Street, Sydney, 1987, p1.

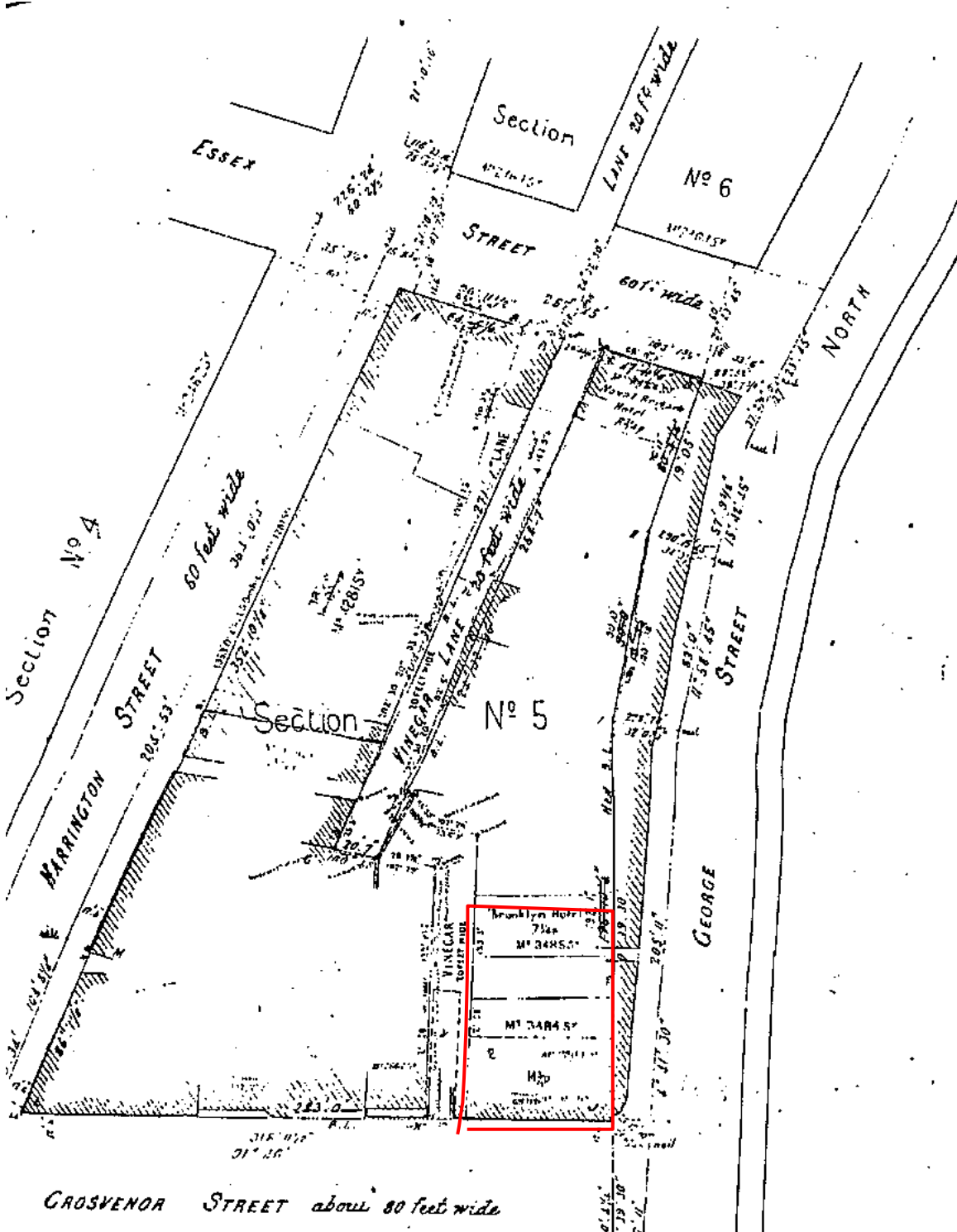


Figure 15 – George Street alignment plan 1905 with the approximate subject site indicated.

Source: Land Department plan reproduced in SCRA Site D5, 6, 11 Conservation Plan 1982

The Chamber of Commerce Building and the Brooklyn Hotel were designed to enhance the city streetscape and responded to the architecture and form of the neighbouring 1890s Royal Naval House, which was extended by Vernon in 1907, and the late Victorian Federation Hall at 24-30 Grosvenor Street. As a group, the Federation Hall, Royal Naval House and the Johnson's building group have considerable significance. All facades contribute to the overall richness of the group and have important landmark qualities

largely due to their location on the north-west corner of a major intersection.¹⁷ They also relate to the Burns Philp office and the Metropolitan Hotel buildings, diagonally opposite on the Bridge Street corner. Significant views are available to the building group from the north and south of George Street, as well as from Lang and Bridge Streets.

The former ground floor tenancies were associated with retailing and hospitality, in particular the Johnson's Overalls business which operated in the Chamber of Commerce (Johnson's) Building until 1981. In association with this use, the building was known colloquially as "the Johnson's Building" and this is reflected on the restored awning signage which reads "The Johnson's Corner".



Figure 16 –Johnson's Group 1912 prior to the construction of the Commercial Building. The subject site is indicated.

Source: GE31 (The Foreshore Authority), SAO COD 121B 1719 as reproduced on the NSW Heritage Office website

http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053170&imageid=5000666



Figure 18 – Streetscape view from Bridge Street showing the Edwardian building group



Figure 17– Johnson's Group 1963. Note the scale of the buildings along the western side of George Street.

Source: City of Sydney NSCA CRS 48/3685, 2 Oct 1963



Figure 19– View of the high rise tower opposite the Johnson's group at the southwest corner of

¹⁷ NSW Heritage Office Online Database.

with Grosvenor Tower behind.

the intersection



Figure 20– George Street/ Grosvenor Street intersection, as viewed from Grosvenor street



Figure 21- View west along Grosvenor street with partial view of Royal Naval House at right

Much of this section of The Rocks, particularly along the George Street frontage, has been heavily developed since the 1970s/80s and coupled with the Bridge Street buildings (the Burns Philp and the Metropolitan Hotel) the Johnson’s group and the adjoining Royal Naval House and Federation Hall provide a significant remnant of Edwardian commercial building. The group provide a human scale in an area dominated by high rise development.

2.2 Historic themes

The Heritage Council of NSW has established 36 historical themes relevant to the State. These themes correlate with the National and Local historical themes. Historical themes can be used to understand the context of a place, including the influences which have shaped that place over time. The table below lists the historical themes at each level as applicable to the subject site.

Australian Theme	State Theme	Local Theme	Example
3. Developing Local, Regional and National Economies	Commerce	Activities relating to buying, selling and exchanging goods and services	Associated with the various commercial uses and phases of occupancy of the site.
4. Building Settlements, Towns and Cities,	Towns, suburbs and villages	Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages	Subdivision and resumption for road widening.
4. Building Settlements,	Accommodation	Activities associated	Associated with

Towns and Cities,		with the provision of accommodation and particular types of accommodation	the dual commercial/residential function of various site buildings and pases of occupation.
5. Working	Labour	Activities associated with work practises and organised and unorganised labour	Associated with the various labour functions at the site.
7. Governing	Government and Administration	Activities associated with the governance of local areas, regions, state and the nation and the administration of public programs – includes both principled and corrupt activities	Associated with the various former govt uses and occupamts including the Chamber of Commerce, State Metal Quarries, Department of Labour and Industry of NSW, and the Women's Employment Agency.
8. Developing Australia's Cultural Life	Leisure	Activities associated with recreation and relaxation	Associated with the varios Hotel functions at the site
9 Marking the phases of life	Persons	Activities of, and associations with, identifiable individuals, families and communal groups	The site is associated with former and well known Government Architect W. L. Vernon and more broadly with the Govt. Architects Office

These themes have been used in the following historical summary to structure the narrative of the development of 229-235 George Street within the context of the development of The Rocks.

2.3 Initial development of the site

The following historical summary has been sourced primarily from the SCRA's 1983 Conservation Management Plan.

The subject site occupies part of the area reserved as the first Military Parade Ground for the Colony of NSW. Two bonded stores were situated on the western side and High Street (now George Street) led from the northern end of the parade ground. Charlotte Place (now Grosvenor Street) also ran from the parade ground.

Following the 1809/10 formalisation of the land leases in the area, and the reconstruction of the roads, the corner of George Street and Grosvenor Place gained its current configuration (apart from the 1912 road widening). The portion of land on the corner remained in Government ownership while the adjacent land (with both George Street and Grosvenor Street frontages) was claimed by Robert Howe on the basis of a land grant promised to his father by Governor Macquarie. Howe was the eldest son and successor to George Howe, the Government Printer and founder of Sydney's first newspaper, the Sydney Gazette. Robert Howe and the Gazette office occupied premises on that land from 1824 until 1828.

In 1831 the land on the corner was subdivided into four lots, with the government retaining ownership of an access lane from Grosvenor Street.

The corner lot was purchased in 1831 by Anthony Hordern, and remained in the family's ownership until it was resumed in 1901. Anthony Hordern (1819–1876) was a draper, land speculator and local government councillor, who with his brother opened a drapery on Brickfield Hill during the 1840s. Anthony Hordern & Sons became one of the major retailing dynasties in Australia.¹⁸ Hordern erected a house and shop (Nottingham House Drapery) on the corner, and it had a variety of uses, including drapery, fruiterer, confectioner, restaurant and wine saloon before it was demolished in 1911.

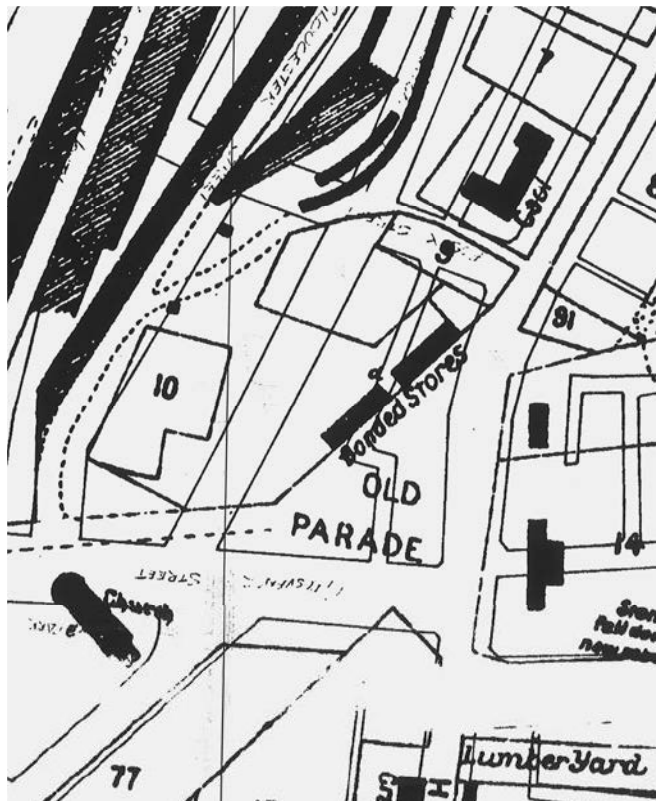


Figure 22– Extract from James Meehan's 1807 Survey with the present streets overlaid on the parade ground

Source: SCRA Conservation Plan 1983, p18.

¹⁸ Australian Dictionary of Biography Online, www.adb.online.anu.edu.au

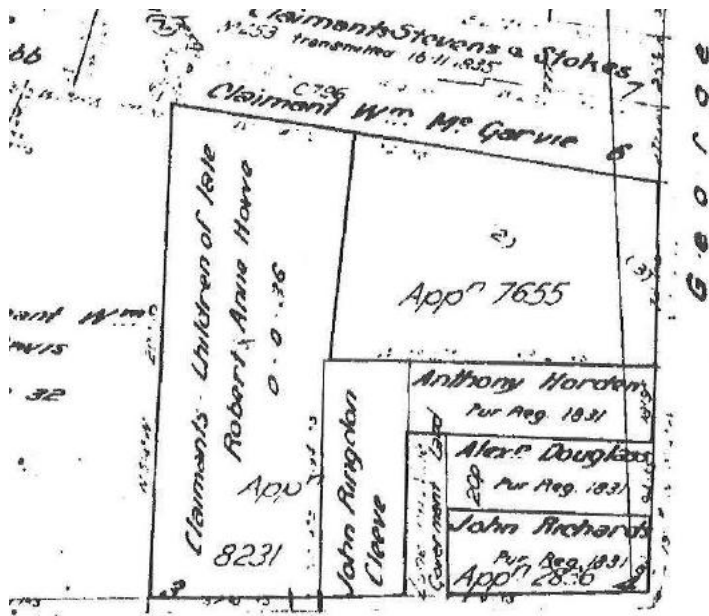


Figure 23– The subdivided corner site in 1840. Howe’s land adjoins it to the north and west. A line indicating the later George Street widening is also shown. Note that the map has transposed the names of Hordern and Richards.

Source: Registrar General’s Department, City Section 62, c1840-1978, as per SCRA Conservation Plan 1983, p20.

By the mid 19th century, the subject site comprised of a “splendid dwelling house” built by John Cleeve on the Grosvenor Street frontage, the ground floor of which appears to have been used as a butcher shop, a small infill dwelling adjacent to Cleeve’s house and the Hordern Drapery and residence on the corner of George and Grosvenor Streets.

On the George Street frontage the site incorporated a shop and residence purchased by Alexander Douglas in 1831 which had a variety of uses, and a shop purchased by John Richards, which was developed in conjunction with Cleeve’s Grosvenor Street site and the two sites were later used as a hotel and a dining room. The approximate area of the Commercial Building site was occupied by watch and chronometer- maker, Mr Dawson’s combined shop/ residence until c.1862 and thereafter the premises operated as a restaurant in the 1880s. The approximate site of the Brooklyn Hotel was occupied by another shop/residence, which was part of a group of comparable terrace style buildings.

They were demolished in 1911 for the widening of George Street.

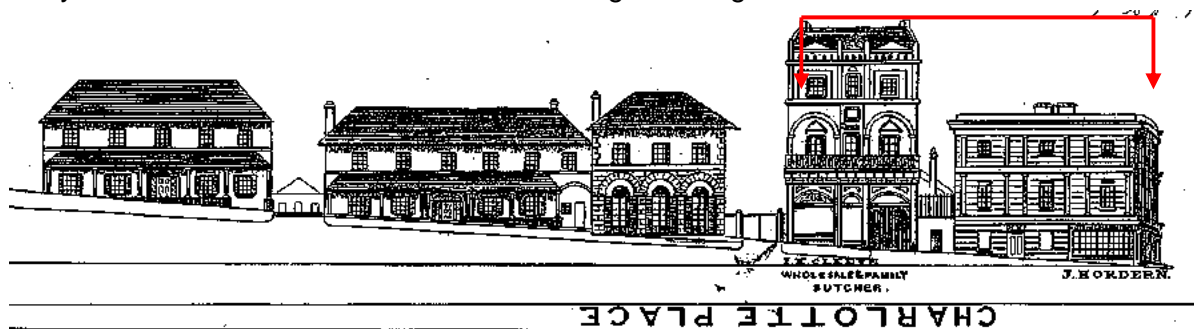


Figure 24 – Grosvenor Street (then known as Charlotte Place) in 1848, showing Cleeve’s house and shop (second from right) and Hordern’s house and shop on the corner (right).

Source: J Fowles, *Sydney in 1848*, 1962, as reproduced in SCRA Conservation Plan 1983, p29.

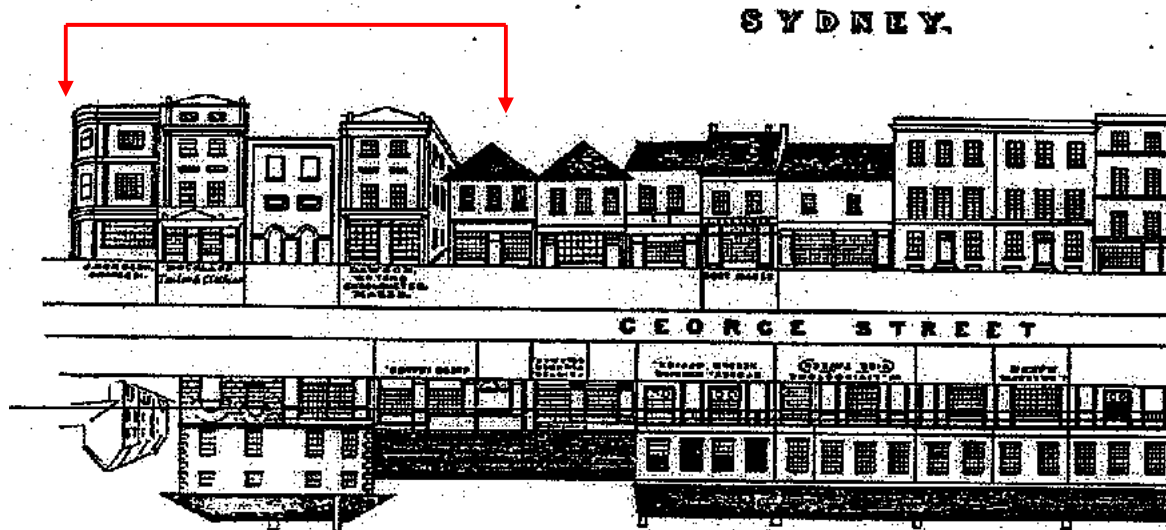


Figure 25 – George Street 1848

Source: Fowles, J. Sydney in 1848, facsimile ed Ure Smith in association with the national trust of Australia 1962. As reproduced in the 1983 CMP for SCRA (illustration 4)

The terrace on the Brooklyn Hotel site was occupied variously and was used as a Public House in the 1840s and 1850s and thereafter as a shop and residence with a variety of uses with tenants occupying the site including a cabinet maker in 1870, a locksmith in 1875 and an Importer and tobacconist in the late 1870s/ 1880s. The terrace was demolished between 1882 and 1884 and a new four storey Italianate Hotel building was erected. The Hotel was originally known as the Sydney and Melbourne Hotel and was renamed the Sydney Palace Hotel in 1889 and finally The Brooklyn Hotel in 1898. Johnson's Drapery also traded in one section of this building into the early 20th century.

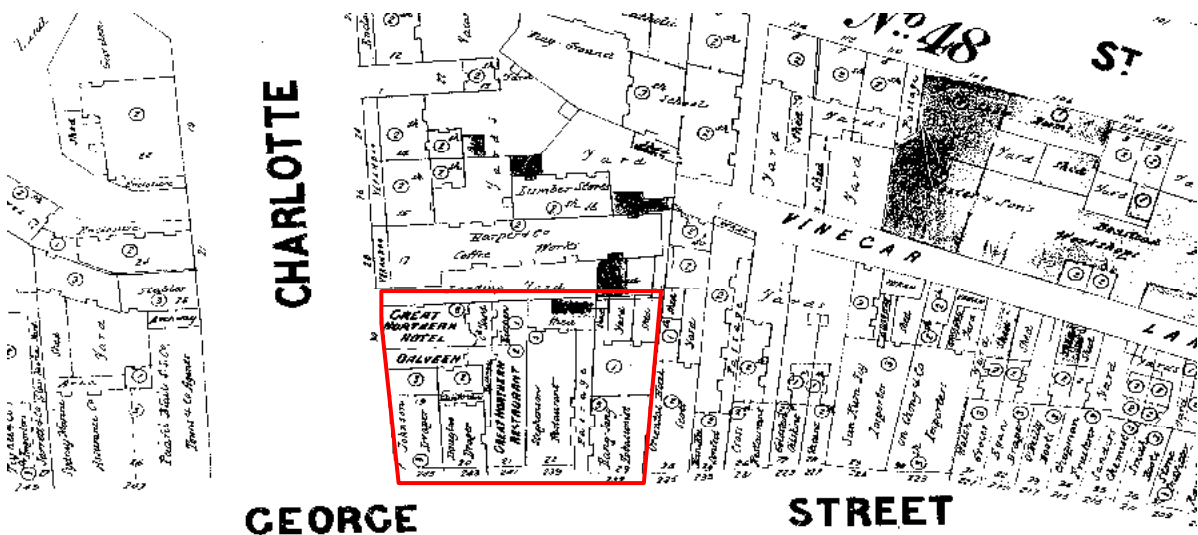


Figure 26 – Percy Dove's Map of Sydney 1879-1883 with the approximate site area indicated

Source: SCRA CMP 1983, Map 5 p. 22



Figure 27 – Corner of George and Grosvenor Streets c.1909. From the left: the Dudley Dining Rooms (previously Cleeve’s shop), Dalveen’s house, Wine saloon (on the corner), H C Allen’s (previously Douglas’ Drapery), Dudley Dining Rooms (previously George Street entrance of Cleeve’s shop), restaurant (previously Dawson’s house at 231 George Street) and a partial view of the former Italianate Brooklyn Hotel (229 George Street).

Source: City of Sydney Archives NSCA CRS 51/372-
<http://www.cityofsydney.nsw.gov.au/ArchivesWeb/scripts/ExtSearch.asp?SearchTerm=000589>



Figure 28 – The former Victorian Italianate Brooklyn Hotel building (far left) and associated building group to the north of the subject site.

Source: Private collection as reproduced in the 1983 CMP for SCRA (illustration 6)



Figure 29 – The former Italianate Brooklyn Hotel and adjacent shop/ residences

Source: SHFA Undated (prior to 1911)

On the 5th of December 1911, an application was lodged with the City Council to demolish all seven buildings on the subject site in conjunction with the proposed road widening. The widening also required the demolition of the northern adjoining buildings on George Street.

It appears from the Rate Assessment Books and Sands Directory that the Chamber of Commerce Building (Johnson's Building) and The Brooklyn Hotel were erected at the same time, in 1912¹⁹. A temporary Brooklyn Hotel was located on the adjoining site, at 231 George Street, (the site of the Commercial Building) prior to the construction of the new Hotel. The temporary bar was a simple single storey structure designed by George McRae, who worked under Vernon in the Government Architects office.

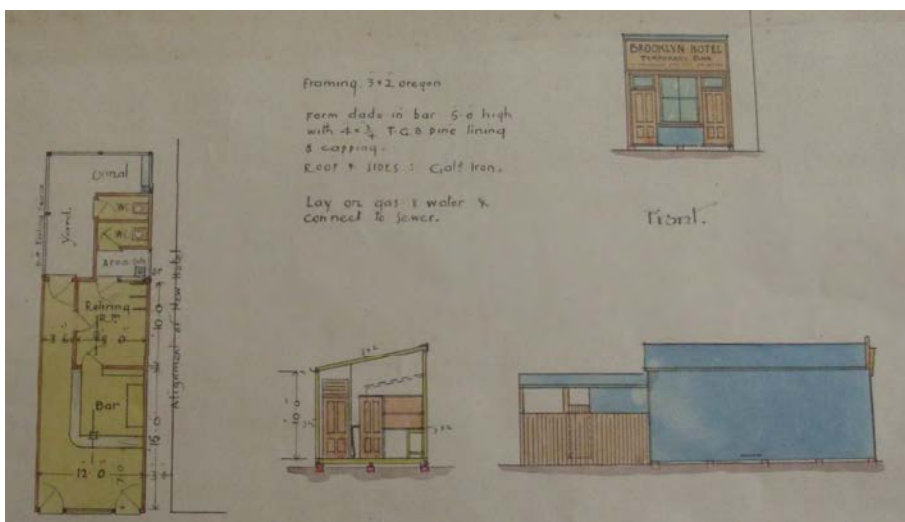


Figure 30 – The temporary Brooklyn Bar was built on the adjoining Commercial Building site in 1911 to the design of Assistant Government Architect George McRae. The plan shows the front and side elevations, as well as a floor plan and sectional views.

Source: State Records NSW AO Plan 63187 (07/06/1911)

¹⁹ The Conservation Plan Sites D5, D6, D11 SCRA, April 1983 pp. 7-8



Figure 31 – 1912 view of the newly constructed Chamber of Commerce Building on the corner of George Street and Grosvenor Street and Brooklyn Hotel (at right). The single-storey temporary bar is also shown on the site of the Commercial building.

Source: Foreshore Authority, GE31, SAO COD 121B 1719 as reproduced on www.heritage.nsw.gov.au



Figure 32 – The building group – June 1914 showing the completed Commercial Building

Source: State Library NSW- Government Printing Office 1 - 32249

The Chamber of Commerce Building was officially opened in December 1912. The Chamber occupied the first floor and various commercial tenants leased the upper floors. James Johnson, who had previously occupied the Hordern Building and later the Douglas Building with his drapery store, was the first tenant in the ground floor of the Chamber of Commerce Building. The outfitting, tent making and drapery business remained at the site until 1981. The firm was also known as Johnson's Overalls, with a range of chef's and stewards' clothing and equipment. Due to this long association with one tenant, the building has become known as the Johnson's Building, and the group of three buildings including the Commercial Building (231 George Street) and the Brooklyn Hotel (229 George Street) is now referred to as the Johnson's group. The corner is known as Johnson's Corner.

The Commercial Building (231 George Street) was constructed c 1913-1914. In 1915 the City of Sydney Rate Book listed the State Metal Quarries as tenants of a four-storey brick structure with an iron roof. The 1915 *Sands Directory* lists the occupant as the Department of Labour and Industry of NSW, Women's Employment Agency.

2.4 History of the occupation of the site

2.4.1 The Brooklyn Hotel site

Leaseholders/ owners of the subject property are summarised in Table 1. The list is based on the Sands Directory listings and other documentation (where sourced).

Table 1 – Occupants/ use of the Brooklyn Hotel site

Date	Occupant	Use
Early Victorian shop/ residence		
1849	R. Seftwick	Public House
1851-2	G. Howards	House
1855-56	J. Gibbins	Public House
1858-67	William Calder	Residence and draper
1868	Mrs Euphemia Calder	Clothier
1869	Peter Gaffney	Tailor
1870	Hy Hip	Cabinetmaker
1871-3	Woo Lung	Cabinetmaker
1875	John Webber	Locksmith
1876-7	San Hung Jang	Clothier
1879-80	Sun Hung Jang and Co.	Importers, fancy goods
1882	J. Mow Moy	Importers
1883-84	Sun Hung Jang and Co.	Importers
Late Victorian Italianate Hotel		
1885	John Johnson	Sydney and Melbourne Hotel
1886-87	Thomas Davies	
1888	Mrs Alice Goggins	
1889-90	Zurbano Bonifacio	Sydney Palace Hotel
1891	M. Arenas	
1892	Peter Ling	
1898		Trading as the Brooklyn Hotel
1900	Resumed by the Crown under the Public Works Act, 1900	
1911	Unoccupied/ Hereafter owned by the NSW Government	Unoccupied
Federation Edwardian Hotel		
1912	New Building erected	Hereafter trading and operating as the Brooklyn Hotel
1928	Lessee: J. Gant	

Date	Occupant	Use
1928	Transfer of lease to C. McDonald Mortgage: Reschs Ltd	
1930- 1933	Lessee: William Richard Hall	
1933	Lessee: John Hall	
1944	Lessee: Mrs Mary Hall	
1944	Lessee: Mrs Purtell	
1947	Lessee: G.W Stanton	
1950	Lessee: Mrs A.V Wilkins	
1951	Lessee: H.V Sprod	
1953	Lessee: J.D Lynch	
1954	Lessee: S. Leslie	
1955	Miss G. ODonnell	
1955	J.F Grant	
1956	Mr D.T Stowe	
1957	Mr. A Seales	
1959	Mr. Searle	
1960-62	Mr. L. Orford	
1962	Mr. G.W Burgh	
1963	Mrs. Burke	
1966	I.F Tishler	
1967	Mr T.P McKenna	
1968	Mr. Paul John Farrell	

2.4.2 The Commercial Building site

The leaseholders and owners of the subject site (where they could be identified) are summarised in Table 2.²⁰

Table 2 –Occupants/ use of the Commercial Building site

Date	Occupant	Owner	Use
Early Victorian shop/ residence – Mr Dawsons House			
1848 - 1862	T Dawson	Robert Howe	House
1863	Tin War		
1867	Tin HIng		
1870	Peter Gaffney		Tailor
1871	R Gray		
1875	Thomas Joseph		Restaurant
1877	A Trates		
1880	John Stephenson		
1882	Joseph Dussere		
1885 - 1888	Q Wibart		City Restaurant
1889-1896	James Victor		Restaurant
1897	R P Boger		
1898 - 1905	Peter Pooch	NSW Government	
1907	McPherson		
1908 - 1911	W Butcher		Bird & Animal Dealer
1912 - 1913	Brooklyn Hotel		Temporary Bar
New Building: 1914 - 18	Department of Labour and Industry of NSW, Women's Employment Agency		Government departments
1919 - 1933	State Metal Quarries J Seymour		Government departments

²⁰ Sources include the Sands Directories, the City of Sydney Rate Books, the City of Sydney Archives Street Cards and the SCRA Conservation Plan 1983.

Date	Occupant	Owner	Use
			Dyer
1956	Geoff K Gray & Co		Auction Salesrooms
1962	Messrs Sardie, Gelbert & Agranovsky		Disposal and general merchandise store
1963	J & O Milk		Coffee lounge, sandwich and cake shop
1968	J & O Milk Maritime Services Board		Coffee shop Government department
1973	J & O Milk		Coffee shop Pastry manufacturing
Post 1989	Brooklyn Hotel Various commercial tenants		Hotel and offices

2.4.3 The Johnson's Building site

The leaseholders and owners of the subject site (where they could be identified) are summarised in Table 3.²¹

Table 3 – Occupants/ use of the Johnson's Building site

Date	Occupant	Owner	Use
Mr Cleeve's House, Grosvenor Street (together with the George Street frontage)			
Pre 1845 - 1865	John R Cleeve	John R Cleeve (Grosvenor Street frontage) John Richards (George Street frontage)	House and butcher shop
c1870 - 1877	D T Moody		Butcher
1880 - 1881	Henri de Josselin		Pastrycook
1882 - 1908	Great Northern Hotel	NSW Government from 1901	Hotel
1910	J Nelson		Dining Room
1911	Borrowdale Brothers		Dudley Dining Rooms
Hordern House (Corner Grosvenor and George Streets)			
1845 - 1861	J Hordern	Anthony Hordern	House
1863	J Kerr		
1865 - 1895	James Johnson		Draper and Clothier
1897 - 1899	P E Franciscovitch		Fruiterer
1900	C J Binns		
1901 - 1904	A Chazel	NSW Government from 1901	Confectioner and restaurant
1905 - 1908	E Bartholemy		
1909 - 1911	Peter Pic		Wine saloon
Douglas House (George Street)			
1845 - 1883	Alexander Douglas	Alexander Douglas	House and drapery
1884 - 1895	James Johnson		Draper and clothier
1897 - 1901	James Pavie	NSW Government from 1901	Restaurant

²¹ Sources include the Sands Directories, the City of Sydney Rate Books, the City of Sydney Archives Street Cards and the SCRA Conservation Plan 1983.

Date	Occupant	Owner	Use
1904 - 1905	Roy's Photographic Studio		Photographer
1906 - 1907	Gummersall		Restaurant
1908 - 1910	A Chazel	NSW Government from 1901	Confectioner and restaurant
1905 - 1908	H C Allen		
Johnsons Building			
New Building 1912 - 1981	<u>Ground floor:</u> Johnson's Ltd	NSW Government	Drapers
1919 (one year selected to show an example of the type of tenants)	<u>First floor:</u> Sydney Chamber of Commerce <u>Second floor:</u> Messageries Maritimes S S Co, Hy Fisher, Gen Profs Delivery Co C H Willmott <u>Third floor:</u> Fed Past Shearing Co, Samuel Turner B W Ford Geo Evans T M Scheele Brodziak Ltd		Government department Merchant Carrier Advertising agent Shearing Co Salt & jute agency Architect Broker Manufacturing agent Merchants
1919 (one year selected to show an example of the type of tenants)	<u>Fourth floor:</u> Arthur Kidman Fed Food Sup Co J W Clough J Beanland <u>Fifth floor:</u> Weston Co Ltd Capilla Ltd Walter Reeks E P Willmott Queen Victoria Club Women's Reform League		Exporter Providores Wool Buyer Wool Buyer Advertising specialists Hair tonic Naval architect Accountant Club Association

As part of the redevelopment of the Grosvenor Place site with a high-rise tower in the late 1980s, the Johnson's Building, the Commercial Building and the Brooklyn Hotel were partially demolished and amalgamated to form single floor tenancies. The ground and first floors across the three sites were re-fitted as the third Brooklyn Hotel on the site. The fit-out was designed by Gordon McDonald, of Michael Dysart and Partners.

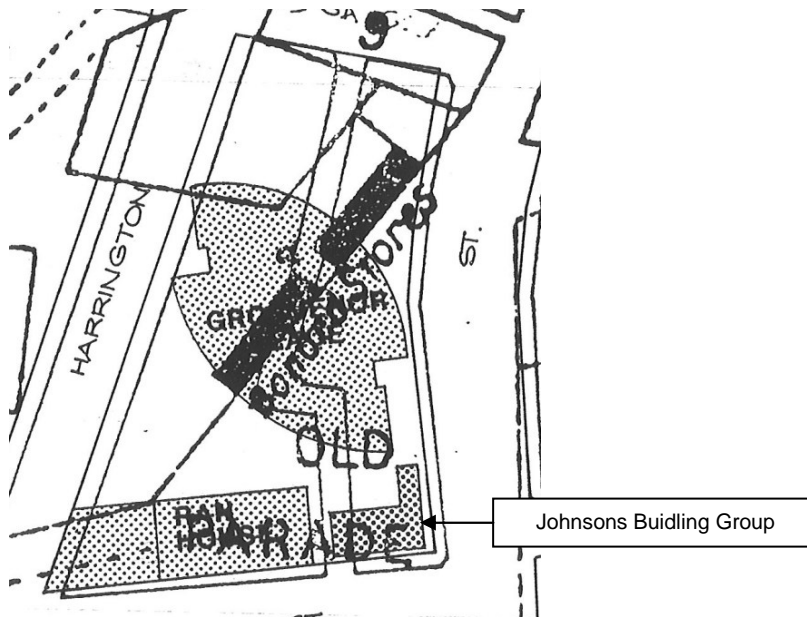


Figure 33 –Site plan of the precinct

Source: Wellings Smith and Byrnes, Environmental Impact Statement, Figure 6, 1987.

2.5 Development of building components

2.5.1 The Brooklyn Hotel/ 229 George Street

The Hotel was designed by W. L. Vernon before his retirement in November 1911, and shows the marked influence of the style developed during his incumbency.²² Clive Lucas noted in the 1987 Statement of Cultural Significance a similarity to the European and British Edwardian developments of the period. He also noted that Vernon had a large staff, including a number of Scottish architects like William Moyes, who trained under Charles Rennie Mackintosh in Glasgow.²³

The building is constructed of brick and sandstone and features a centrally positioned bay window feature running through the first and second floors with triangular pediments over the third floor bay. In common with the other buildings in the Johnson's group, the building displays a vertical emphasis achieved by the overall proportions of the building and by the use of narrow windows²⁴. The cantilevered awning was one of the innovations of the group, and was the first documented use of this style in Sydney. Building magazine of November 12, 1912 credited the work to W.L Vernon.²⁵ The awning has since been rebuilt.

Original plans and elevation for The Brooklyn Hotel are held at State Records NSW with copies shown below at figures 34-43. It is clear from the elevation that the façade is virtually intact, with the exception of the loss of the roof element on the south side. The shopfront detailing is limited. The ground floor plan shows a fairly traditional internal arrangement for Edwardian Hotels of the period. The original Brooklyn Hotel featured a public bar at the front and sitting room to the rear with stair access to the upper levels, via a separate hall, opening to the street. The position of the bar is not clearly indicated on the Vernon plan and there are no details of the internal fit out, however the bar is shown as

²² Supplementary submission in response to an EIS prepared by Grosvenor Place Pty Ltd in relation to a proposal to demolish the Edwardian Building Group at 229-235 George Street, cnr Grosvenor Street, Sydney. Prepared by the National Trust 7 August 1987, p. 2

²³ Clive Lucas and Partners op.cit p. 2

²⁴ Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building", "Commercial Building", "Brooklyn Hotel". Prepared for SCRA November 1985, p. 14

²⁵ Building magazine November 12, 1912 as reproduced in Clive Lucas and Partners op.cit p. 2-3

centrally configured on the later 1916 plan, shown at figure 44. This configuration was typical of other narrow terrace style hotels in The Rocks, such as the Fortune of War Hotel at 137 George Street.

Since the 1912 construction, the hotel has had a fairly colourful patronage, associated mainly with three other historical institutions in the immediate area, being the Julian Ashton School of Arts, the Bulletin (located on George Street between 1896 and 1964) and Royal Naval House. Historically The Brooklyn Hotel had serviced a number of sailors who had boarded at RNH and was periodically owned by sea captains and operated by their wives while at sea.²⁶ A number of journalists, cartoonists have also patronised the hotel along with aspiring students and actors from the nearby School of Arts. Actors including Fiona Spence and John Sheerin and comedian Julie McGregor were employed at the hotel before launching their television careers.²⁷

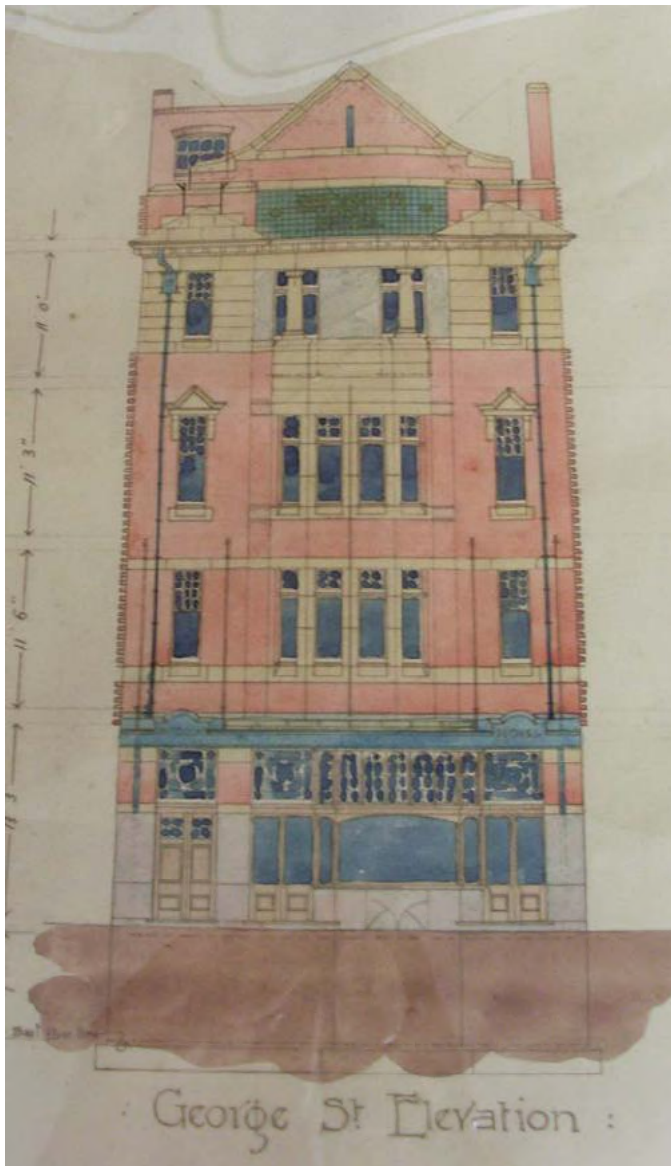


Figure 34 – Principal Elevation/ Original Plan.

Source: State Records – AO Plan 63186 (11/05/1911)

²⁶ Grosvenor Place Cititalk, Edition 10, Winter 91 p. 3 (issued on behalf of Grosvenor Place Management)

²⁷ Ibid

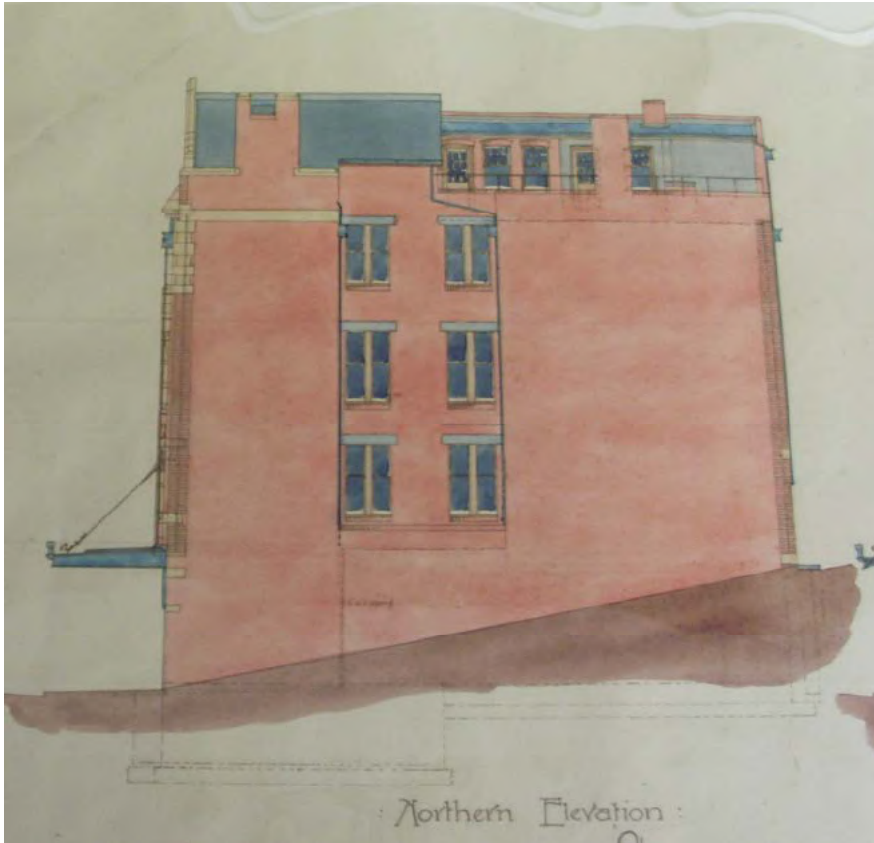


Figure 35 – Northern elevation showing the recessed configuration of the northern elevation and the roof level accommodations

Source: State Records NSW AO Plan 63186 (11/05/1911)



Figure 36 – Rear elevation to lane

Source: State Records NSW AO Plan 63186 (11/05/1911)

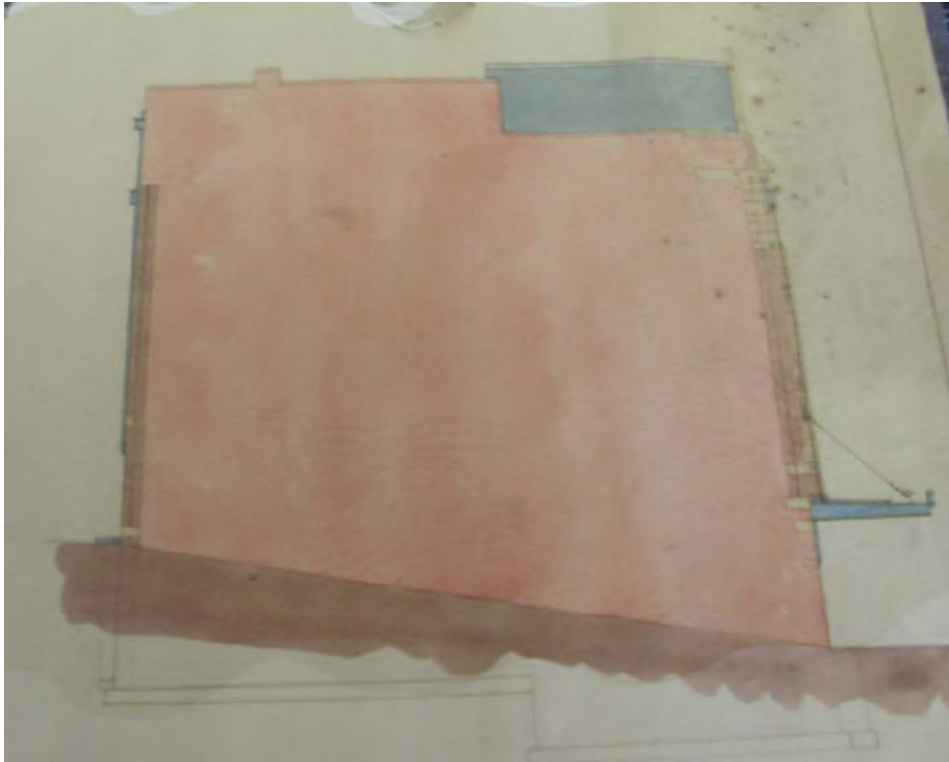


Figure 37 – Southern elevation (adjacent to Commercial Building)

Source: State Records NSW AO Plan 63186 (11/05/1911)

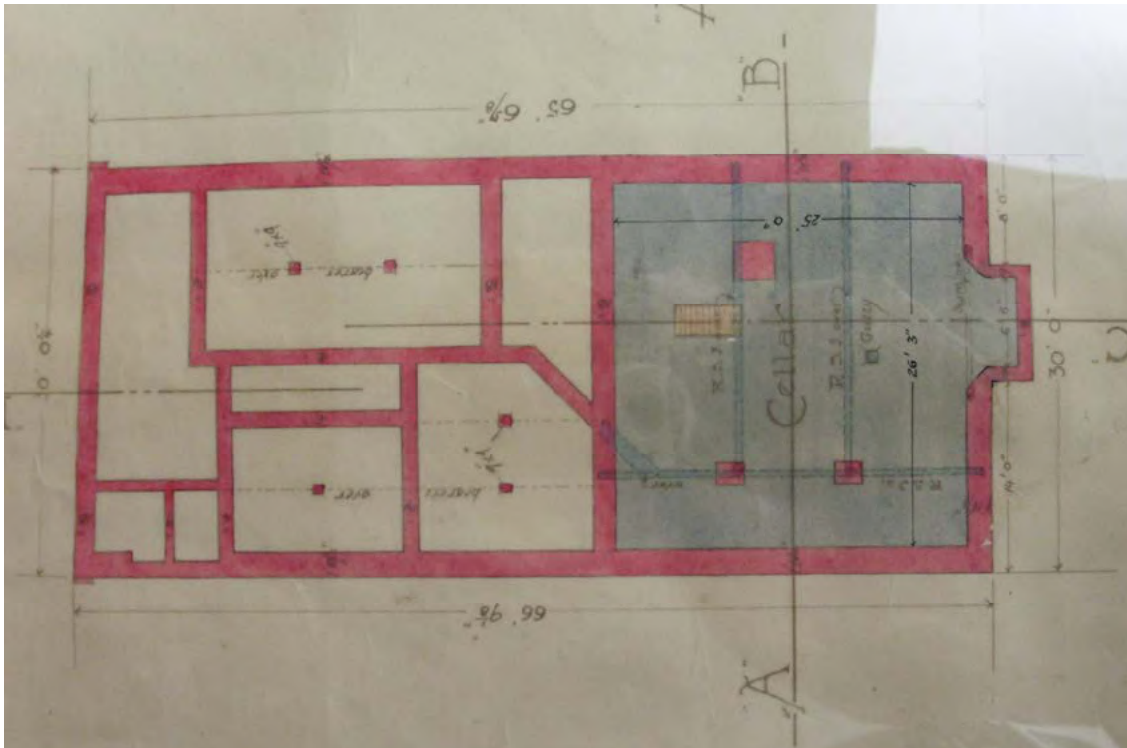


Figure 38 – Cellar and subfloor plan- the entire basement was lost as part of the 1980s excavation.

Source: State Records NSW AO Plan 63186 (11/05/1911)

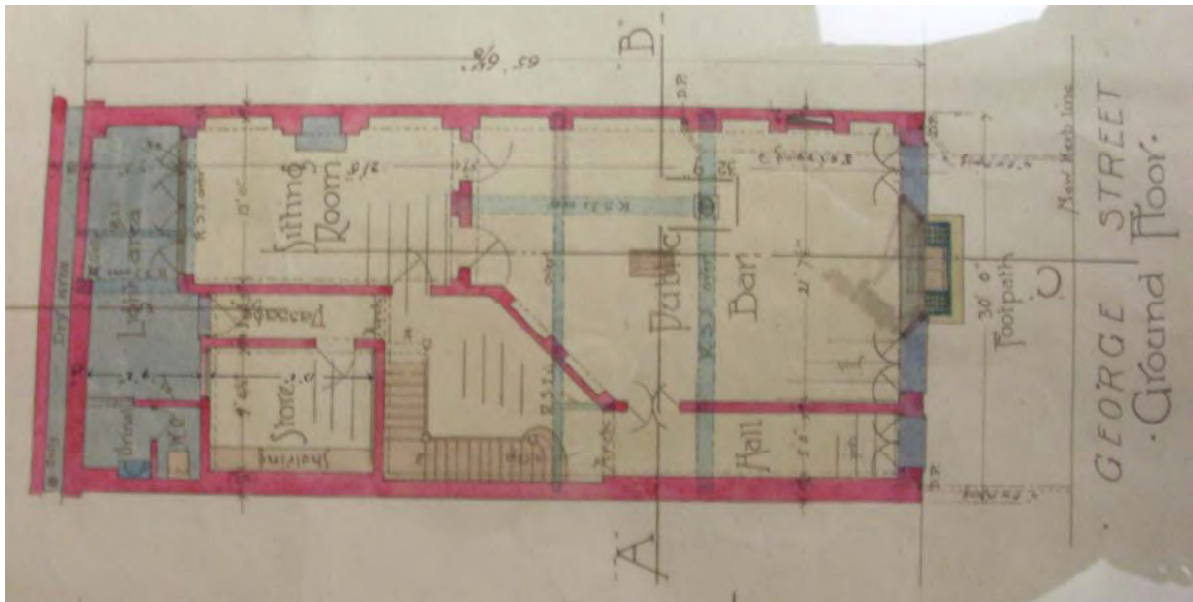


Figure 39 – Plan of the ground floor bar showing public bar and rear sitting room. Upper floor accommodation area is accessed via separate hall and stair on the southern side of the building.

Source: State Records NSW AO Plan 63186 (11/05/1911)

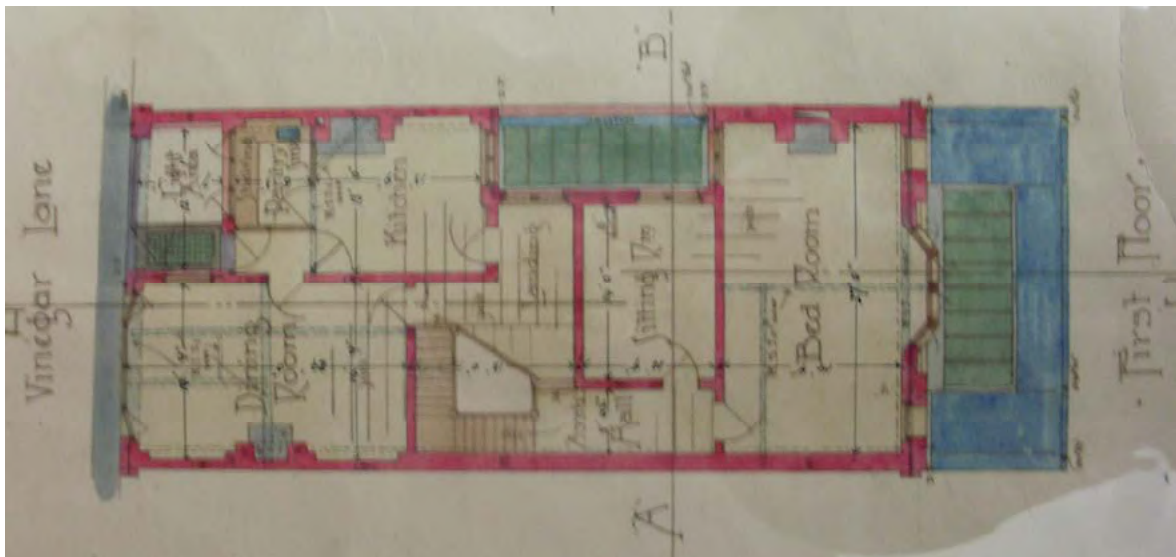


Figure 40 – First floor plan showing kitchen, dining and sitting room areas.

Source: State Records NSW AO Plan 63186 (11/05/1911)

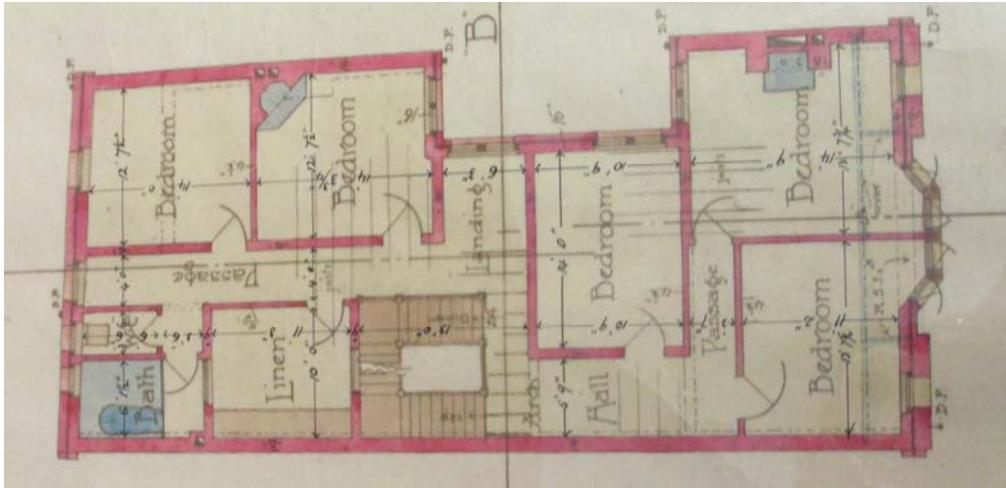


Figure 41 – Second floor plan showing 5 bedrooms, a linen store and shared bathroom facility at the rear.

Source: State Records NSW AO Plan 63186 (11/05/1911)

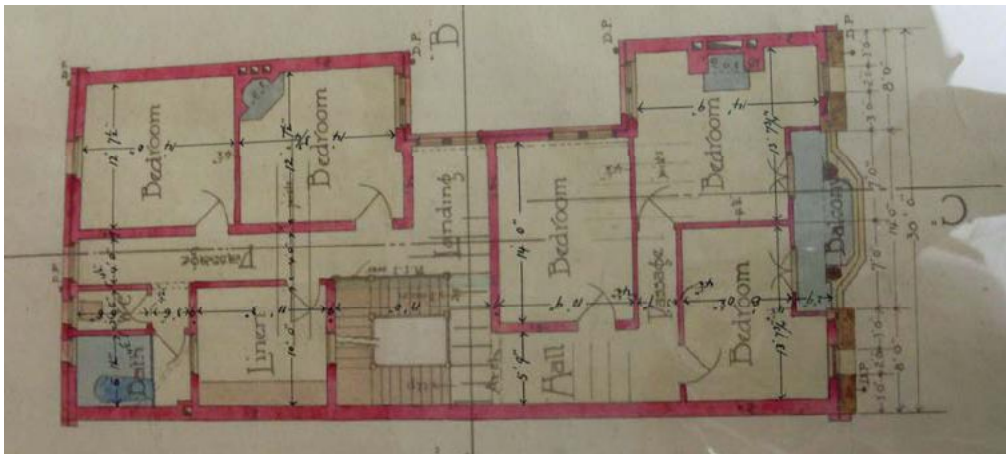


Figure 42 – The third floor plan had a similar footprint to the second floor plan, the main difference being the principal elevation balcony

Source: State Records NSW AO Plan 63186 (11/05/1911)

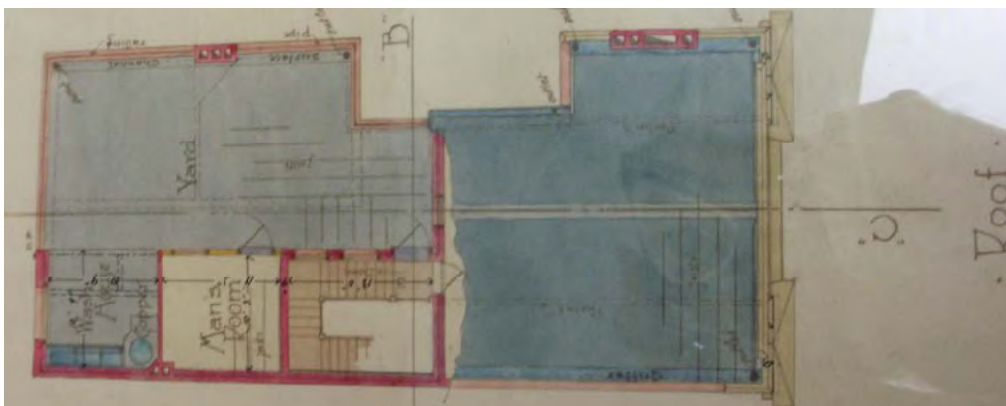


Figure 43 – Roof plan showing the roof top wash house and “mans room”, which may have accommodated the Hotel manager or caretaker.

Source: State Records NSW AO Plan 63186 (11/05/1911)

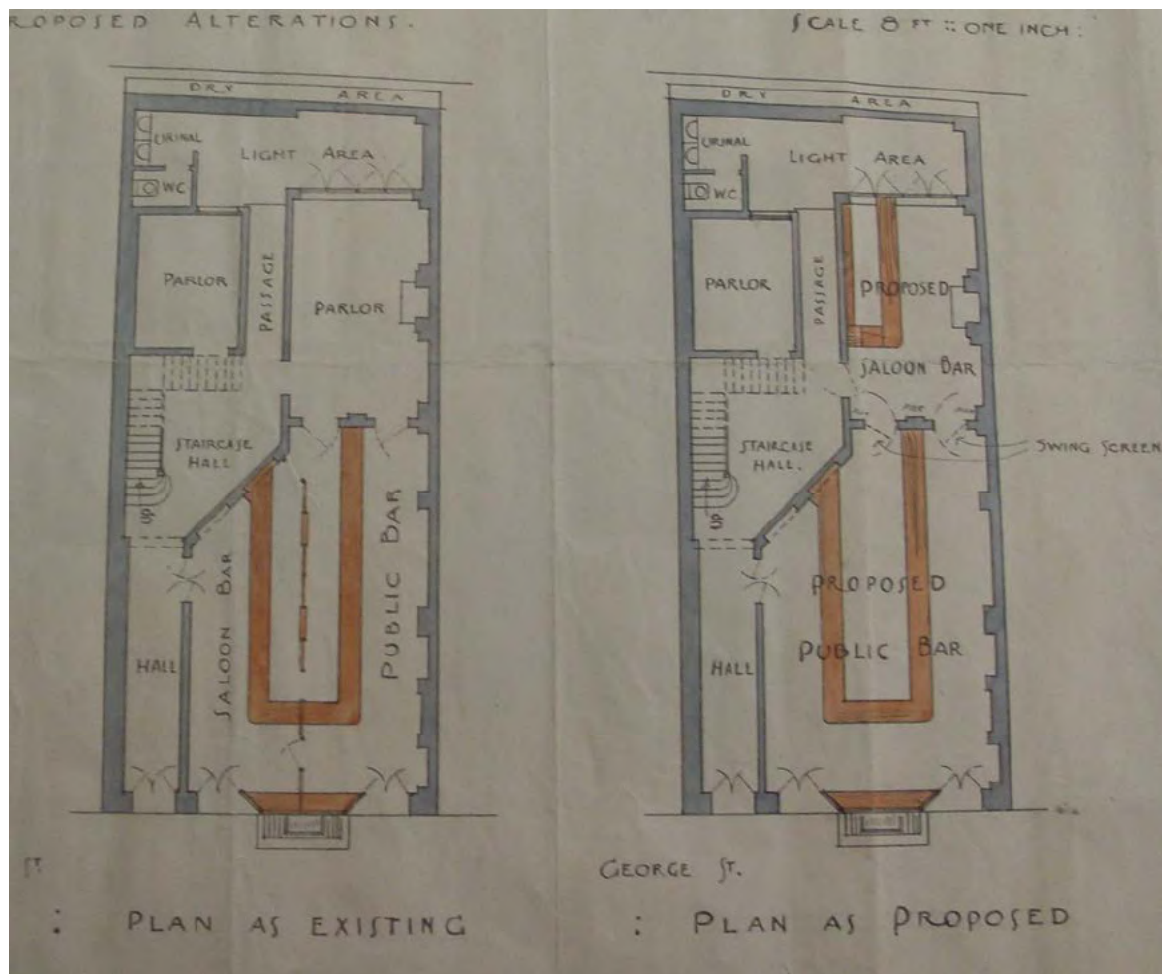


Figure 44 – Plan of the existing bar in 1916 showing the centrally configured bar with divided public and saloon bars. The proposal, designed by W.H Foggitt, architect for the Housing Board, included construction of a saloon bar at the rear which opened up the front section of the bar.

Source: State Records NSW AO Plan 63188 (08/02/1916)

Tenancy cards held by The Foreshore Authority note a number of alterations to the hotel over the years, for details refer to the tabled information below.

Table 4 – Alterations and additions to The Brooklyn Hotel

Date	Alterations and Additions to The Brooklyn Hotel
1916	Amendments to bar including construction of saloon bar in rear parlour
1929	Licensing Board requested repairs and renovation to the exterior, ground and second floors
1930	Licensing Board again submitted a notice of repairs required
1931	Repainting associated with a fire on the second floor. No damage noted to building, only furniture
	Licensing Board again submitted a notice of repairs required
1932	Request for renewal of prismatic lights in the basement area
	Repairs required by police
1934	Roof over saloon bar noted as leaking
1936	Notice to effect the repairs as requested by the Police.
	Repainting
1937	New sinks in bar
	Suggested new painted signage

Date	Alterations and Additions to The Brooklyn Hotel
	Notice of repairs required
	Repairs and repainting associated with fire in roof area
1937-1938	Repairs to glazing in light area at the rear of the hotel
1938	Alterations to second floor? bath associated with the installation of heaters
1939	Installation of flyscreens to kitchen windows
	Repair to glazing following some vandalism
	Notice to provide ladies WC on the ground floor (installed 1940)
1940	New lighting installed and renewal of old lighting recommended
	Renovations to ground floor parlour
	Reglazing (probably at the rear light area)
1941	Removal of ceiling fans in public and saloon bar
1942	General repairs
	Some reglazing to the front door
1943	Renovations to second floor
	Notice of repairs required
1944	Small fire on the premises 22/2- no damage reported
	Renovate room and attic
1945	Notice from Police to effect repairs to hotel
	Renewal of tiles in public bar
	Application to paint exterior (undertaken in 1946)
	Application to paint tiles?
1946	Notice from Police to effect repairs to hotel
	Damage to plate glass window in public bar
	Repairs and renovations
1947	Notice from Police to effect repairs to hotel
	Replace fire hoses
1948	Notice of repairs required
1949	Notice from Police to effect repairs to hotel
1950	Repairs to galvanised iron hot water system
	Application to install cooling system (installed 1952)
1951	Application to install fluorescent lighting
1953	Damage to public bar window
	Small fire on the premises -9/3 - no damage reported
	Small fire on the premises -5/9 - damage reported
	Application to install neon signage
	Bar plant noted as being in unsatisfactory condition
1954	Reglazing to dining room window
	Installation of new stove
1955	Police notice to effect repairs
1956	Application for the installation of new taps and beer lines
1957	Various repairs and renovations to premises
	Renewal of leaking beer mains
	New power points and lighting
	Maintenance of refrigeration system
	Police notice to effect repairs
1958	Some new tiling
1959	Renewal of lining on counters in public and saloon bars
	Police notice to effect repairs
1960	Installation of new electric fans
	Police notice to effect repairs
1961	Police notice to effect repairs

Date	Alterations and Additions to The Brooklyn Hotel
1962	Police notice to effect repairs
	Damage to glazing in bar door in public bar area
	Electrical installation
1963	Police notice to effect repairs
	General repair work
	City Council noted that the awning was in need of repair. Request board permission to paint on awning.
1964	City Council requires improvements to kitchen
	Provision of additional WC facilities and installation of exhaust system
1965	Repairs to refrigeration and cooling systems
	Burst boiler and subsequent repairs noted
1966	Licensing inspector requesting repairs to hotel
1967	Installation of lounge area on the first floor, at a cost of \$6,000 - \$10,0000 -
1968	First floor alterations completed
	Repairs required
1969	Painting to public, saloon bars and hallways and repairs to bars
	Repairs required to public bar
	Request permission to shorten bar at the street front end
	Request to renovate front of hotel – in association with damage from pressure gauges blowing up?
	Request to erect illuminated signage

(Source: The Foreshore Authority Tenancy Cards 1927-1969)



Figure 45 – The ground floor Brooklyn Hotel bar c.1970s

Source: SHFA Archive



Figure 46 – Interior of the Brooklyn Hotel (possible rear saloon bar) c.1970.

Source: SHFA Archive

2.5.2 The Commercial Building/ 231 George Street

The Commercial Building was designed in the Government Architects Office and although a specific designer has not been identified, the building responds to adjoining development and may have been designed by W.L Vernon prior to leaving the office, or by his successor George McRae. McRae was Vernon's principal Assistant Architect from 1897 and the two shared a common architectural style. The first government tenants were listed in the Sands Directory from 1915 suggesting a construction date of circa 1914, which is consistent with historical photographs of the period (refer figure 32). Although built as a "shop for Mr Smith" it does not appear to have been occupied by him.

The following plans were copied by the Foreshore Authority from the original State Records plans (SR Plan 3019); Plan GE7/2, ROX/420/AR/0005/OD They are not signed and are undated.

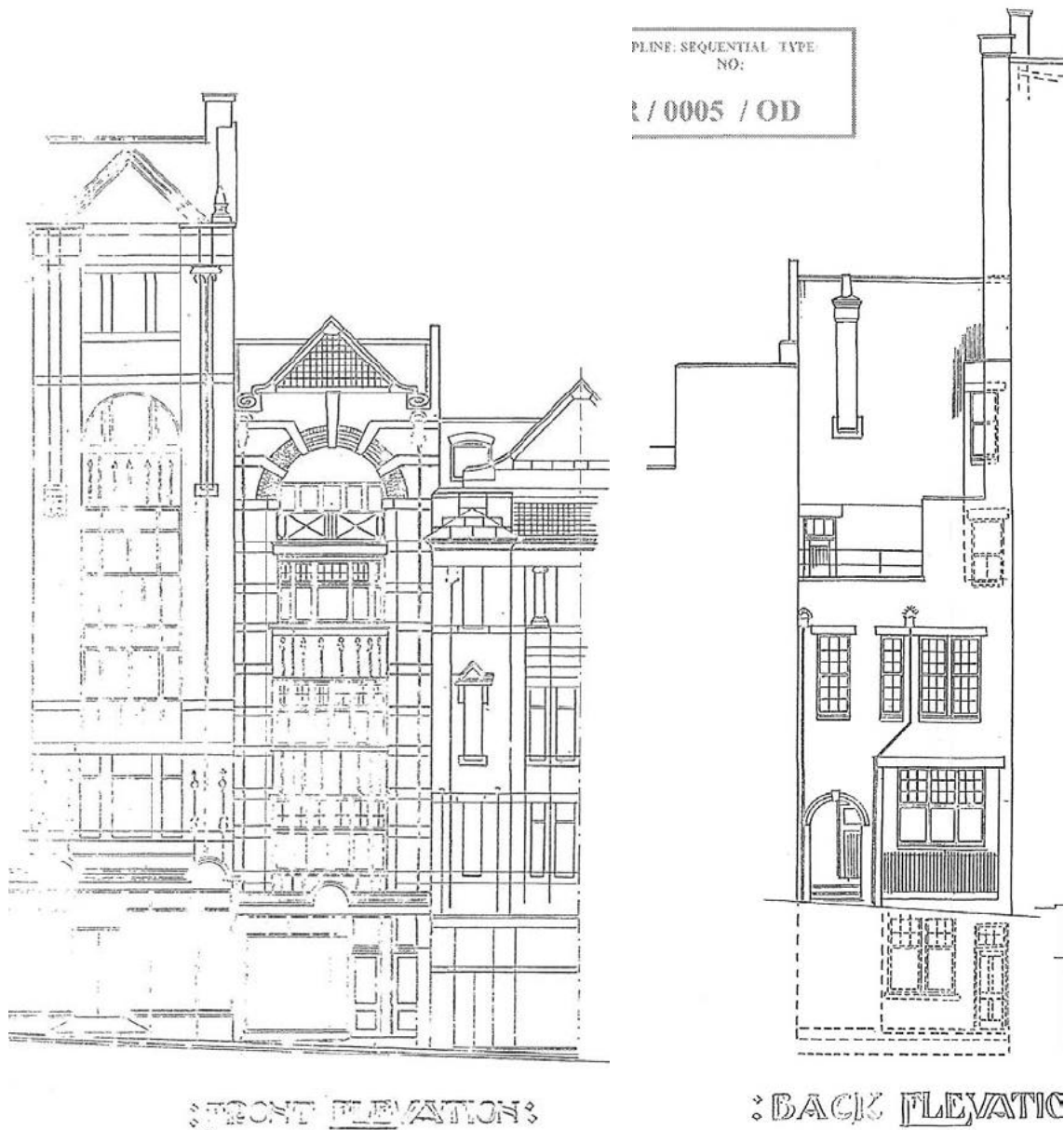


Figure 47 – 1914 Principal/ Eastern Elevation

Figure 48 – 1914 Rear/ western elevation

Source: The Foreshore Authority

Source: The Foreshore Authority

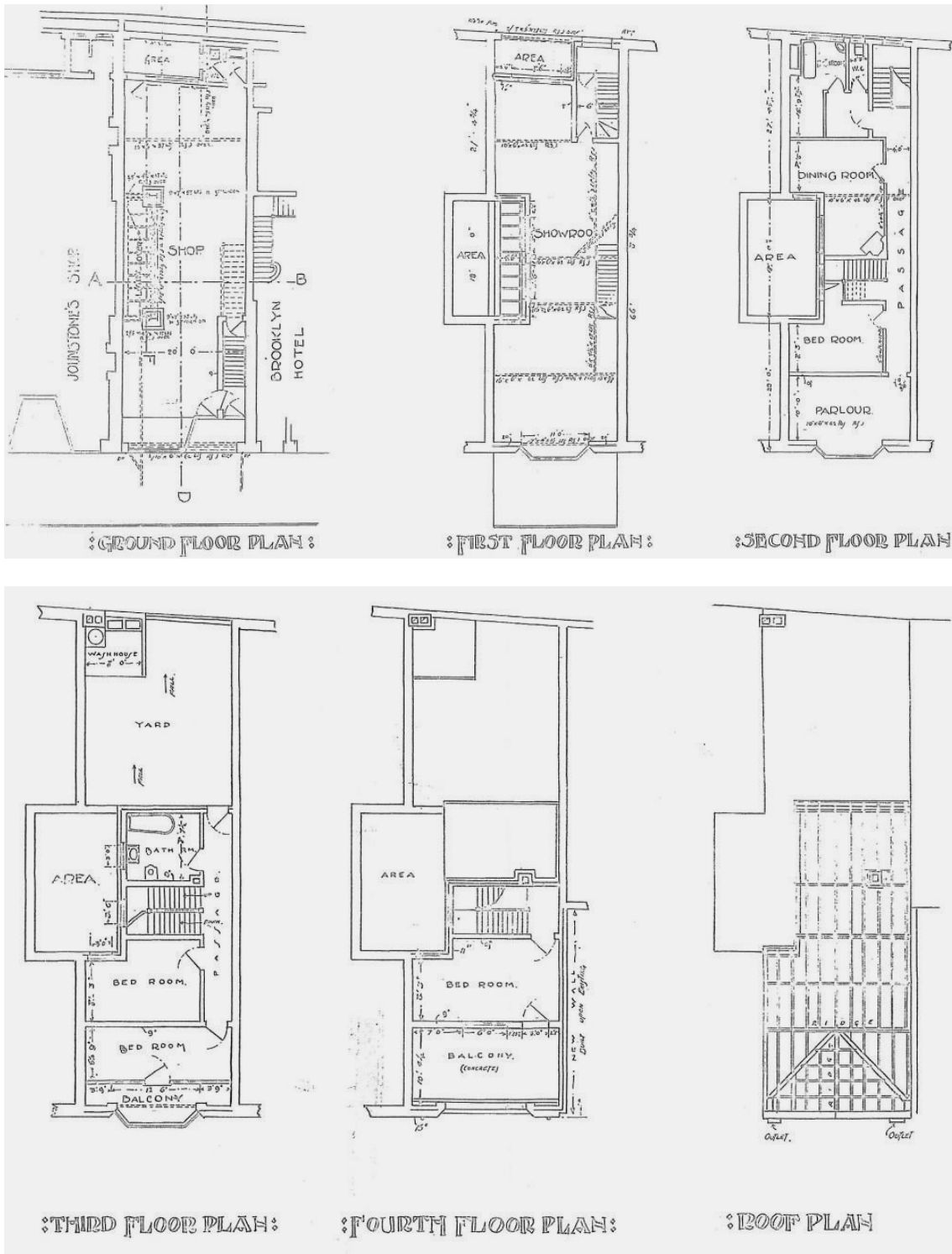


Figure 49 – 1914 Floor plans

Source: State Records plans (SR Plan 3019); The Foreshore Authority - Plan GE7/2, ROX/420/AR/0005/OD

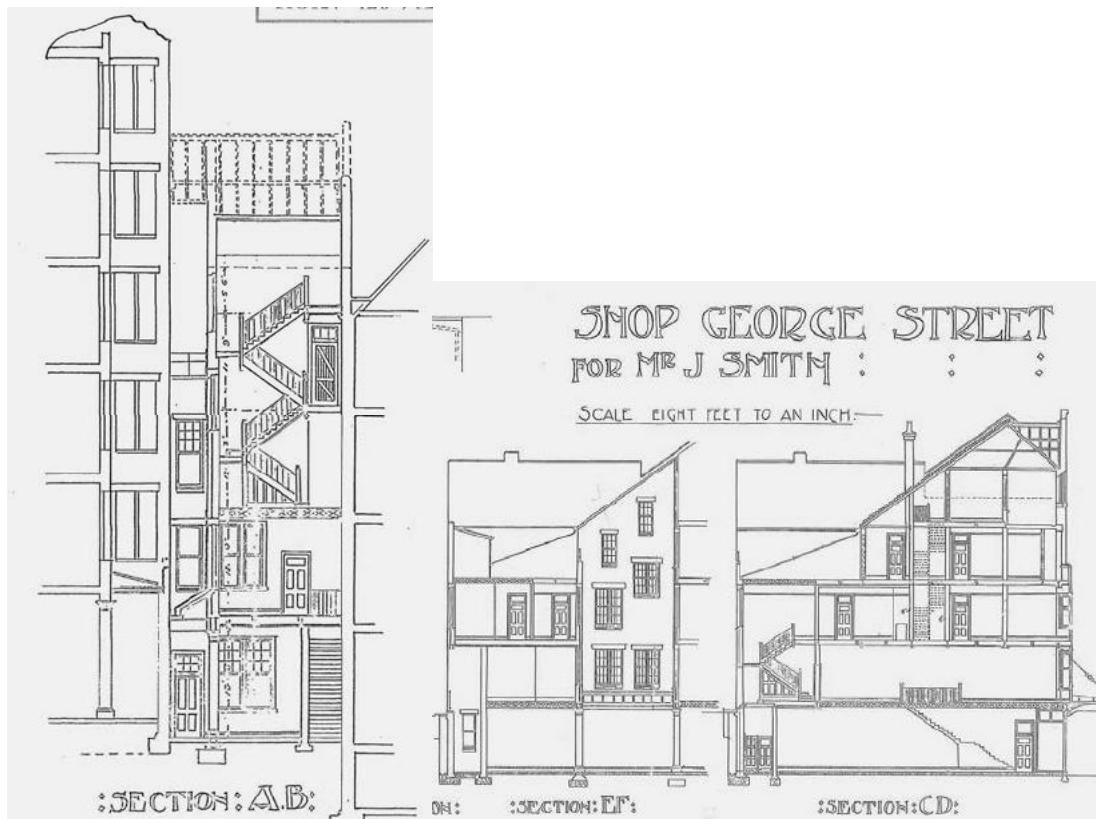


Figure 50 – 1914 Section plans

Source: State Records plans (SR Plan 3019); The Foreshore Authority - Plan GE7/2, ROX/420/AR/0005/OD

The five-storey building has a brick and sandstone façade with a projecting bay and arch at the top. The triangular pediment, which echoes the design of the Chamber of Commerce Building, has a chequerboard design in red brick and sandstone. The panels of the oriel bay window are decorated with waratahs, which were a popular Federation period feature. The ground and first floors were originally open plan, for use as a shop and upstairs showroom. A four-bedroom residence occupied the upper three floors.

It is claimed that the Commercial Building was built over a clay dike and needed to be supported by the adjacent buildings, which were built with toothed brickwork for that purpose.²⁸

The subsequent changes to the building were minor until the 1980s. They included:

- 1956 Alterations to the shop front for auctioneer salesrooms G K Gray & Co
- 1957 Alterations for a storeroom (W Godfrey)
- 1959 Enclosure of lift well (Klever & Pasquali)
- 1962 Use of premises as a disposals and general merchandise store
- 1963 Use premises as an office, lounge, sandwich and cake shop
- 1964 Alterations and shopfront (J & O Mikl)
- 1968 Use premises as offices (Maritime Services Board)
- 1973 Use premises for pastry manufacture (J & O Mikl).²⁹

²⁸ Real Estate Journal of NSW, October 1991, p27.



Figure 51 – The former Commercial Building shopfront (undated but likely c.1980).

Source: SHFA Archive



Figure 52 – The first floor interior front room (undated but likely c.1980).

Source: SHFA Archive

²⁹ City of Sydney Archives, Street Cards.



Figure 53 – Stair hall of the former Commercial Building (undated but likely c.1980).

Source: SHFA Archive



Figure 54 – First floor rear wing of the former Commercial building (undated but likely c.1980).

Source: SHFA Archive

2.5.3 The Johnson's Building/ 233-235 George Street

The Chamber of Commerce Building was opened in late 1912 and was designed by the Government Architect's Branch of the Public Works Department, under Walter Liberty Vernon, prior to his retirement in late 1911.³⁰ The plans are signed by both Vernon and the Assistant Architect E L Drew. The building was originally designed as a five-storey shop and offices, however, the plans were modified in March 1912 by the Assistant Government Architect G M Blair, and a fifth floor was added to create a six-storey shop and offices. After it was leased, the ground floor shop was also modified internally by WH Foggitt, however the works were minor.

³⁰ There has been some prior debate about the claim that Vernon was associated with the designs of the buildings. The plans obtained by the author from State Records contain Vernon's signature. The copies of the plans held by the National Trust are unsigned.

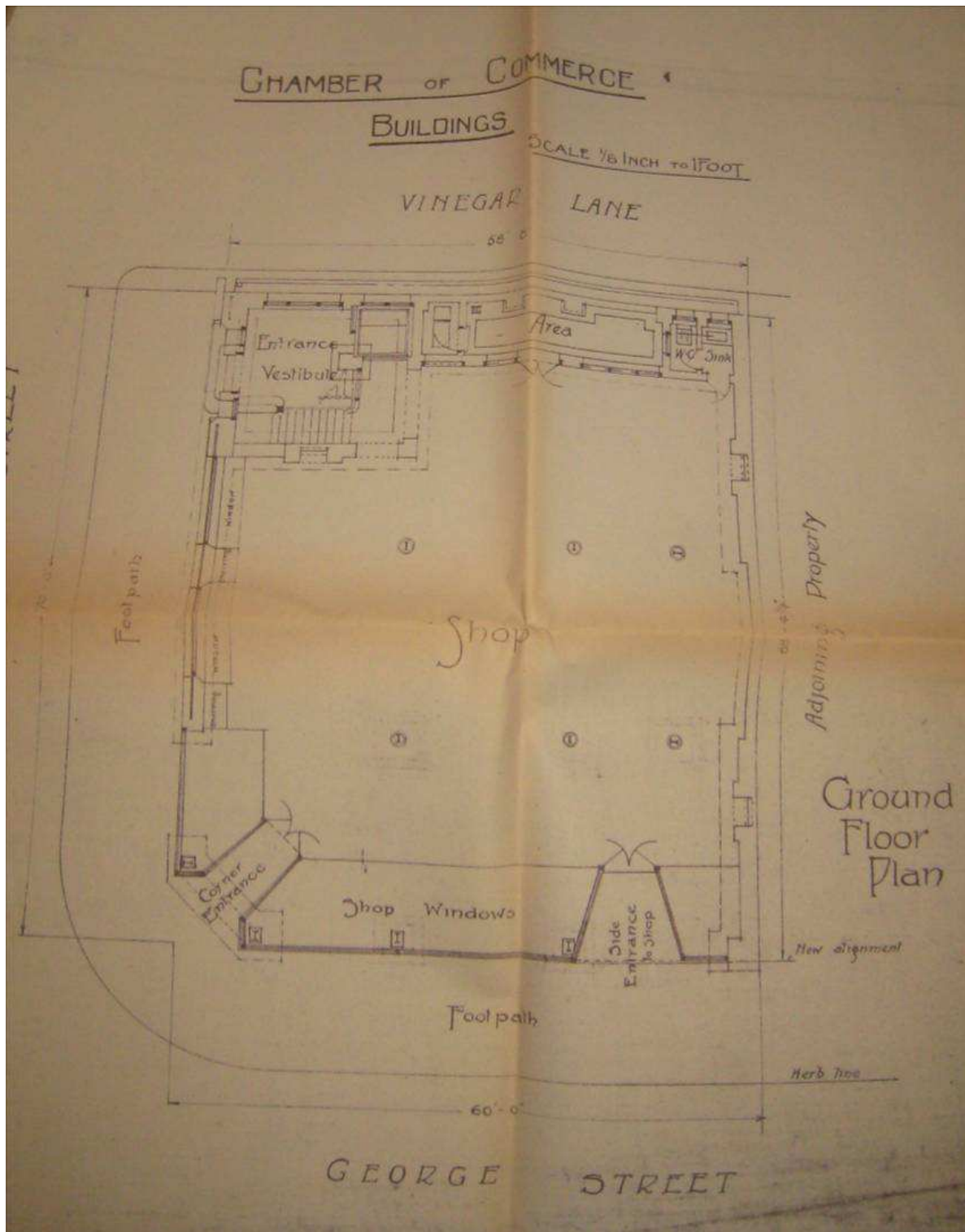


Figure 55: Ground Floor Plan showing the entrance vestibule to the commercial tenancies at rear and the two recessed shop front entries on George Street. The area of the shop window display has been interpreted internally in the layout of the new Hotel.
Source: National Trust Archives.

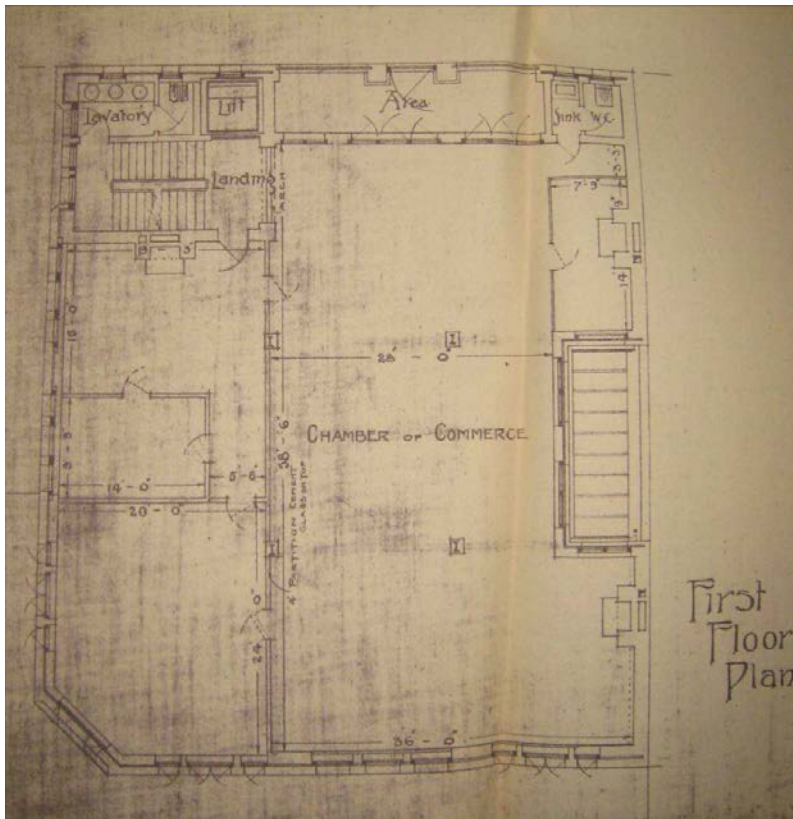


Figure 56: First Floor Plan; the floor was initially occupied by the Chamber of Commerce. Plans indicate that the original building featured a light well on the north side, where the building adjoins the Commercial Building.

Source: National Trust Archives.

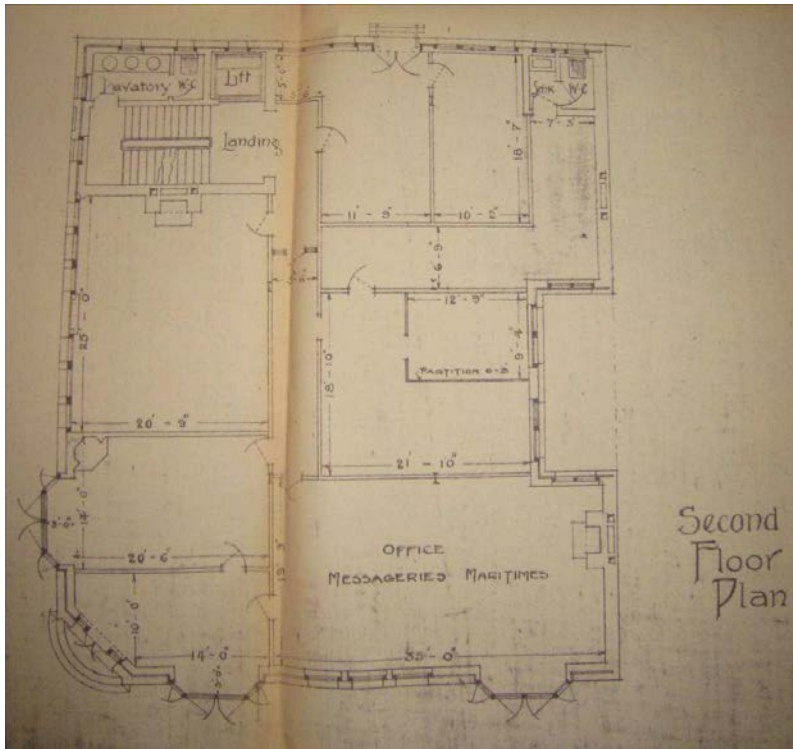
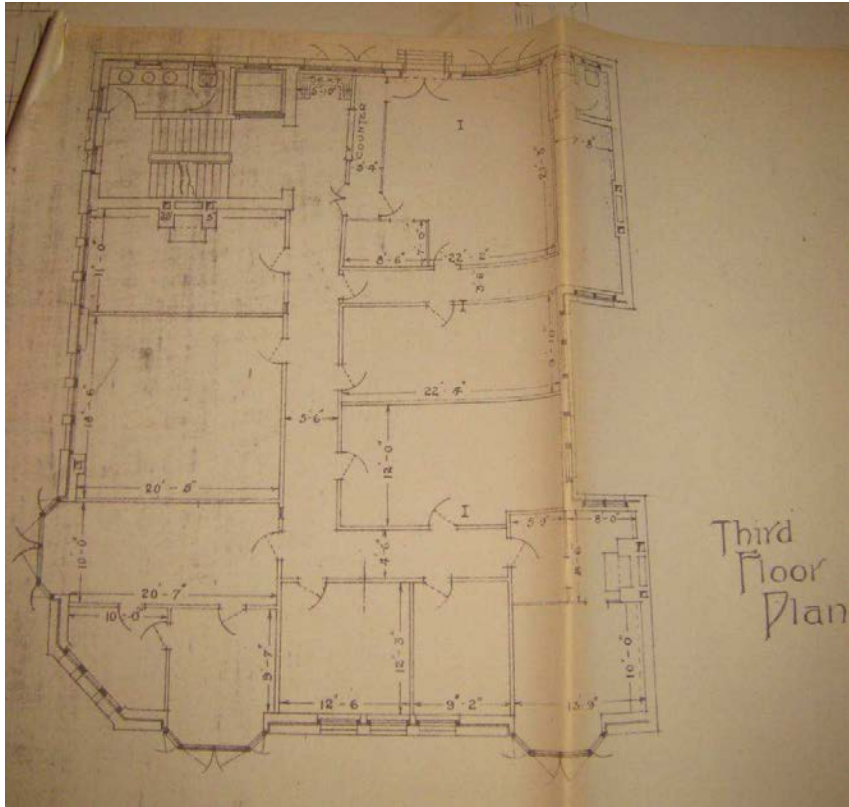


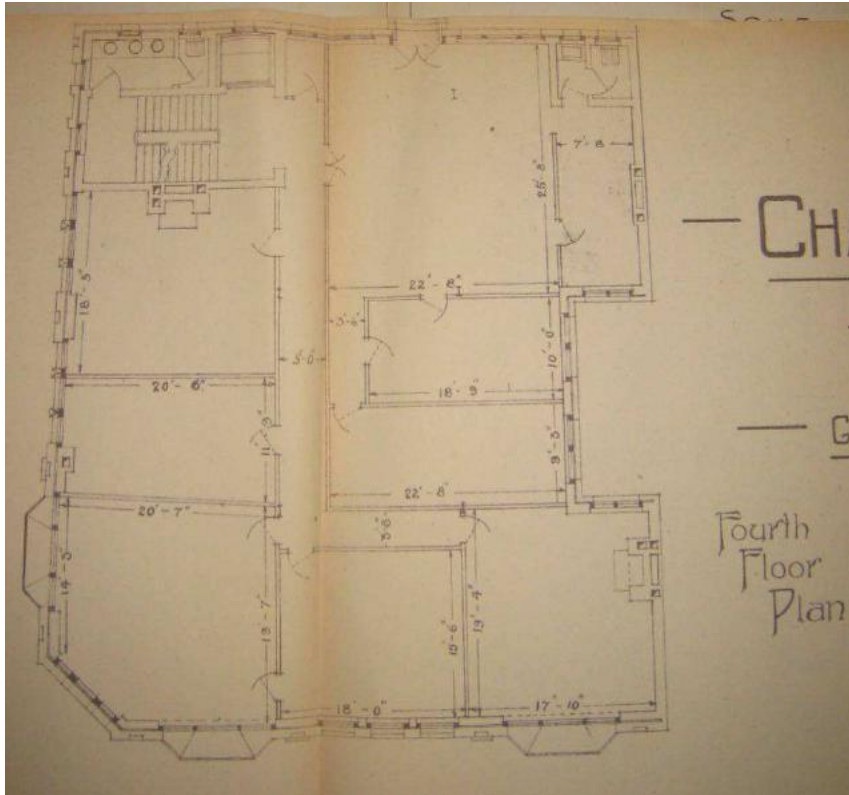
Figure 57: Second Floor Plan

Source: National Trust Archives.



Third
Floor
Plan

Figure 58: Third Floor Plan
Source: National Trust Archives.



Fourth
Floor
Plan

Figure 59: Fourth Floor Plan
Source: National Trust Archives.

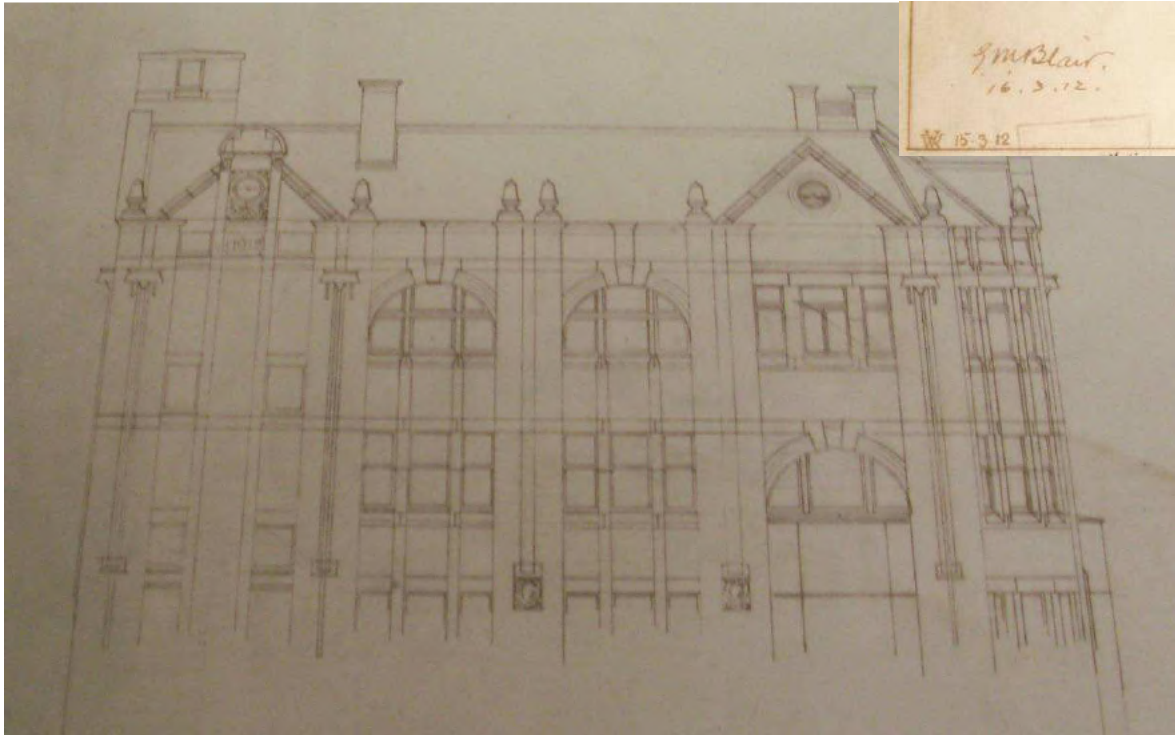


Figure 62: Elevation showing the additional storey

Source: State Records, Plan 1467/1922, dated March 1912.

The brick building has a vertical emphasis, provided by narrow pilasters which divide the façade between high narrow windows. The verticality is accentuated by the elongated windows on the fourth and fifth floors. The George Street façade is arguably more ornate than the Grosvenor Street façade, although the latter does feature a chequerboard pattern in terracotta and sandstone above the entrance. A cantilevered awning wrapped around the corner and featured tension rods with intricate detailing. The building was originally roofed in slate, with a flat-roofed area accessing the lift motor room and the two-bedroom caretaker's quarters on the roof. Internally, there were timber floors and stamped metal ceilings, and the internal steel columns on the ground floor were clad in terracotta blocks with tile facing. An elevator was installed by Standard & Waygood Ltd in the Grosvenor Street entrance hall.³¹

The Grosvenor Street pediment containing the date (1912) relates to that of the adjacent Royal Naval House.

The subsequent changes to the building were minor until the 1980s. They included alterations to internal partitions on several floors over many years and the insertion of a strong-room on the Fourth Floor in 1938.³²

³¹ Foreshore Authority Archive, undated plan entitled Layout of Elevator for Chamber of Commerce Buildings.

³² City of Sydney Archives, Street Cards.



Figure 63 – George Street elevation c.1970

Source: SHFA Archive



Figure 64 – Grosvenor Street Elevation c.1970

Source: SHFA Archive



Figure 65 – Former Milson Lane façade (undated - c.1980)

Source: SHFA Archive



Figure 66 – The former Northern elevation (lightwell) – undated c.1980

Source: SHFA Archive



Figure 67 – The former ground floor interior of the Johnsons building, shown vacant. The original second entry to George Street is shown, along with original internal finishes.

Source: SHFA Archive



Figure 68 – Former second floor interior (undated c.1980).

Source: SHFA Archive

2.5.4 1980s Grosvenor Tower Redevelopment

In May 1980, the Sydney Cove Redevelopment Authority (SCRA) commenced planning for the redevelopment of the “Prime Development Site D5, D6 and D11”. This included a realignment of the street corner to improve traffic flow. The Brooklyn Hotel and Royal Naval House (in Grosvenor Street) were considered to be buildings of architectural interest, however the demolition of the Johnson’s Building and the Commercial Building were proposed in conjunction with the road widening. On 30/10/1981 a meeting was held between the SCRA and the Heritage Council, who recommended that the buildings should be retained in the redevelopment of the site. A subsequent decision was made to retain the buildings in whole or part.³³ A Conservation Plan for the group of buildings was also prepared.

The tender to develop the site was won by the Kern Corporation in 1982. A formal agreement to lease was established between the SCRA and SFIT/ Kern in June 1983 and Grosvenor Place Pty Ltd were established as the development company to undertake the scheme³⁴. The proposal was for a new commercial tower and renovations to other buildings on the site bounded by George, Essex, Harrington and Grosvenor Streets. Buildings proposed for retention and reuse included the Johnson’s group along with Royal Naval House and Federation Hall. The Johnson’s Group were to have new concrete floors, new fire stairs and walls, and a new full-height rear brick wall. Openings were also made between the sites, facilitating the combined use. Demolition work commenced in 1983.



Figure 69 – Aerial view of the site prior to the demolition of the demolition of Royal Naval House (c.1980).

Source: The Foreshore Authority Archive

³³ Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney “Johnson’s Building”, “Commercial Building”, “Brooklyn Hotel”. Prepared for SCRA November 1985, pp. 10-11

³⁴ Wellings Smith and Byrne 229-235 George Street, Environmental Impact Statement 1987, p. 29



Figure 70 – The rear of the Johnsons group, with the Brooklyn Hotel shown at left and partially demolished Royal Naval House at right. (1983)

Source: The Foreshore Authority Archive



Figure 71 – View south to the building group showing the Brooklyn Hotel partially demolished (1983).

Source: The Foreshore Authority Archive



Figure 72 – View of the building group shown partially demolished (c.1983)

Source: The Foreshore Authority Archive



Figure 73 – Foundations of the Grosvenor Tower -view north- the subject site is not shown. (c.1984)

Source: The Foreshore Authority Archive



Figure 74 – The rear of the Johnson’s Building during the demolition and excavation (1984). The rear wings of The Brooklyn Hotel and the Commercial Building have been demolished, along with part of the Johnson’s Building (indicated). The form of the arched openings are retained in the stair well (refer views of the existing stair shown in section 3.4), though they have been infilled.

Source: The Foreshore Authority Archive

Development of the site, which was leased to the developer for 99 years, involved incorporation of the façades and roofscape of the Johnson’s Group, as well as the renovation of the building interiors. The rear sections of the building group were demolished in association with the redevelopment of the site and the construction of the Grosvenor Tower.³⁵ Demolition was largely completed by 1984 when the excavation for the tower begun. The Grosvenor Tower was completed in 1990.

Demolition was extensive, particularly to the Brooklyn Hotel and Commercial Buildings, where only the front room on the upper levels and a portion of the ground floor bar and shop area was retained (to the approximate depth of 6m). A section of the pitched roof was also demolished, although the pitch and form was retained. A small single storey section at the rear of the Brooklyn hotel also appears to have been retained and was demolished as part of the 1988-1991 restoration. This element has been noted as a “Timber Bar” in later documentation³⁶ so it would seem that during the construction of the tower, the site may have continued to operate in some limited capacity as a bar, however the Hotel is known to have been disused by 1987.

In 1984 the development company, Grosvenor Place Pty Ltd submitted to the SCRA a further development proposal relating specifically to the Johnson’s Group. It proposed a three million dollar renovation and reconstruction and the approval was granted in October 1984.³⁷ The following year, in contrast to the previous approval, the development group

³⁵ Ibid

³⁶ Ken Maher and Partners Pty Ltd Architects 2123188 “Grosvenor Place Historic Buildings; Report on Design Proposals” For Grosvenor Place Pty Ltd July 1988. Section 4.04

³⁷ The Rocks: Sydney Cove Authority. “Proposal to Demolish Buildings on the Corner of George Street: Environmental Impact Statement- Assessment Report November 1987” p. 1

made a submission to the SCRA requesting the demolition of the Johnson's Group. Before the SCRA had responded the buildings were damaged by fire on September 8th of the same year. The building group was unoccupied at the time and had been vacated for some time. The fire brigade attributed no specific cause for the fire and found no suspicious circumstances. An inquiry was not sought.

Reports on the extent of the fire damage were undertaken by Austin Chapman, Rankine and Hill and V. Crum, with a review report undertaken by McBean and Crisp. Reports were not overly detailed and provided no accompanying photographic evidence or assessment.

The Austin Chapman report noted that damage to the Brooklyn Hotel was "slight" and that the cement mortar was intact and sound. Upper floors appeared virtually undamaged except by smoke. The report concluded that The Brooklyn Hotel had not sustained enough damage to warrant demolition.³⁸ The Brooklyn Hotel site was not accessed for the Rankine and Hill Pty Ltd report however they have noted that the little damage had been done to the structure and that the glazing was intact.³⁹ The V. Crum report noted slight damage to The Brooklyn, structurally and damage to the street awning, although the awning appeared sound. The site was not accessed internally for the Crum report.

Further analysis was recommended by McBean and Crisp, including the investigation of the extent and nature of the damage, including the measurement of the distortion of steel members and brick walls and the sampling of steel and metallurgical examination etc as well as making recommendations regarding demolition of specific fabric.⁴⁰ It is not known if the recommendations were implemented.

With regard to the Commercial building, reports noted that steel beams and brick columns supporting the façade had been subjected to heat and supporting floor joists on the first floor had been partially burnt. The brickwork in the building was extensively damaged. The assessor considered that further entry into the building was too dangerous and recommended its demolition.⁴¹

³⁸ Fire report by Austin Chapman 12 September 1985. Attached as Appendix 4 in Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985

³⁹ Fire report by Rankine and Hill Pty Ltd 11/9/1985 Attached as Appendix 4 in Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985

⁴⁰ McBean and Crisp 24/10/1985 Attached as Appendix 4 in Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985

⁴¹ Austin Chapman, Professional Services Manager, in Wellings Smith & Byrnes, 1985, p2.



Figure 75 – The fire damaged Johnson's group as viewed from Dalley Street.

Source: Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985 (Image 10)



Figure 76 –The fire damaged Johnson's group as viewed from George Street (north)

Source: Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985 (Image 7)

The Figures 75 and 76 provided in the 1985 Wellings Smith and Byrne report show minimal damage to the exterior of the building group and, given the broken glazing and damage to window frames, it would appear that the Johnson's Building sustained more internal damage than the neighbouring Commercial Building and Brooklyn Hotel. It is understood that the fire originated in the Johnson's Building and burned for approximately 2 hours, based on the time of the call to the fire brigade and the reported "stop" time received at the Fire Brigade Control Centre⁴² ("stop time" being the time the fire was noted as extinguished or "under control"⁴³). It was also indicated that lower levels of the building group were severely heat affected and subject to potential collapse.⁴⁴

Following the fire, the development company began to demolish and remove awnings. The work was stopped and the developer was then required to make the buildings safe. The Government Architect inspected the site and advised that the buildings had been only superficially damaged and further recommended their retention and restoration. Following submission and consideration of the 1985 Wellings Smith and Byrnes streetscape study commissioned by the SCRA, the Minister for Planning and Environment determined that the group was to be retained.⁴⁵

Kern Pty Ltd applied again in 1986 to have the buildings demolished, proposing to replace the buildings with a landscaped plaza commemorating the former Parade Ground. The submitted Environmental Impact Statement for the plaza attracted 37 submissions and generated considerable media interest and the great majority of professional heritage

⁴² Austin Chapman op.cit

⁴³ Fire report by V. Crum 8/8/1985. Attached as Appendix 4 in Wellings Smith and Byrnes Report on Nos 231-235 George Street Sydney "Johnson's Building" "Commercial Building" and "Brooklyn Hotel" Prepared for the Sydney Cove Redevelopment Authority November 1985

⁴⁴ Austin Chapman op.cit.

⁴⁵ The Rocks: Sydney Cove Authority. "Proposal to Demolish Buildings on the Corner of George Street: Environmental Impact Statement- Assessment Report November 1987" p. 1

opinion supported the retention of the buildings on heritage, historical, streetscape and architectural grounds.⁴⁶ The proposal was rejected and the buildings were required to be restored and reused in accordance with the original approval.

The Johnson's Building was extended to accommodate a substation and other services for the complex. The previous lift-well was used for ventilation, and a new lift-well and vertical services shaft added to the western side of the building (the extent of the demolition is shown in figure 74 above). The new extension was a sympathetic addition rather than a false reconstruction (refer figure 7).

Redevelopment and restoration of the Johnson's group was completed in 1991 at a cost of 16 million dollars; the Hotel fit-out was designed by Gordon McDonald, of Michael Dysart and Partners⁴⁷. The proposal also incorporated excavation beneath the Johnson's group for basement parking and substation services. This included the demolition of the original Brooklyn Hotel basement. In order to carry out the excavation the facades and remaining building fabric had to be supported. The supports were yoked to the major brick piers via window and balcony openings and were not physically fixed into the brickwork or dressed sandstone⁴⁸. Within the facades, a new reinforced concrete and steel structure was built, reusing some components of the original steel framing.⁴⁹



Figure 77 – Restoration of the Edwardian building facades. Note the scaffolding erected in front of the Commercial and Brooklyn Hotel buildings. The awning has also been removed.

Source: Grosvenor Place Cititalk, Edition 10, Winter 91 p. 1 (issued on behalf of Grosvenor Place Management).

⁴⁶ Ibid 2

⁴⁷ Grosvenor Place Cititalk, Edition 10, Winter 91 p. 3 (issued on behalf of Grosvenor Place Management)

⁴⁸ HSA/DHD Architects "Grosvenor Place Project, The Johnson's Group. Specifications for Façade Support, Demolition, Bulk Excavation" October 1988 Part 1. (Preamble)

⁴⁹ Ibid

The restoration works included the following, as outlined in the "Johnson's Group: Proposed Sequence and Extent of Works" document included in the Foreshore Authority correspondence file. The document is undated though probably dates to 1988.

- General cleaning and repair to stone and brickwork where required. The stone has been identified as Pyrmont sandstone and was generally found to be of good quality. Where some replacement was required, (mostly affecting the Commercial Building) Wondabyne sandstone was recommended which required the use of some chemical dyes to match the existing stone colour and wear;⁵⁰
- Repair of the north end of The Brooklyn cornice and epoxy sandstone repairs;⁵¹
- Some replacement of parapet coping gables and cornice over-flashings probably in lead, copper or zinc;
- Some replacement of timber window frames and French doors where required by fire damage, exactly matching the original;
- Repair/ replacement of rainwater pipes and hopper heads where required;
- Reconstruction of the awning to match the original (however no measured drawings were able to be located);
- Retention and restoration of the Brooklyn Hotel shopfront including renewal of glazing that had been damaged by vandalism and some renewal of timbers;
- Restoration of the roof following the original pitch. It was originally proposed to strip the roof for any reusable fabric, and the original slates from The Brooklyn and Commercial Buildings were retained as part of the Stage 1 works. The slates were found to be in poor condition, however, and the fabric that could be reused was expected to have only a 10-15 year life expectancy. The roof was subsequently reclad in new Duchess Penryhn slates, on new battens and bellied sarking;⁵²
- Paint palette for doors, windows, awnings and hoppers etc based on scrapings of the original and developed in consultation with the Sydney Cove Authority;
- Insertion of fire rating between the floor levels;
- New steel framed partitions and concrete floors;
- Demolition of the north wall of Brooklyn Hotel. New outer walls were to be constructed in dummy English bond brick, with brick or bond inner skins. Bricks will be brown/ red to match the original as closely as possible. The chimney element at the north end of the roof was also added at this time, the original chimney (shown on the original plans in early photographs) having been lost prior to the demolition.
- Demolition of the ground floor over The Brooklyn basement, as well as all columns and footings.⁵³ It is noted that the retention of internal party walls was not required by the DA approval;⁵⁴

Internally, the cross walls within The Brooklyn and Commercial Buildings were partially retained. The floor levels were re-levelled to coincide as there was a small difference in the floor levels, with rentable space treated as one on each floor. Internal finishes including ceilings, lighting and services such as sprinkling, ducting and air-conditioning were

⁵⁰ Letter from Dugald Campbell (Grosvenor Place Consultant Group) to The Director of the Sydney Cove Authority 1/8/1990) SHFA correspondence file.

⁵¹ Ibid

⁵² Letter from Dugald Campbell (Grosvenor Place Consultant Group) to The Director of the Sydney Cove Authority 2/8/1990) SHFA correspondence file.

⁵³ HSA/DHD Architects op.cit Trade Package 2 p. 5

⁵⁴ Letter from the Sydney Cove Authority to Mr A. Amos Grosvenor Place Pty Ltd 7/12/1988

generally to be provided by the tenants, with the landlord leaving only new rendered, set and painted walls⁵⁵ as well as balcony floors and ceilings and pressed metal pan ceilings within the lift lobbies.⁵⁶ The specifications for façade support, demolition and bulk excavation provided by Harry Seidler and Associates and Davis Heather and Dysart (HSA/DHD Architects) in October 1988 noted “the inside of the Group will be gutted with the exception of the existing south west corner stair case (to become fire stair No. 1), the brick tower enclosing the same stair, and some steel structural elements within the Johnson’s Building.”⁵⁷

Although it is not documented by the above “proposed sequence of work”, further modifications to the 3rd floor façade of the Commercial Building may also have been undertaken at this time, incorporating the demolition of the original balcony window enclosure (refer original elevation and plans at figures 47-49) which was undertaken sometime between 1982 and 1991.

The Figures 78-81 show the extent of the works to the Johnson’s Building at the corner of the group. It is understood from discussions with Michael Dysart, one of the principal architects of the restoration and fit-out, that the timber bar and interiors within the ground and first floor of The Brooklyn Hotel building (229) were intended as a sympathetic Edwardian style bar, corresponding with the period of the building and its former use. The internal fit out was not based on original fabric and did not reuse any salvaged materials⁵⁸.



Figure 78– View of the girder structure within the corner Johnson’s Building. All floors have been demolished. (8/8/1990)



Figure 79– Scaffolding erected in front of the George Street gable (2/8/1991)

Source: The Foreshore Authority Archive

⁵⁵ “Johnson’s Group: Proposed Sequence and Extent of Works” SHFA correspondence file. Undated but may be 1988. p. 3

⁵⁶ HSA/DHD Architects op.cit Part 1.

⁵⁷ Ibid

⁵⁸ Transcript of telephone conversation held between the author and Michael Dysart 22/2/2008



Figure 80 – Rebuilding of the roof to the George Street frontage of the Johnson’s building

Source: The Foreshore Authority Archive



Figure 81 – View of internal works including fire rating- probably on the fifth floor of the Johnson’s Building.

Source: The Foreshore Authority Archive

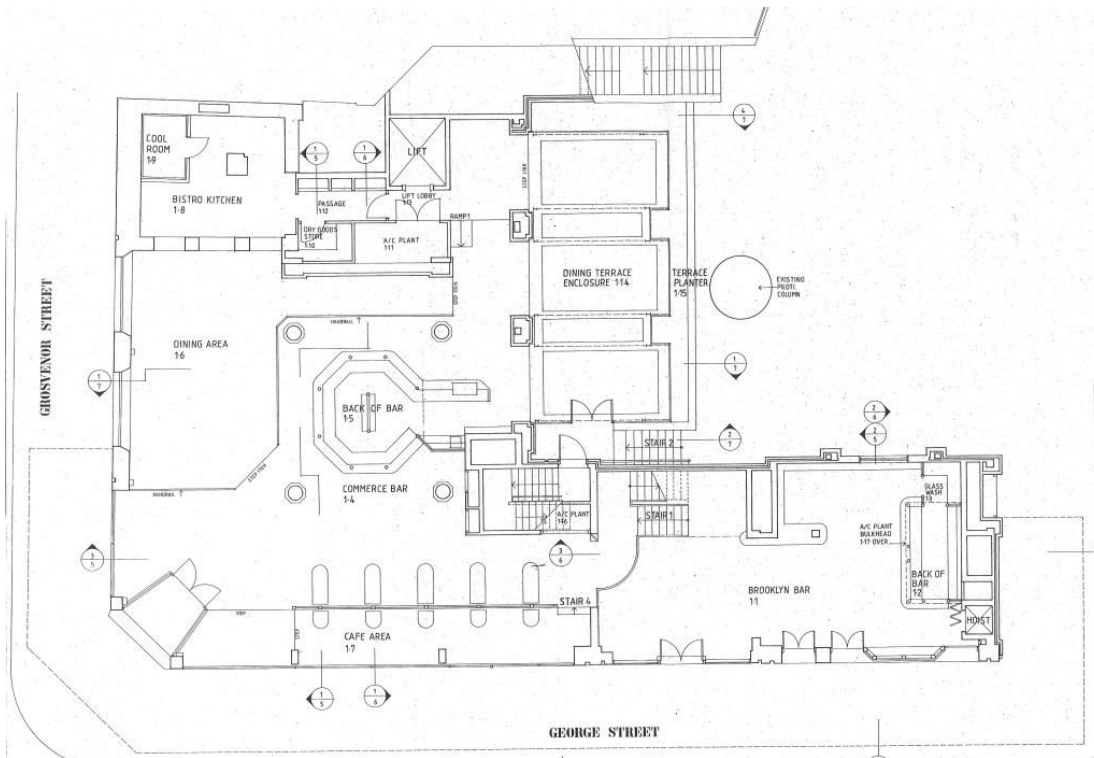


Figure 82 – Ground floor plan - 1991

Source: Michael Dysart and Partners Architects – Brooklyn Hotel Fit-out Level 1- BA 91000/3 (1991) SHFA Archive

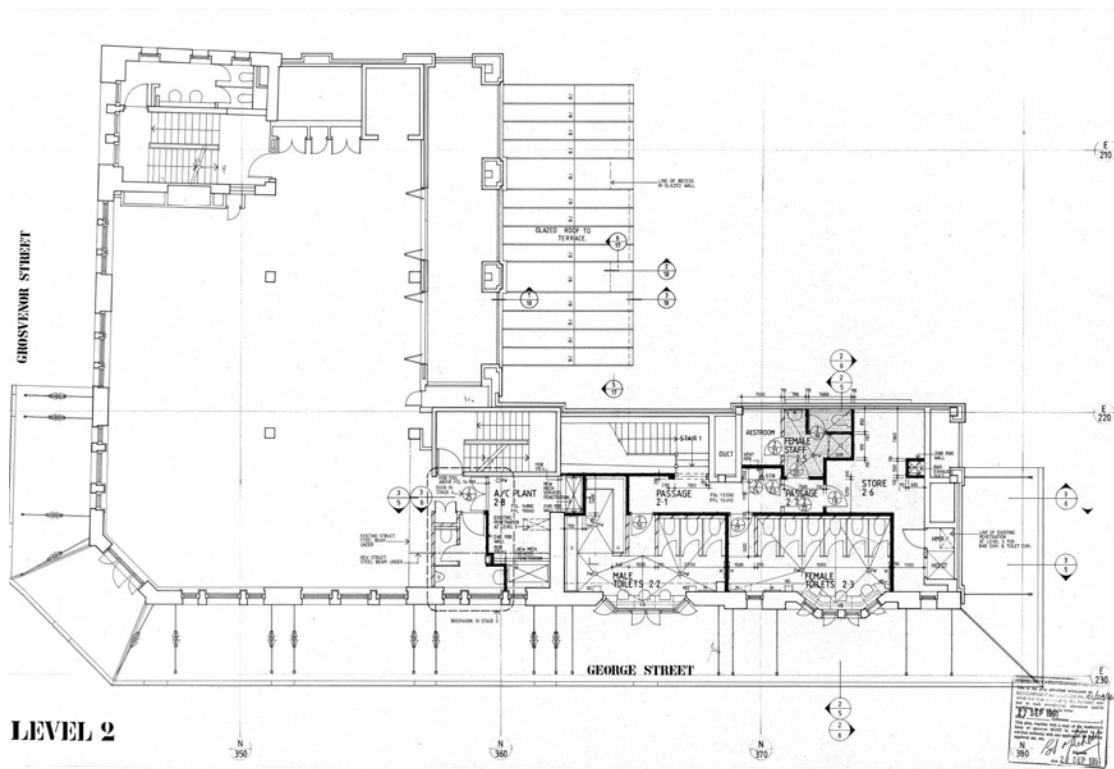


Figure 83 – First floor plan - 1991

Source: Michael Dysart and Partners Architects – Brooklyn Hotel Fit-out Level 1- BA 91000/4 (1991) SHFA Archive

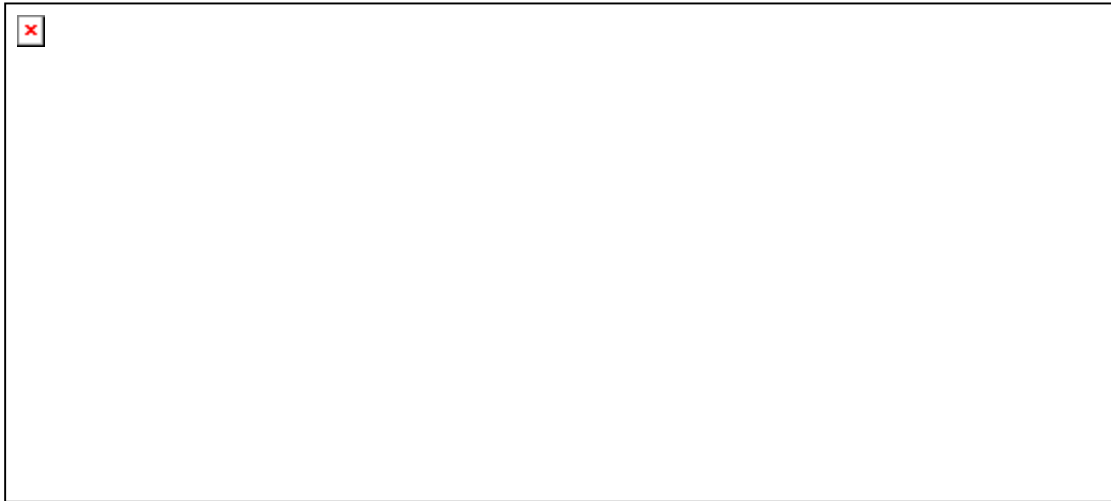


Figure 84 – Plan of the Brooklyn bar

Source: Michael Dysart and Partners Architects – Brooklyn Hotel Bar WD 91000/11 – 1991 (SHFA ROX 420 DA0035)

Following the 1991 fit out, various refurbishments have been undertaken, with the most significant being the 2003 changes to The Brooklyn Hotel bar within the ground floor of the Johnson's building (alterations designed by Nicholas Dunn and Associates). The new gaming area which is partly within the footprint of the original Brooklyn Hotel building was constructed the year before in 2002, designed by the same firm⁵⁹. The floor plan of the amenities, office and store areas on the first floor has also been amended though it does not appear to correspond with a development application at this time.

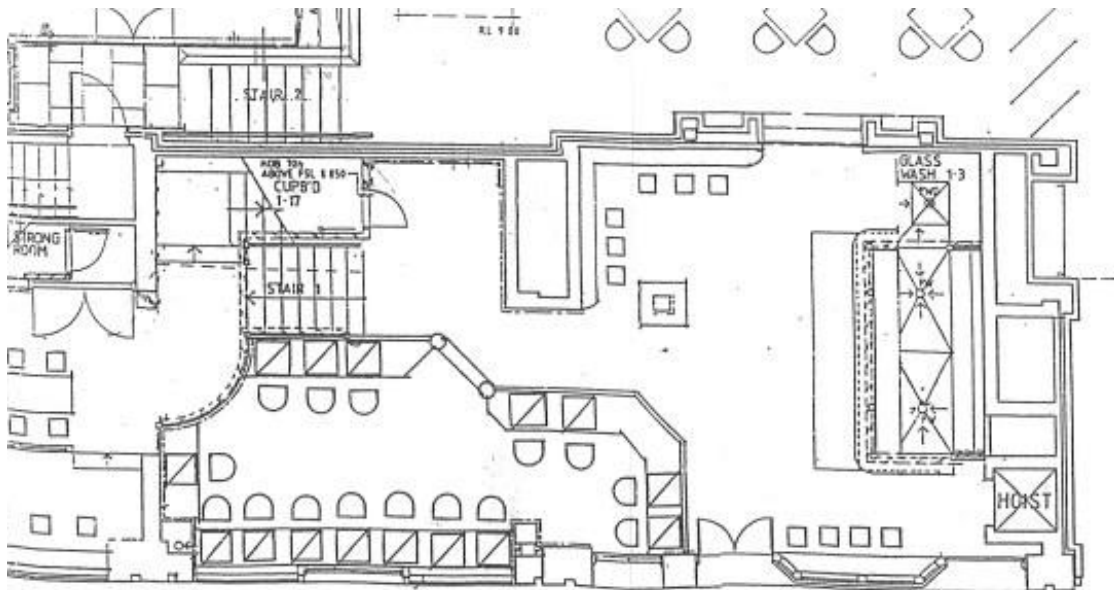


Figure 85 – Modifications for new ground floor gaming area within the Commercial Building
Source: Nicholas Dunn and Associates, 2003, SHFA Archive

Changes to the commercial fit outs on the upper levels have also occurred, including minor alterations to the tenancy fit out for Arc Architects on level four in 2003, the works largely associated with partitioning and the addition of glazed balcony doors over the existing to minimise traffic noise and restrict access to the balcony. The original doors were unaffected by the addition.

⁵⁹ Sydney Harbour Foreshore Authority Tenant and Asset Management Services file number 07/01482 Pt 1

despite the partial demolition of the group as part of the 1980s site redevelopment, which incorporated demolition and rebuilding of the interiors and loss of the original street front awning.

The Johnsons Building (233-235 George Street) was known initially as the Chamber of Commerce Building and the Chamber had office space in the building. Johnson's drapery business had occupied the former building on the site and was the tenant on the ground floor of the new building, continuing to operate at the site until 1981 when the business, then known as Johnson's Overalls, was relocated to 214 George Street⁶⁰. The building (and group) eventually became known as the Johnson's Building acknowledging this long association with the prominent street corner.

Following the demolition of the former terrace on the site of the Commercial Building, the site housed the temporary Brooklyn bar⁶¹. The Commercial Building was constructed 1913-14 under the auspices of the Housing Board. The building was constructed as two shops or a shop and showroom, and was used variously over the years as shops and a residence. Tenancy records suggest it was also used for offices particularly in the early years.

There has been a Hotel on The Brooklyn Hotel site since the construction of the Victorian Italianate Hotel known as the Sydney and Melbourne Hotel in 1885. The previous terrace on the site was also periodically used as a Public House in the 1840s and 1850s.

Royal Naval House and Federation Hall, neighbouring the site on Grosvenor Street were also substantially renovated as part of the Grosvenor Place redevelopment of the site and in 1987 work commenced on the 12.5 million dollar reconstruction and fit-out enabling the building to house the Sydney Futures Exchange.



Figure 87 – George Street west circa 1970 – View south, along the western side of George Street showing the Johnson's group.

Source: NSW Heritage Office- online database

http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053170&imageid=5000665

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⁶⁰ Wellings Smith & Byrne, 1987, p17.

⁶¹ Sydney Cove Redevelopment Authority: Conservation Plan D5, D6 and D11 1982 p 9

The area along George Street to the north of the Hotel site formerly featured a row of Federation commercial buildings which were demolished in the late 1970s. The demolition had been halted by the 1973 green bans and finally proceeded in 1978 despite objections from the National Trust and the Institute of Architects⁶².

During the redevelopment of the Johnson's Building, the Commercial Building and the second Brooklyn Hotel during the 1980s, the group became known as the Johnson's Group. The redevelopment of the Group triggered substantial community debate about the merits of keeping the facades vs a proposal to develop an open plaza to commemorate the original parade ground on the sites, particularly after the Group was damaged by fire in 1985. However, the decision was made to retain the facades and together with the Royal Naval House and Federation Hall, the Group was substantially refurbished as part of the Grosvenor Place redevelopment of the precinct.

⁶² *Sydney Morning Herald* 'Order on two City blocks' 19/12/1977.

3 Physical evidence

The aim of this chapter is to describe the Johnson's Buildings (229-235 George Street, Sydney) in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and streetscape description



Figure 88 – The Johnson's group as viewed from Dalley Street.



Figure 89 –The Johnsons building and adjacent Naval House



Figure 90 – Rear/ western elevation, showing the original and new sections, delineated by the differing brickwork



Figure 91 –Rear of the Brooklyn Hotel and part of structural system supporting the Grosvenor Tower.



Figure 92 – The Brooklyn Hotel shopfront.



Figure 93 –The Commercial Building shopfront

The Johnson's Building Group is located at the northwest corner of the juncture of George and Grosvenor streets and forms a significant Edwardian streetscape group with the neighbouring Federation Hall and Royal Naval House, which were also refurbished as part of the Grosvenor Tower development. Along with the Burns Philp and the Metropolitan Hotel buildings opposite the site at the south east juncture of Bridge and George Streets, the buildings are a significant remnant of Edwardian commercial buildings, the last of these in the immediate precinct.

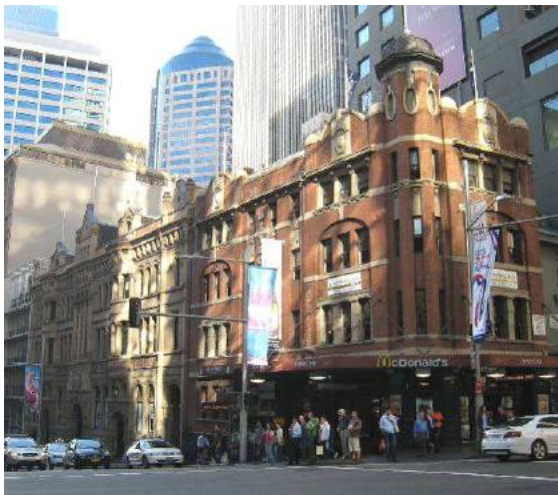


Figure 94 – Related Edwardian sites – The Metropolitan Hotel and Burns Philp buildings at the corner of Bridge and George Streets. A contemporary of the Brooklyn Hotel, the Metropolitan was completed in 1910.



Figure 95 – Related Edwardian sites – Royal Naval House and Federation Hall with partial view of the Grosvenor Tower behind.

The area, on the border of The Rocks and the city CBD, has been extensively developed since the 1970s. The city block bounded by George, Grosvenor, Essex and Harrington Streets is dominated by the Grosvenor Tower development and there are a number of comparatively scaled commercial high rise buildings in the area, particularly on the western side of George Street. For example, to the north of the subject site, on the block bounded by Essex, Harrington and George Streets and the Cahill Expressway is the Four Seasons Hotel tower and to the south of the site, in the block bounded by Grosvenor, Lang, George and Jamison Streets are the AAP centre and National Australia Bank House high rises. Typically, these towers feature a forecourt area with retail facilities and amenities, attempting to give the towers a more pedestrian scale, improving the

presentation of the towers to the street. The Four Seasons Hotel building for example incorporates a two storey building on the street frontage, which provides for retail outlets.

On the eastern side of George Street, the area is also dominated by contemporary commercial buildings; however these buildings are much reduced in scale in comparison with the Towers, although they too incorporate retail shopfronts at the ground level.



Figure 96 – View west along Essex Street from George, showing the Quay West (left) and Four Seasons Hotels.



Figure 97 – Partial view of National Australia Bank House (at right) and the AAP tower behind.



Figure 98 – The Grosvenor Tower and forecourt entry at the corner of Essex and George Streets.



Figure 99 – Buildings opposite the site on the eastern side of George Street. Shown are the AIG Building at 220 George Street (left) and the commercial building at 234 George Street.

3.1.1 Views and vistas

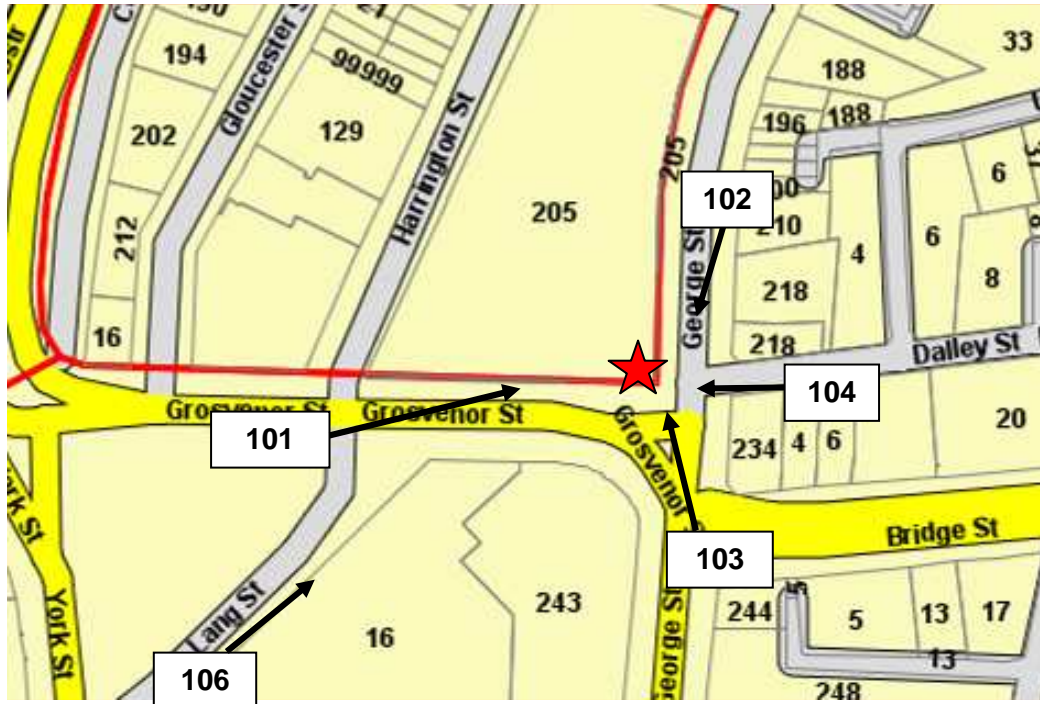


Figure 100 – Area map showing views. Note that the numbers illustrate the locations of the views shown below at figures 93-96 and 98.

Source: RP Data: www.rpdata.com, viewed 14/12/2007

The Johnson's group occupies the corner of George and Grosvenor Streets, providing a gateway to The Rocks. The group is particularly prominent in views from George Street when approached from the south, while views from the north are limited by the curvature of the street and street trees. It is noted that because of the slight curvature of George Street, the position of the Johnson's Building on the street corner and the human scale of the buildings in comparison with the high rise development behind, the Johnson's group is visible from a good distance along George Street. From the western-most section of Bridge Street, the view encompasses both the George and Grosvenor frontages, allowing views to the Johnson's group and part of Royal Naval House. Secondary and limited views are also available from Dalley, Grosvenor and Lang Streets as well as Lang Park, though these views are obviously limited to sections of the group only.

Streetscape views and vistas shown below correspond to the picture numbers shown on the area map at figure 100.



Figure 101–View east along Grosvenor street, showing Royal Naval House and Johnson's Building at the juncture with George Street. It is noted that views from Grosvenor Street are restricted by street trees.



Figure 102– View south along George Street to the Johnson's group



Figure 103– The Johnson's group as viewed from Bridge Street. The view encompasses the George and Grosvenor Street frontages of the group as well as a partial view of Royal Naval House.

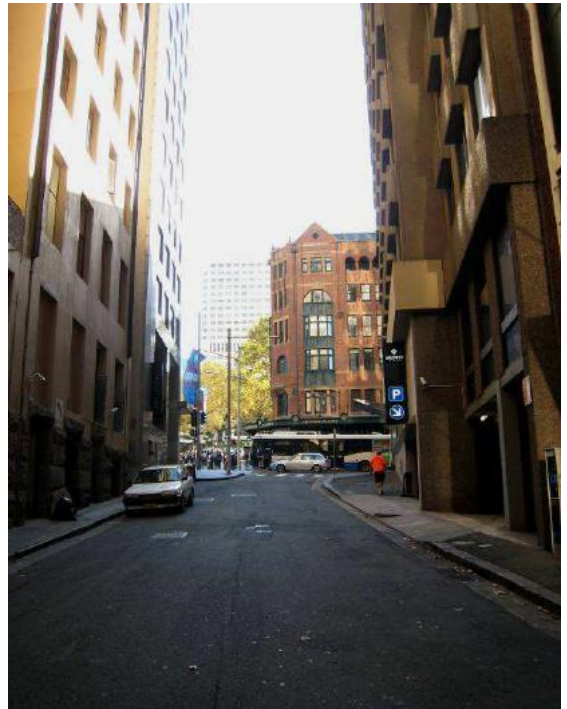


Figure 104– View to the Johnson's Building from Dalley street, opposite the site.



Figure 105– View north along George Street to the Johnson's group. Image taken from the intersection of George and Bond Streets. The Edwardian group creates an element of visual and architectural interest in the context of the surrounding contemporary high rise.



Figure 106– View north east along Lang Street to Grosvenor Tower and Federation Hall.

3.2 Building description

Refer plans and elevations at figures 5-14.

Constructed between 1912 and 1914 in the Federation Free Style, the Johnsons Building, Commercial Building and Brooklyn Hotel are constructed largely in red brick, with sandstone detailing and are 6, 5 and 4 storeys respectively. All three buildings were designed in the Government Architects Office, The Johnsons Building and Brooklyn Hotel were designed by NSW Government Architect Walter Liberty Vernon; with further modifications to the Johnsons Building by Assistant architect G. M. Blair. The design of the Commercial Building has not been attributed though Vernon may also have designed this building prior to leaving the office in 1911.

The group features common stylistic elements contributing to the homogeneity and character of the Edwardian streetscape. All have a strong vertical character owing to the modulation of the facades and the treatment of architectural elements and all feature fine sandstone detailing.

The Johnsons Building façade is noted for its rounded third floor Juliet balcony and the sandstone and red brick colonnade to the recessed balcony on the fifth floor of the George Street elevation; the decorative cartouches; the plaque and pediment accent on the Grosvenor Street frontage and the sandstone and terracotta chequerboard motif over the commercial suite entry. The copper-clad oriel windows also feature a stylised floral relief which contributes to the decorative quality of the façade and responds to the similarly detailed relief on the neighbouring Commercial Building.

The rear Milsons Lane elevation is partially intact, with some modifications to the original openings. The building was then extended to the north, incorporating a new lift lobby and

the original and new building sections are clearly demarcated by the new brickwork. The new northern elevation, which incorporates an outdoor terrace for the hotel, was designed to be sympathetic to the character of the original Johnson's Building and the elevation features similarly proportioned arched window bays with copper sheet cladding.

The Brooklyn Hotel façade features a central sandstone projecting bay (to the upper floors) surmounted by an open balcony and large pediment at the roof level. The balcony is flanked by Ionic columns with dentilled trim over. Windows are vertically proportioned and multi-paned.

The rear of the hotel was demolished and rebuilt as part of the 1991 restorative works and the facade is comparatively plain compared to the original principal Edwardian facade. With the exception of the ground floor entry to the Hotel, the facade is plain bonded brick, with no openings and minimal detailing. The rear Hotel entry forms part of a single storey element that projects beneath the Grosvenor Tower. Repair of the northern gable was also undertaken as part of the restorative works and there is evidence of this in the brickwork.

The Commercial building features a five storey brick and sandstone façade, with central window bay surmounted by open balconies and triangular pediment at roof level. The façade is highly decorative and features variegated voussoirs to the central arch and chequerboard pattern of sandstone and redbrick to the triangular roof pediment. The third floor balcony has been modified by the loss of the original timber window enclosure but retains the decorative moulded waratah design, to the sheet metal cladding. Repair and some replacement of sandstone was undertaken as part of the 1991 facade works however it is not clear from examination of the facade which areas were particularly affected and the restoration works were not documented.

The rear of the building was demolished and rebuilt as part of the 1991 works and the rear facade is constructed of comparatively plain bonded brick, with no openings and minimal detailing.

The George Street shopfronts across all three sites have been refurbished, with the Brooklyn Hotel being the most intact. Accounts of the fire damage suggest that damage to the facade of The Brooklyn Hotel was minimal and the shopfront appears to be intact with some general repair and refurbishment. The shopfront of the Commercial building was rebuilt and modified as part of the 1991 DA works and does not reflect the original façade arrangement. The cantilevered awning across the group was restored based on the original design, although measured drawings were not available. On the whole, these elements remain sympathetic to the Edwardian character and period of the building.

The façade of the building group was cleaned and restored as part of the 1991 restoration and condition appears generally to be good however there is some discolouration of the sandstone, on the base of the third floor corner balcony of the Johnsons building, and on the fourth floor balcony of the Brooklyn Hotel which may be the result of waterproofing treatments. These elements require some assessment and treatment. Assessment of the façade brickwork of the Commercial building has also been recommended along with inspection of copper cladding and corroded balustrades. Accounts of the fire damage were conflicting however one assessment did note that the brickwork of the Commercial building was extensively damaged and recommended its demolition.⁶³

General repair and repainting is required on many of the upper floor timber and ground floor metal window members and frames across all facades. Downpipes may also require




⁶³ Austin Chapman, Professional Services Manager, in Wellings Smith & Byrnes, 1985, p.2.




maintenance as there is evidence of water damage and leakage. The site inspection also revealed additional minor condition issues such as corrosion to awning members and fabric. There was also evidence of graffiti which has been partially cleaned and intrusions to sandstone and brickwork in association with signage for the commercial tenancies affecting the Johnsons building façade.

3.3 Identification of fabric development – external



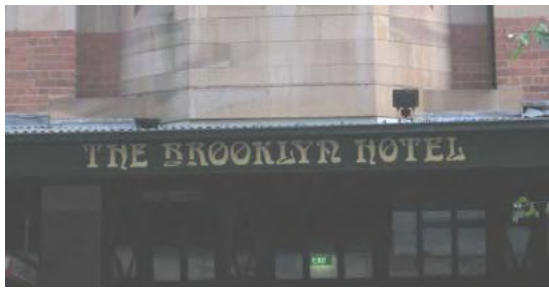

3.3.1 The Brooklyn Hotel/ 229 George Street, The Rocks.

Table 5 – Identification of external fabric

	<p>The ground floor shopfront is highly intact and features timber framed glazing and cladding with marble facade treatment. Signage and awning are contemporary new fabric. Façade also features metal sheet cladding to the bay and intact original basement chute doors (disused).</p>
	<p>Detail of the two toned marble facade cladding. Condition is generally good though there have been some intrusions to the fabric, probably in association with signage. Sandstone capping over the marble has been repaired, probably in association with works to the downpipes piping and services.</p>
	<p>Over the shop front bay the façade features a row of timber framed windows with decorative diamond shaped timber inserts and dentilled trim below. This detail does not correspond with the shopfront façade as indicated on the original plans (refer figure 34). Timber cladding beneath the awning may be new fabric and may correspond to the restoration of the awning in 2003.</p>

	<p>Original doors to basement chute. The original basement was demolished as part of the site works, and the area beneath the Hotel was excavated and redeveloped as part of the sub basement levels to the Grosvenor Tower. Substation and parking facilities have been constructed. The doors are disused and probably no longer operational. The bottom section of the bay is clad in studded metal sheeting (probably copper)</p>
	<p>Although the glazing was not affected by the fire, it is understood that the site was vandalised following the fire and that the majority of the façade glazing was lost. The words "The Brooklyn Est. 1884" (sic) have been printed in the shopfront window and it is further understood that the form of the lettering was inspired by remnant fabric at the Johnson's Building⁶⁴. The mid door, now the main entry to The Brooklyn bar features contemporary glazing, with the hotel logo.</p>
	<p>The Hotel has three accesses at the George Street frontage, two to the bar area, with the third opening to the original corridor to stair hall. This latter door is intact but disused as it is now within the gaming room area and similarly the northernmost door is blocked by internal alterations and is no longer in use. All are matching double doors in timber. Although the form of the door panelling does not correspond with the original plans they are of the period and may be original.</p>

⁶⁴ Transcript of telephone conversation held between the author and Michael Dysart 22/2/2008

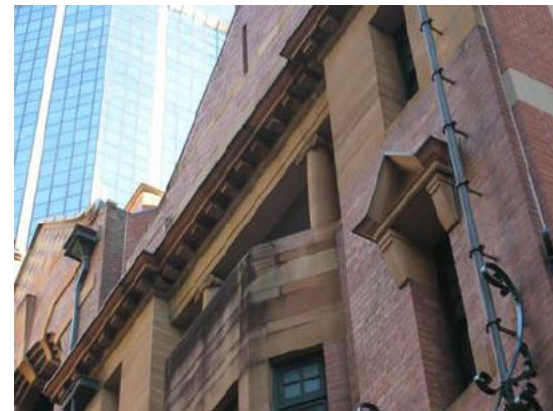
	<p>The awning is new fabric, reconstructed as close to the original as possible as part of the 1991 restoration works (although no measured drawings were available) and Arup Façade Engineering undertook further extensive restorative works to the awning in 2003. Some minor corrosion of the members and tie rods is evident.</p>
	<p>Detail of one of the tie rods on The Brooklyn Hotel (north elevation). These were restored by Arup Façade Engineering in 2003 however some minor corrosion is evident.</p>
	<p>As noted above, The Brooklyn Hotel awning was restored as close to the original as possible although there were no measured drawings. Again the lettering is not documented on the original façade plan but the extant lettering is appropriate to the period and may be drawn from lettering on the original Commercial Building plans. Some maintenance to the awning sheeting and flashing is required.</p>
	



The façade features a central sandstone projecting bay to the first (pictured) and second floors, flanked by narrow windows. All windows are timber framed and multi-paned. The bay windows have been blocked out to ensure privacy to the first floor bathroom and WC facilities. Some evidence of general wear to the sandstone including spalling to the first floor bay, adjacent to the awning.



The third floor balcony takes the form of a recessed loggia flanked by sandstone ionic columns⁶⁵ with dentilled cornice over. There is some severe discolouration to the balcony sandstone which potentially suggests some form of fungus. It may be speculated that a waterproofing treatment has been used on the stone, which has had a converse effect of trapping water within the stone.



Windows are narrow, with the second floor windows embellished by sandstone sills and miniature pediment over sandstone brackets.



The curved sandstone parapet is typical of the style of W.L Vernon and unites the façade elements into an elegant composition.⁶⁶ Repairs were made to the sandstone and brick work of the northern gable though the exact location and nature of the repairs cannot be determined from a streetscape analysis.

⁶⁵ Ken Maher and Partners op.cit "Façade elements"

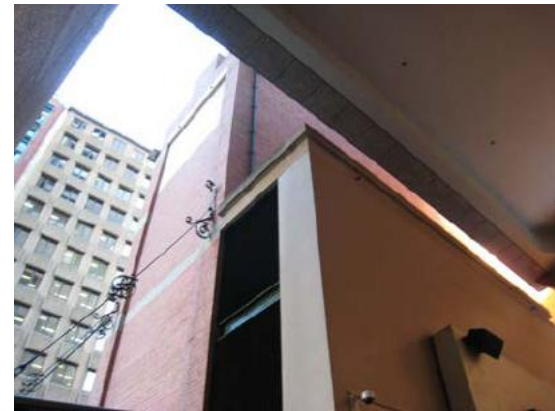
⁶⁶ Ibid



The rear elevation was rebuilt in bonded brick to closely match the colour of the original façade brickwork. Access to the bar is provided and the rear area is used for outdoor seating.





The rear incorporates a small two storey addition, extending the bar area and providing additional store and office areas on the first floor built as part of the 1991 fit-out. The element is rendered and painted with minimal detailing including the sandstone cornice. The element also allowed for the addition of services.





North elevation is constructed in brown/ red dummy English bond brick, with brick or bond inner skins and sandstone coursing. The elevation is plain with minimal detailing.










	<p>The chimney type element is new (probably contemporary to the 1991 fit out). Original plans and photos (refer figures 34-43) show that the Hotel did feature a chimney in this location however this element was removed before the demolition works.</p>
	<p>Partial view of The Brooklyn Hotel roof (indicated) clad in Penrhyn slate (as are the Commercial and Johnson's buildings). The roof was restored as part of the 1991 refurbishment works and retains the pitch and form of the original roof.</p>





3.3.2 The Commercial Building/ 231 George Street, The Rocks.

Table 6 – Identification of external fabric

	<p>The ground floor façade was refurbished and modified as part of the 1991 DA works and features a central timber double entrance door, flanked by full height glazed window panels with marble cladding to the brickwork at either side of the shopfront. The shopfront glazing is framed in copper, matching the shopfront facade of the refurbished Johnson's building, neighbouring the site to the south.</p>
	<p>Detail of the pink marble facade cladding (shown adjacent to the Brooklyn Hotel). Condition is generally good. New fabric (1991 refurbishment and fit-out) but consistent with the marble cladding on the Brooklyn Hotel façade.</p>




	<p>The timber double doors and sandstone threshold date to the 1991 fit-out.</p>
	<p>Detail of the copper framing to the glazed shopfront windows. Although dating to the 1991 fit-out, the fabric is appropriate to the period of the facade and conforms to the restoration of the neighbouring Johnson's building.</p>
	<p>All glazing is contemporary to the 1991 or subsequent fit-outs. Glazing largely covered by contemporary signage in association with the hotel use.</p>
	<p>The awning is new fabric, reconstructed as close to the original as possible as part of the 1991 restoration works (although no measured drawings were available). The element incorporates a classical medallion, following the form of medallions used on the Johnson's building facade. Under awning lighting is contemporary though appropriate to the period of the facade. Arup Façade Engineering undertook further extensive restorative works to the awning in 2003. Some corrosion to the support brackets is evident.</p>

	<p>Detail of one of the tie rods on the Commercial Building east elevation. These were restored by Arup Façade Engineering in 2003.</p>
	<p>The façade features a central projecting window bay to the first (pictured) and second floors. Windows are timber framed and multi-paned and the bay is clad in metal, probably copper sheeting. On the first floor, the bay window is obscured by the mirrors installed in the hotel WC facilities.</p>
	<p>View of the second and (part) third floor bays, showing the embossed triple waratah pattern to the copper cladding on the third floor balcony. Some general corrosion and wear is evident.</p>
	<p>The fourth floor balcony takes the form of a recessed loggia incorporating a simple painted iron balustrade. The façade is dominated by the surmounting arch featuring variegated sandstone and red brick voussoirs.</p> <p>The original third floor balcony window enclosure has been lost (likely in association with the 1991 renovations).</p> <p>Rainwater heads have been restored in copper, and are consistent with the period of the façade.</p>

	<p>The curved form of the gable follows the form of the neighbouring Brooklyn Hotel building and is characteristic of Vernon. The chequerboard pattern of sandstone and redbrick within the gable ties in the dual materials used in the facade while the terminating spirals are typically Art Nouveau.</p>
	<p>Repairs were made to the sandstone and brick work of the eastern elevation though the exact location and nature of the repairs cannot be confirmed from a streetscape analysis.</p> <p>There is some evidence of repointing/ loss of mortar at the upper level, adjacent to the arch which suggests overflowing or leaking rainwater heads.</p>
	<p>The rear elevation was rebuilt in bonded brick to closely match the colour of the original façade brickwork and incorporates a small two storey addition. No rear access to the Commercial Building is provided within the footprint of the remaining building. The image shows the rear elevation behind the Grosvenor tower pillar adjacent to the Brooklyn Hotel rear entry.</p> <p>Again the copper rainwater heads have been designed matching the period of the building and following the original design.</p>
	<p>Partial view of the Commercial Building roof (indicated) clad in Penrhyn slate (as are the Brooklyn and Johnson's buildings). The roof was restored as part of the 1991 refurbishment works and retains the pitch and form of the original roof.</p>

3.3.3 The Johnsons Building/ 233-235 George Street, The Rocks.

Table 7 – Identification of external fabric

	<p>The ground floor red brick shopfront has been refurbished and features full height copper framed windows. A partial view of the Johnson's elevation is shown on the early plans for the neighbouring Commercial Building and it appears that the refurbishment is consistent with the original, with the exception of the deleted George Street entry, the location of which is indicated by the infilled brickwork at the base of the shopfront (indicated on photo).</p> <p>The remainder of the windows were reconstructed either with original fabric or new fabric matching the existing.</p>
	<p>View of the George Street elevation shopfront window framing. Timber Venetian blinds obscure views of the interiors.</p>
	<p>View of the copper window framing, showing a section of internal walling (not original) and the infilled brickwork at right.</p>



There is some evidence of minor water damage to brickwork and some down pipes have been replaced.



Splayed corner shopfront. This element has also been refurbished, incorporating the same full height copper framed window bays. It is understood that during the restoration works, these windows were restored using the original components already in place, with fabric cannibalised from the George Street window bay where required. The shopfront was also carefully reconstructed.



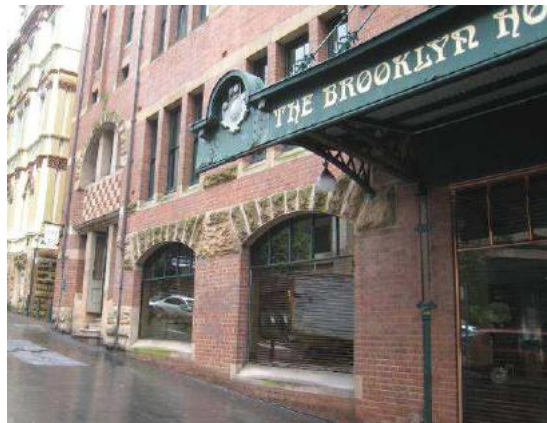
Detail of the pink marble façade cladding, flanking the entry and the contemporary floor tiling. The marble cladding is comparable to that used on the refurbished Commercial Building façade but was probably based on or reconstructed from original fabric based on the brief of works for the restoration of the shopfront entry.






Timber French doors with new glazing. The brief for the facades in the refurbishment works was to retain doors where possible, or restore/ replace in a manner consistent with the original, these were noted as restored in the DA documentation.






View of the splayed entry foyer ceiling with inset detail of the ceiling fabric. This is probably new fabric, but is consistent with the period and façade of the building.



The Grosvenor Street shopfront and commercial entry is highly intact, with minor modifications only to the glazing, including reinforcement of window frames and alterations to the entrance doors of the original lift foyer/ stair lobby.





	<p>Ground floor of the Grosvenor street elevation looking east.</p>
	<p>View of the original commercial entry, showing the terrazzo stair and French doors flanked by sandstone pilasters and narrow timber framed windows. The small awning ledge is finished with a sandstone dentilled trim and either side of entry the sandstone courses are finished with a carved leaf pattern.</p>
	<p>Detail of the sandstone and terracotta chequerboard motif with arched sandstone window bay, over the commercial entry.</p> <p>The 1983 SCRA Conservation plan suggests that the chequerboard element may at one time have been painted⁶⁷ (though not originally) however there is no evidence of this from the street. The sandstone voussoirs are noted as discoloured.</p>

⁶⁷ SCRA Conservation Plan 1983, Drawing 36

	<p>View of the French doors, with contemporary glazed door behind. The 1983 SCRA Conservation plan suggests that the doors had been amended; certainly the door furniture is contemporary as is the glazing⁶⁸.</p> <p>As noted above, the brief for the facades was to retain doors where possible, or restore in a manner consistent with the original. Inspection of fabric suggests that the doors are early if not original.</p>
	<p>Detail of terrazzo stair to commercial entrance vestibule.</p> <p>The 1983 SCRA Conservation Plan indicates that the stair is not original however it does correspond with the internal stair fabric within the lift lobby⁶⁹.</p>
	<p>One of the carved sandstone leaf motifs flanking the Commercial Building entry.</p> <p>The sandstone is discoloured and may be associated with water run off from copper façade features but is likely a form of algal growth.</p>

⁶⁸ Ibid

⁶⁹ Ibid

	<p>Contemporary signage adjacent to the commercial entry</p>
	<p>Evidence of filled intrusions to sandstone (probably in association with signage).</p> <p>NB: This section of stone is located to the right of the commercial entry.</p>
	<p>The southern elevation features two arched window bays, finished with sandstone voussoirs and sills. In contrast to the upper floor windows, these windows are metal framed. The metal work on both windows is buckling. (Refer inset picture.)</p> <p>The sandstone on the window arches and sills on the ground and first floor are also noted as discoloured.</p>
	<p>Detail of the western window sill (southern/Grosvenor elevation) with contemporary black probably aluminium frame reinforcing the original metal frame.</p>



The ground floor of the western elevation incorporates a fire egress, the door extended from a window in the original section of the building, as well as a secondary entry to the lift lobby at the rear, in the contemporary tower addition.




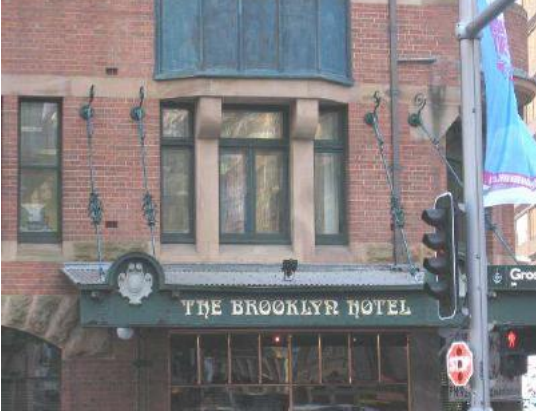

Detail of the new threshold and cut sandstone in the altered fire egress.



The arched window bay is timber framed and a semitransparent film has been added to the glazing, obscuring views to the lobby. The sandstone voussoirs appear in generally good condition and some discolouration of the sills is evident.



The sandstone sill to the west elevation ground floor window has cracked and repaired, and there is also evidence of minor cracking to brickwork below the window bay. Some repointing is evident.

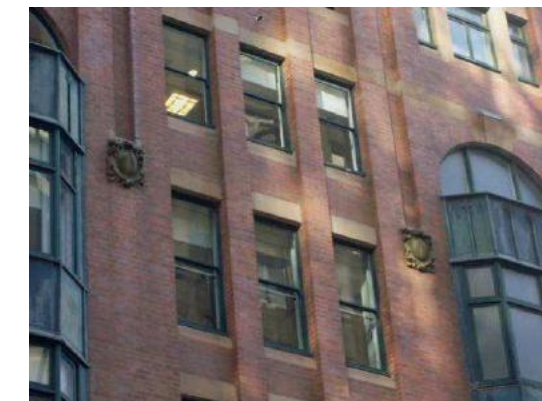
	<p>View of the rear western elevation lift lobby entry, with first floor balcony over. This is within the contemporary rear addition.</p>
	<p>The element wraps around the shopfront, along the length of the George Street façade and part way along the Grosvenor frontage. The element incorporates a semi-circular accent detail, finished with a contemporary cartouche, matching the sandstone façade forms. The cantilevered awning is fixed to the façade, supported by decorative tie-rods.</p>
	<p>View of the awning showing contemporary lighting and corrugated sheeting, as well as new/ modified down pipes.</p>







Detail of one of the tie-rods, as viewed from Grosvenor Street.











There is evidence of some corrosion to the awning, particularly the fascia, which should be treated and repainted (see indicated areas.)
The first image of the awning is from the Grosvenor Street frontage, the second; the George Street frontage.



View of the George Street elevation, showing the third and fourth floor window openings. Across both elevations the windows are typically timber, double hung and vertically proportioned. The verticality of the façade is enhanced by the brick pilasters dividing the window bays. Windows also feature sandstone sills and lintels.
The sandstone cartouches are also shown.

	<p>View of the two storey window bay with arched window over. The windows are timber framed, although the bay is clad in copper sheeting. The sheeting is further articulated into sections, which contributes to the vertical character of the façade.</p> <p>Glazing in the northernmost window bay on the George Street elevation has been modified in association with internal uses, as WC and kitchenette facilities have been introduced to this section of the building.</p> <p>(NB: The detail is from the Grosvenor Street elevation).</p>
	<p>Detail of the oriel window cladding, which appears to be a stylised floral motif, a form of fleur-de-lys.</p>
	<p>Detail of one of the George Street elevation bays showing the patina of the aged copper cladding</p>
	<p>Sandstone base to window bay.</p>

	<p>View of the George Street elevation fifth floor balcony arcade, with alternating brick pilasters and sandstone pediment detail over.</p>
	<p>Detail of triangular gable with sandstone capping.</p>
	<p>Detail of the truncated finial across the roof pediment.</p>
	<p>View of the splayed corner bay, showing the underside of the third floor sandstone and redbrick balcony.</p>

	<p>Balcony detail. There are signs of water damage or cracking to the masonry of the underside of the element, which should be assessed.</p>
	<p>The parapet at the splayed corner is embellished by three sandstone heraldic shields, flanked by the truncated parapet finials.</p>
	<p>Grosvenor Street elevation detail, showing the fifth floor arched window bays, with decorative sandstone keystone.</p>
	<p>View of the Grosvenor Street second floor windows, featuring sandstone lintels and sills, with corresponding sandstone stringcourse.</p>



The original stair and lift well is located in the south western corner of the site, and the tower typically features smaller windows, offset from the position of the other façade windows, reflecting their location in the stair well landings between the floor levels (refer also to the western elevation view below).



Westernmost gable with semi-circular pediment detail (Grosvenor street elevation). This is the only pediment of this style (with all others being a simplified triangular gable) and responds to the more embellished pediments on the neighbouring Royal Naval House, which have a Dutch flavour. The element incorporates a sandstone plaque, marking the date of the buildings construction, in 1912.



View of the western elevation showing the return of the stair and lift well at the southwest corner of the site, and the adjoining contemporary addition which houses the new lift well. The contemporary element is constructed in bonded brick and is further articulated by sandstone courses that delineate the floor levels. The lift motor room is also shown over the contemporary tower.



View of the contemporary north elevation showing the ground floor terrace and balcony over.



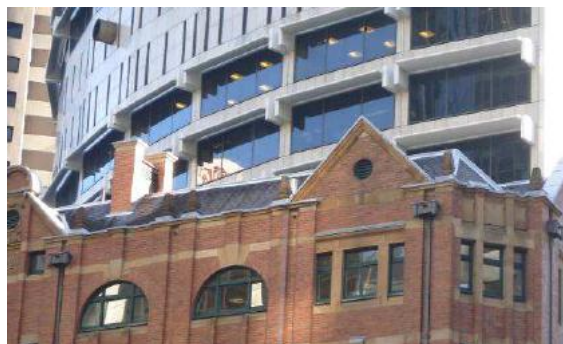
Hotel terrace, used as an outdoor dining area for the Brooklyn Hotel bistro. The photo shows a pair of large French doors opening to the terrace.






View of the contemporary northern elevation, showing the traditionally proportioned window openings. Comparable materials have been employed, including sandstone courses and sills, and copper cladding to the arched window bays.



View of the contemporary rear bonded brick elevation. The rear of the neighbouring Commercial Building is also shown.



The Grosvenor façade roof and chimney, as viewed from Bridge Street. The hipped roof is L shaped, with a flat roof behind, incorporating services and lift motor room.

	<p>View north, showing a section of the Grosvenor Tower at left and the hipped roof (with chimney) overlooking George Street. The Harbour Bridge is shown in the distant view.</p>
	<p>Roof view showing the chimney and original roof access, with contemporary lift motor room/ services shown at right.</p>
	<p>The hipped roof is clad in Penryhn slate (as are the roofs of the Commercial and Brooklyn Hotel buildings). The roof was restored as part of the 1991 refurbishment works and retains the pitch and form of the original roof.</p>

3.4 Identification of fabric development – internal

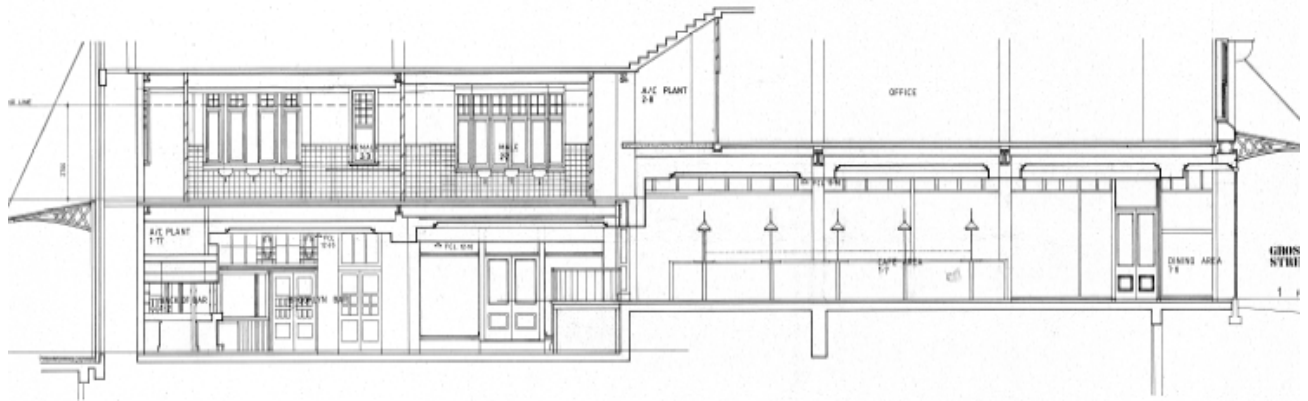


Figure 107– Cross sectional view of the Brooklyn Hotel tenancy (ground floor and first floor across the three sites)

Source: Michael Dysart and Partners drawing number WD 91000/5. Application 91/DA/16 June 1991.

The 1983 Sydney Cove Redevelopment Authority Conservation Plan has noted the interiors as being well designed for their purposes and pleasant, rating them as being of Grade 2 significance, which is defined as being of “some cultural significance, conservation warranted if at all practicable.” The document however further noted that the interiors would not warrant retention in their own right⁷⁰.

The interiors of the building group largely date to the 1991 and subsequent fit outs and original and/ or early fabric is limited to the façade and limited fabric within the Johnsons Building including the entrance vestibule and stair hall in the original commercial entry to the Johnsons building from Grosvenor Street, potentially some of the structural supporting columns in the bar area and potentially one fireplace in level three of the commercial tenancy. Party walling has largely been rebuilt. It is understood from discussions with the architect of the fit out, Michael Dysart, that the Hotel fit-out on the ground and first floors were devised as a sympathetic Edwardian interiors but were not based on the original interiors⁷¹.

⁷⁰ Conservation Plan Sites D5, D6, D11 Sydney Cove Redevelopment Authority April 1983 pg 105

⁷¹ Transcript of telephone conversation held between the author and Michael Dysart 22/2/2008

3.4.1 The Brooklyn Hotel/ 229 George Street, The Rocks

Table 8 – Identification of Internal fabric

The Ground Floor Bar Area	
	<p>The bar is timber clad, with decorative turned timber columns. Reproduction, in the style of a typical Edwardian hotel bar.</p>
	<p>All back bar equipment and services including taps are new, dating largely to the 1991 fit-out.</p>
	<p>Pressed metal fascia to Brooklyn bar, matching the ceiling panelling. (Probably part of the 1991 fit out.)</p>
	<p>Ceilings are inset pressed metal in period floral design, with egg and dart cornice and fixed ceiling lighting. Gold/ green in colour. Single ceiling fan attached.</p>

	<p>View of the timber clad gaming area from The Brooklyn Bar. Part of the gaming area is within the footprint of the original Brooklyn building. Cladding for the gaming area matches the half timbered wall cladding in the bar area</p>
	<p>Dumb waiter. The service encloses the northern most George street access. Contemporary service.</p>
	<p>View south to the ground floor interior of the Commercial Building. The extent of the original Brooklyn Hotel ground floor area is indicated by the wall shown at right. This wall is not original.</p>
	<p>Within the gaming room, a wall nib has been retained, interpreting the location of the original party wall between The Brooklyn and Commercial Building on the ground floor. Correspondence between the then SCRA and Grosvenor Place Pty Ltd has indicated that the retention of party walling was not required by the DA approval and this section of walling may not be original⁷². To the left of the nib is the southernmost entry door (now disused).</p>

⁷² Letter from the Sydney Cove Authority to Mr A. Amos Grosvenor Place Pty Ltd 7/12/1988

	<p>The ground floor bar area features timber flooring and cladding to structural columns. It is noted that the excavation required the demolition of all supporting columns and footings and these are not original.</p>
	<p>View of the internal joinery and former basement chute doors. Doors are timber with opaque leadlight glazing.</p>
	<p>View of the ground floor bar with rear courtyard beyond. Internal walls are rendered and painted in light and dark grey, half timbered to the approximate height of 1m. A small timber shelf is provided within the wall cladding in the seating areas on the south side and adjacent to the entry on the east wall. Timber skirtings are also featured. The rear courtyard is accessed via timber double doors, featuring contemporary opaque glazing incorporating The Brooklyn Hotel logo.</p>
	<p>View of the tiling and brass foot rail at the base of The Brooklyn bar.</p>

First Floor (Brooklyn Hotel staff office/ services and public amenities area)



View north along the main hall to office. Walls are masonry, painted charcoal and yellow. Overall the fabric of the first floor is simpler than the ground floor public areas, although there are stylistic elements in common, specifically the joinery including timber skirtings, doors and unpainted door frames as well as the egg and dart ceiling cornice. Ceiling is plain plaster board sheeting. Hall and office areas are carpeted.

It is noted that the upper level is accessed via stairs within the footprint of the "Commercial Building."







Detail of timber doors to fire extinguisher and electrical services. The office door is partially shown at right. The timber is unpainted, stained in high gloss sheen.


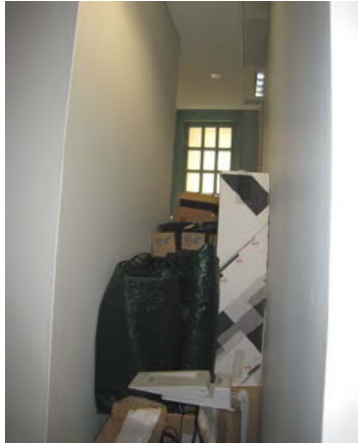



Unremarkable contemporary fit out, with low level suspended sheet ceiling. The projecting section on the north wall (where the clock is mounted) provides for services including the bar exhaust duct.




Enclosed secure area within office with tinted glazing.

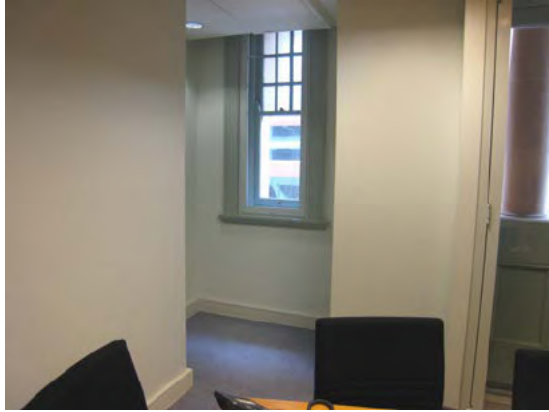


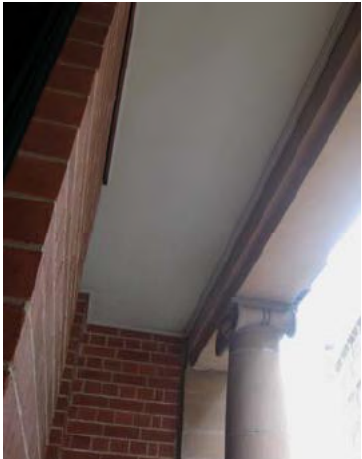
	<p>Women's WC facility within the front room of the former Brooklyn Hotel bar. The windows have been enclosed and fitted with mirrors with glazing intact behind. Ceiling has been lowered, (probably to accommodate services) but is setback to allow full visibility of the windows. Flooring is tiled. The bathroom and all internal fabric was constructed as part of the 1991 fit out.</p>
	<p>Ceiling detail</p>
	<p>Detail of the terrazzo WC cubicles.</p>
<p>Second Floor of The Brooklyn Hotel Building- Commercial tenancy</p>	
	<p>The area within the footprint of the former Brooklyn Hotel is used by the tenants as a Boardroom. The space has been fit out in accordance with the tenant requirements and the bulk of the fabric is new. The ceiling has been lowered to accommodate services, partitions; floor and wall coverings and colours are determined by the tenancy. The partition between the Commercial and Brooklyn buildings does not correspond with the original party wall.</p>



	<p>The original window bay has been retained, with additional glazing installed for soundproofing.</p>
	<p>The northern section of the room has been partitioned for storage purposes, with the single window retained within. Services bulkhead shown at left.</p>
	<p>Wall nib and bulkhead within the storage area, between the Commercial and Brooklyn buildings. As discussed above in relation to the retention of nibs on the ground floor, the retention of party walling was not required by the DA approval and it is unlikely that this section of walling is original⁷³. The element has relevance however as it provides for the interpretation of the original spaces.</p>

Third Floor of The Brooklyn Hotel Building- Commercial tenancy

	<p>As with the level 3 tenancy the area within the footprint of the former Brooklyn Hotel is used by the tenants largely as a Boardroom. Again, the fit-out and partitioning is contemporary and does not strictly correspond with the original party walling. Partitions are glazed. Paint colour scheme and floor coverings (carpeting) determined by the tenancy.</p>
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⁷³ Letter from the Sydney Cove Authority to Mr A. Amos Grosvenor Place Pty Ltd 7/12/1988

	<p>Ceilings are suspended sheeting and have been lowered to accommodate services. Ceilings are setback from the windows so that the change in heights is not visible from the street. Additional glazing has been added over the existing windows to provide soundproofing. Services bulkhead shown at left.</p>
	<p>Balcony accessed via two sets of timber double doors. General wear noted, along with corrosion to door furniture. Probably early or original fabric. Painted green, probably as part of the 1991 restoration works. (As previously noted, the paint palette for doors and windows was based on scrapings of the original and developed in consultation with The Foreshore Authority).</p>
	<p>Detail of the Ionic column capping (viewed through the glazing). Condition generally good.</p>
	<p>Balcony roofing appears refurbished.</p>

	<p>View of the sandstone and brick balcony with tiled flooring</p>
	<p>The upper level interior between the Infill and Brooklyn buildings is more open plan in comparison with the lower levels; however a wall nib and bulk head (indicated) have been retained to interpret the original party wall. Again it is unlikely that the element, in particular the bulk head, is original.</p>

3.4.2 The Commercial Building/ 231 George Street, The Rocks

Table 9 – Identification of Internal fabric

The Ground Floor Bar Area	
	<p>The ground floor of the Commercial Building incorporates the stair access to the first floor (dating to the 1991 fit-out) and the games room which was added more recently, as part of 2003 DA works by Nicholas Dunn Architects.</p> <p>View of the timber clad gaming area from the Brooklyn Bar. Part of the gaming area is within the footprint of the original Brooklyn building and cladding for the gaming area matches the half timbered wall cladding in the bar area.</p>



Within the gaming room, a wall nib has been retained, interpreting the location of the original party wall between the Brooklyn and Commercial Building on the ground floor. Correspondence between the then SCRA and Grosvenor Place Pty Ltd has indicated that the retention of party walling was not required by the DA approval and this section of walling may not be original⁷⁴. All carpeting and finishes within the games room are contemporary, probably having been refurbished since the 1991 fit-out.



View of the timber framed shopfront glazing. The timber blinds obscure views from the street and the entry is disused.



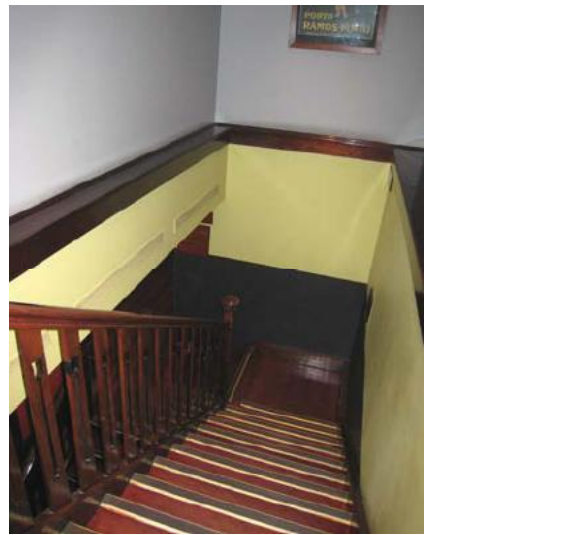


Ceilings are inset pressed metal in period floral design, with egg and dart cornice and fixed ceiling lighting. Gold/ green in colour. Ceiling fabric is common throughout the ground floor bar area across the three sites.



View south to the Johnson's building. The stair compensates for the difference in floor levels between the sites. The arrow indicates the party wall between the two buildings.

⁷⁴ Letter from the Sydney Cove Authority to Mr A. Amos Grosvenor Place Pty Ltd 7/12/1988

 A photograph showing a wooden staircase with a dark wood handrail and balustrade. The stairs lead up to a lounge area with a sign that says "LOUNGE". The walls are painted yellow and dark grey.	<p>Timber stair to first floor office and WC facilities. The upper floor area of the Commercial Building incorporates only a section of the hall and the men's WC facilities.</p> <p>It should be noted that the stair has been designed to compliment the Edwardian character of the building but does not reflect or interpret original fabric.</p>
<p>First Floor (Brooklyn Hotel staff office/ services and public amenities area)</p>	
 A photograph of a hallway with yellow walls and dark grey wainscoting. A green "EXIT" sign is visible at the end of the hallway. A wooden door is on the left, and a staircase is on the right.	<p>Hall view south (from the Brooklyn building) showing the stair at right and entry to men's WC at the far left of the corridor. The interior finishes including carpeting, render and paint scheme are contemporary, probably having been refurbished since the 1991 fit-out.</p>
 A photograph of a staircase with a wooden handrail and balustrade. The stairs lead down to the ground floor. The walls are painted yellow and dark grey.	<p>View of the stair to ground floor from the first floor.</p>






Detail of the egg and dart cornice. New fabric but sympathetic to the Edwardian character of the facade and interior.




Men's WC facility within the front room of the former Commercial Building, dating to the 1991 refurbishment.




The windows have been enclosed and fitted with mirrors with glazing intact behind. Ceiling has been lowered, (probably to accommodate services) but is set back to allow full visibility of the windows. Flooring is tiled.




	<p>Urinals (1991 fit-out.)</p>
<p>Second Floor of the Commercial Building- Commercial tenancy</p>	
	<p>The area within the footprint of the former Commercial Building is currently being used by the tenants as storage/ office area. The space has been fitted out in accordance with the tenant requirements and the bulk of the fabric is new. The ceiling has been lowered to accommodate services, partitions, floor and wall coverings and colours are determined by the tenancy. View north from the Commercial Building to the former Brooklyn Hotel.</p>
	<p>The original window bay has been retained, with additional glazing installed for soundproofing. Desk joinery is new.</p>

	<p>The Brooklyn Hotel and Commercial Building areas have a lower floor level than the Johnson's building and the area is accessed via stairs.</p>
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3.4.3 The Johnsons Building/ 233-235 George Street, The Rocks.

Table 10 – Identification of Internal fabric

Grosvenor Street commercial entrance/ vestibule and stair lobby	
	<p>View of the vestibule from the stair. The space features black and white geometric floor tiling with $\frac{3}{4}$ height terrazzo wall cladding. The stair is also marble, with timber and wrought iron balustrade.</p>

	<p>Detail of the balustrade and marble wall cladding, which continues to the first floor stair landing. The contemporary lift lobby is partially visible at left.</p>
	<p>View of the terrazzo wall partitioning and timber cladding over arched window bay.</p>
	<p>North wall of the original vestibule with contemporary tenancy signage. The original lift was located behind the metal grill indicated.</p>



Detail of the classical geometric floor tiling.



Detail of the marble newel post.



Detail of the marble wall cladding and part view of Grosvenor Street window and contemporary glazed door.



View from the vestibule to the contemporary lift lobby.



The contemporary lift lobby






View of the contemporary lift car within the new section of the building.






Contemporary lift lobby view showing the secondary access to Milson's Lane.



View from the vestibule to the first floor (level 2 stair) landing. The stair was originally the main entrance to the commercial floors and the arched recess has been infilled and the stair is now utilised as a fire stair. In figure 74 the building is shown from the rear as partially demolished and these arches are clearly visible.

	<p>Detail of the stair, balustrade and marble wall cladding from the level 2 landing. The terrazzo stair is discontinued at this point, with a painted concrete stair leading to the upper levels. The balustrade fabric is common throughout all floors.</p>
	<p>View of the mid level landing from level 2. The arched window shown, is that over the Grosvenor Street commercial entry.</p>
	<p>View from landing to level 3. The materials are common throughout the stairwell on the upper levels</p>

 A photograph showing a staircase with red-painted concrete risers and a wrought iron balustrade with a wooden handrail. A window is visible on the landing above.	<p>View from level 3 to return landing.</p>
 A close-up photograph of the red-painted concrete stair risers and the wrought iron balustrade.	<p>Detail of the painted concrete stair risers and wrought iron balustrade.</p>
 A photograph showing a staircase with red-painted concrete risers and a wrought iron balustrade with a wooden handrail, leading up to a landing area with a doorway.	<p>View from level 3 to WC on mid level landing.</p>



View of the contemporary WC fit out in WC between levels 4 and 5. It is noted that the fit out is standard on all floors with minor differences between men's and women's facilities. (Men's WC's may contain urinals).



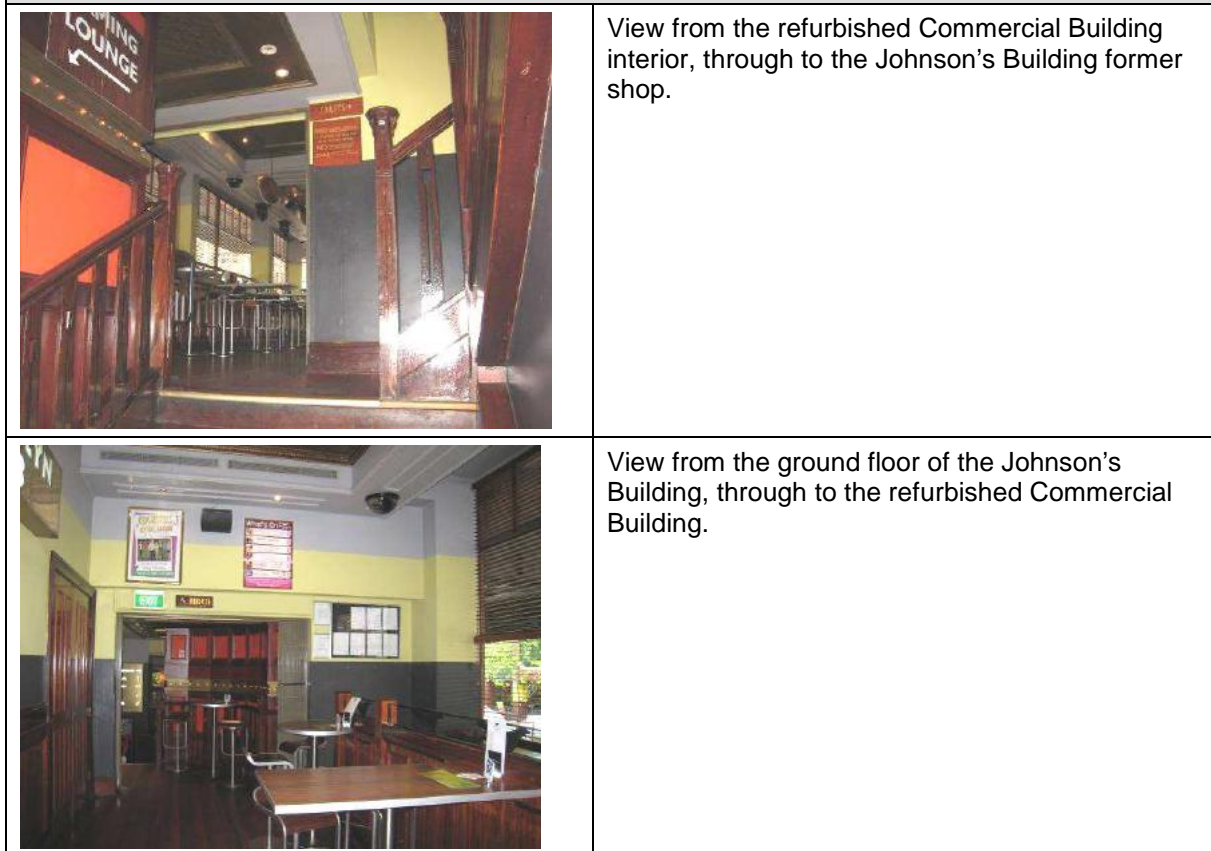
Detail of one of the double hung timber windows within the WC cubicle. Windows on the Milson's Lane elevation have been refurbished or replaced to match the original.



View to landing and WC from level 6 stair landing (between levels 5 and 6).



The Ground Floor Bar





View north showing the contemporary bar at left. The bar was modified in 2003 following a design by Nicholas Dunn and Associates. The 1991 timber and stainless steel bar was replaced with a timber and marble structure.



View north showing the window bays overlooking George Street. The window display bays are interpreted through the creation of a lowered floor area, separated from the main bar with timber partitioning. The area also features tiled flooring in contrast to the timber floors utilised throughout the main bar area.



The 2003 bar, surrounded by four structural columns, retained from the original structure, though modified, with works including new render and finish.



Bar view west. In the spirit of the Edwardian period of the building, the Hotel fit-out does feature some sympathetic detailing including half height timber wall cladding, shown on the south elevation wall, at left.

	<p>Detail of the contemporary marble clad bar.</p>
	<p>Ceiling view showing decorative suspended elements. The pressed metal ceilings match those utilised in the Edwardian fit-out for the former Brooklyn Hotel building, at the north end of the building group.</p> <p>Ceilings are inset pressed metal in period floral design, with egg and dart cornice and fixed ceiling lighting, gold/green in colour.</p>
	<p>Detail of timber flooring.</p>
	<p>Detail of tiled flooring in lowered window "display" area. Timber cladding to partitioning is also shown at left along with traditionally detailed skirting joinery, shown on the north wall.</p>



Staff service area on the western side of the bar, adjacent to the kitchen.





Staff service area, showing service window through to kitchen.
NB the kitchen is located below the original lift lobby (accessed via Grosvenor Street) and the kitchen subsequently has a lower floor level than the former shop area.





View to staff service area on the western side of the bar, adjacent to the dining terrace enclosure.







Lift lobby within the staff area in the south western corner of the building. The corridor at left leads through to the bistro kitchen.

	<p>Bistro kitchen (contemporary fabric).</p>
	<p>Bistro terrace on the contemporary northern elevation (off Milson's Lane).</p>

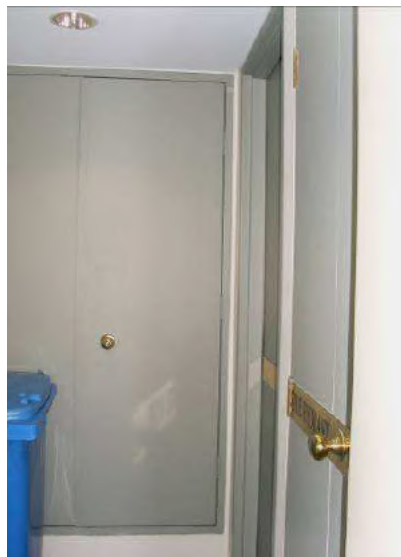
First Floor Commercial Tenancy

	<p>Reception area with the new lift just visible at right. NB: All internal fabric relating to the fit-out, including floor and wall coverings and finishes is determined by the tenancy and is contemporary.</p>
	<p>Meeting/ Boardroom behind the reception area. The northern elevation terrace is accessed through doors shown at left.</p>

	<p>View to terrace from boardroom.</p>
	<p>View east showing open plan internal floor plan and windows overlooking George Street. The structural column is not original however interprets the location of one of the original support columns, of which there were originally 6.</p>
	<p>View north showing staff kitchenette facility. The door shown at the centre of the photo is the access to the WC, the new concrete fire stair and AC plant.</p> <p>NB: There is no access to the Commercial Building or Brooklyn Hotel from this level.</p>
	<p>View of the brick and sandstone window bay overlooking Grosvenor Street (adjacent to the splayed corner). Windows are painted timber and additional glazing has been fixed to the interior of the window, for sound proofing.</p>



Corner office with views to Metropolitan Hotel opposite.



Corridor view - AC plant services are accessed through the cupboard at rear, while the WC is located to the right. The fire stair is immediately opposite, to the left of the corridor (not shown). All of these elements and associated partitioning date to (or post date) the 1989 reconstruction and services were not previously located in this area of the original floor, which was originally open plan and used as a show room.



Contemporary fire stair located on the north side of the building, adjacent to the neighbouring Commercial Building. This view is taken from level 3, looking down to level 2, however the stair fabric is the same throughout. The stair is concrete and the balustrade, painted metal.



Detail of the window in WC with contemporary frosted glass. The window is part of the northern most window bay on the George Street elevation, part of which has been obscured by partitioning for the adjacent services which are not publicly accessible.

Level 3 / Second Floor Commercial Tenancy



As discussed above in relation to level 2, the space has been fit out in accordance with the tenant requirements and the bulk of the fabric is new. The ceiling has been lowered to accommodate services, partitions; floor and wall coverings and colours are determined by the tenancy.
View of the lift lobby and reception area.



View of the northern elevation terrace, with views to the Grosvenor Tower and adjacent courtyard (off the reception area).



View of office fit out showing office areas at left with glazed partitioning.



Office view with windows overlooking Grosvenor Street. The office is enclosed with contemporary glazed partitioning. Note the lowered ceiling (for services) setback from the windows so as not to affect views from the street.



Detail of the brick and sandstone Juliet balcony, at the corner of the building. The element appears to be in good condition though there is some evidence of the re-pointing to brickwork. The balcony is accessed via timber double doors. General wear noted. Likely early or original fabric. Painted white.



Detail of the fireplace in the corner office. This element is certainly consistent with the period of the building and may or may not be original. This is the only fireplace in the building.



View of the staff kitchenette overlooking George Street. (Partitioning is contemporary.)



View of the northern George Street window bay with contemporary frosted glazing. As noted above in relation to the first floor fit out, services were introduced in this section of the building following the 1989 refurbishment and frosted glazing was introduced in association with this use. The partitioning is also contemporary and this section of the building was originally open plan.



View south from the neighbouring Commercial Building, showing stairs to the Johnson's Building. The tenancy occupies the entire floor across the three sites in the Johnson's group.

Third Floor / Level 4 Commercial tenancy



Again it is noted that the fit-out and partitioning is contemporary and determined by tenancy preference and requirements. The floor is currently vacant however at the time of inspection, the fit out was retained from the previous tenancy.

View of the boardroom with views to the Tower and courtyard, to the north of the Johnson's Building.

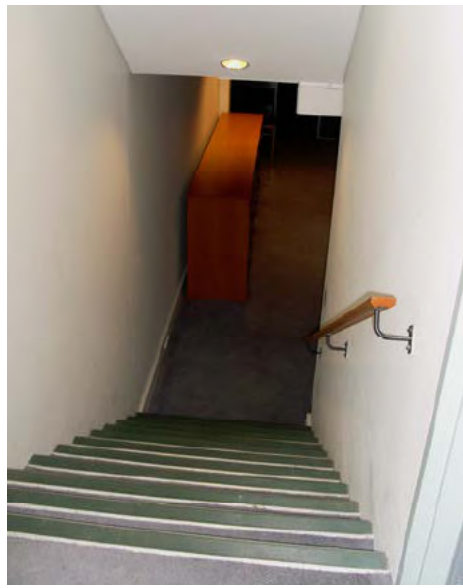


View of office area showing partitioning. The windows overlook George Street. A section of party walling is shown at the rear, though this has been rebuilt.



Office area showing partitioning. The windows overlook Grosvenor Street, with the Metropolitan Hotel visible opposite on the corner of George and Bridge Streets.

 A photograph showing a hallway with a carpeted floor, white walls, and a dark door at the end. A green exit sign is visible above the door. To the right, there is a dark wooden cabinet and a white shelf.	<p>Office view</p>
 A close-up photograph of a suspended ceiling with white acoustic tiles and several square recessed light fixtures.	<p>Ceilings are suspended sheeting and have been lowered to accommodate services. Ceilings are setback from the windows so that the change in heights is not visible from the street.</p>
 A photograph of a room with a large window featuring frosted glass panes. A desk and chair are visible in the foreground, and a white cabinet is on the right side.	<p>View of the northern bay converted for use as a bathroom and then remodelled as a kitchen. Fixtures and fittings comparable to those used on the floor below, though the flooring has been renewed.</p>



Stair access to office area within the neighbouring Commercial Building and Brooklyn Hotel. The floor is tenanted as a single office space across the three sites within the Johnson's group.

Fourth Floor / Level 5 Commercial tenancy



View of the contemporary lift lobby
Again it is noted that the fit-out and partitioning is contemporary and determined by tenancy preference and requirements.



Meeting rooms adjacent to the lift lobby. The rooms had only just been completed at the time of the June 2008 site inspection. The arched window shown overlooks the courtyard between the building group and the Grosvenor Tower.



View west showing the contemporary office fit out. Windows shown at left overlook Grosvenor Street.



Detail of arched window bay with contemporary joinery below. Windows on this floor had only recently been repainted internally and this floor is noted as the only floor that has not installed sound proofing to glazing.



Detail of same window bay as above, showing the condition of the external timbers. The timber requires treatment and repainting.



Detail of timber window joinery and furniture showing sash cords.



View of the top of the copper window bay. The copper sheeting has a typical patina of wear but appears to be in good condition generally.



View of the converted contemporary kitchenette with new frosted glazing in the arched window.



View of the office interior, showing stair access to the section of the commercial floor within the neighbouring Commercial Building.

As noted above, all fixtures and fittings are contemporary, including carpeting, glazed partitions and the suspended ceilings shown in the image.



View to the Johnson's interior from the neighbouring Commercial Building.

It is noted that the footprint of this floor is smaller than lower floors as the Brooklyn Hotel is only 4 storeys while the Commercial and Johnson's Buildings are five and six storeys respectively. This floor therefore does not connect to The Brooklyn Hotel.

Fifth Floor / Level 6 Commercial tenancy



Commercial office view.



Office view showing access to balcony. The timber doors and flanking double windows are in good condition and may have been restored.



Staff kitchenette on the north side of the floor. The door just visible at right leads to a service area (refer picture below).


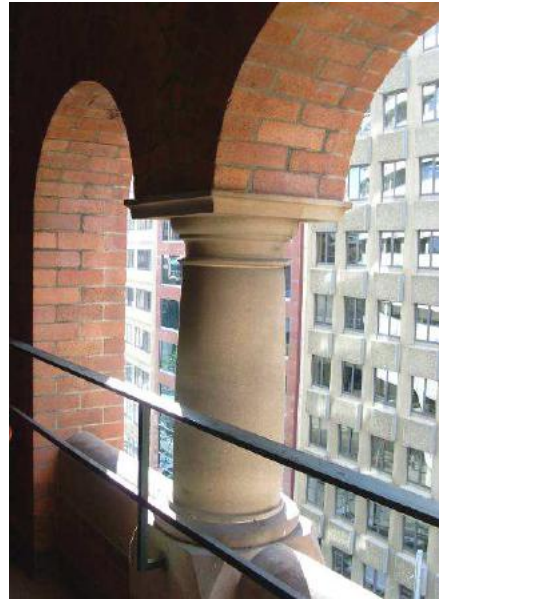



Contemporary services. This section has been partitioned from the open plan floor area and the window shown overlooks George Street.



Balcony view. The balcony tiling and ceilings have been refurbished, and the tiling matches that utilised on the neighbouring Commercial Building and Brooklyn Hotel. The balcony features a triple arch colonnade with sandstone columns and brick arched voussoirs. The sandstone balustrade is quite low and there is a secondary metal balustrade behind, setback from the columns to minimise visibility from the street.

It is noted that the early floor plans of the additional level show windows at either end of the balcony, however it is not known whether these were ever constructed or if they were demolished in the 1980s/90s building works.

	<p>Detail of the timber double doors and flanking double windows. The timber appears to have been recently painted and is in good condition.</p>
	<p>View of the sandstone columns and brick arched colonnade.</p> <p>The metal balustrade is also shown. It is not known whether this is an early or original element. It does not show on early plans and may have been added to comply with BCA, however the original sandstone balustrade is quite low, and some additional balustrading would certainly have been required. The neighbouring Commercial Building also utilises similar materials on the upper floor balcony balustrade.</p>
	<p>Detail of the refurbished ceiling.</p>

3.5 Assessment of archaeological potential

The archaeological potential of The Rocks has been assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* and in the Foreshore Authority's S.170 Heritage Register. The subject site however is regarded as highly disturbed and archaeological potential is considered negligible.

3.5.1 Below Ground

The historical development of the site indicates European occupation since the earliest years of the colony when the site was part of the Parade Ground. Thereafter the Brooklyn Hotel site was occupied by a terrace house/ shop in the 1840s and successive structures were constructed circa 1884 and 1912. The Commercial building site was occupied by a terrace housing in the 1840s, which was used variously as a house and restaurant/ café in the later 19th century before being demolished for the road widening. The Johnsons building site was similarly occupied by various shops and dwellings during the 19th century before the current building was constructed.

Deep features such as wells and cesspits would normally be present in former yards however the site has been so extensively excavated that it is unlikely that any such elements would remain. Excavated in association with the tower development, there are three levels of basement parking and services below the subject building group and there are no traces of original basements. Views of the excavation and development were shown at figures 70-74.



Figure 108 – Subfloor basement view

3.5.2 Above Ground

Roof and between-floor spaces sometimes contain archaeological relics. Disturbance of such relics should be minimised. If they do need to be removed, this should only be done by, or under the direction of, a qualified archaeologist. Locations should be recorded and items conserved, catalogued and stored in accordance with the Foreshore Authority and NSW Heritage Office Guidelines.

In the case of the subject site however, the building was subject to extensive demolition, excavation and rebuilding works in the 1980s and early 1990s and the roof and floors were rebuilt. Any relevant archaeological findings would surely have been found during the course of these comprehensive works and the potential for further above ground findings is considered nil.

4 Assessment of cultural significance

4.1 Assessment of significance

4.1.1 Comparative analysis

The building group was constructed between 1912 and 1914 in the Federation Free Style and designed in the Government Architects Office. The Brooklyn Hotel and Johnsons Buildings have been attributed to W.L Vernon who was a key figure in the redevelopment of this section of The Rocks. While it is noted that G. M. Blair did amend the building plan for the Johnsons Building (former Chamber of Commerce), it was amended in a style consistent with Vernon's original design intent and his contribution is not regarded as significant in terms of altering the significance of the place in association with Vernon. It has been noted that the Chamber of Commerce Building and The Brooklyn Hotel were built with toothed brickwork to support the planned infill building⁷⁵ and it is not unreasonable therefore to assume that the three buildings were designed as a group following the demolition of the former site buildings and the widening of George Street.



Figure 109– c. 1970 view of George Street west, showing partial view of the Johnson's group and the four storey commercial buildings designed by McRae adjacent.

Source: NSW Heritage Branch- online database
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053170&imageid=5000665



Figure 110– c. 1970 view of George Street west, showing now demolished commercial buildings. The building has stylistic elements in common with the subject Commercial Building, although is comparably less ornate.

This building is believed to have been designed in 1912 by McRae and has since been demolished.

Source: NSW Heritage Branch- online database
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053170&imageid=5000665

The building group was designed as a homogenous Edwardian streetscape group but more importantly, the building was also designed to fit within the redesigned George Street context, which was devised as an Edwardian commercial precinct, largely designed in Vernon's signature style and terminated by the Johnsons group. The Johnsons Buildings were far more ornate, although the commercial group to the north of the site did feature a

⁷⁵ Real Estate Journal of NSW, October 1991, p27.

more decorative central building (figure 110 above), with prominent gable and copper clad central bay configuration that although echoed the façade of the Commercial Building, lacked the refined quality of its detailing.

Vernon was prolific and designed a number of other buildings including two Hotels to the north of the site, both on the corner of Essex Street, and both of which were demolished in the 1970s. Vernon, Blair and George McRae also collaborated in designing the Parcels Post Office on Railway Square in 1912 and the Arts and Crafts R. D. Watt Building at Sydney University (1912-1916).

In order to assess the significance of the Johnsons Buildings, this document will review other Edwardian commercial and residential buildings of the style. The Federation Free style is characterised by an eclectic combination of elements adapted from Classical, Romanesque, Art Nouveau and Queen Anne styles, coupled with the introduction of “original” decorative motifs influenced by the work of Arts and Crafts designers.⁷⁶ Characteristic elements of the style include asymmetry with informal fenestration, frequent use of a variety of window forms, the use of two principal, preferably “naked” materials such as sandstone and brick or stucco and brick and the use of out of context or incomplete classical elements.⁷⁷

The style was developed in the UK by London architects attempting to apply Arts and Crafts principles to the design of commercial and institutional buildings in urban settings. Walter Liberty Vernon was one of the principal practitioners of the Federation Free Style in Australia and most of the work of the period, in this style, came from the Government Architects offices. The style could be regarded as Vernon’s signature style, though he also favoured Federation Arts and Crafts and for more substantial public buildings, (such as the Art Gallery NSW and the Mitchell Library) continued the tradition whereby such buildings were designed in a Classical style.

This assessment concentrates largely on surviving examples of commercial buildings known to have been designed by Vernon as well as Hotels and small scale shop and residential buildings in the Federation Free style. It is noted however, that buildings of the style and period are not as common in The Rocks or City of Sydney Council areas and some of Vernon’s more celebrated warehouse and utility buildings of the style/ period have also been included in the assessment. This assessment also includes comparable buildings in the Federation Free style, within The Rocks and City of Sydney areas.

Of those surviving shop buildings, typically the shopfronts have been altered, with some even more substantially modified in association with redevelopment of the site for larger scale retail and commercial buildings.

Commercial and Utility buildings

The Johnson’s Building has stylistic elements in common with the former Mining Museum also designed by Vernon (1902-1909) which provides a good example of the Federation Free style applied to warehouse building. Constructed in brick and sandstone with some rendered elements, the building is six storeys and has a comparable scale to the subject building, employing a similar method of facade articulation which gives the building a strong vertical character. The building also utilises a pattern of narrow window bays surmounted by larger arched window forms and employs a similar simple triangular gable pediment in brick and sandstone, although the detached 62m chimney stack certainly

⁷⁶ Apperley and Irving, A Pictorial Guide to Identifying Australian Architecture, Styles and Terms from 1788 to the Present. Angus and Robertson 1994 pg 139.

⁷⁷ Ibid

dominates views of the precinct.⁷⁸ Typical of the style, the former Museum also features a strongly expressed ground floor constructed in sandstone. The building addresses George Street and Hickson Road.



Figure 111– The former Mining Museum constructed 1902-1909 in the Federation Warehouse style at 36-64 George Street, The Rocks

Source: Foreshore Authority

Vernon also modified and extended the former Bushell's warehouse at 88 George Street, originally constructed in 1886 for Virgoe Son and Chapman. In 1912, Vernon designed and erected a taller brick building of 6 floors on the adjacent northern site, in the Federation Warehouse style. Concurrently, the building at No. 88 was reduced in depth by 10 metres to make way for the construction of Hickson Road, and an extra floor was added. Vernon then designed the reconstructed eastern façade (No. 88) to harmonize with its new neighbour (No. 86), while the western elevation of the extra storey retained the style of its lower levels and the two buildings were interconnected to accommodate Bushells, the single occupant.⁷⁹

The building represents a simplified version of the style though again has elements in common with the Johnson's Building, principally the use of irregular window forms including oriel window bays, (one to two storeys). Again the façade is articulated and employs expressed brick pilasters to create a vertical effect, particularly on the George Street elevation. This is less successfully done on the Bushell's Place elevation.

⁷⁸ NSW Heritage Branch Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053178

⁷⁹ NSW Heritage Branch Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053150



Figure 112 – George Street elevation of the remodelled Bushells building, showing the original Victorian building façade.

Source: Foreshore Authority



Figure 113 – Bushell's Place elevation, featuring irregular oriel window bays.

Source: Foreshore Authority

Vernon also designed a number of utilities buildings in his tenure as the Government Architect with two of his more celebrated Federation free style buildings being the fire stations at Darlinghurst and Pyrmont.



Figure 114 – Pyrmont fire station

Online Source: Sydney Architecture
<http://www.sydneyarchitecture.com/STYLES/STY-F10.htm>

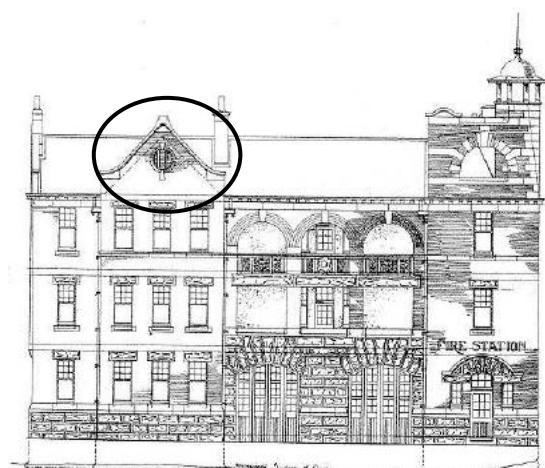


Figure 115 – Original elevation 1903. The curved gable (indicated) is typical of Vernon's buildings

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_2_cf_m?itemid=4690049



Figure 116 – Darlinghurst Fire Station designed by Vernon 1910-1912

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=4690020&imageid=4690092

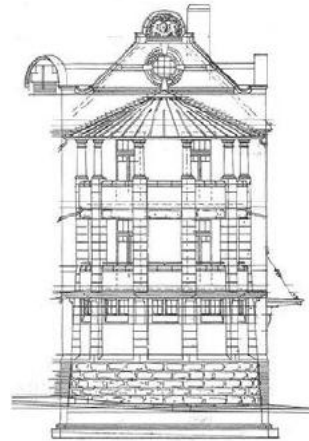


Figure 117 – Original Elevation 1910

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=4690020&imageid=4690092

Pymont Fire Station constructed 1906-1907, is an imposing three storey dark red brick and sandstone building with a tiled hipped and gabled roof and a corner tower element, topped by a copper cupola balanced by gables on the extreme ends of both street elevations. The building is a very good example of Federation Free style architecture, as demonstrated by the landmark tower, parapet gables, contrasting use of brick and stone, variegated voussoirs and multi-paned upper sash windows⁸⁰. The upper level railing shows florid, art nouveau motifs while the solid construction and fine detailing is typical of the surrounding warehouse typology.⁸¹

Darlinghurst fire station was constructed in 1910-1912. The building reflects several characteristic components of the Federation Free style, in its complex massing, asymmetrical proportion and use of brick and stone dressing. Vernon has also utilised a variety of gable forms and window fenestration. The fire station is also a particularly good example of Vernon's skill in presenting a pleasing variety of shapes and masses, each reflecting the nature of the diverse interior uses of the building - and his capacity in dealing with an unusually shaped site, presenting a narrow façade to the street convergence.⁸²

Both prominent corner buildings, Pymont and Darlinghurst Fire Stations could be considered rare as relatively intact examples of the larger form of fire station built in the metropolitan area during the first two decades of the operation of the Metropolitan Fire Brigade. The Headquarters at Castlereagh Street is comparable, however has been redeveloped⁸³. Vernon also designed fire stations in St. Johns Road, Glebe and The Avenue, Randwick, though these had more of a domestic Arts and Crafts flavour.

⁸⁰ NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424469

⁸¹ *ibid*

⁸² NSW Heritage Office online database :
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=4690020

⁸³ NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424469



Figure 118 – Partial view of the façade of Endeavour Credit Union House at 83-87 York Street.

Source: RP Data



Figure 119 – Former Orchards Chambers- 793-795 George Street, Haymarket.

Source: RP Data

Before taking on the role of Government Architect, W L Vernon practiced privately and was for a time partnered with Howard Joseland and also W W Wardell. In this early period, Vernon designed Windermere Chambers at 23-25 King Street, Sydney in conjunction with Joseland, and Vernon's son, Hugh Venables Vernon later became a partner in Joseland's firm (1903 and 1914). In 1912 the pair (Joseland and H V Vernon) designed Sargood's warehouse in York Street, which was constructed in the Federation Free Style as well as the three storey addition to Spiden / Hardwicke House, though the latter followed a more Classical style. Sargood's Warehouse, now known as Endeavour Credit Union House, has aesthetic significance as a fine representative example of two Federation styles, the Federation Warehouse (Clarence Street) and Federation Free Style (York Street), showing excellent use of face brick and sandstone in vigorously modelled facades, and making a strong contribution to the streetscapes of Clarence and York Streets⁸⁴.

Also of the period and style is Ernest Lindsay Thompson's 1910 Orchards Chambers, which is located at 793-795 George Street, in the Central Railway Station precinct. The facade comprises an awning and brass shop window to George Street (though modified/refurbished) and four repetitive floors with vertical oriel window and corner bay windows. The façade also features stucco ornament clock and Orchard's watches signs. The upper floor addition of 1911 features a galvanised iron mansard roof with incomplete parapets and decorative corner dome (partly intact)⁸⁵. Like the Johnsons building, the Orchards building takes good advantage of its corner positioning however the façade to George Street is only short, only 8m in width and the building does not have the prominence of the subject building, although it is certainly integrated with the early 20th century character of Railway Square.

Simpson House at 249-251 Pitt Street, Sydney was designed by the well known firm of Robertson and Marks in 1912-1913 in a mix of Federation Free and Federation Dutch styles. The building is beautifully detailed and features an English bond face brick facade accentuated by sandstone piers, lintels, arches, cornice and mouldings⁸⁶. The facade is

⁸⁴ NSW Heritage Branch http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2423977

⁸⁵ NSW Heritage Branch http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424259

⁸⁶ NSW heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424047

dominated by vertical oriel windows positioned over first floor arched windows which terminate at the fourth floor dentilated cornice and the facade is topped by a triangulated pediment with an inscription A D 1912 which recalls the decorated gable on the west side of the Grosvenor elevation of the Johnson's Building. The side elevation retains the Simpsons sign existing since the 1940's. The ground floor shopfront has been altered.



Figure 120 –Simpson House at 249-251 Pitt Street, Sydney
Source: RP Data



Figure 121– 323-327 Pitt Street, Sydney
Source: RP Data

The former YMCA building in Pitt Street was designed by Charles Slatyer and constructed in 1907. Typical of the style the Pitt Street building utilises contrasting sandstone and red brick materials, with banded decoration employed particularly to the upper storey. The façade is dominated by the two storey character of the third and fourth floor window bay and incorporates a large arched ground floor entry, with variegated voussoirs in a “rising sun” motif. The ground floor shop fronts are relatively intact and typical of the period and it is noted that the northern-most shopfront is a similar to the original shopfront of the Commercial Building at 231 George Street, which has since been remodelled.

The Federation Free Style was also successfully utilised for early high rise development and the subject Johnson's Building has a stylistic relationship with both the Culwulla Chambers building on the corner of King and Castlereagh Streets and the “George's House” at 387 George Street, each of which employ a strong vertical articulation to their facades. Both buildings were designed by the firm Spain, Cosh and Minnett and when built, Culwulla Chambers (1912) was the first building to reach a height of 50m (14 storeys)⁸⁷. The building was quite controversial and an amendment was subsequently made to building regulations prohibiting the erection of buildings taller than 45 metres⁸⁸. When 387 George Street was constructed the following year, it was built with 11 storeys.

⁸⁷ Sydney Architecture: <http://www.sydneyarchitecture.com/cbd/cbd4-014.htm>

⁸⁸ Ibid



Figure 122– Detail of the upper levels of “Georges House”.

Source: Sydney Architecture:
<http://www.sydneyarchitecture.com/cbd/cbd4-045.htm>

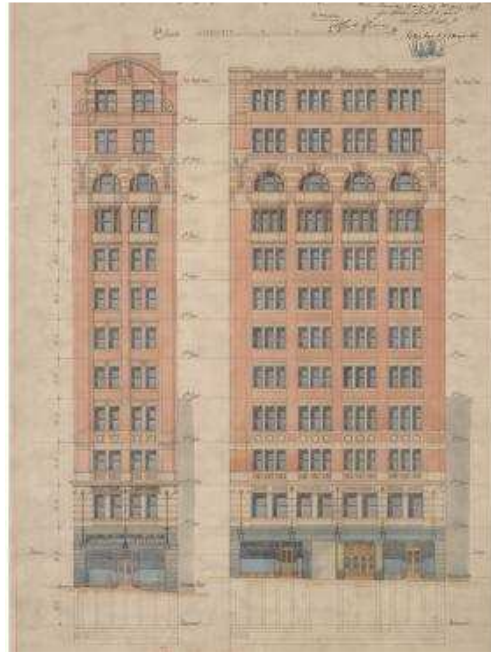


Figure 123– Original plan showing the King and Castlereagh Street elevations of the Culwulla Chambers building.

Source: Sydney Architecture :
<http://www.sydneyarchitecture.com/cbd/cbd4-014.htm>

The “George’s House” façade features three storey pressed copper oriel windows above which three storey paired oriel windows occur topped by variegated arches with a two storey top and curved parapet. At ground floor the shopfront has been refurbished.⁸⁹

The 59m façade of the Culwulla Chambers is divided into two bays to King Street and four bays to Castlereagh Street, and is built around an existing nineteenth century building, the former Surrey Hotel. It is predominantly constructed of face brick with sandstone trim to the second floor, and projecting bay windows and arches to the eighth floor with a simple curved parapet to King Street⁹⁰.

The former Sutton Forest Meat building and in particular the Anglo Dutch influenced Commercial Building at 761-763 and 849-855 George Street (respectively) feature highly ornate facades. The former Sutton Forest Meat Building was constructed in 1897 and is influenced by Arts and Crafts styles. The redbrick building addresses the corner with a 45 degree chamfer that rises above the adjoining parapet and a steel street awning which wraps around the corner. Clad in green and white glazed ceramic wall tiles, the corner bays are defined at street level by glazed shopfronts and the upper level arched windows are articulated by alternative green and white banded tile surrounds with tiled panels incorporating animal farm scenes below. The shopfronts were altered after a fire in 1985 albeit sympathetically⁹¹.

The commercial building at 849-855 George Street was constructed in 1905 and features a rich combination of elaborate stucco detailing, face brickwork & decorative ceramic tiles to the upper level façade. The spandrel over features floral images and the parapet is distinguished by an eclectic combination of elements forming an open pediment

⁸⁹ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424006

⁹⁰ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2423739

⁹¹ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424218

suggesting the Anglo Dutch style⁹². Ceramic pink/brown wall tiles are incorporated in the pediment design with a central elongated dormer element surmounted by a triangular pediment having the date 1905 embossed. A statue of a bust finishes off the composition⁹³. The building has been altered and features a 1960s mansard roof addition and the shopfront has been newly refurbished.



Figure 124– Sutton Forest Meat Building (former)/ 761-763 George Street. The two storey building is heavily influenced by Arts and Crafts

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=2424218&imageid=2424210



Figure 125– Federation Free Style Commercial Building/ 849-855 George Street (1905). Individualistic example of the style with Anglo-Dutch influences.

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=2424223&imageid=2424220

All of the buildings discussed above are listed as heritage items and all have aesthetic and historic significance in varying degrees. Typically their facades are intact, with modifications primarily to shopfronts where featured, and many note some significant and/or original internal features.

While all of the buildings discussed above share common stylistic elements typical of the Federation Free Style, what is of interest about the Johnsons group and in particular the Chamber of Commerce / Johnson's Building when compared to other commercial examples is the high degree of varied and refined detailing and the sense of vertical articulation which lends a lightness to an otherwise solidly expressed style. The landmark location is also a contributing factor; the building group is highly visible in the George Street streetscape, particularly in views from the south and the Johnsons building takes best advantage of its prominent corner position, presenting ornate facades to both the George and Grosvenor Street elevations. Facades are also highly intact, although the alteration and refurbishment of the shopfronts in particular is noted.

The group is also highly representative of Vernon's works in the Federation Free style; Vernon successfully combines a variety of favoured motifs characteristic of the style, including decorative gable ends, projecting bays, arched window forms and loggia and the use of Art Nouveau decoration in a manner that is fluid and ornate but more importantly almost compositionally identifiable to the architect. Many of these "trademark" elements have been utilised for the Johnson's Buildings.

⁹² NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424223

⁹³ Ibid.

Small scale commercial/ shop residences

One of the most notable surviving shop and residences of the style and period in The Rocks is the two storey building at the south east corner of Cumberland and Essex Streets (refer figure 126 below). Designed by Vernon and constructed in 1911, the building addresses the street corner, with prominent gables to both street frontages. The building is constructed in red brick with sandstone detailing including stepped sandstone lintels over the corner entry. The ground floor shopfront was modified in the late 1960s and restoration works were undertaken in the 1990s.

The building at 149-151 George Street was erected in 1913 as 'Quay Chambers' and is a face brick three storey building with similarly typical Federation period characteristics including face brick, sandstone banded dressings and keystone and gabled parapet. The appearance of the shopfront was modified by the conversion of a central door bay into a window and the application of tiles up to the window sill line, prior to complete removal and reconstruction as part of the mid-1980s redevelopment when the facades were retained and a large commercial building erected behind⁹⁴. It is assumed that the degree of integrity of this building would therefore be comparable to the site, which was similarly redeveloped. The shopfronts of the Johnsons group have been refurbished and although sympathetic to the period of the façade and the Commercial building in particular was not restored following the original plans.



Figure 126– Shop and residence at 182 Cumberland Street, on the corner of Essex Street. This building was designed by Vernon c.1911.

Source: NSW Heritage Branch
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053197&imageid=5000789



Figure 127– Shop and residences at 149-151 George Street, currently part of the Duty Free Store complex (1913).

Source: NSW Heritage Office Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053210&imageid=5000824

The Federation dwelling and shopfront at 147 George Street (neighbouring 149-151 George Street discussed above) was even more substantially altered in association with the 1980s works. The simple brick three storey façade is dominated by the contemporary arched mall entry, and the ground floor of the shopfront appears to have been wholly demolished. On the upper level the façade features an arched recessed central balcony, with decorative sandstone keystone, but is comparatively plain and minimal in detailing.

⁹⁴ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053210



Figure 128– The altered façade of the three storey Federation building at 147 George Street, The Rocks (1914; photographed c.1985)

Source: NSW Heritage Branch:
http://www.heritage.nsw.gov.au/07_subnav_01_3_cf_m?itemid=5053201&imageid=5000800



Figure 129– c.1930 view of the 147 George Street showing original shopfront, cantilevered awning and two storey recessed balcony to the upper levels.

Source: NSW Heritage Branch Online database:
http://www.heritage.nsw.gov.au/07_subnav_01_3_cf_m?itemid=5053201&imageid=5000801



Figure 130– Federation Free Style group at 139-153 Middle Head Road, Mosman.

Source: NSW Heritage Branch:
http://www.heritage.nsw.gov.au/07_subnav_01_3_cf_m?itemid=5053201&imageid=5000800



Figure 131– “Empire Buildings” on New Canterbury Rd, Lewisham.

Source: Sydney Architecture:
<http://www.sydneyarchitecture.com/INW/INW12.htm>

The Commercial Building was designed as a shop and residence however constructed in five storeys it features a more commercial scale and proportion than typical small scale shop/ residences of the period, which are predominantly two to three storeys (refer to typical suburban examples shown above at figures 130-131). This scale and narrow verticality is more reminiscent of its European contemporaries.

The Federation Free Style was also successfully utilised for early high rise development and the Johnsons Building group has a stylistic relationship with both the Culwulla Chambers building on the corner of King and Castlereagh Streets and the Georges

Electronics Store building at 387 George Street, each of which employ a strong vertical articulation to their facades. Both of these buildings were designed by the firm Spain, Cosh and Minnett and when built, Culwulla Chambers (1912) was the first building to reach a height of 50m (14 storeys). This was quite controversial and caused an amendment to building regulations prohibiting the erection of buildings taller than 45 metres⁹⁵. When 387 George Street was constructed the following year, it was built with only 11 storeys.



Figure 132– Detail of the upper levels of “Georges House”.

Source: Sydney Architecture:
<http://www.sydneyarchitecture.com/cbd/cbd4-045.htm>

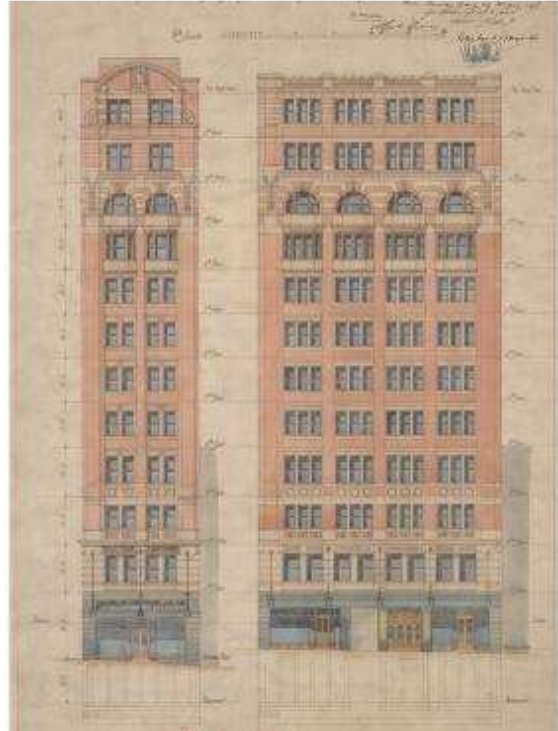


Figure 133– Original plan showing the King and Castlereagh Street elevations of the Culwulla Chambers building.

Source: Sydney Architecture :
<http://www.sydneyarchitecture.com/cbd/cbd4-014.htm>

The “George’s House” façade features three storey pressed copper oriel windows above which three storey paired oriel windows occur topped by variegated arches with a two storey top and curved parapet. At ground floor the shopfront has been refurbished.⁹⁶ The 59m façade of the Chambers building is divided into two bays to King Street and four bays to Castlereagh Street, and is built around an existing nineteenth century building, the former Surrey Hotel. It is predominantly constructed of face brick with sandstone trim to the second floor, and projecting bay windows and arches to the eighth floor with a simple curved parapet to King Street⁹⁷.

It is considered that building at 231 George Street provides a fine representative example of the Federation free style applied to commercial/residential buildings. The façade is more ornate than most comparable buildings of the style and period, and the scale and form atypical, more reminiscent of European contemporaries.

⁹⁵ Sydney Architecture: <http://www.sydneyarchitecture.com/cbd/cbd4-014.htm>

⁹⁶ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2424006

⁹⁷ NSW Heritage Branch: http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2423739

Federation Hotels

Vernon designed a variety of public buildings however he has not been recognised for the design of many hotels; this is not surprising as the breweries characteristically retained their own architects rather than using the Government Architects Office. The New York Hotel on George Street just north of the Cahill expressway has once been attributed to Vernon⁹⁸ but has since been identified as having been designed by the architect M. B Halligan. The Brooklyn Hotel is therefore noted as one few surviving Hotels designed by the Government Architect and is considered rare in this regard.

The Newcastle Hotel, located at the south west corner of George and Essex Streets, and the Commercial Hotel located opposite on the north west corner of the intersection, were both attributed to Vernon⁹⁹ however both were demolished in the 1970s in association with redevelopment, the Commercial Hotel to make way for the Regent Hotel (now known as the Four Seasons).



Figure 134– View of the southern side of Essex Street with Vernon’s Newcastle Hotel at the corner of Essex and George Streets (now demolished)

Source: City of Sydney Image Library: SRC1172.
Originally CRS 268/3684.



Figure 135– The circa 1909 Commercial Hotel at 199 George Street, on the corner of Essex Street with Harrington Lane (at rear). This hotel was demolished to make way for the Regent Hotel (now known as the Four Seasons)

Source: Historic Houses Trust Pictures Catalogue:
Justice & Police Museum ; FP07_0186_003

Early photographs demonstrate that Vernon employed the same narrow sandstone pediment windows on The Brooklyn and Commercial Hotels, and a comparable projecting central bay on the Newcastle Hotel which also featured a recessed loggia element although without the classical columns employed at The Brooklyn. Both the Newcastle and Commercial Hotels appear to feature cantilevered awnings.

⁹⁸ Boyd, Noni 28/03/2008, email correspondence from Noni Boyd to the author regarding the body of Vernon’s work. Noni Boyd is an Heritage Architect with Otto Cserhalmi and Partners Pty Ltd 24 Ferry Road Glebe 2037.
⁹⁹ *ibid*



Figure 136– The Federation Free style Palisade Hotel in The Rocks

Source: RP Data



Figure 137– The Observer Hotel located at 69 George St, The Rocks.



Figure 138– Mercantile Hotel at 25 George Street, The Rocks.

Source: RP Data



Figure 139– The New York Hotel, George Street, north of the Cahill expressway.

NSW Heritage Office Online database;
http://www.heritage.nsw.gov.au/07_subnav_01_3.cfm?itemid=5053179&imageid=5000692

Other Hotels of the period and style of note (not designed by Vernon) include the Mercantile, which is a comparatively plain example of the style and the Palisade Hotel which has a substantial aesthetic value owing to both its architectural expression and landscape qualities associated with its prominent siting providing terminal views along several streets¹⁰⁰. The New York Hotel is noted for its corner tower which responds to the curvature of George Street. The Observer and New York Hotels, both designed by W. B Halligan (the Observer in partnership with Wilton) have each had façade modifications. The New York Hotel has been over-painted and the original awning replaced with a cantilevered awning to the Observer Hotel. Of course the subject site has been substantially modified though the façade is intact with some restoration works as outlined above.

¹⁰⁰ NSW Heritage Branch Online:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2423579

When compared to other hotels in the precinct constructed in the Federation Free style, Vernon's mastery of the style becomes apparent. Vernon combines a variety of favoured motifs characteristic of the style, including decorative gable ends, projecting bays, arched window forms and loggia and the use of Art Nouveau decoration in a manner that is fluid and ornate and highly characteristic to the architect.

4.1.2 Assessment criteria

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

The site of 229-235 George Street, The Rocks was once part of the original Parade Ground of the Colony and the site's changing use reflects the urban, economic and social development of the area from the very early days of the colony, through to the Resumption and redevelopment of The Rocks in the Edwardian period, to the present¹⁰¹.

The Brooklyn Hotel site is also noted for its continuous hotel use, with a hotel occupying the site since 1882-4.

The Brooklyn Hotel, Commercial Building and Johnson's Building and the collective building group meets this criterion on the Local level. The buildings are also of State heritage significance for their contribution to The Rocks area which is of State heritage significance in its own right.

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

The Brooklyn Hotel and Johnson's building were designed by Government Architect Walter Liberty Vernon in 1911 and at the time of their construction were celebrated by the Public Works Department as "an important business block"¹⁰².

The Commercial building was designed by the NSW Government Architects Office; however the individual designer has not been identified and could be attributed to either Walter Liberty Vernon, or his successor, George McRae. In either case, the group collectively provides a unique example of the influence the European modern movement was having on Australian Architecture at the beginning of this century and the buildings have a marked similarity to contemporary European Edwardian developments.

The Johnsons Buildings are of State significance for their association with Vernon who was a key historical figure in the redevelopment of The Rocks following its resumption and the Government Architects Branch.

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)

229-235 George Street, The Rocks is part of an homogenous Edwardian streetscape that is unparalleled elsewhere in The Rocks. As a group, the buildings (including the

¹⁰¹ NSW Heritage Branch Online:
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=4500064

¹⁰² Clive Lucas and Partners op.cit 2

Federation Hall and Royal Naval House,) have considerable significance and all facades contribute to the overall richness of the group. The group also responds to the turn of the century buildings opposite on Bridge Street, namely the Metropolitan Hotel and Burns Philp buildings, contributing to the overall townscape qualities of this section of George Street.

Each of the buildings also has aesthetic significance independent of the group for their picturesque facades (above awning level), high quality materials and fine detailing. The Brooklyn Hotel facade is of state significance for the high degree of integrity and architectural merit to the facade and ground floor shopfront.

The Commercial building meets this criterion on the Local level as the building facade has been modified, including loss of the original shopfront and demolition of the original third floor balcony enclosure. Despite the modifications it is of equal architectural merit and its arched projecting bay and triangular pediment with chequerboard design makes a significant contribution to the landmark quality of the building group.

The Johnson's Building also has aesthetic significance for its picturesque façade which is highly intact and for its shopfront, which is characteristic of the period although modified and restored. In terms of the internal fabric, only the stair lobby and vestibule remains of the original building (with some modifications including removal of the original lift) and the original portion of the entrance lobby contributes highly to the aesthetic significance of the building. The Johnson's Building meets this criterion on the Local level.

One of the innovations of the Johnson's building group was the awning which Building Magazine of November 12, 1912 noted as being the "first utilisation of the cantilever awning in Sydney".¹⁰³ This element was restored following the 1989 building works based on the original although it should be noted that detail drawings were not available. It is further noted that the original awning did not wrap around the northern elevation which adjoined neighbouring commercial buildings. The element is viewed as having some significance although not original.

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The Brooklyn Hotel has a regular clientele, largely made up of office workers and tourists to the area. Its location, character, and continuity of service make it a recognisable feature in the area.

Over the years, The Brooklyn Hotel has been associated mainly with three other historical institutions in the immediate area, being the Julian Ashton School of Arts, the Bulletin (located on George Street between 1896 and 1964) and Royal Naval House. A number of journalists, cartoonists are known to have patronised the hotel along with aspiring students and actors from the School of Arts. Actors including Fiona Spence and John Sheerin and comedian Julie McGregor were employed at the hotel before launching their television careers¹⁰⁴. However, these associations are not of the level to be described as special associations for cultural or spiritual reasons and the Brooklyn Hotel does not meet this criterion.

No significant associations with the Commercial Building have been identified and the building does not meet this criterion.

¹⁰³ Ibid p. s 2-3

¹⁰⁴ Grosvenor Place Cititalk, Edition 10, Winter 91 p. 3 (issued on behalf of Grosvenor Place Management)

The Johnsons building has been strongly associated with the former tenant of the building, a Mr. James Johnson, who operated a tent making and drapery business on the ground floor of the site until 1981. The firm was also known as Johnson's Overalls, with a range of chef's and stewards' clothing and equipment. Due to this long association with one tenant, the building has become known as the Johnson's Building. The shop relocated in the 1980s and although the colloquial name was retained, the site now does not correspond with this use and any associative significance is considered limited.

The site has some significance as a landmark on the Local level.

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

The redevelopment of the site and the reconstruction of the building in 1989 required extensive excavation. The archaeological resource has been destroyed and the site has low potential for research.

The significant building facades are of some interest as an example of the Australian application of the Arts and Crafts movement of design through the Federation Free Style however not to the degree that they would meet the threshold for listing at the local level.

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

The buildings form a substantial group of high quality Edwardian shops and premises now unique in Sydney for its height proportion and design¹⁰⁵ however the architectural style of the building is not considered rare.

Vernon has not been credited with the design of many hotels in The Rocks area and The Brooklyn Hotel may be the only surviving example of his design skill as applied to small scale hotels. The Brooklyn Hotel therefore meets this criterion on the local level albeit Vernon is better known for the large body of houses and public buildings he designed, many of which are surviving and of high architectural quality and integrity.

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)

Individual buildings and the collective group provide examples of Federation Free Style commercial buildings designed by the Government Architects Office. The Brooklyn Hotel is representative of Hotels in The Rocks area, and continues to partially operate as such.

The buildings individually and collectively meet this criterion on the Local level.

4.1.3 Ability to represent historic themes

The Heritage Council of NSW established 35 historical themes relevant to the State. These themes correlate with National and Local historical themes and can be used to understand the context of a place. The themes of leisure, accommodation and commerce have been identified as relevant to the subject building group and are reflected in the various historical uses. The Commercial Building was constructed originally as a shop and residence and has been used variously in this capacity. The Brooklyn Hotel is strongly associated with

¹⁰⁵ Ibid 3

recreational and relaxation activities and has a continuous Hotel use from the late Victorian period. The Johnsons Building is also associated with the theme of governing (as the former Chamber of Commerce) and the site has continued to be used for retail and commercial purposes.

More recently the group has been occupied as The Brooklyn Hotel, with the upper levels given to various commercial tenancies.

4.2 Statement of significance

4.2.1 The Brooklyn Hotel/ 229 George Street, The Rocks

The Brooklyn Hotel is of State significance for its historic, associative and aesthetic values. The site is also of State significance for its contribution to The Rocks area which is of State significance in its own right.

The site is representative of the historical phases of the development of the site from 1788 to the present day. The changing use of the site reflects the urban, economic and social development of the area, in particular the Resumption and Redevelopment of The Rocks in the Edwardian period including metropolitan improvements such as the George Street road widening. The retention of the façade and form of the Hotel following the redevelopment of the site is reflective of the growing awareness of heritage and the resulting compromises made.

The Brooklyn Hotel is also of significance for its association with the renowned Government Architect Walter Liberty Vernon. Vernon is celebrated as one of the key practitioners of the Federation Free Style and the Hotel is reflective of the influence of the European Modern movement on Australian Architecture at the turn of the 20th century. The Hotel is also noted as one of few surviving Hotels designed by the Government Architect and is considered rare in this regard.

The Brooklyn Hotel is of significance for its highly picturesque façade and shopfront which are representative of Edwardian commercial buildings designed by the Government Architects Office. The cantilevered awning, which was restored based on the original design, was claimed to be one of the first uses of its type in Australia, being suspended over the footpath on iron rods. The building forms part of a substantial group of Edwardian shops and premises unparalleled in Sydney, with all façades contributing to the overall richness of the group. Shops and premises of this calibre are considered rare in Sydney. The building group have important landmark qualities at an entry point to The Rocks.

The building is representative of Hotels in The Rocks area, and continues to partially operate as such. The site, which has been noted as a local landmark, is strongly associated with state historical themes including recreational and relaxation activities.

4.2.2 The Commercial Building/ 231 George Street, The Rocks

The Commercial Building at 231 George Street, The Rocks, is of significance for its historic, cultural and aesthetic values. The site is also of State significance for its contribution to The Rocks area which is of State significance in its own right.¹⁰⁶

The site is representative of the historical phases of the development of the site from 1788 to the present day. The changing use of the site reflects the urban, economic and social development of the area, in particular the Resumption and Redevelopment of The Rocks

¹⁰⁶ NSW Heritage Branch Website- online database,
http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5053148

in the Edwardian period including metropolitan improvements such as the George Street road widening. The retention of the subject site façade and form following the redevelopment of the site and construction of the Grosvenor Tower is reflective of the growing awareness of heritage and the resulting compromises made on sites.

The Commercial Building is also of some significance for its association with the Government Architects Office, although the specific architect of the building has not been confirmed. The building is reflective of the influence of the European architectural trends on Australian Architecture at the turn of the 20th century.

The Commercial Building is of significance for its highly picturesque façade (excluding the ground floor shopfront) which is representative of Edwardian commercial buildings designed by the Government Architects Office. Features of note include the curved parapet with chequerboard pattern to the gable, the moulded waratah motif to the upper level balcony cladding and the central arch with expressed and variegated voussoirs. There have been some restoration works, including modifications to facade brickwork and sandstone and restoration of the awning. The building also forms part of a substantial group of Edwardian shops and premises unparalleled in Sydney, with all façades contributing to the overall richness of the group. Shops and premises of this calibre are considered rare in Sydney. The building group have important landmark qualities and provide an entry to The Rocks¹⁰⁷.

The archaeological resource is viewed as compromised and the site has low potential for research.

4.2.3 The Johnsons Building/ 233-235 George Street, The Rocks

The Johnson's Building, 233-235 George Street, The Rocks, is of heritage significance to the State of NSW for its historic values, for association with W L Vernon, and for its contribution to The Rocks area which is of State significance in its own right. The place is also of local heritage significance for its cultural, aesthetic and representative values.

The site is representative of the historical phases of the development of the site from 1788 to the present day. The changing use of the site reflects the urban, economic and social development of the area, in particular the resumption and redevelopment of The Rocks in the Edwardian period including metropolitan improvements such as the George Street road widening. The retention of the façade and building form following the redevelopment of the site and construction of the Grosvenor Tower is reflective of the growing awareness of heritage and the resulting compromises made.

Johnson's Building is also of significance for its association with the renowned Government Architect Walter Liberty Vernon. Vernon is celebrated as one of the key practitioners of the Federation Free Style and the building is representative example of the body of his works, reflecting the influence of the European architecture in Australia at the turn of the 20th century.

The Johnson's Building is of significance for its highly picturesque façade, representative of Edwardian commercial buildings designed by the Government Architects Office. Features of note include carved sandstone relief flanking the Grosvenor Street commercial entry and cartouche decorations, the arched sandstone window bay and terracotta chequerboard motif surmounting the commercial entry, the level sandstone façade balconies and associated elements, sandstone stringcourses, lintels and sills, the oriel window bays and the gable roof form, as well as the truncated finials to the roof pediment. The cantilevered awning was restored based on the original design and at the time of the

¹⁰⁷ Ibid

construction, the awning was claimed to be one of the earlier uses of its type in Australia, being suspended over the footpath on iron rods.

The building forms part of a substantial group of Edwardian shops and premises unparalleled in Sydney, with all façades contributing to the overall richness of the group. As a group, shops and premises of this calibre are considered rare in Sydney, have important landmark qualities and provide an entry to The Rocks¹⁰⁸.

The archaeological resource is viewed as compromised and the site has low potential for research.

4.3 Curtilage

In recognition of the extensive alterations to the building group and its context, the curtilage of the State Heritage listing is limited to the built footprint of the group only.

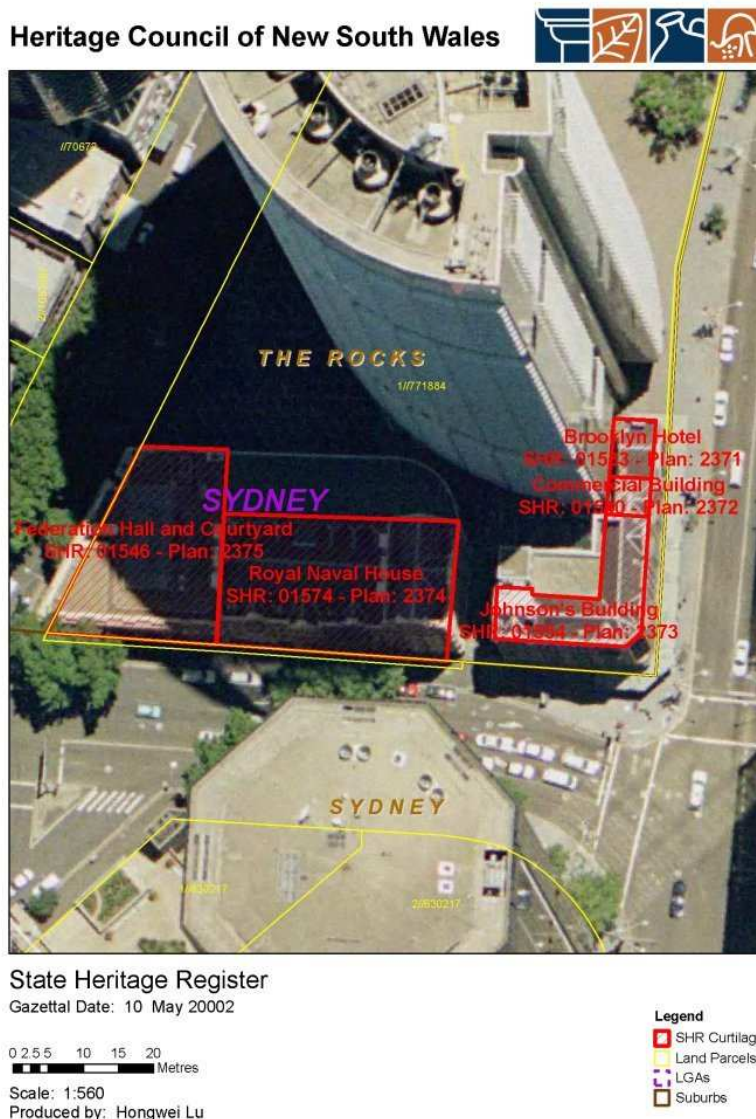


Figure 140– SHR Curtilage
Source: Heritage Council NSW

¹⁰⁸ Ibid

The building group can however be viewed from George Street to the north and south of the site, with probably the most significant view being that available from opposite the site at the south east corner of the George and Bridge street intersection where the group can be wholly viewed, alongside Royal Naval House. The visual curtilage which should be retained around the item therefore includes the footpath area in front of the building, on both the Grosvenor and George Street frontages and the roadway to maintain significant views.

It is noted that the group was designed as part of an Edwardian commercial streetscape and therefore it is not crucial that the northern elevation of the Brooklyn Hotel (which has been reconstructed) should be viewed. The visual curtilage which should be retained around the group from the north therefore includes the footpath area in front of the Hotel and the roadway. Views from the north to the principal facades should however be conserved.

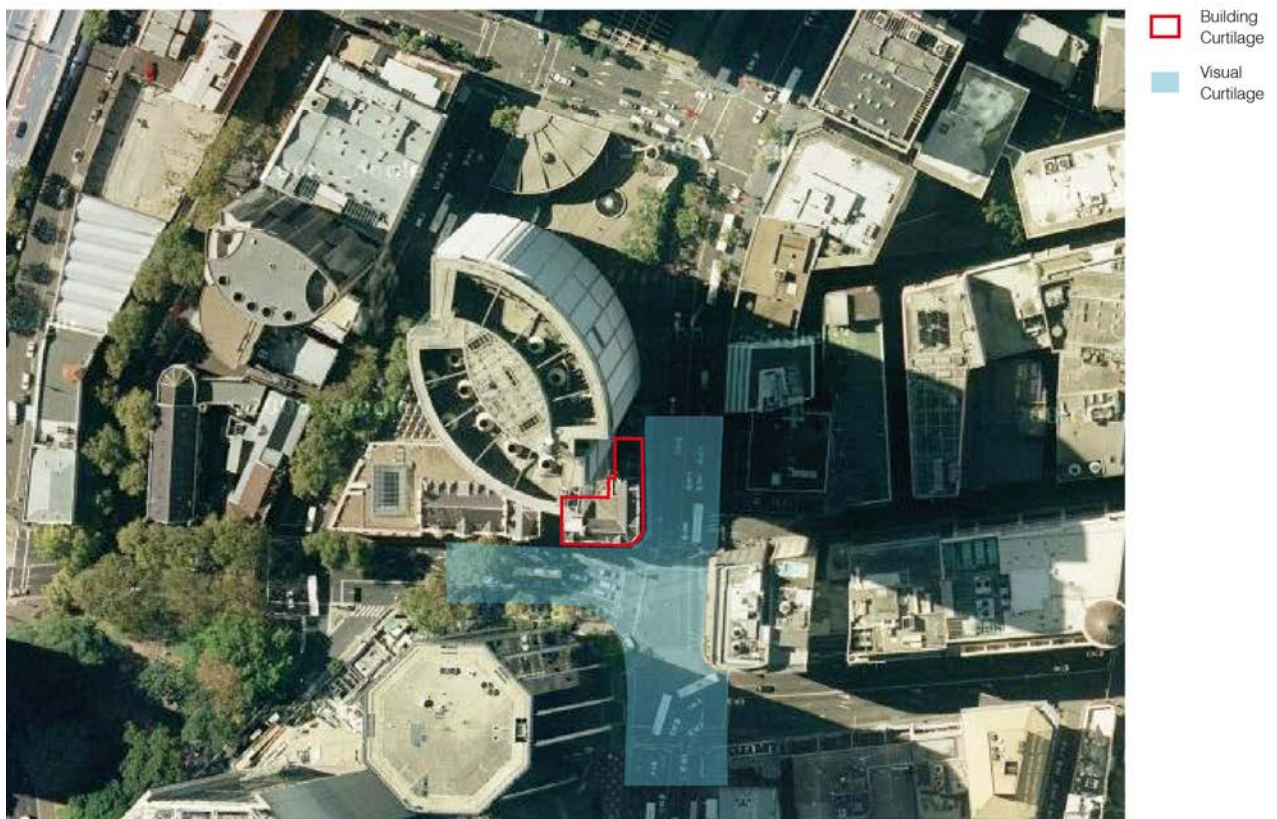


Figure 141 – Aerial view, with SHR and visual curtilage indicated around the Johnson’s Building. The SHR curtilage is indicated in red, while the visual curtilage is indicated in blue and extends along George Street to Bridge Street, and partially along Grosvenor Street.

Source: Aerial view – Google 2010

5 Grading of significance

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. The Johnsons Group at 229-235 George Street, The Rocks has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual contribution of each element to the overall significance of the item. This system is a planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and the various elements. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of exceptional significance should be retained and conserved in situ. Any work, which affects the fabric or external appearance of these elements, should be confined to preservation, restoration and reconstruction as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of high significance should also generally be retained, restored and conserved in situ subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including adaptation and alteration as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

LITTLE SIGNIFICANCE

Includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

INTRUSIVE

Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of *the Johnsons Buildings* and their elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

5.1 Grading of significant elements and spaces

5.1.1 The Eastern/ George Street elevation



Eastern/ Principal Elevation

General/ all facades

Overall form of the façades (including balcony recesses)
 All façade sandstone including coursing, window sills, mullions and lintels, pediment and gable detailing, balcony details and colonnades and cartouche relief elements
 All façade sandstone and brickwork
 All fenestration above awning level
 All copper cladding (above awning level)

The Brooklyn Hotel

The general form of the shopfront and Shopfront elements including marble façade sheeting, copper bay window sheeting, stone thresholds and disused basement chute doors.
 The form of the shopfront bay and all timber framing to glazed elements
 Timber balcony doors (to level 4)

The Commercial Building

Copper balcony cladding
 Timber balcony doors (to level 4 and 5)
 Level 5 cast iron (or steel) balustrade

Exceptional

Eastern/ Principal Elevation	
<p><u>General/ all facades</u> Cantilevered awning and awning tie-rods (restored) – excluding signage Overall form of the roof Slate roofing (restored to match the original) excluding capping and flashings</p> <p><u>The Brooklyn Hotel</u> Timber under awning cladding (restored) Ground floor timber doors</p> <p><u>The Johnsons Building</u> Ground floor splayed shopfront, excluding contemporary tiling and contemporary glazing over entry doors with Brooklyn Hotel signage. Including copper framing, timber double doors and marble cladding</p>	High
<p><u>General/ All facades</u> Service down-piping (not colour coded on plan) Copper rainwater heads and downpipes</p> <p><u>The Commercial Building</u> Ground floor shopfront fabric including marble facade cladding, timber under awning cladding, copper framed shopfront, timber double doors and sandstone threshold. (Dates to 1991 fit out and is not a true restoration)</p> <p><u>The Johnsons Building</u> George Street shopfront including the area of the infilled door. Includes copper framing and window glazing</p>	Moderate
<p><u>General/ All facades</u> Awning signage (not indicated on plan) Contemporary under awning signage (not indicated on plan) Under-awning lighting (not indicated on plan)</p> <p><u>The Brooklyn Hotel</u> All shopfront glazing including the central bay window glazing. (The form of the bay is of exceptional significance as is all timber framing to glazed elements) Upper level balcony tiling Contemporary glazed signage (to central entry door- not indicated on plan) Traditional shopfront bay window signage that reads: "The Brooklyn est. 1884"</p> <p><u>The Commercial Building</u> Upper level balcony tiling (levels 4 and 5) Ladder and enclosure from balcony to roof (level 5)</p> <p><u>The Johnsons Building</u> "Johnson's Building" Awning signage to the splayed corner (not indicated in the colour coding on the plan) Frosted glazing to the northern window bay on all levels (associated with change in internal uses and the introduction of services). Not indicated by colour coding on plan Tiling and refurbished ceiling to sixth floor balcony</p>	Little
<p><u>The Commercial Building</u> Contemporary signage to shopfront glazing (not indicated on plan)</p>	Intrusive

5.1.2 The Southern/ Grosvenor Street elevation



Southern/ Grosvenor Street elevation	
<p>Overall form of the façade</p> <p>All façade sandstone including coursing, window sills, mullions and lintels, pediment and gable detailing including the date plaque and relief elements such as cartouches and carved leaves flanking the commercial entry</p> <p>All façade brickwork</p> <p>All fenestration above street level and the arched steel framed ground floor windows (excluding the contemporary aluminium frame reinforcement)</p> <p>Copper façade cladding to window bays</p> <p>Ground floor commercial entry including associated terracotta chequerboard motif over the entry and retained early timber double doors (not shown on plan)</p> <p>Excluding contemporary glazed entry door</p>	Exceptional
<p>Ground floor splayed shopfront and shopfront fenestration, excluding contemporary tiling and contemporary glazing over entry doors with Brooklyn Hotel signage. Including copper framing, timber double doors and marble cladding. This element was restored using original fabric following the 1980s/1990s works</p> <p>Restored awning and associated tie-rods (excluding signage)</p>	High

Slate roofing (restored to match the original) excluding capping and flashings	
Copper rainwater heads and downpipes	Moderate
The contemporary glazed entry doors to the commercial entry "Johnson's corner" Awning signage Traditional "Brooklyn Hotel" awning signage All signage associated with the commercial usage and all numbered signage Under-awning lighting (not indicated on plan) Metal reinforcement framing to ground floor arched window	Little
N/A	Intrusive

5.1.3 The Western/ Rear elevation



Western/ Rear Elevation	
<p><u>The Johnsons Building</u> Overall form of the original section of the façade on the return Milsons Lane elevation. (This section is demarcated by the differing brickwork and refers only to the portion of the elevation south of the recess with downpipe) All façade sandstone on the original section of the facade, as defined above, including coursing, window sills and lintels, pediment and gable detailing. Includes also those sections of cut sandstone that were partially retained following the 1980s/90s additions All façade brickwork on the original section of the facade, as defined above All fenestration on the original section of the facade, as defined above, including multi-paned glazing over the altered entry and all timber window frames</p>	Exceptional
Slate roofing (restored to match the original) excluding capping and flashings	High
<p><u>General/ All facades</u> Overall form of the façade of the contemporary addition (i.e. all fabric including and north of the recess on the Milsons Lane elevation) All façade brickwork on the contemporary addition as defined above (new wall-1980s/90s works) Sandstone capping and coursing, includes also the masonry base, clad in sandstone sheeting Copper rainwater heads and downpipes</p> <p><u>The Brooklyn Hotel</u> Façade Render/ Masonry Ground floor timber double doors Service down-piping</p>	Moderate
<p>All contemporary glazed doors, (including the altered door within the original section as shown on the plan above) All commercial signage (not indicated on plan)</p>	Little
N/A	Intrusive

5.1.4 The Northern elevation

Northern Elevation	
<p><u>Johnsons Building</u> Overall form of the original portion of the façade including the chimney, overlooking the Commercial Building All façade sandstone including coursing, gable and chimney capping and truncated pediment finials All façade brickwork</p>	Exceptional
<p>Slate roofing (restored to match the original) <u>The Brooklyn Hotel</u> Overall form of the façade Slate roofing (restored to match the original)</p>	High
<p><u>The Brooklyn Hotel</u> Cantilevered awning and awning tie-rods All façade brickwork (new wall - 1980s-1990s works) All façade masonry / ground floor render (new wall - 1980s-1990s works) <u>Johnsons Building</u> Overall form of the contemporary rear section of the façade</p>	Moderate

All contemporary façade brickwork All sandstone to the contemporary façade including coursing and window sills, lintels and mullions All fenestration Copper cladding to arched window bays Copper rainwater heads and downpipes to contemporary rear addition	
<u>Brooklyn Hotel</u> Awning signage Contemporary under awning signage Under - awning lighting Chimney/ Services element <u>The Johnsons Building</u> Roof capping and flashings Ground floor terrace enclosure to contemporary rear addition First floor sandstone balcony to contemporary rear addition	Little
N/A	Intrusive

5.1.5 Interiors

Ground Floor Plan/ Level 1



Ground floor elements	
<p><u>The Brooklyn Hotel</u> Façade as outlined above</p> <p><u>Johnsons Building</u> Ground level Grosvenor Street façade and return Milson's Lane frontage as outlined above</p> <p>Original section of ground floor commercial stair lobby and foyer, including tiled flooring, two toned terrazzo wall cladding and stair risers, timber and iron balustrade and marble stair post, timber window framing and cladding over arched west window bay and retained screening to former lift well. Includes also the arched window over the altered entry and part of the north wall as shown on</p>	<p>Exceptional</p>

Ground floor elements	
<p>the plan above and the retained timber French doors to Grosvenor street. (Excludes the contemporary glazed entry doors on both the south and west elevations and the replaced glazing to vertical windows flanking the Grosvenor street entry)</p> <p>Spatial quality of the original portion of the foyer</p> <p>Spatial quality of the open plan ground floor bar</p>	
<p>Internal cross walls (These rebuilt elements allow interpretation of the original building footprints internally)</p> <p><u>The Johnsons Building</u></p> <p>Splayed shopfront entry and refurbished Grosvenor Street shopfront window (excluding contemporary tiling to entry and contemporary Brooklyn Hotel glazing over entry)</p> <p>North and east wall of the Hotel bistro kitchen, below the commercial entrance vestibule</p>	High
<p><u>The Johnsons Building</u></p> <p>The reconstructed structural support columns, excluding the new render and finish</p> <p>Modern portion of the ground floor Milson's Lane façade as outlined above</p> <p>Spatial quality of the interpreted shopfront window bay (overlooking George Street), excluding the fabric and finishes</p> <p><u>The Commercial Building</u></p> <p>The ground floor shopfront as outlined above</p>	Moderate
<p><u>General/ All floors</u></p> <p>All internal materials and fabric including the joinery, all floor and wall coverings, ceiling fabric and lighting</p> <p>All modern bar fixtures and fittings</p> <p>Service bulkhead and hoist</p> <p><u>The Brookly Hotel / Commercial Buildings</u></p> <p>Overall depth and form of the space (does not reflect the original floor plate)</p> <p><u>Johnsons Building</u></p> <p>The contemporary lift foyer to the rear of the commercial vestibule, including chequered tile flooring, two tone marble wall cladding and ceiling fabric</p> <p>All glazed entry doors to the commercial vestibule</p> <p>The contemporary lift well and car to commercial lobby</p> <p>Refurbished ceiling within commercial entrance lobby</p> <p>All internal materials and fabric within the contemporary bar, the joinery, all floor and wall coverings, ceiling fabric and lighting</p>	Little
N/A	Intrusive

First Floor Plan/ Level 2



First floor elements	
<p><u>General/ All floors</u> Principal façade and fenestration as outlined above <u>Johnsons Building</u> Stair lobby including concrete and terrazzo stair with timber balustrade, and marble wall cladding to the first floor landing. Also including original arched entry to commercial tenancy but excluding the infilled brickwork to the arch and new access doors. Excluding paint finishes Timber door surrounds to landing WCs within original stair lobby, excluding timber doors</p>	Exceptional
<p><u>General/ All floors</u> Eastern façade awning as outlined above Internal cross walling that interprets the extent and location of the original dividing walls <u>Johnsons Building</u> North party wall, adjacent to the Commercial Building</p>	High
<p><u>The Brooklyn Hotel</u> Northern façade awning as outlined above <u>Johnsons Building</u> Contemporary portion of western elevation Timber doors to stair lobby WC</p>	Moderate
<p><u>General/ All floors</u> Tenancy floor plan and partitioning Contemporary lift and lobby All floor coverings and internal colour schemes, finishes and fit out, ceiling materials and finishes including suspended office ceiling and plaster hall ceiling with egg and dart cornice</p>	Little

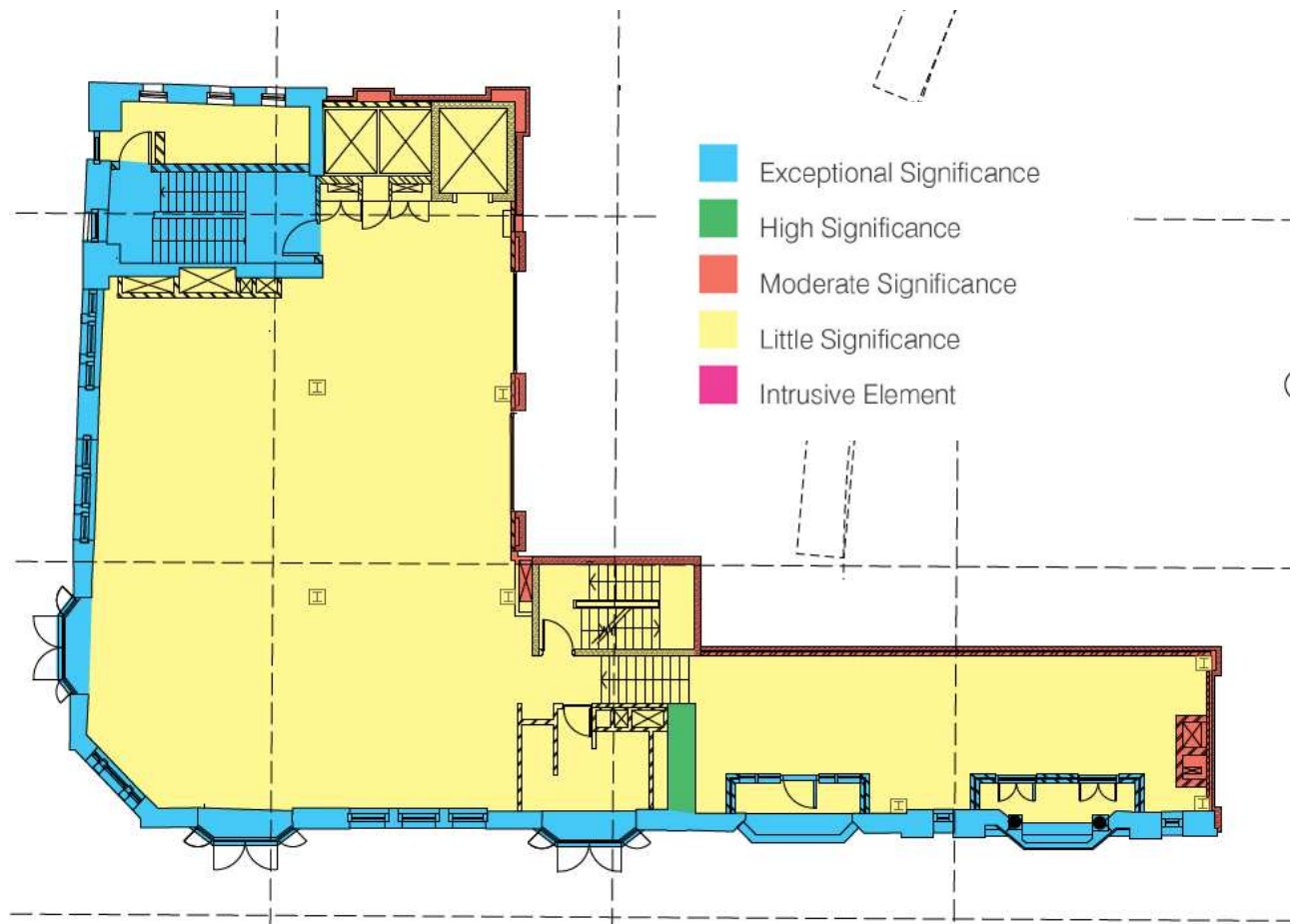
<p><u>Brooklyn Hotel</u> Women's WC including all floor and wall tiling, terrazzo cubicle partitions, sinks, and joinery and WC facilities (excluding the original fenestration retained behind the mirrors) Overall depth and form of the space (does not reflect the original floor plate)</p> <p><u>Commercial Building</u> Men's WC including all floor and wall tiling, terrazzo cubicle partitions, sinks, and joinery and WC/ urinal facilities (excluding the original fenestration retained behind the mirrors) All floor coverings and internal colour schemes and finishes.</p> <p><u>Johnsons Building</u> North elevation balcony overlooking the courtyard and Grosvenor tower Stair landing WC including floor and wall tiling, partitioning, sink and WC facilities (excluding walls and fenestration) Staff WC including all floor and wall tiling, cubicle partitions, sink and WC facilities Staff kitchenette facilities Contemporary concrete fire stair to northeast corner New walling within original arch and entry doors to commercial tenancies (north wall of stair lobby) All furnishings</p>	
<p><u>Brooklyn Hotel and Commercial Buildings</u> Bathroom mirrors</p>	<p>Intrusive</p>

Second Floor Plan/ Level 3



Second floor elements	
<p><u>General/ All floors</u> Principal façade and fenestration as outlined above</p> <p><u>Johnsons Building</u> Stair lobby including concrete stair with timber balustrade. Also including original arched entry to commercial tenancy but excluding the infilled brickwork to the arch and new access doors. Excluding paint finishes Timber door surrounds to landing WCs within original stair lobby, excluding timber doors Splayed corner balcony (excluding contemporary tiling)</p>	Exceptional
<p><u>Brooklyn Hotel and Commercial Buildings</u> Overall depth and form of the space (reflects the approximate area of the original upper level principal front room) including internal cross walling that interprets the extent and location of the original dividing walls</p> <p><u>The Johnsons Building</u> Northern party wall adjacent to the Commercial Building</p>	High
<p><u>Johnsons Building</u> Contemporary portion of western and rear northern elevation Timber doors to stair lobby WC Single fireplace (south wall within the commercial tenancy)</p>	Moderate
<p><u>General/ All floors</u> All contemporary office fit out fabric including partitions, doors, suspended ceiling, floor and wall coverings Contemporary lift and lobby Glazed window sound proofing Service bulkhead</p> <p><u>Commercial Building</u> Joinery including desk in the window bay and any skirtings</p> <p><u>Johnsons Building</u> Terrace/balcony overlooking the courtyard and Grosvenor tower Stair landing WC fit out including floor and wall tiling, partitioning, sink and WC facilities (excluding walls and fenestration) Staff WC including all floor and wall tiling, cubicle partitions, sink and WC facilities Staff kitchenette facilities Contemporary concrete fire stair to northeast corner Splayed corner balcony tiling New walling within original arch and entry doors to commercial tenancies (north wall of stair lobby) All furnishings</p>	Little
N/A	Intrusive

Third Floor Plan/ Level 4



Third floor elements	
<p><u>General/ All floors</u> Principal façade and fenestration as outlined above (including recessed balconies) Timber double doors to balconies (not paint scheme) and door furniture</p> <p><u>Johnsons Building</u> Stair lobby including concrete stair with timber balustrade. Also including original arched entry to commercial tenancy but excluding the infilled brickwork to the arch and new access doors. Excluding paint finishes Timber door surrounds to landing WCs within original stair lobby, excluding timber doors</p>	Exceptional
<p><u>Brooklyn Hotel and Commercial Buildings</u> Overall depth and form of the space (original upper level front room) Internal cross walling that interprets the extent and location of the original dividing walls</p> <p><u>Johnsons Building</u> North party wall adjacent to Commercial Building</p>	High
<p>Contemporary portion of western and rear northern elevation Timber doors to stair lobby WC</p>	Moderate
<p><u>General/ All floors</u> Tenancy floor plan and partitioning. All contemporary office fit out fabric including partitions, doors, suspended ceiling, floor and wall coverings, partitioning and</p>	Little

<p>internal colour schemes associated with the office fit out Balcony floor tiling and refurbished ceilings Glazed window/door sound proofing Services Contemporary lift and lobby All furnishings <u>Johnsons Building</u> Stair landing WC fit out including floor and wall tiling, partitioning, sink and WC facilities (excluding walls and fenestration) Staff kitchenette facilities Contemporary concrete fire stair to northeast corner New walling within original arch and entry doors to commercial tenancies (north wall of stair lobby) All furnishings</p>	
<p>N/A</p>	<p>Intrusive</p>

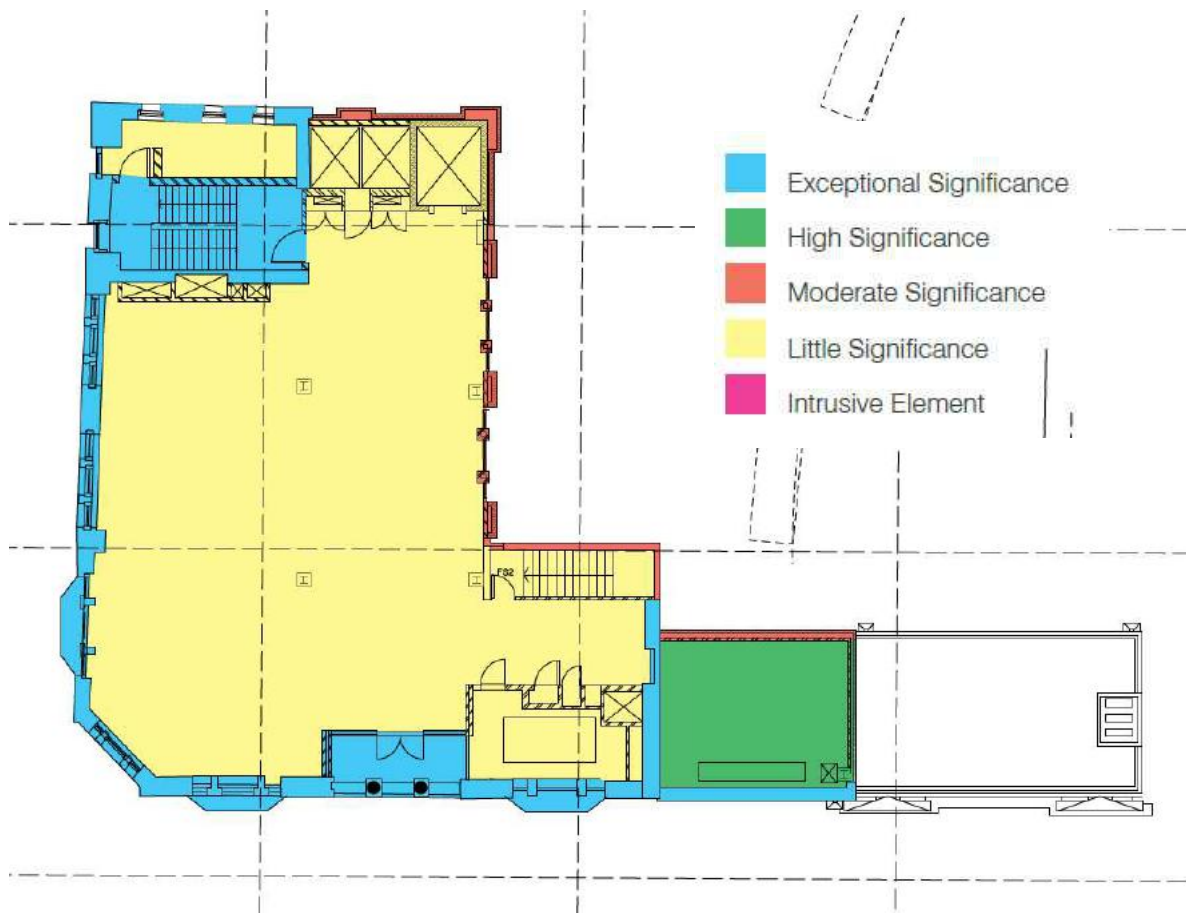
Fourth Floor Plan/ Level 5



Fourth floor elements	
<p><u>General/ All floors</u> Principal façade as outlined above <u>Commercial Building</u> Balcony element including balustrade, timber door (excluding paint scheme), door furniture and fenestration (excluding the balcony tiling, ceiling grate, ladder and cage to roof cavity).</p>	<p>Exceptional</p>

Fourth floor elements	
<p><u>Johnsons Building</u> Stair lobby including concrete stair with timber balustrade. Also including original arched entry to commercial tenancy but excluding the infilled brickwork to the arch and new access doors. Excluding paint finishes Timber door surrounds to landing WCs within original stair lobby, excluding timber doors</p>	
<p><u>General/ All floors</u> Internal cross walling that interprets the extent and location of the original dividing walls. <u>Commercial Building</u> Overall depth and form of the space (reflects the approximate area of the original upper level principal front room) <u>Johnsons Building</u> North party wall adjacent to Commercial Building</p>	High
<p><u>Johnsons Building</u> Contemporary portion of western and rear northern elevation Timber doors to stair lobby WC</p>	Moderate
<p><u>General/ All floors</u> Tenancy floor plan and partitioning Contemporary lift and lobby All contemporary office fit out fabric including partitions, doors, suspended ceiling, floor and wall coverings and finishes. Glazed window/door sound proofing All furnishings <u>Commercial Building</u> Balcony tiling and ceiling grate, painted metal ladder and cage to roof cavity <u>Johnsons Building</u> Stair landing WC fit out including floor and wall tiling, partitioning, sink and WC facilities (excluding walls and fenestration) Staff kitchenette facilities All floor coverings, partitioning and internal colour schemes associated with the office fit out Contemporary concrete fire stair to northeast corner New walling within original arch and entry doors to commercial tenancies (north wall of stair lobby)</p>	Little
N/A	Intrusive

Fifth Floor Plan/ Level 6



Fifth floor elements / Johnsons Building only	
Principal façade (Grosvenor, George and part of the Milson's Lane return) and fenestration as outlined above Northern elevation walling, visible over the adjacent Commercial Building Level 6 George Street balcony fabric, including all sandstone and brickwork, timber fenestration and French doors (excluding paint scheme) and the metal balustrade; excluding the contemporary tiled flooring and refurbished ceiling Stair lobby including concrete stair with timber balustrade. Also including original arched entry to commercial tenancy but excluding the infilled brickwork to the arch and new access doors. Excluding paint finishes Concrete stair to roof access Timber door surrounds to landing WCs within original stair lobby, excluding timber doors	Exceptional
N/A	High
Contemporary portion of western and rear northern elevation Timber doors to stair lobby WC	Moderate
Tenancy floor plan and partitioning Contemporary lift and lobby Stair landing WC fit out including floor and wall tiling, partitioning, sink and WC facilities (excluding walls and fenestration) Staff kitchenette facilities All floor coverings, partitioning and internal colour schemes associated with the office fit out	Little

Suspended ceiling and services Contemporary concrete fire stair to northeast corner Contemporary tiled flooring and refurbished ceiling to George Street balcony . New walling within original arch and entry doors to commercial tenancies (north wall of stair lobby) New doors to roof access All furnishings	
N/A	Intrusive

Roof Level



- Exceptional Significance
- High Significance
- Moderate Significance
- Little Significance
- Intrusive Element

Roof elements	
All facades excluding the contemporary section of the Milsons Lane elevation and part of the north elevation as outlined in section 5.1.1 All chimneys All parapet detailing including gable ends and truncated finials Roof access to stair lobby Stair lobby including concrete stair with timber and metal balustrade; (excluding wall finishes and replaced doors to roof and services accesses)	Exceptional
Roof pitch and materials	High

Contemporary portion of western and rear northern elevation	Moderate
Contemporary lift motor room and services Roof flashings Cement paving and loose stone flooring. Painted metal balustrades	Little
N/A	Intrusive

5.2 Schedule of Significant Elements

Schedule of Significant Elements The Brooklyn Hotel, 229 George Street, The Rocks		
Element	Significance	Commentary
EXTERIOR		
WALLS		
Overall facade and form of the main (eastern) elevation	Exceptional	Exceptional elements include the sandstone balcony with Ionic columns, central bay window element, upper level window sills and pediments, string courses and curved gable end.
Sandstone materials of the main elevation	Exceptional	
Main elevation brickwork	Exceptional	Inclusive of all principal elevation brickwork in particular the key hole gable end. (Northern and Western elevations have been rebuilt.)
Fenestration of the main elevation	Exceptional	Inclusive of all fenestration above the awning level.
Overall form of the rear (western) elevation	Moderate	Rear elevation built as part of the 1989 works-new brickwork.
Overall form of the north elevation	High	Not inclusive of the new brickwork fabric
North and western elevation façade brickwork	Moderate	New brickwork- probably part of the 1991 restoration
Ground floor, north elevation and rear elevation render/ masonry elements	Moderate	Modern fabric
Rear elevation sandstone capping	Moderate	Modern element
Doors	Exceptional to Little	Exceptional elements include the level 4 balcony French doors; Modern rear (western) elevation French doors to ground floor courtyard are of little significance
Service down-piping (eastern facade)	Moderate	Modern element
Balcony floor tiling	Little	Not original
ROOF/ ROOFING		
Overall roof form	High	Altered but the pitch and form has been retained. New slate to match the original
Gable Roof	High	Roof modified (shortened) Contemporary slate matching the original roof slates

Schedule of Significant Elements			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Commentary
1	Slate roofing	High	Sympathetic replacement
2	Roof flashings, capping and guttering	Little	Replacement fabric
3	“Chimney” element	Little	Not original
SHOPFRONT			
Shopfront façade including window bay, marble sheet cladding and disused cellar doors		Exceptional	Elements including marble façade cladding, copper bay window sheeting, stone thresholds and disused basement chute doors
Cantilevered east elevation awning and awning tie-rods		High	Following the fire, part of the awning was removed before the property owners were ordered to stop works. The awning was built to match the original, following original plans. Corrugated sheeting is contemporary.
Timber under awning cladding		High	Inspection of fabric suggests that the under awning cladding has been replaced.
Shopfront French doors		High	Likely replaced
All glazed signage		Little	Including period style signage to shopfront bay.
All awning and under awning signage		Little	Modern element
Under awning lighting		Little	Modern element
North Elevation Awning		Moderate	Modern element
West elevation entry/ double doors		Little	Modern element
INTERIOR			
GROUND FLOOR			
Significant historic use		High	Use as a Hotel.
Spatial organisation generally		High	The available floor area does not reflect the form of the original bar however it is important to retain enough depth in the building to make sense of the parts being retained. Wall nibs interpreting the original party wall are of moderate significance despite having been rebuilt.
Fenestration		Exceptional to Little	The form of the shopfront is original and highly significant however all glazing has been replaced following vandalism to the shopfront in the 1980s so the glazing itself is of little significance.
GROUND FLOOR BAR			
1	Flooring –Timber and tiling	Little	Replacement fabric
2	Cross walls and nibs	High	Wall and nibs interpreting the original party walling.

Schedule of Significant Elements			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Commentary
3	Internal walls (including skirtings and joinery)/ covering and paint scheme	Little	Rebuilt internally- later walling, flooring and finishes.
4	Ceiling- fabric and finishes	Little	Replacement fabric
FIRST FLOOR			
Spatial organisation generally		Little	Available floor area has been extended and does not reflect the original footprint of the front room although the party walling has been interpreted.
Fenestration		Exceptional	Original window frames retained behind the inserted mirrors.
FIRST FLOOR OFFICE AND HALL			
1	Flooring/ Floor coverings	Little	Contemporary fabric
2	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
3	Partitions, walls and finishes including tiling and joinery	Little	Contemporary fabric
4	Ceiling fabric (including suspended office ceiling and plaster hall ceiling with egg and dart cornice)	Little	Contemporary fabric
5	All furniture and fittings	Little	Contemporary
WOMENS WC			
1	Flooring (tiling)	Little	Contemporary fabric
2	Wall tiling/ plaster and finishes and terrazzo cubicle partitions	Little	Contemporary fabric
3	Lowered ceiling	Little	Contemporary fabric. Does not obscure windows.
4	WC and sink fixtures	Little	Contemporary
5	Mirrors	Intrusive	Contemporary fabric obscuring the original windows. The obstruction can be viewed from the street.
SECOND FLOOR			
Spatial organisation generally		High	The area retained reflects the proportion and floor area of the original front room.
Current commercial use		Little	Converted for use as part of commercial office leases.
Fenestration		Exceptional	Original window frames, with minor addition of sound proofing

Schedule of Significant Elements			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Commentary
SECOND FLOOR OFFICE AREA			
1	Internal cross walls and nibs	High	Rebuilt however some internal interpretation of spaces is required
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Contemporary
3	Floor coverings and wall finishes	Little	Contemporary
4	Partitions, wall finishes and joinery	Little to moderate	Contemporary
5	Suspended fibro ceiling and finish	Little	Contemporary
THIRD FLOOR			
Spatial organisation generally		High	The area retained reflects the proportion and floor area of the original front room.
Current commercial use		Little	Converted for use as part of commercial office leases.
Fenestration		Exceptional	Original window frames, with minor addition of sound proofing
Balcony element		Exceptional	Original timber doors (paint scheme not original, though it is appropriate) with minor addition of sound proofing. Later tiling of moderate significance.
THIRD FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	Moderate	Rebuilt however some internal interpretation of spaces is required
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Contemporary
3	Flooring- Balcony tiling	Little	Contemporary
4	Floor coverings and wall finishes	Little	Contemporary
5	Suspended ceiling	Little	Contemporary

Schedule of Significant Elements		
Commercial Building, 231 George Street, The Rocks		
Element	Significance	Commentary
BUILDING –EXTERIOR		
WALLS		
Overall facade and form of the	Exceptional	

Schedule of Significant Elements		
Commercial Building, 231 George Street, The Rocks		
Element	Significance	Commentary
principal elevation (above awning level)		
Sandstone materials of the main/ east elevation	Exceptional	Exceptional elements include the sandstone bands and expressed voussoirs, chequerboard decoration and spiral motifs to the curved gable.
East elevation brickwork	Exceptional	Inclusive of all principal elevation brickwork in particular the key hole gable end. (Western elevation has been rebuilt.)
Sheet metal/ copper façade cladding	Exceptional	Inclusive of all cladding and detailing, including oriel window cladding, and in particular the moulded waratah motif to the level 4 balcony and rosette motif to level 5 balcony.
Level 5 balcony balustrade	Exceptional	
Principal façade fenestration (above awning)	Exceptional	Inclusive of all fenestration above the awning level.
Façade doors (excluding the shopfront entry)	Exceptional	Exceptional elements include the level 4 and 5 balcony doors. (Excluding the shopfront French doors.)
East elevation awning	High	Following the fire, part of the awning was removed before the property owners were ordered to stop works. The awning was built to match the original, following original plans, though measured drawings were not available.
Overall form of the rear elevation.	Moderate	Rear elevation built as part of the 1980s, 1990s works- new brickwork.
Rear elevation brickwork and sandstone coursing	Moderate	Rear elevation built as part of the 1980s, 1990s works- new brickwork.
Down-piping (eastern and western facades)	Moderate	Contemporary element (restored similarly to the original copper heads)
Balcony floor tiling (level 4 and 5) / refurbished balcony roofing to level 4 and ceiling grate to level 5 balcony	Little	Not original
Metal ladder and enclosure to roof cavity and services	Little	Contemporary element
ROOF/ ROOFING		
Gable roof	High	Roof modified (shortened) Contemporary slate matching the original roof slates
Overall roof form	High	Altered but the pitch and form has been retained. New slate to match the original
Roof flashings, capping and guttering	Little	Modern fabric
SHOPFRONT		

Schedule of Significant Elements			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Commentary
Shopfront façade		Moderate	Elements including marble façade cladding, copper framing to shopfront windows, stone threshold, timber under awning cladding and French doors
Glazed signage/ glazing		Little to Intrusive	Includes only the advertising signage on the northern shopfront window.
All external lighting including under awning lighting to the principal façade		Little	Modern fabric
GROUND FLOOR			
Spatial organisation generally		Little	The available floor area does not reflect the form of the original ground floor plan however it is important to retain enough depth in the building to make sense of the parts being retained. Wall nibs interpreting the original party wall are of high significance despite having been rebuilt.
GROUND FLOOR INTERNAL ELEMENTS			
Flooring –Timber and carpeting		Little	Replacement/ new fabric
Ceiling- fabric and finishes		Little	Replacement/ new fabric
Internal walls (including skirtings and joinery)/ covering and paint scheme		Little	Rebuilt internally- later walling and finishes, however those sections that interpret the original party walling have some significance (refer section 5.1.3 floor plan above). All internal partitioning, including to the gaming area is of little significance
Cross walls and nibs		High	
Stair joinery		Little	Edwardian styled fit out conforming to the period of the Hotel. All new fabric (1991 fit out).
FIRST FLOOR			
Spatial organisation generally		Little	Available floor area has been extended and does not reflect the original footprint of the front room although the party walling has been interpreted.
Façade/ Fenestration		Exceptional	Original window frames retained behind the inserted mirrors.
FIRST FLOOR STAIR HALL			
1	Flooring/ Floor coverings	Little	Contemporary fabric
2	Walling/ Finishes including joinery and skirtings	Little	Later walling and finishes, however those sections that interpret the original party walling have some significance (refer section 5.1.5 floor plan above). All other internal partitioning is of little significance.
3	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.

Schedule of Significant Elements			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Commentary
4	Plaster hall ceiling with egg and dart cornice	Little	Edwardian styled fit out- new fabric
5	Stair joinery	Little	Edwardian styled fit out conforming to the period of the Hotel. All new fabric (1991 fit out).
MENS WC			
1	Flooring (tiling)	Little	Contemporary fabric
2	Wall tiling/ plaster and finishes and terrazzo cubicle partitions	Little	Contemporary fabric
3	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
4	Lowered ceiling	Little	Contemporary fabric. Does not obscure windows.
5	WC/ urinal and sink fixtures	Little	Contemporary
6	Mirrors	Intrusive	Contemporary fabric obscuring the original windows. The obstruction can be viewed from the street.
SECOND FLOOR			
Spatial organisation generally		High	The area retained reflects the proportion and floor area of the original front room.
Principal façade/ fenestration		Exceptional	Original window frames, with minor addition of sound proofing
SECOND FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	High	Rebuilt however some internal interpretation of spaces is required
2	Office fit out fabric including partitions, doors, joinery, furniture etc	Little	Contemporary
3	Floor coverings and wall finishes	Little	Contemporary
4	Suspended ceiling	Little	Contemporary
THIRD FLOOR			
Spatial organisation generally		High	The area retained reflects the proportion and floor area of the original front room.
Façade/ Fenestration		Exceptional	Original window frames, with minor addition of sound proofing
Balcony element		Exceptional	Probably original timber door (not original paint scheme though it is appropriate) with minor addition of sound proofing. Later tiling and refurbished ceiling of little significance. Copper balcony cladding of exceptional significance.

Schedule of Significant Elements			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Commentary
THIRD FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	High	Rebuilt however some internal interpretation of spaces is required
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Modern fabric
3	Floor coverings and wall finishes	Little	Modern fabric
4	Suspended ceiling	Little	Modern fabric
FOURTH FLOOR			
Spatial organisation generally		High	The area retained reflects the proportion and floor area of the original front room.
Façade/ Fenestration		Exceptional	Original window frames, with minor addition of sound proofing
Balcony element		Exceptional	Probably original timber door (not original paint scheme though it is appropriate) with minor addition of sound proofing. Later tiling and ceiling grate of little significance. Contemporary ladder/ cage to roof services of little significance
FOURTH FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	High	Rebuilt however some internal interpretation of spaces is required
2	Office fit out fabric including partitions, doors, joinery, furniture etc.	Little	Modern fabric
3	Flooring (carpet) and wall finishes	Little	Modern fabric
4	Suspended fibro ceiling and finish	Little	Modern fabric

Schedule of Significant Elements		
Johnson's Building, 233-235 George Street, The Rocks		
Building or Site element	Significance	Commentary
BUILDING – EXTERIOR		
Overall facade and form of the principal George, Grosvenor and partial return Milsons Lane elevations, as well as the section of the northern elevation, over the neighbouring Commercial Building. (Excluding the northern section of the Milsons Lane elevation and contemporary rebuilt rear elevation, and excluding shopfronts as discussed below.)	Exceptional	

Schedule of Significant Elements		
Johnson's Building, 233-235 George Street, The Rocks		
Building or Site element	Significance	Commentary
Sandstone materials of the exceptional elevations as outlined above	Exceptional	Exceptional elements include string courses, window sills, mullions and lintels, pediment and gable detailing, relief elements and date plaque, as well as the sandstone balcony elements including colonnade to the George Street elevation
Façade brickwork to the principal George, Grosvenor and partial return Milsons Lane elevations, as well as the upper level northern elevation visible over the 231 George Street. (Excluding the northern section of the Milsons Lane elevation and contemporary rebuilt rear elevation.)	Exceptional	Inclusive of all principal elevation brickwork in particular the key hole gable end. (Northern and Western elevations have been rebuilt)
Sheet metal/ copper façade cladding (excluding the rear northern elevation)	Exceptional	Inclusive of all cladding and detailing, including oriel window cladding, and in particular the copper panels with stylised fleur de lys motif to the level 5 window bays on the George and Grosvenor elevations
Fenestration	Exceptional	Inclusive of all fenestration above the awning level, excluding the contemporary northern elevation
Doors	Exceptional to Little	Exceptional elements include the commercial entry doors to the Grosvenor street elevation, the timber double doors to the splayed corner entry are of high significance and all contemporary glazed doors are of little significance
Awning	High	Following the fire, part of the awning was removed before the property owners were ordered to stop works. The existing awning was built to match the original, following original plans, though measured drawings were not available
Overall form of the rear elevation and contemporary northern section of the Milsons Lane elevation	Moderate	Elevations built as part of the 1989 works- new brickwork and fenestration
Rear elevation brickwork and sandstone coursing	Moderate	Rear elevation built as part of the 1980s, 1990s works- new brickwork
Rear/ northern elevation fenestration	Moderate	Designed to correspond with openings on the original elevations

Schedule of Significant Elements		
Johnson's Building, 233-235 George Street, The Rocks		
Building or Site element	Significance	Commentary
Copper head and down-pipes (all facades)	Moderate	Contemporary element (new fabric matching original)
Ground floor terrace enclosure to rear northern elevation	Little	Contemporary element
First floor sandstone balcony to rear northern elevation	Little	Contemporary element
ROOF/ ROOFING		
Chimney elements	Exceptional	May have been partially rebuilt
Overall roof form	Exceptional	Restored fabric but the pitch and form has been retained
Gable Roof	High	Restored and rebuilt to match the original as part of the 1980s/90s works. Contemporary slate matching the original roof slates (excluding flashings)
Roof access to original commercial stair lobby	Exceptional	Including brickwork and fenestration (excluding modified door)
Lift motor room and services	Little	Contemporary fabric
Cement paving and loose stone flooring and metal safety balustrade	Little	Contemporary fabric
SHOPFRONT		
Grosvenor Street commercial entry	Exceptional	Including ground floor arched fenestration and excluding contemporary glazed entry door
Grosvenor street shopfront and splayed corner bay	High	Restored based on the original plans (including copper framing and window forms, timber double doors and marble façade cladding, excluding contemporary tiling to entryway)
George Street shopfront	Moderate	Modified in a manner sympathetic to the original façade treatment, though a secondary entry has been removed and the shopfront windows continued
All glazed signage	Little	Contemporary style and element
All awning signage and signage related to commercial tenancies	Little	Contemporary
Under awning lighting	Little	Contemporary

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
Frosted glazing to northern window bay (George Street elevation)/ shopfront glazing		Little	The northern window bay glazing was modified following the installation of new WC and kitchenette services. The shopfront glazing was entirely renewed. It is likely that other glazing has been replaced however specific details are not available. Glazing is not distinctive
BUILDING INTERIORS			
GROUND FLOOR			
Spatial organisation generally		Moderate	The available floor area does not reflect the form of the original shop however it is important to retain an open plan quality. The shopfront window recess is also interpreted by the change in floor level and materials and separated by timber partitions
Shopfront / facades		Exceptional to moderate	As outlined above
Fenestration / Doors		Exceptional to little	As outlined above
Awning		High	Restored matching the original
GROUND FLOOR BAR			
1	Contemporary Bar / kitchen facilities	Little	Contemporary fixtures and fittings
2	Flooring and finishes within the bar area	Little	New fabric
3	Ceilings within the bar area	Little	New fabric
4	Supporting columns within the bar area	Moderate	Original columns, contemporary finishes
5	Internal walls (including skirtings and joinery)	High to little.	Party walling adjacent to the Commercial Building and original lift lobby are noted as being of high significance (refer floor plan shown in section 5.1.5). New walling including the contemporary fire stair and partitioning of kitchen facilities is of little significance. Paint finishes are not significant.
6	Lift car/ shaft	Little	Contemporary element
7	Contemporary fire stair	Little	Contemporary element
COMMERCIAL ENTRANCE LOBBY			

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
1a)	Floor finishes / original commercial entrance lobby	Exceptional	Tiled flooring in geometric pattern is of exceptional significance
b)	Floor finishes / rear lift lobby	Little	Contemporary fabric
2a)	Wall cladding /original commercial entrance lobby	Exceptional	Including the two toned terrazzo wall cladding and timber cladding to west window bay
b)	Wall cladding/ rear lift lobby	Little	Contemporary fabric
3	Partition to former lift well (within original lobby)	Exceptional	Including terrazzo, metal and timber, excluding the contemporary tenancy signage
4	Ceiling fabric	Little	Refurbished in main lobby and contemporary at rear lift lobby
5	Stair fabric	Exceptional	Including metal balusters and timber handrail, and terrazzo stair risers
6	Lift car/ shaft	Little	Contemporary element
7	Diesel Exhaust/ services	Little	Contemporary element
FIRST FLOOR			
Spatial organisation generally		Little	Does not reflect the original footprint or floor plan
Façade sandstone and brickwork		Exceptional to moderate	Significance of elevations as outlined in the discussion of external fabric in section 5.2 above
Façade/ Fenestration		Exceptional	Original window frames, with minor addition of sound proofing Significance as outlined above in sections 5.1 and 5.2
FIRST FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Likely original wall adjacent to Commercial Building
2	Internal floor plan/ partitioning for tenancy fit out	Little	Contemporary fabric
3	Lift car/ lobby	Little	Contemporary fabric
4	Flooring/ Floor coverings	Little	Contemporary fabric
5	Wall Finishes	Little	Contemporary fabric
6	Ceiling fabric (including suspended plaster ceiling)	Little	Contemporary fabric
7	Tenancy WC and kitchenette facilities	Little	Contemporary fabric – including all fabric, i.e. partitioning, tiling, sinks and WCs etc
8	All furniture and fittings	Little	Contemporary

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
9	Contemporary fire stair	Little	Contemporary element
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Including metal balusters, timber handrail and concrete stair risers as well as marble wall cladding to first floor landing. Excluding paint finishes and infilled brickwork to arched entry to tenancy (as outlined in section 5.1 Grading of Significant Elements and Spaces)
2	Stair hall joinery	Exceptional to little	Door surround to WC entry exceptional, WC doors are later, though matching the period of the building and are of moderate significance, while the doors to commercial tenancy are contemporary and of little significance
3	Stair hall WC	Little	Contemporary fabric – including all finishes, tiling, partitioning, mirrors, sink and WC amenities (excluding fenestration)
SECOND FLOOR			
Spatial organisation generally		Little	Does not reflect the original footprint or floor plan
Façade sandstone, brickwork and copper cladding		Exceptional to moderate	Significance of elevations as outlined in the discussion of external fabric in section 5.2 above
Fenestration		Exceptional or little	Original window frames, with minor addition of sound proofing Significance as outlined above
Balcony element		Exceptional	Including sandstone and brickwork and timber French doors, excluding flashings and contemporary floor tiling
SECOND FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Likely original wall adjacent to Commercial Building
2	Internal floor plan/ partitioning for tenancy fit out	Little	Contemporary fabric
3	Lift car/ lobby	Little	Contemporary fabric
4	Flooring/ Floor coverings	Little	Contemporary fabric
5	Wall Finishes	Little	Contemporary fabric
6	Ceiling fabric (including suspended plaster ceiling)	Little	Contemporary fabric

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
7	Tenancy WC and kitchenette facilities	Little	Contemporary fabric – including all fabric, i.e. partitioning, tiling, sinks and WCs etc
8	All furniture and fittings (excluding south wall fireplace)	Little	Contemporary
9	Contemporary fire stair	Little	Contemporary element
10	South wall fireplace	Moderate	Element may or may not be original
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Including metal balusters, timber handrail and concrete stair risers. Excluding paint finishes and infilled brickwork to arched entry to tenancy (as outlined in section 5.1 Grading of Significant Elements and Spaces)
2	Stair hall joinery- doors	Exceptional to little	Door surround to WC entry exceptional, WC doors are later, though matching the period of the building and are of moderate significance, while the doors to commercial tenancy are contemporary and of little significance
3	Stair hall WC	Little	Contemporary fabric – including all finishes tiling, partitioning, mirrors, sink and WC amenities (excluding fenestration)
THIRD FLOOR			
Spatial organisation generally		Little	Does not reflect the original footprint or floor plan
Façade sandstone, brickwork, and copper cladding		Exceptional or moderate	Significance of elevations as outlined in the discussion of external fabric in section 5.2 above
Fenestration		Exceptional	Original window frames, with minor addition of sound proofing Significance as outlined above
THIRD FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Likely original wall adjacent to Commercial Building
2	Internal floor plan/ partitioning for tenancy fit out	Little	Contemporary fabric
3	Lift car/ lobby	Little	Contemporary fabric
4	Flooring/ Floor coverings	Little	Contemporary fabric

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
5	Wall Finishes	Little	Contemporary fabric
6	Ceiling fabric (including suspended plaster ceiling)	Little	Contemporary fabric
7	Tenancy WC and kitchenette facilities	Little	Contemporary fabric – including all fabric, i.e. partitioning, tiling, sinks and WCs etc
8	All furniture and fittings	Little	Contemporary
9	Contemporary fire stair	Little	Contemporary element
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Including metal balusters, timber handrail and concrete stair risers. Excluding paint finishes and infilled brickwork to arched entry to tenancy (as outlined in section 5.1 Grading of Significant Elements and Spaces)
2	Stair hall joinery- doors	Exceptional to little	Door surround to WC entry exceptional, WC doors are later, though matching the period of the building and are of moderate significance, while the doors to commercial tenancy are contemporary and of little significance
3	Stair hall WC	Little	Contemporary fabric – including all finishes tiling, partitioning, mirrors, sink and WC amenities (excluding fenestration)
FOURTH FLOOR			
Spatial organisation generally		Little	Does not reflect the original footprint or floor plan
Façade sandstone, brickwork, and copper cladding		Exceptional or moderate	Significance of elevations as outlined in the discussion of external fabric in section 5.2 above
Fenestration		Exceptional	Original window frames, with minor addition of sound proofing Significance as outlined above
FOURTH FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Likely original wall adjacent to Commercial Building
2	Internal floor plan/ partitioning for tenancy fit out	Little	Contemporary fabric
3	Lift car/ lobby	Little	Contemporary fabric
4	Flooring/ Floor coverings	Little	Contemporary fabric

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
5	Wall Finishes	Little	Contemporary fabric
6	Ceiling fabric (including suspended plaster ceiling)	Little	Contemporary fabric
7	Tenancy kitchenette facilities	Little	Contemporary fabric – including all fabric, i.e. partitioning, tiling, sinks
8	All furniture and fittings	Little	Contemporary
9	Contemporary fire stair	Little	Contemporary element
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Including metal balusters, timber handrail and concrete stair risers. Excluding paint finishes and infilled brickwork to arched entry to tenancy (as outlined in section 5.1 Grading of Significant Elements and Spaces)
2	Stair hall joinery- doors	Exceptional to little	Door surround to WC entry exceptional, WC doors are later, though matching the period of the building and are of moderate significance, while the doors to commercial tenancy are contemporary and of little significance
3	Stair hall WC	Little	Contemporary fabric – including all finishes tiling, partitioning, mirrors, sink and WC amenities (excluding fenestration)
FIFTH FLOOR			
Spatial organisation generally		Little	Does not reflect the original footprint or floor plan
Façade sandstone and brickwork including section of northern façade above the neighbouring Commercial Building		Exceptional or moderate	Significance of elevations as outlined in the discussion of external fabric in section 5.2 above. North wall overlooking the neighbouring Commercial Building is also noted as being of exceptional significance
Fenestration		Exceptional	Original window frames, with minor addition of sound proofing Significance as outlined above
George Street elevation balcony element		Exceptional	Including sandstone balustrade and triple arched colonnade, wrought iron balustrade, timber French doors and fenestration. Excluding new tiling and refurbished ceiling fabric

Schedule of Significant Elements			
Johnson's Building, 233-235 George Street, The Rocks			
Building or Site element		Significance	Commentary
FIFTH FLOOR COMMERCIAL TENANCY			
1	Internal floor plan/ partitioning for tenancy fit out	Little	Contemporary fabric
2	Lift car/ lobby	Little	Contemporary fabric
3	Flooring/ Floor coverings	Little	Contemporary fabric
4	Wall Finishes	Little	Contemporary fabric
5	Ceiling fabric (including suspended plaster ceiling)	Little	Contemporary fabric
6	Tenancy WC and kitchenette facilities	Little	Contemporary fabric – including all fabric, i.e. partitioning, tiling, sinks and WCs
7	All furniture and fittings	Little	Contemporary
8	Contemporary fire stair	Little	Contemporary element
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Including metal balusters, timber handrail and concrete stair risers. Excluding paint finishes and infilled brickwork to arched entry to tenancy (as outlined in section 5.1 Grading of Significant Elements and Spaces)
2	Stair hall joinery- doors	Exceptional to little	Door surround to WC entry exceptional, WC doors are later, though matching the period of the building and are of moderate significance, while the doors to commercial tenancy are contemporary and of little significance
3	Stair hall WC	Little	Contemporary fabric – including all finishes tiling, partitioning, mirrors, sink and WC amenities (excluding fenestration)
4	Roof access	Exceptional	Including concrete stair and access to roof although excluding the doors and finishes which are contemporary

5.3 Archaeological significance

Based on the assessment in Section 3.6, the site has no archaeological potential and is therefore considered to be exempt from the archaeological conditions of the NSW Heritage Act 1977.

6 Constraints and opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the statement of significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*, and identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues arising from physical condition of the place

Having recently undergone building works, including the 1989 building redevelopment and subsequent alterations, as well as maintenance works in 2003, the Johnsons group is considered to be generally in good condition. In 2010, Conservation works were undertaken as per the recommendations of the 2010 CMP revision and to the specification of Tanner Architects.

Regular maintenance and monitoring is required.

6.2 Sydney Harbour Foreshore Authority

The Rocks is managed by Sydney Harbour Foreshore Authority, constituted on 1 February 1999 under the *Sydney Harbour Foreshore Act 1998*.

The primary functions of the Foreshore Authority, stated in its Act, are to:

- Protect and enhance the natural and cultural heritage of the foreshore area
- Promote, coordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure
- Promote, coordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.2.1 Sydney Harbour Foreshore Authority's vision and purpose

Vision

To make unique places in Sydney that the world talks about.

Our purpose

To create and sustain living places and great experiences

The Authority does this by:

Managing places profitably and socially to deliver excellence in our role as manager for Sydney's significant waterfront and other precincts, balancing visitor, community and commercial expectations. As custodian, to ensure the preservation and interpretation of our natural and cultural heritage.

Promoting places effectively to capitalise on the economic and cultural worth of our places, as core attractions for both visitors and Sydneysiders.

Developing places responsibly to demonstrate leadership in creating quality environments that are enriching, diverse, accessible and sustainable. To add value by redeveloping surplus government land through a highly-skilled organisation.

Managing the organisation efficiently to meet customer and stakeholder needs and expectations.

The Authority proposes to continue to use the Johnsons Buildings (229-235 George Street) for Hotel and commercial uses, in accordance with the policies of this Conservation Management Plan.

6.2.2 Asset owner's requirements

Following the construction of the Grosvenor Tower, the site was leased to the developer (Kern Corporation) for 99 years. It is envisaged that the site will continue for the foreseeable future to be leased by Grosvenor Place Pty Ltd in association with the Seidler. The use will continue in its current capacity, with the ground and first floors being leased as part of The Brooklyn Hotel, and the upper two levels as part of commercial tenancies.

The Authority proposes to continue to use the Johnsons Buildings for hotel and commercial uses.

Maintenance requirements have been outlined in the Chapter 8 of this CMP, however it is expected that the overall maintenance of the building will remain the responsibility of the asset owner (the Foreshore Authority) in association with the property managers (Grosvenor Place Pty Ltd) and the individual tenants. The property managers and tenants are responsible for alerting the asset owners to any immediate maintenance required, although a program of regular inspections should also be undertaken by the asset owners, the Foreshore Authority.

6.3 Heritage management framework

In 2009, the NSW Government announced amendments to the State's planning portfolio effective from 1 May 2009. These amendments require development applications (DAs), previously assessed by the Authority, to be assessed by the Council of the City of Sydney or Department of Planning.

It is essential that the Foreshore Authority and the relevant Consent Authority are consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act and the Heritage Act. All statutory applications require the signature and consent of the landowner to enable lodgement, as such all applications should be forwarded to the Foreshore Authority for endorsement prior to submission with the Department of Planning. Further information about the granting of landowner's consent can be sourced from the Foreshore Authority's internet page.

6.3.1 New South Wales Heritage Act

Architectural Works

229-235 George Street, The Rocks is listed in the NSW State Heritage Register, under SHR number 01533, SHR number 01540 and number 01554, all of which were gazetted on 10/05/2002, gazettal number 85. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act (1977).

Under Section 57(1) of the Act, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of a SHR item is *prohibited* under the Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). The Foreshore Authority can determine Section 60 applications for minor works which do not materially affect the significance of the item under delegation. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the NSW Heritage Office, or from the Foreshore Authority.

Archaeological management

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as:

Any deposit, object or material evidence which

(a) Relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and

(b) Is 50 or more years old.

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications extends to archaeological works.

Standard exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items. Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to Appendix 1 (attached).

Applicants should confirm with the Foreshore Authority whether proposed works fall within the standard exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a Conservation Management Strategy endorsed under delegation

by the Executive Manager of the Property and Asset Management division, Sydney Harbour Foreshore Authority. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites. Currently, there no site specific exemptions for 229-235 George Street, The Rocks.

Minimum standards of maintenance and repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every three years for essential maintenance and repair standards). For details of the minimum standards see Appendix 2: Minimum Standards of Maintenance and Repair (NSW Heritage Branch).

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

6.3.2 NSW Government Total Asset Management guidelines

The Total Asset Management (TAM) manual prepared by NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values should be treated by an agency as part of its core business". Similarly, TAM Guidelines for Government agencies prepared by NSW Treasury require "planning use of heritage assets to maximise their service delivery while protecting their cultural values".

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

6.4 Environmental Planning Instruments (EPIs)

There are three main EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks:

A. State Environmental Planning Policy (Major Developments) 2005

Consent Authority Roles

On 1 May 2009 an amendment to the State Environmental Planning Policy (Major Developments) 2005 was made that transferred to consent authority for certain development on Sydney Harbour Foreshore sites from the Minister for Planning to the City of Sydney Council.

Sydney Harbour Foreshore sites are those identified on Map 9 of Schedule 2 of the Major Developments SEPP including:

- Circular Quay;
- The Rocks;
- Walsh Bay (Wharf 2/3);
- Darling Harbour;
- Casino (Switching Station site); and
- Bank Street (including the Sydney Fish Market).

From 1 May 2009 all new DAs under Part 4 of the Act (Capital Investment under \$5 Million), within the above areas, are to be lodged with the City of Sydney Council, except as provided for by the provisions of the amended SEPP. Within these provisions The Minister will remain the consent authority in these areas for development that:

- requires an approval under section 57 of the Heritage Act 1977 (unless that approval has already been obtained);
- does not comply with the approved Sydney Cove Redevelopment Authority Scheme for The Rocks, which is essentially the height and building envelop prescribed for each site (See Section 1.2C); or
- has a Capital Investment Value in excess of \$5 Million, which requires a Major Project application under Part 3A of the Act.

Any DA subject to the provisions listed above is to be lodged with the Government Land & Social Projects Branch of the NSW Department of Planning.

Any application under section 96 of the Act, for a modification to a development consent issued by the Minister, including consents issued under delegation by the Department or Sydney Harbour Foreshore Authority, will continue to be lodged with the Department.

Exempt Development

The amended SEPP has introduced additional Exempt Development for Circular Quay, The Rocks and Darling Harbour. This will allow for a range of temporary uses and other activities to be undertaken without the need to obtain development consent.

These temporary uses and activities include:

- Short term events at places such as First Fleet Park (The Rocks) and Tumbalong Park (Darling Harbour);
- Premises trading out onto the public street, for up to 6 occasions per year, such as on Australia Day and ANZAC Day;
- Fireworks and lighting displays; and
- Christmas decorations

These temporary uses and activities are subject to other limitations on hours and duration, required approvals under the NSW Heritage Act 1977 and controls applying to limit impacts on the environment.

The consent of the landowner must always be obtained before undertaking any exempt development.

B. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks and Darling Harbour is included in the 'Foreshores and waterways area' defined in the Sydney Regional and Environment Plan (SREP), and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks and Darling Harbour, however it does identify the Sydney Harbour Bridge and the Circular Quay ferry wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Amendment 1 to the SREP, gazetted 27 July 2007, also identifies a 'buffer zone' for development in the vicinity of Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of the potential to impact on archaeological or potential archaeological relics.

The DCP that exists under the SREP is also relevant to development in The Rocks and Darling Harbour. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge.

C. Sydney Cove Redevelopment Authority (SCRA) scheme

The Rocks is covered by the SCRA scheme which has the status of an EPI under schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA scheme comprises a series of building site control drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

6.5 Non-statutory listings and community groups

6.5.1 National Trust of Australia (NSW)

The Brooklyn Hotel, Commercial Building and Johnsons Building and the collective group have been classified by the National Trust of Australia (NSW).

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.5.2 Australian Heritage Commission – Register of the National Estate

The Brooklyn Hotel, Commercial Building and Johnsons Building have been classified by the Australian Heritage Commission and listed in the Register of the National Estate. The building group at 229-235 George Street and the adjacent Royal Naval House on Grosvenor Street, is also listed on the Register.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government; however, it is indicative of the high cultural values of the place.

6.5.3 Royal Australian Institute of Architects Register

The Johnsons Building, former Brooklyn Hotel and Commercial Buildings have been listed on the RAI Register.

Listing on the Register carries no statutory implications however, it is indicative of the high cultural values of the place and community esteem.

6.6 Building regulations

The Building Code of Australia (BCA) is concerned with establishing uniform building regulations across Australia. The BCA is implemented in NSW through the *Local Government Act 1993*.

The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works.

An assessment of compliance of the complex with the BCA has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the BCA in heritage buildings, proposals must ensure that significant fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.7 Application of The Burra Charter

The *Australia ICOMOS Burra Charter 1999*, known as *The Burra Charter*¹⁰⁹, is widely accepted in Australia as the underlying methodology by which all works to places identified as having national, state and regional significance are undertaken.

Because 229-235 George Street, The Rocks, is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of *The Burra Charter*.

Principles of The Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the articles of *The Burra Charter* as follows:

Cautious approach (article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric.

Location (article 9)

A building or work should remain in its historical location.

Contents (article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation (article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

¹⁰⁹ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

New work (article 22)

New work may be acceptable where it does not distort or obscure the significance of a place.

New work should be readily identifiable as such on close inspection.

Use and conserving use (article 7 and article 23)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing change (article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of fabric (article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for decisions (article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, supervision and implementation (article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed fabric (article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7 Conservation policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is significant to an item within a process of change and development. It is essential to establish criteria, policies and recommendations of the conservation, and ongoing use of the item to ensure best practice heritage management. Within this framework owners and managers of the item will be able to formulate suitable proposals, and planning authorities will be able to assess those proposals against the site specific criteria.

The conservation policies are intended to assist in the ongoing use, maintenance and conservation of the site. These policies are intended to manage change, rather than prohibit it. Each policy is supported by a series of guidelines which will ensure that future decisions are made in an informed manner, ensuring the significance of the place.

7.1 Current and potential future use

Background

The ground floor of 229-235 George Street (and the first floor of the Commercial Building and Brooklyn Hotel) is currently leased as a Hotel, with the upper levels leased as commercial tenancies. Historic uses for the site have principally been commercial, with the Johnsons Building being originally constructed as retail shop and offices and converted for use as part of the hotel and new commercial tenancies following the substantial demolition and building works in the 1980s/1990s.

The current hotel use of the ground floor is considered appropriate as it retains the retail character of the building and allows for a continuity of the Hotel use for the Brooklyn Hotel building (229 George Street) the site of which has featured a Hotel since 1882-4. While it is ideal that the use be reinstated on the upper levels, it is acknowledged that the areas have since been converted for use as part of the commercial tenancies and reinstatement may not be practicable within the available footprint.

The Commercial Building shopfront is disused and should ideally be activated by reuse of the entry. It is noted that the reinstatement of the retail uses on the upper levels is not practical within the available footprint, except in conjunction with the use of the neighbouring buildings.

The upper floor commercial leases are viewed as an appropriate use.

Policy 1

It is desirable that the ground and first floor levels of 229 George Street retain their Hotel use. It is acknowledged that the upper floors have since been converted for use as part of the commercial tenancies and reinstatement may not be practicable within the available footprint. The commercial use of the upper levels may therefore be retained, however, should an opportunity arise, the Hotel use may be extended.

Policy 2

It is desirable that the ground floor level of the Commercial Building and Johnson's Building, 231-235 George Street, retains a retail-related use. Retail uses may also be considered for the upper floors; however the existing commercial use is appropriate and may be retained.

Guidelines

- Future uses should be compatible with the nature and significance of the building components and should enable The Johnsons Buildings (229-235 George Street, Sydney, The Rocks) to remain a vital and important component of The Rocks precinct.
- New and ongoing uses should ensure all three ground floor facades are retained as active street frontages, interpreting their former separate character.
- Adaptation of the group's interior is permitted, however, it should ensure that the original fabric or significant architectural and spatial features are retained and interpreted as far as possible, i.e. the separate character of the three buildings should be retained internally, including retention and interpretation of party walls. The overall depth and form of the space on the upper levels has been noted as being of high significance and should be retained.
- Any blinds, screens, window fixtures should be designed to enable transparency to the interiors and enhance the active shopfronts. Solid screens should be avoided.
- The original stair lobby at the southwest corner of the site should be retained, with significant alterations permitted only where proposed works affect fabric of moderate or lesser significance.
- The detailed requirements of the new uses should not generate undue changes to the significant existing fabric that cannot be reversed in the long term, or which do not respect and work within the existing architectural framework.
- Subdivision of internal spaces, where appropriate, should be undertaken in a secondary manner, using such items as partitions that can eventually be removed and which do not impact on any significant fabric, finishes or details.
- External alterations or additions to principal façades (George and Grosvenor Street as well as the original portion of the Milsons Lane frontage) are not permitted except where required for conservation or maintenance purposes or where affecting fabric of little significance, such as contemporary glazed doors. If works are required to meet approved interpretation, re-use or cultural tourism requirements, these should be of a minor nature, and subservient to the primary architectural features and composition of the existing structure.
- Alterations and additions to the northern elevation of the Brooklyn Hotel are discouraged.
- Alterations are permitted to the contemporary northern section of the Milsons Lane elevation; however any alterations should respect the overall form of the building, relating to the original portion of the Milsons Lane façade in scale and proportion.
- Alterations and additions to the rear of the building group are permitted (subject to approvals) though any additions would be limited by the proximity to the Grosvenor Tower. Alterations and additions should also respect the overall form of the building. The individual character of the buildings should not be compromised by any development and should remain separate from the Grosvenor Tower or any other development.
- Intervention into the building fabric for additions or alterations to services should respect the integrity of the extant material, and not be detrimental to the original fabric.
- The Foreshore Authority shall consider alternative approaches to the resolution of functional, safety, DDA, BCA or health requirements to minimise any adverse impact upon significant fabric or features.

- Redundant but significant equipment, fittings and fixtures are to be retained on site, preferably in their existing location, or in a new location as determined by the site-specific interpretation plan.
- The introduction of new services and associated fittings as part of approved re-use programs should be carried out with the minimum of disruption to the significant facade fabric and any identified significant internal spaces.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion. The introduction of new services and associated fittings as part of approved re-use programs should be carried out with the minimum of disruption to significant facade fabric and any identified significant internal spaces. New signage should utilise existing framework or fixing points.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

7.2 Asset management

7.2.1 Sydney Harbour Foreshore Authority responsibilities

Background

The Johnsons Buildings, 229-235 George Street, as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAM guidelines are also recognised.

Policy 3

Sydney Harbour Foreshore Authority shall retain management of the Brooklyn Hotel, Commercial Building and Johnsons Building as a single entity within the overall context of The Rocks precinct.

Guidelines

- Sydney Harbour Foreshore Authority should implement a management structure that integrates development and conservation work with the overall management of The Johnsons Buildings. A program of regular monitoring should be established, covering the physical changes to the building group. This should be incorporated into management decisions.
- The Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
- The Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of 229-235 George Street, The Rocks.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
- All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.

- A program of regular monitoring should be established, covering the physical changes to the 229-235 George Street. This should be incorporated, where relevant, into management decisions.
- The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.2.2 Total Asset Management Plans and CMPs

Background

This CMP will be one of documents used by the asset owners, managers and tenants for management and maintenance of the Johnsons Buildings, 229-235 George Street, The Rocks, and needs to be fully compatible with other relevant documents addressing the same property, including any current maintenance plans and Total Asset Management (TAM) plans. All the relevant asset management documents were included in the preparation of this CMP.

Policy 4

This Conservation Management Plan should be used to provide feedback to all future management plans for the same property.

Guidelines

- The Foreshore Authority should include findings of this CMP into the Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans.

7.2.3 Adoption, endorsement and review of the CMP¹¹⁰

Background

The Conservation Management Plan (CMP) for 229-235 George Street, The Rocks proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation policies need to progressively respond to changing situations if they are to remain relevant.

Policy 5

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation policies should be reviewed every five to ten years.

Guidelines

- Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the NSW Heritage Office.
- Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.

¹¹⁰ Adoption (the Foreshore Authority), Endorsement (NSW Heritage Council) and Review (the Foreshore Authority)

- Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Irrespective of the requirement to review the document every five years, the CMP should remain as a valid basis for ongoing heritage management until such reviews are completed.

7.2.4 Approvals' process and landowners consent

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric.

Forms for development applications, Section 60 applications and standard exemption applications are available from the Foreshore Authority.

Policy 6

Prior to the lodgement of applications and the commencement of works the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of Sydney Harbour Foreshore Authority as landowner.

Guidelines

- As the Foreshore Authority is the owner of land and buildings in The Rocks, the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowners consent to lodge an application does not present the approval to actually undertake the works.
- Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal.
- Where necessary, a Heritage Impact Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Once this Conservation Management Plan has been endorsed by the NSW Heritage Council, all works and activities specifically identified in section 8 (implementing the plan) of this CMP, as exempt from seeking further approval will be exempted from further reference to the NSW Heritage Council.

7.2.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy 7

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected and approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance of the item and the sensitive fabric and spaces, and that the required changes to the item can be installed and removed without impact.

Guidelines

- Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority

consent to the proposed development. This includes completion of the schedules of works as per chapter 8 of this CMP.

- Tenants should be aware of Sydney Harbour Foreshore Authority policies.
- The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of land owner's consent.

7.3 Management of significance

7.3.1 Retention of significance

Background

Fabric of Exceptional or High significance is limited principally to the George and Grosvenor Street facades, the original portion of the return Milson Lane elevation, and the northern façade, overlooking the neighbouring Commercial Building at 231 George Street as well as the form of the buildings. Internally, significant fabric has been limited to the retained commercial entrance lobby and the structural columns within the ground floor bar of the Johnsons building and sections of internal walling that, although rebuilt, interpreted the original party walling and enhanced the separate character of the buildings internally. It is noted that the original party walling should be interpreted in all future fit out although modifications to existing wall nibs and partitions are permitted as the fabric is not original.

Although the hotel fit out is sympathetic to the Edwardian period of the façade, they do not reflect a true restoration of the original interiors and do not have a high significance in their own right. Similarly, the commercial fit outs are not viewed as significant.

Policy 8

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the statement of significance.

Guidelines

- The existing external significant aspects of the architectural character and imagery of 229-235 George Street, the Rocks, should be retained and conserved, including the form and fabric of the principal George and Grosvenor Street façades. Conservation should be undertaken in the context of the on-going appropriate use of the building components.
- The conservation, adaptation and maintenance of 229-235 George Street, should be approached with the general principle of changing “as much as necessary but as little as possible”. Fabric of Exceptional or High significance should not be modified, except in association with repair or conservation works. This includes the façade and form of the principal elevations, the eastern awning, the form of the north elevation of the Brooklyn Hotel, the building volume of the group, the roof form and fabric, the original entrance vestibule to the Johnsons Building and identified fabric within the bar, aspects of the original layout on the upper floors and interpreted internal cross walling and nibs. (Excepting the ground floor shop front of the Commercial Building and any other elements which have been noted as little or moderately significant as per section 5 of the CMP).
- Structural alteration to the building components, which impact on the integrity or significance of 229-235 Gorge Streer, as outlined by the Statement of Significance, should not occur. No structural works that would negatively affect the principal façades or external massing of the remaining building should be permitted.

- Future uses should be compatible with the nature and significance of the building components and should enable 229-235 George Street, to remain a vital and important component within The Rocks precinct.
- Internal alterations and renovations are acceptable within the context of compatible use; however they should not impact on the significance of the internal original fabric and spatial qualities of the building group, or the external façades.
- Additions above the eastern or southern facades or additions to the north are not permitted.
- Additions to the rear are permitted subject to approvals, though should not exceed the height of the current building.

7.3.2 Appropriate conservation skills and experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 9

Appropriate conservation skills and experience should be employed for documentation and supervision within project teams to deal with any programs of conservation and upgrading of the building components of 229-235 George Street, The Rocks.

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.3.3 Conservation of significant fabric

Background

One of the key objectives of contemporary conservation practice is that as much as possible of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

The façade of 229-235 George Street is highly intact, with some restoration, and works to the façade should therefore be minimised, except where conservation may be required and where fabric has been identified as being of lesser significance (e.g. the modified

Commercial building shopfront). The interior has been wholly rebuilt (with only the original entrance lobby to the Johnsons building retained) and the existing fit out is not viewed as highly significant. The existing fit out to a degree, does allow for the original internal spaces and party walls between the buildings to be interpreted and this should be retained and enhanced in any future internal works. The open plan character of the ground floor shop and display window in the Johnsons Building are retained and should continue to be interpreted.

Policy 10

Extant building fabric, both internally and externally, should be retained and conserved in accordance with the levels of significance identified in section 5 (Grading of significance) of this CMP.

Guidelines

- External fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
- The original stair lobby at the southwest corner of the site should be retained, with significant alterations permitted only where proposed works affect fabric of moderate or lesser significance.
- Alterations and additions to the northern elevation of the Johnsons Building are permitted (subject to approvals) though any additions would be limited by the proximity to the tower. Alterations and additions should also respect the overall form of the building. The individual character of the buildings should not be compromised by any development and should remain separate from the Grosvenor Tower or any other development.
- Alterations are permitted to the contemporary northern section of the Milsons Lane elevation; however any alterations should additions respect the overall form of the building, relating to the original portion of the Milsons Lane façade in scale and proportion.
- No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/spaces that have been identified as elements of High or Exceptional level of significance.
- Aged building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
- Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should be identifiable on close inspection.
- Given that the internal structure of the building was rebuilt; structural elements may be altered, where such alteration will not impact on significant fabric, in particular the principal façade or retained party walling.
- Where it is clear that original or significant external fabric has been removed it is considered appropriate to adaptively reconstruct based on documentary evidence. Reconstruction of the third floor balcony enclosure to the Commercial Building façade is desirable. Although the existing ground floor shopfront of the Commercial Building has been modified, the form of the shopfront is sympathetic to the overall character of the façade. Restoration of the shopfront could be more closely achieved based on early plans however this is not required, however the shopfront could be enlivened with a more active use. Reconstruction of the second northern George Street entry to the Johnsons Building is possible, based on available early plans. Similarly there is an

opportunity to reconstruct the Brooklyn Hotel bar based on available early plans however this is not practicable within the footprint. These reconstructions are not a requirement of this CMP.

- Those elements identified as “intrusive” should be modified or removed
- The Foreshore Authority may, as part of the tenancy contracts, require tenants to execute required conservation and/ or maintenance works and provide auditable trace of the completion of required works.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The NSW Heritage Office ‘Maintenance Series’ provides general advice as to the cause, treatment and remediation of various traditional building materials. These publications can be sourced from the NSW Heritage Office.

7.3.4 Conservation of significant spaces

Background

The significance of various building components of 229-235 George Street has been characterised in Chapter 5 of this report. The building has been partially demolished and rebuilt and the existing condition does not reflect the original footprint or internal floor plan. It is essential that the original party walls should be interpreted on all levels of the internal fit-out, allowing distinction between the three originally separate buildings.

Policy 11

Spaces should be conserved, as part of the on-going use, on-going management and any future development strategy. The open plan ground floor interior of the Johnsons Building should be retained, and the shopfront window recess should continue to be interpreted, although the fabric is not significant and may be altered.

Policy 12

The spatial qualities of the Commercial Building and Brooklyn Hotel contribute in a limited capacity to their significance and interpretation. The form of the front rooms should be retained and interpreted on all of the upper levels. Although the ground floor plan as existing does not reflect the original footprint, no further demolition should take place as this may compromise the use of the space. Spaces should be conserved, as part of the on-going use, on-going management and any future development strategy.

Guidelines

- The original party walling should be retained and interpreted in all future fit outs, allowing the individual buildings to be distinguished internally. Modifications to existing wall nibs and partitions are permitted as the fabric is not original and is not viewed as significant.
- Alterations to the contemporary internal fit-out on all levels are permissible. On the ground floor of the Johnsons building, the window recess should be interpreted and the open plan interior should be retained.
- Internal partitioning of the upper level spaces is permitted, although divisions should not impact on significant façade elements and should not obscure windows.

- No further reduction of available space is permitted on the ground floor, particularly to the Brooklyn Hotel and Commercial Buildings. Additions are permissible subject to approvals.

7.3.5 Element specific policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in section 8 of this CMP.

Policy 13

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in section 5.1 (Grading of significant elements and spaces) of this CMP , and managed in accordance with Element specific conservation policies presented in the table in section 7.3.5 of this CMP.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of the Brooklyn Hotel, Commercial Building and Johnsons Building (229-235 George Street, The Rocks). The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place. The following policies are consistent with the significance assessment in section 5.2 of this CMP although more detail has been provided below.

Element Specific Conservation Policies		
The Brooklyn Hotel, 229 George Street, The Rocks		
Element	Significance	Policy
EXTERIOR		
WALLS		
Overall façade and form of the principal elevation	Exceptional	Retain and conserve in situ.
Sandstone materials of the main elevation	Exceptional	Retain and conserve in situ.
Main elevation brickwork	Exceptional	Retain and conserve in situ.
Fenestration of the main elevation	Exceptional	Retain and conserve in situ. Inspect, repaint where required.
Overall form of the rear (western) elevation	Moderate	Retain form
Overall form of the north elevation	High	Maintain in a manner consistent with the principal façade. No additions above the existing roof.
North and western elevation façade brickwork	Moderate	Can be repaired as required, repainting of render or alterations subject to approval. Any signage to these elevations is subject to approval and should comply with individual signage policies.
Ground floor, north elevation and rear elevation render/ masonry elements	Moderate	Retain in situ. Inspect, repaint previously painted areas as required

Element Specific Conservation Policies			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Policy
Rear elevation sandstone capping		Moderate	Replace with like fabric as required by condition
Doors		Exceptional to Little	Retain and conserve in situ. Repair as required
Service down-piping (eastern facade)		Moderate	Replace with like fabric as required by condition
Balcony floor tiling		Little	Sympathetic modifications to the chimney element permissible subject to approval
ROOF/ ROOFING			
Overall roof form		High	Retain and conserve in situ. New slate to match the original
Gable Roof		High	Retain and conserve in situ.
1	Slate roofing	High	Replace with like fabric as required by condition
2	Roof flashings, capping and guttering	Little	Replace with sympathetic fabric as required by condition
3	“Chimney” element	Little	Repair or replace sympathetically and as required. Works to the element should not impact negatively on the form of the roof or the northern elevation.
SHOPFRONT			
Shopfront façade including window bay, marble sheet cladding and disused cellar doors		Exceptional	Retain and conserve in situ. Repair any broken glazing
Cantilevered east elevation awning and awning tie-rods		High	Retain and conserve in situ. Inspection of awning flashings and sheeting is required. Inspection of tie rods is required. Signage should be retained in a manner appropriate to the character of the Hotel.
Timber under awning cladding		High	Retain and conserve.
Shopfront French doors		High	Retain and conserve in situ.
All glazed signage		Little	Can be repaired or replaced as required.
All awning and under awning signage		Little	Can be repaired or replaced as required. New signage required to comply with individual policies for signage.
Under awning lighting		Little	Can be repaired or replaced as required. New lighting required to comply with individual policies for lighting.
North Elevation Awning		Moderate	Maintain and alter in a manner consistent with the eastern awning element.
West elevation entry/ double doors		Little	Can be repaired or replaced as required.
INTERIOR			
GROUND FLOOR			

Element Specific Conservation Policies			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Policy
Significant historic use		High	Retain in of Hotel use is preferred. Although changes to the existing bar are permitted, it is desirable that a bar continue to be located in this area of the Hotel, particularly in the context of the sites use being combined with the Johnsons building group.
Spatial organisation generally		High	No further reduction in available floor area permitted, so as not to compromise retention of Hotel use.
Fenestration		Exceptional to Little	Retain the significant original form of the shopfront. Replace glazing to match existing, as required.
GROUND FLOOR BAR			
1	Edwardian Bar + fittings	Moderate	No individual significance although the element certainly relates to the period of the original Hotel. Alterations permissible. Fittings replaced as required.
2	Flooring –Timber and tiling	Little	Can be repaired or replaced as required.
3	Cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
4	Internal walls (including skirtings and joinery)/ covering and paint scheme	Little	Can be repaired or refinished as required.
5	Ceiling- fabric and finishes	Little	Can be repaired or replaced as required.
FIRST FLOOR			
Spatial organisation generally		Little	Can be altered as required although the party walling should continue to be interpreted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Fenestration		Exceptional	Retain original window frames behind the inserted mirrors.
FIRST FLOOR OFFICE AND HALL			
1	Flooring/ Floor coverings	Little	Can be repaired or replaced as required.
2	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
3	Partitions, walls and finishes including tiling and joinery	Little	Can be repaired or refinished as required.
4	Ceiling- fabric and finishes	Little	Can be repaired or replaced as required.

Element Specific Conservation Policies			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Policy
5	All furniture and fittings	Little	Can be repaired or replaced as required.
WOMENS WC			
1	Flooring (tiling)	Little	Can be repaired or replaced as required.
2	Wall tiling/ plaster and finishes and terrazzo cubicle partitions	Little	Can be repaired or replaced as required.
3	Lowered ceiling	Little	Can be repaired or replaced as required.
4	WC and sink fixtures	Little	Can be repaired or replaced as required.
5	Mirrors	Intrusive	Remove as opportunity arises.
SECOND FLOOR			
Spatial organisation generally		High	No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Current commercial use		Little	Use may be continued.
Fenestration		Exceptional	Retain original elements in situ.
SECOND FLOOR OFFICE AREA			
1	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Can be repaired or replaced as required.
3	Floor coverings and wall finishes	Little	Can be repaired or replaced as required.
4	Partitions, wall finishes and joinery	Little to moderate	Can be repaired or replaced as required.
5	Suspended fibro ceiling and finish	Little	Can be repaired or replaced as required.
THIRD FLOOR			
Spatial organisation generally		High	No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Current commercial use		Little	Use may be continued.
Fenestration		Exceptional	Retain and conserve in situ. Sound proofing is of little significance and may be altered or replaced as required.
Balcony element		Exceptional	Retain and conserve original timber doors in situ. Sound proofing to timber French doors is of little significance and may be altered or replaced as required.

Element Specific Conservation Policies			
The Brooklyn Hotel, 229 George Street, The Rocks			
Element		Significance	Policy
THIRD FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	Moderate	Wall and nibs interpreting the original party walling should be retained.
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Can be repaired or replaced as required. Original party walling should be interpreted.
3	Flooring- Balcony tiling	Little	Restore where required or replace with like fabric that conforms to the historic character of the façade.
4	Floor coverings and wall finishes	Little	Can be repaired or replaced as required.
5	Suspended ceiling	Little	Can be repaired or replaced as required.

Element Specific Conservation Policies		
Commercial Building, 231 George Street, The Rocks		
Element	Significance	Policy
BUILDING –EXTERIOR		
WALLS		
Overall façade and form of the principal elevation	Exceptional	Retain and conserve in situ.
Sandstone materials of the main/ east elevation	Exceptional	Retain and conserve in situ.
East elevation brickwork	Exceptional	Retain and conserve in situ.
Sheet metal/ copper façade cladding	Exceptional	Retain and conserve in situ.
Level 5 balcony balustrade	Exceptional	Retain and conserve in situ. Repainting required to balustrade.
Principal façade fenestration (above awning)	Exceptional	Retain and conserve in situ.
Façade doors (excluding the shopfront entry)	Exceptional	Retain and conserve in situ.
East elevation awning	High	Retain and conserve in situ
Overall form of the rear elevation	Moderate	Sympathetic modifications permitted, subject to approvals.
Rear elevation brickwork and sandstone coursing	Moderate	Sympathetic modifications permitted, subject to approvals.
Down-piping and rainwater heads (eastern and western facades)	Moderate	Restored with copper heads. Replace with like fabric where required by condition.

Element Specific Conservation Policies		
Commercial Building, 231 George Street, The Rocks		
Element	Significance	Policy
Balcony floor tiling (level 4 and 5) / refurbished balcony roofing to level 4 and ceiling grate to level 5 balcony	Little	Replace balcony tiling and roofing with sympathetic fabric where required by condition.
Metal ladder and enclosure to roof cavity	Little	Repainting required.
ROOF/ ROOFING		
Gable roof	High	Replace slate with like fabric where required by condition.
Overall roof form	High	No further demolition permitted. No alteration to pitch or form permitted.
Roof flashings, capping and guttering	Little	Replace with sympathetic fabric as required by condition
SHOPFRONT		
Shopfront façade	Moderate	Sympathetic modifications permitted, subject to approvals.
Glazed signage/ glazing	Little to Intrusive	Advertising signage to the glazed ground floor shopfront should be limited. "Brooklyn Hotel" signage is considered to be of little significance
All external lighting including under awning lighting to the principal façade	Little	Can be repaired or replaced as required. New lighting required to comply with individual policies for lighting.
GROUND FLOOR		
Spatial organisation generally	Little	No further reduction in available floor area permitted, so as not to compromise retention of use.
Significant historic use	Little	The bar use is not significant although reflects the retail character of the building. Retention of the use is permitted.
GROUND FLOOR INTERNAL ELEMENTS		
Gaming area and fittings	Little	Alterations permissible, in conjunction with the significance assessment.
Flooring –Timber and carpeting	Little	Can be repaired or replaced as required.
Ceiling- fabric and finishes	Little	Can be repaired or replaced as required.
Internal walls (including skirtings and joinery)/ covering and paint scheme	Little	Can be repaired or re-finished as required.
Cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
Stair joinery	Little	Can be repaired or replaced as required.
FIRST FLOOR		

Element Specific Conservation Policies			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Policy
Spatial organisation generally		Little	Can be altered as required although the party walling should continue to be interpreted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Façade/ Fenestration		Exceptional	Window bay is obscured by the insertion of mirrors.
Significant historic use		Little	The bar use is not significant although reflects the retail character of the building. Retention of the use is permitted.
FIRST FLOOR STAIR HALL			
1	Flooring/ Floor coverings	Little	Can be repaired or replaced as required
2	Walling/ Finishes including joinery and skirtings	Little	Can be repaired or re-finished as required
3	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
4	Plaster hall ceiling with egg and dart cornice	Little	Can be repaired or replaced as required
5	Stair joinery	Little	Can be repaired or replaced as required.
MENS WC			
1	Flooring (tiling)	Little	Can be repaired or replaced as required
2	Wall tiling/ plaster and finishes and terrazzo cubicle partitions	Little	Can be repaired or replaced as required.
3	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
4	Lowered ceiling	Little	Can be repaired or replaced as required.
5	Mirrors	Little	Can be repaired or replaced as required.
6	Flooring (tiling)	Intrusive	Mirrors obscure windows and can be viewed from the street.
SECOND FLOOR			
Spatial organisation generally		High	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Principal façade/ fenestration		Exceptional	Retain and conserve in situ. Sound proofing is of little significance and may be altered or replaced as required.

Element Specific Conservation Policies			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Policy
Current commercial use		Little	Converted for use as part of commercial office leases. Use may be continued.
SECOND FLOOR OFFICE AREA			
1	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
2	Office fit out fabric including partitions, doors, joinery, furniture etc.	Little	Can be repaired or replaced as required.
3	Floor coverings and wall finishes	Little	Can be repaired or replaced as required.
4	Suspended ceiling	Little	Can be repaired or replaced as required.
THIRD FLOOR			
Spatial organisation generally		High	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Façade/ fenestration		Exceptional	Retain and conserve in situ.
Balcony element		Exceptional	Retain and conserve in situ. Sound proofing to timber doors is of little significance and may be altered or replaced as required. Tiling is not significant and can be replaced with like fabric that conforms to the historic character of the façade.
Current commercial use		Little	Converted for use as part of commercial office leases. Use may be continued.
THIRD FLOOR OFFICE AREA			
1	Wall nibs interpreting the original party wall	High	Wall and nibs interpreting the original party walling should be retained.
2	All office fit out fabric including partitions, doors, joinery, furniture etc	Little	Can be repaired or replaced as required.
3	Floor coverings and wall finishes	Little	Can be repaired or replaced as required.
4	Suspended ceiling	Little	Can be repaired or replaced as required.
FOURTH FLOOR			

Element Specific Conservation Policies			
Commercial Building, 231 George Street, The Rocks			
Element		Significance	Policy
Spatial organisation generally		High	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade.
Façade/ Fenestration		Exceptional	Retain and conserve in situ.
Balcony element		Exceptional	Retain and conserve in situ. Sound proofing to timber doors is of little significance and may be altered or replaced as required. Tiling is not significant and can be replaced with like fabric that conforms to the historic character of the façade.
Current commercial use		Little	Converted for use as part of commercial office leases. Use may be continued.
FOURTH FLOOR OFFICE AREA			
1	Internal cross walls and nibs	High	Wall and nibs interpreting the original party walling should be retained.
2	Office fit out fabric including partitions, doors, joinery, furniture etc.	Little	Can be repaired or replaced as required.
3	Flooring (carpet) and wall finishes	Little	Can be repaired or replaced as required.
4	Suspended fibro ceiling and finish	Little	Can be repaired or replaced as required.

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element		Significance	Policy
BUILDING – EXTERIOR			
Overall facade and form of the four elevations, as detailed in Section 5.2 and detailed below		Exceptional	Generally retain and conserve in situ, as detailed below. Refer also to the Policy 14

Element Specific Conservation Policies		
Johnson's Building, 233-235 George Street, The Rocks		
Element	Significance	Policy
Sandstone materials of the exceptional elevations as outlined above	Exceptional	Retain and conserve in situ
Façade brickwork to the elevations	Exceptional	
Sheet metal/ copper façade cladding (excluding the rear northern elevation)	Exceptional	
Fenestration	Exceptional	Retain and conserve in situ all fenestration above the awning level, excluding the contemporary northern elevation
Doors	Exceptional to Little	Treat in accordance with level of significance of each individual element, as detailed below
Awning	High	Retain and conserve in situ
Overall form of the rear elevation and contemporary northern section of the Milsons Lane elevation	Moderate	Retain elements
Rear elevation brickwork and sandstone coursing	Moderate	
Rear/ northern elevation fenestration	Moderate	
Copper head and down-pipes (all facades)	Moderate	
Ground floor terrace enclosure to rear northern elevation	Little	Retain or modify as required
First floor sandstone balcony to rear northern elevation	Little	Retain or modify as required
ROOF/ ROOFING		
Chimney elements	Exceptional	Retain and conserve in situ
Overall roof form	Exceptional	Form of the roof should be retained with no alteration to the pitched element
Gable Roof	High	Replace fabric to match as required
Roof access to original commercial stair lobby	Exceptional	Retain and conserve in situ
Lift motor room and services	Little	May be altered sympathetically as required. Works to the element should not impact negatively on the form of the roof or the western elevation or views to the elevation. Any amendment should not visually dominate the original roof access
Cement paving and loose stone flooring and metal safety balustrade	Little	Repair or replace fabric sympathetically and as required. Works to the elements should not impact negatively on the form of the roof or the principal elevations

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element		Significance	Policy
SHOPFRONT			
Grosvenor Street commercial entry		Exceptional	Retain and conserve in situ
Grosvenor street shopfront and splayed corner bay		High	Retain and conserve in situ
George Street shopfront		Moderate	Retain configuration of the shopfront generally. Individual elements may be modified subject to approvals
All glazed signage		Little	Retain or modify as required
All awning signage and signage related to commercial tenancies		Little	
Under awning lighting		Little	
Frosted glazing to northern window bay (George Street elevation)/ shopfront glazing		Little	
BUILDING INTERIORS			
GROUND FLOOR			
Spatial organisation generally		Moderate	Original party walling should be retained. The open plan floor plan should be retained on the ground floor and the shop front recess interpreted
Significant historic use			It is desirable that a retail related use be retained on the ground floor
Shopfront / facades		Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications are permitted to fabric of little significance, subject to approvals. Cracking to the western façade brickwork and sandstone required to be monitored.
Fenestration / Doors		Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, (subject to approvals).
Awning		High	Retain and conserve in situ.
GROUND FLOOR BAR			
1	Contemporary Bar / kitchen facilities	Little	Can be repaired or replaced as required
2	Flooring and finishes within the bar area	Little	
3	Ceilings within the bar area	Little	
4	Supporting columns within the bar area	High	Retain columns, finish as required

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element		Significance	Policy
5	Internal walls (including skirtings and joinery)	High to little.	Retain northern party wall with no further demolition. Re-finish as required. All contemporary partitioning may be altered or replaced as required, in consideration for the intent that the ground floor should retain its open plan character
6	Lift car/ shaft	Little	Can be repaired or replaced as required
7	Contemporary fire stair	Little	Can be repaired or replaced as required
COMMERCIAL ENTRANCE LOBBY			
1a)	Floor finishes / original commercial entrance lobby	Exceptional	Retain and conserve in situ
b)	Floor finishes / rear lift lobby	Little	Can be repaired or replaced as required, with consideration to the fabric of the adjacent original lobby
2a)	Wall cladding /original commercial entrance lobby	Exceptional	Retain and conserve in situ
b)	Wall cladding/ rear lift lobby	Little	Can be repaired or replaced as required, with consideration to the fabric of the adjacent original lobby
3	Partition to former lift well (within original lobby)	Exceptional	Retain and conserve in situ
4	Ceiling fabric	Little	May be altered in sympathy with the original fabric and finishes of the lobby
5	Stair fabric	Exceptional	Retain and conserve in situ
6	Lift car/ shaft	Little	Can be repaired or replaced as required
7	Diesel Exhaust/ services	Little	
FIRST FLOOR			
Spatial organisation generally		Little	Can be altered as required although the party walling should be retained. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the principal façades
Significant historic use			A commercial or retail use should be retained
Façade sandstone and brickwork		Exceptional to moderate	Retain and conserve in situ all facades of moderate or higher significance. Façade sandstone noted as discoloured, monitoring required
Façade/ Fenestration		Exceptional	Retain and conserve in situ. Repainting required to timber window frames on principal elevations

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element		Significance	Policy
FIRST FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Retain with no further demolition
2	Internal floor plan/ partitioning for tenancy fit out	Little	Alter as required- with consideration for significant fabric and placement of fenestration
3	Lift car/ lobby	Little	Can be repaired or replaced as required
4	Flooring/ Floor coverings	Little	
5	Wall Finishes	Little	Can be refinished as required
6	Ceiling fabric (including suspended plaster ceiling)	Little	Can be repaired or replaced as required
7	Tenancy WC and kitchenette facilities	Little	
8	All furniture and fittings	Little	
9	Contemporary fire stair	Little	
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Retain and conserve in situ. Refinish as required in consideration of heritage significance of the stair hall
2	Stair hall joinery	Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, (subject to approvals)
3	Stair hall WC	Little	Fabric and fittings can be repaired or replaced as required
SECOND FLOOR			
Spatial organisation generally		Little	Can be altered as required although the party walling should be retained. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require no intrusion to the principal façades
Significant historic use			Converted for use as part of commercial office leases. Use may be continued
Façade sandstone, brickwork and copper cladding		Exceptional to moderate	Retain and conserve in situ all facades of moderate or higher significance.
Fenestration		Exceptional or little	Retain and conserve in situ all windows on the principal elevations. Modifications permitted to openings on northern elevation, subject to approvals, and in consideration of heritage character of the building.
Balcony element		Exceptional	Retain and conserve in situ. Modification to tiling permitted, subject to approvals and in keeping with the significance of the associated fabric

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element		Significance	Policy
SECOND FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Retain with no further demolition
2	Internal floor plan/ partitioning for tenancy fit out	Little	Alter as required- with consideration for significant fabric and placement of fenestration
3	Lift car/ lobby	Little	Can be repaired or replaced as required
4	Flooring/ Floor coverings	Little	
5	Wall Finishes	Little	
6	Ceiling fabric (including suspended plaster ceiling)	Little	
7	Tenancy WC and kitchenette facilities	Little	Can be repaired or replaced as required
8	All furniture and fittings	Little	
9	Contemporary fire stair	Little	
10	South wall fireplace	Moderate	Element should be retained. If removal is considered, further work/ examination must be undertaken to more firmly establish the age of the element. If confirmed to be early fabric, then the element should be retained in situ
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Retain and conserve in situ. Refinish as required in consideration of heritage significance of the stair hall
2	Stair hall joinery- doors	Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, (subject to approvals)
3	Stair hall WC	Little	Fabric and fittings can be repaired or replaced as required
THIRD FLOOR			
Spatial organisation generally		Little	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require no intrusion to the façade
Significant historic use			Converted for use as part of commercial office leases. Use should be continued
Façade sandstone, brickwork, and copper cladding		Exceptional or moderate	Retain and conserve in situ all facades of moderate or higher significance. Assessment recommended for copper cladding, ensuring that the sheets are soundly fixed and watertight

Element Specific Conservation Policies				
Johnson's Building, 233-235 George Street, The Rocks				
Element	Significance	Policy		
Fenestration	Exceptional or little	Retain and conserve in situ all windows on the principal elevations. Modifications permitted to openings on northern elevation, subject to approvals, and in consideration of heritage character of the building.		
THIRD FLOOR COMMERCIAL TENANCY				
1	Internal walling- North party wall	High	Retain with no further demolition	
2	Internal floor plan/ partitioning for tenancy fit out	Little	Alter as required with consideration for significant fabric and fenestration	
3	Lift car/ lobby	Little		
4	Flooring/ Floor coverings	Little		
5	Wall Finishes	Little		Can be refinished as required
6	Ceiling fabric (including suspended plaster ceiling)	Little		Can be repaired or replaced as required
7	Tenancy WC and kitchenette facilities	Little		
8	All furniture and fittings	Little		
9	Contemporary fire stair	Little		
COMMERCIAL TENANCY STAIR AND WC				
1	Stair hall fabric	Exceptional	Retain and conserve in situ. Refinish as required in consideration of heritage significance of the stair hall	
2	Stair hall joinery- doors	Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, subject to approvals	
3	Stair hall WC	Little	Fabric and fittings can be repaired or replaced as required	
FOURTH FLOOR				
Spatial organisation generally	Little	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require no intrusion to the façade		
Significant historic use		Converted for use as part of commercial office leases. Use should be continued		
Façade sandstone, brickwork, and copper cladding	Exceptional or moderate	Retain and conserve in situ all facades of moderate or higher significance. Assessment recommended for copper cladding, ensuring that the sheets are soundly fixed and watertight		

Element Specific Conservation Policies			
Johnson's Building, 233-235 George Street, The Rocks			
Element	Significance	Policy	
Fenestration	Exceptional or little	Retain and conserve in situ all windows on the principal elevations. Modifications permitted to openings on northern elevation, subject to approvals, and in consideration of heritage character of the building.	
FOURTH FLOOR COMMERCIAL TENANCY			
1	Internal walling- North party wall	High	Retain with no further demolition
2	Internal floor plan/ partitioning for tenancy fit out	Little	Alter as required- with consideration for significant fabric and placement of fenestration
3	Lift car/ lobby	Little	Can be repaired or replaced as required
4	Flooring/ Floor coverings	Little	
5	Wall Finishes	Little	Can be refinished as required
6	Ceiling fabric (including suspended plaster ceiling)	Little	Can be repaired or replaced as required
7	Tenancy kitchenette facilities	Little	
8	All furniture and fittings	Little	
9	Contemporary fire stair	Little	
COMMERCIAL TENANCY STAIR AND WC			
1	Stair hall fabric	Exceptional	Retain and conserve in situ. Refinish as required in consideration of heritage significance of the stair hall
2	Stair hall joinery- doors	Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, subject to approvals
3	Stair hall WC	Little	Fabric and fittings can be repaired or replaced as required.
FIFTH FLOOR			
Spatial organisation generally	Little	Reflects the floor area of the original front room. No further demolition permitted. Internal partitioning is permitted, although divisions should not impact on significant façade elements and should not obscure windows. Alterations should require minimal intrusion to the façade	
Significant historic use		Converted for use as part of commercial office leases. Use should be continued	
Façade sandstone and brickwork including section of northern façade above the neighbouring Commercial Building	Exceptional or moderate	Retain and conserve in situ all facades of moderate or higher significance	

Element Specific Conservation Policies				
Johnson's Building, 233-235 George Street, The Rocks				
Element		Significance	Policy	
Fenestration		Exceptional or little	Retain and conserve in situ all windows on the principal elevations. Modifications permitted to openings on northern elevation, subject to approvals, and in consideration of heritage character of the building.	
George Street elevation balcony element		Exceptional	Retain and conserve in situ.	
FIFTH FLOOR COMMERCIAL TENANCY				
1	Internal floor plan/ partitioning for tenancy fit out	Little	Alter as required- with consideration for significant fabric and placement of fenestration	
2	Lift car/ lobby	Little		
3	Flooring/ Floor coverings	Little	Can be repaired or replaced as required	
4	Wall Finishes	Little		
5	Ceiling fabric (including suspended plaster ceiling)	Little		
6	Tenancy WC and kitchenette facilities	Little		
7	All furniture and fittings	Little		
8	Contemporary fire stair	Little		
COMMERCIAL TENANCY STAIR AND WC				
1	Stair hall fabric	Exceptional		Retain and conserve in situ. Refinish as required in consideration of heritage significance of the stair hall
2	Stair hall joinery- doors	Exceptional to little	Retain and conserve in situ all fabric of moderate or higher significance. Modifications permitted to fabric of little significance, (subject to approvals)	
3	Stair hall WC	Little	Fabric and fittings can be repaired or replaced as required	
4	Roof access	Exceptional	Retain stair fabric and spatial qualities, with modifications permitted to fabric of lesser significance, i.e. contemporary doors	

7.3.6 Archaeological monitoring

Background

The archaeological potential of the site was compromised by the 1989 buildings works which required substantial excavation. The archaeological potential is nil and the site is therefore considered to be exempt from the archaeological conditions of the NSW Heritage Act 1977 which states that any excavation, where relics may be disturbed, requires an excavation permit.

7.3.7 Ongoing maintenance and repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the ongoing conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy 14

The significant fabric of 229-235 George Street should be maintained by the implementation of the short, medium and long-term maintenance program outlined in section 8.2.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

- The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority.
- In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
- Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with buildings and materials of this nature.
- No maintenance work or repairs should negatively impact on significant fabric.
- While the Foreshore Authority is liable for the execution of works identified in section 8.2 (–Schedule of ongoing maintenance works) of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
- Floor structure was modified as part of the 1989 reconstruction and works may occur to the floor structure although there should be no change to floor levels as existing. New internal floor coverings are permissible throughout the building.
- Where works are required to significant fabric, the aim should be to repair and restore the existing fabric where possible, rather than replacing that fabric.

7.3.8 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To ‘interpret’ a historic place, in its geographic and physical setting, is to bring its history to life to increase the public’s understanding, and, through this extended understanding, to give them an enhanced perception of the significance of the place.

Due to its history, significance and setting in The Rocks area, 229-235 George Street is capable of being interpreted for promotional and educational purposes.

Policy 15

The heritage significance of 229-235 George Street, The Rocks, should be interpreted on site by appropriate methods.

Guidelines

- One of the primary components of the conservation management of the Johnsons Buildings should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
- The ongoing management of the Johnsons Buildings should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place. The interpretation could be undertaken in association with strategies for other historic buildings in the streetscape, including Royal Naval House which was also altered in association with the development of the Grosvenor Tower.
- In making significance accessible, the Foreshore Authority should take into account the policies and guidelines contained within the ICOMOS International Cultural Tourism Charter.
- Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the building group.
- Interpretation of the building group should take into account all the historic phases of development and occupation of the existing buildings and the site in the context of the history of The Rocks, and be presented in an accurate and insightful manner.

7.4 New work policies

7.4.1 Integration of new work

Background

Because of the significance of 229-235 George Street, scope for new development is limited. No external alterations or additions to the principal façades should occur, except minor additions for services, repair and conservation works, where these can be concealed from public view. Within the general principles outlined above, some relatively minor internal alterations and additions could occur. Alterations should generally be confined to less significant areas and should not affect significant fabric or spaces. New work should be carefully designed and integrated with the original character of the significant components.

Policy 16

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

- Some additions are possible to the rear of the building group, subject to the approvals process. Such additions would be limited by the proximity to the Grosvenor tower, and should not exceed the height of the current building.
- Alterations are possible to the contemporary portions of the northern and western façades, although should be sympathetic to the historic character of the principal façades.
- Additional storeys should not be permitted.
- Adaptation of the group's interior is permitted, however, it should ensure that the original fabric or significant architectural and spatial features are retained and interpreted as far as possible, i.e. the separate character of the three buildings should

be retained internally, including retention and interpretation of party walls. The overall depth and form of the space on the upper levels has been noted as being of high significance and should be retained.

- New works to the shopfronts should ensure that the ground floor facades are retained as active street frontages, interpreting their former separate character. Any blinds, screens, window fixtures should be designed to enable transparency to the interiors and enhance the active shopfronts. Solid screens should be avoided. Signage should be consistent with the SHFA signage policy and excessive marketing signage avoided.
- When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.
- Period detailing should only be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
- Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.

7.4.2 Integration of services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy 17

The extension or alteration of existing services in 229-235 George Street is acceptable in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

- Any upgrading of services is subject to the proper approval process.
- Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to the proper approval process.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion. Areas previously modified for services should be re-used, in preference to modifying intact fabric.
- Areas previously modified for services should be re-used, in preference to modifying intact fabric.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The surface mounting of services is preferable to chasing services into significant fabric, particularly face brickwork, stonework and timber. Brackets or fixings for services should not damage significant fabric.

- Brackets or fixings for services should not damage significant fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façade.

7.4.3 Ordinance compliance

Background

The Building Code of Australia is the operative building ordinance in New South Wales.

In terms of ongoing use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex are not degraded by inappropriate responses to meeting ordinance requirements.

Policy 18

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of 229-235 George Street, The Rocks, should focus on responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

- Conservation and ongoing use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
- Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document Access to Heritage Buildings for People with Disabilities prepared by E.J. Martin (Cox), August 1997.
- Consultation with the NSW Heritage Office FASAP advisory panel may also assist in achieving appropriate compliance solution. For contact details go to http://www.heritage.nsw.gov.au/04_subnav_03.htm

7.4.4 Signage and external lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of 229-235 George Street as a whole. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place (*alter wording as appropriate*).

Policy 19

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Policy 20

All signage should be consistent with the Foreshore Authority's signage policy where relevant.

Guidelines

- Suitably located signs that provide a legible and clear message and contribute to the vitality of the Johnsons Buildings are encouraged.
- Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
- Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
- It is not necessary to attempt to create or recreate a 'historic' character in the signage, but modern standardised 'trademark' signage is not appropriate.
- Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.
- The illumination of the Johnsons Buildings should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.
- Shopfronts should not be obscured by excessive advertising signage.

7.4.5 New services and other relevant Foreshore Authority policies

Background

In addition to specific requirements for new work as presented in this section, all new work has to comply with other relevant Foreshore Authority planning policies to assure grant of consent to the proposal.

Policy 21

Any proposed work to 229-235 George Street will fully comply with all the relevant Foreshore Authority policies applicable to development in The Rocks.

Guidelines

- In addition to the Foreshore Authority policies for lighting and signage, as presented in this section, all new work will comply with the policies for disabled access, telecommunications, commercial outdoor seating and building ventilation installation.

7.5 CMP Sustainability Policies

7.5.1 Thermal Comfort in Heritage Buildings

Background

In 2009 the Authority adopted a Sustainability Policy with commitments to reduce the carbon footprint of our precincts by 80% from a 2000 baseline, with a 20% reduction by 2012. The policy aims to achieve climate change targets through:

- reductions – increased energy efficiency and reduced energy consumption.
- renewables – a portion of energy from non-fossil fuel sources.
- offsets – the remainder of fossil-derived energy being sourced from green energy tariffs and/or offset through accredited providers.

In its aim for a socially inclusive and sustainable community the Authority:

- acknowledges its responsibility to protect heritage buildings and their cultural significance on behalf of the people of NSW.
- aims to provide improved tenant amenity through improved air quality, comfort levels and natural light, in ways that support heritage considerations.

In line with this Policy the Authority has adopted a Sustainable Development Fit-out Guide which aims to reduce the environmental impact of new construction and building fit-outs. It has been shown that the implementation of the measures outlined in the Fit-out Guide reduce operational costs and improve indoor environmental quality (IEQ) and occupant satisfaction. [TCTM, p.5]

Policy 22

All applications for building modifications and fit-outs are to demonstrate measures which work toward the objectives of the Authorities Sustainability Policy.

Guidelines

- The factors contributing to discomfort should be identified and quantified before the development of any solutions.
- Building users and Managers should understand the impacts that the 'use' of the building will place on the existing thermal properties of the building. If the use will increase the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use may not be supported.
- Sustainable and passive solutions be investigated and implemented to demonstrate and measure their effectiveness before the need for mechanical ventilation, in supplementing existing passive measures, be substantiated.
- Proposals should reflect both the sustainability and conservation objectives of Sydney Harbour Foreshore Authority.
- The design of mechanical ventilation systems should be developed from a clear and informed understanding of the buildings significance.
- The Policies of this Conservation Management Plan, The Rocks Heritage Management Plan, the Authorities Sustainability Policy, Sustainable Development Fit-out Guide, ICOMOS Burra Charter and best conservation practice should be key guidelines in the design and development of mechanical ventilation systems. [TCTM, p.3]

8 Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of 229-235 George Street and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum standards of maintenance and repair

Standards that need to be addressed to assure the compliance of 229-235 George Street, The Rocks with their provisions are those for Inspection and Essential Maintenance and Repair. It is considered that the current arrangements fully satisfy Standards for Weather Protection, Fire Protection and Security and that the Standards for Conservation Management Plans will be satisfied with the adoption of this CMP by the Foreshore Authority. In the current situation, these are not of concern.

To assure compliance with the Minimum Standards of Maintenance and Repair as outlined by the Heritage Office guidelines, on the site of 229-235 George Street, the following works need to be undertaken:

Minimum Standards of Maintenance and Repair The Brooklyn Hotel, 229 George Street, The Rocks.
Work or Activity Required for Compliance with the Standards for: INSPECTION
ALL AREAS GENERALLY
<p>The building, its curtilage and site should be regularly inspected to identify maintenance and repairs to ensure compliance with fire protection, security, weather protection and essential maintenance standards.</p> <p>Inspections should be undertaken every 12 months to ensure compliance with Security, Fire and Weather Protection standards, and every 3 years for Maintenance and Repairs.</p> <p>Inspections should be carried out by suitably qualified persons, with experience appropriate to The Brooklyn Hotel building and fabric. The building façade should be inspected by a person or persons with expertise in sandstone maintenance and repair.</p> <p>All the buildings should be regularly inspected (at least annually) to check for the potential presence of vermin. In particular timber should be inspected for white ant or termite activity.</p>
Work or Activity Required for Compliance with the Standards for: WEATHER PROTECTION
<p>The following systems and/or components must be maintained and repaired (including by being cleaned and secured) to a standard necessary to ensure a reasonable level of weather protection for the building:</p> <ul style="list-style-type: none">▪ Surface and subsurface drainage systems▪ Roofing and roof drainage systems, including guttering, rainwater heads, downpipes and stormwater drainage systems▪ External elements including walls doors and windows and other components intended to exclude sun, rain, wind and other weather elements▪ Systems or components which may be at risk of dislodgment by high winds▪ Systems and components such as damp proof courses, flashings, ventilation systems and other measures preventing the ingress of water or damp <p>If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.</p>

**Minimum Standards of Maintenance and Repair
The Brooklyn Hotel, 229 George Street, The Rocks.**

Work or Activity Required for Compliance with the Standards for: **FIRE PROTECTION**

ALL AREAS GENERALLY

Rubbish and other materials that could create a fire hazard should not be permitted to accumulate and should be removed

Any use of the building should ensure compliance with all building fire safety regulations.

The following systems and/ or components must be maintained and repaired to the standard necessary to ensure a reasonable level of fire protection:

- Fire detection and control systems including smoke and heat detectors and fire sprinkler systems including associated alarm and communication systems
- Stores of inflammable materials and rubbish
- Building services such as electricity gas and heating systems

Work or Activity Required for Compliance with the Standards for: **SECURITY**

ALL AREAS GENERALLY

Existing camera surveillance systems should be maintained to ensure security and prevent vandalism.

If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

The following components or systems should be maintained and repaired to the standard necessary to ensure a reasonable level of security for the building:

- Roofing, doors and windows and other closures including glazing and associated locking and latching mechanisms
- On site alarm systems
- Any other system or component designed to ensure the security of the building

Work or Activity Required for Compliance with the Standards for: **ESSENTIAL MAINTENANCE AND REPAIR**

ALL AREAS GENERALLY

Essential maintenance and repair (i.e. any work necessary to prevent serious or irreparable damage or deterioration to significant building fabric) must be carried out when necessary

Essential maintenance and repair includes the taking of measures including inspection, to control pests such as termites, rodents and other vermin

The requirement for essential maintenance and repair extends to, but is not limited to, the following:

- Foundations, footings and supporting structure of the building
- Structural elements including walls, columns, beams, floors, roofs and roof structures and the balcony structure
- Principal façade finishes (other external elevations and interiors have been attributed moderate to little significance)
- Systems and components intended to reduce or prevent damage due to dampness
- Any significant fixtures and fittings attached to the building including the awning

**Minimum Standards of Maintenance and Repair
Commercial Building, 231 George Street, The Rocks**

Work or Activity Required for Compliance with the Standards for: **INSPECTION**

ALL AREAS GENERALLY

The building, its curtilage and site should be regularly inspected to identify maintenance and repairs to ensure compliance with fire protection, security, weather protection and essential maintenance standards.

Inspections should be undertaken every 12 months to ensure compliance with Security, Fire and Weather Protection standards, and every 3 years for Maintenance and Repairs. The inspection should be carried out by suitably qualified persons, with experience appropriate to the subject building and fabric. The building façade should be inspected by a person with expertise in sandstone maintenance and repair.

All the building areas should be regularly inspected (at least annually) to check for the potential presence of vermin. In particular timber should be inspected for white ant or termite activity.

Work or Activity Required for Compliance with the Standards for: **WEATHER PROTECTION**

The following systems and/or components must be maintained and repaired (including by being cleaned and secured) to a standard necessary to ensure a reasonable level of weather protection for the building.

- Surface and subsurface drainage systems
- Roofing and roof drainage systems, including guttering, rainwater heads, downpipes and stormwater drainage systems
- External elements including walls doors and windows and other components intended to exclude sun, rain, wind and other weather elements
- Systems or components which may be at risk of dislodgment by high winds
- Systems and components such as damp proof courses, flashings, ventilation systems and other measures preventing the ingress of water or damp

If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

Work or Activity Required for Compliance with the Standards for: **FIRE PROTECTION**

ALL AREAS GENERALLY

Rubbish and other materials that could create a fire hazard should not be permitted to accumulate and should be removed.

Any use of the building should ensure compliance with all building fire safety regulations.

The following systems and/ or components must be maintained and repaired to the standard necessary to ensure a reasonable level of fire protection.

- Fire detection and control systems including smoke and heat detectors and fire sprinkler systems including associated alarm and communication systems
- Stores of inflammable materials and rubbish
- Building services such as electricity gas and heating systems

Work or Activity Required for Compliance with the Standards for: **SECURITY**

ALL AREAS GENERALLY

Minimum Standards of Maintenance and Repair
Commercial Building, 231 George Street, The Rocks

Existing camera surveillance systems should be maintained to ensure security and prevent vandalism.

If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

The following components or systems should be maintained and repaired to the standard necessary to ensure a reasonable level of security for the building:

- Roofing, doors and windows and other closures including glazing and associated locking and latching mechanisms
- On site alarm systems
- Any other system or component designed to ensure the security of the building

Work or Activity Required for Compliance with the Standards for: **ESSENTIAL MAINTENANCE AND REPAIR**

ALL AREAS GENERALLY

Essential maintenance and repair (i.e. any work necessary to prevent serious or irreparable damage or deterioration to significant building fabric) must be carried out when necessary.

Essential maintenance and repair includes the taking of measures including inspection, to control pests such as termites, rodents and other vermin.

The requirement for essential maintenance and repair extends to, but is not limited to, the following:

- Foundations, footings and supporting structure of the building
- Structural elements including walls, columns, beams, floors, roofs and roof structures and the balcony structure
- Principal façade finishes (other external elevations and interiors have been attributed moderate to little significance)
- Systems and components intended to reduce or prevent damage due to dampness
- Significant fixtures and fittings attached to the building including the awning

Minimum Standards of Maintenance and Repair
Johnson's Building, 233-235 George Street, The Rocks

Work or Activity Required for Compliance with the Standards for: **INSPECTION**

ALL AREAS GENERALLY

The building, its curtilage and site should be regularly inspected to identify maintenance and repairs to ensure compliance with fire protection, security, weather protection and essential maintenance standards.

Inspections should be undertaken every 12 months to ensure compliance with Security, Fire and Weather Protection standards, and every 3 years for Maintenance and Repairs. The inspection should be carried out by suitably qualified persons, with experience appropriate to the subject building and fabric. The building façade should be inspected by a person with expertise in sandstone maintenance and repair.

All the buildings should be regularly inspected (at least annually) to check for the potential presence of vermin. In particular timber should be inspected for white ant or termite activity.

Work or Activity Required for Compliance with the Standards for: WEATHER PROTECTION

The following systems and/or components must be maintained and repaired (including by being cleaned and secured) to a standard necessary to ensure a reasonable level of weather protection for the building.

- Surface and subsurface drainage systems
- Roofing and roof drainage systems, including guttering, rainwater heads, downpipes and stormwater drainage systems
- External elements including walls doors and windows and other components intended to exclude sun, rain, wind and other weather elements
- Systems or components which may be at risk of dislodgment by high winds
- Systems and components such as damp proof courses, flashings, ventilation systems and other measures preventing the ingress of water or damp

If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

Work or Activity Required for Compliance with the Standards for: FIRE PROTECTION

ALL AREAS GENERALLY

Rubbish and other materials that could create a fire hazard should not be permitted to accumulate and should be removed

Any use of the building should ensure compliance with all building fire safety regulations.

The following systems and/ or components must be maintained and repaired to the standard necessary to ensure a reasonable level of fire protection

- Fire detection and control systems including smoke and heat detectors and fire sprinkler systems including associated alarm and communication systems
- Stores of inflammable materials and rubbish
- Building services such as electricity gas and heating systems

Work or Activity Required for Compliance with the Standards for: SECURITY

ALL AREAS GENERALLY

Existing camera surveillance systems should be maintained to ensure security and prevent vandalism. If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

Existing camera surveillance systems should be maintained to ensure security and prevent vandalism. If an opening is designed or intended to have a door or window or other closure in place and does not have the closure in place, the opening must be boarded up. This is viewed as a short term repair option only as the building is occupied.

The following components or systems should be maintained and repaired to the standard necessary to ensure a reasonable level of security for the building:

- Roofing, doors and windows and other closures including glazing and associated locking and latching mechanisms
- On site alarm systems
- Any other system or component designed to ensure the security of the building

Work or Activity Required for Compliance with the Standards for: ESSENTIAL MAINTENANCE AND REPAIR
ALL AREAS GENERALLY
<p>Essential maintenance and repair (i.e. any work necessary to prevent serious or irreparable damage or deterioration to significant building fabric) must be carried out when necessary</p> <p>Essential maintenance and repair includes the taking of measures including inspection, to control pests such as termites, rodents and other vermin</p> <p>The requirement for essential maintenance and repair extends to, but is not limited to , the following:</p> <ul style="list-style-type: none"> – Foundations, footings and supporting structure of the building – Structural elements including walls, columns, beams, floors, roofs and roof structures and the balcony structure – Principal façade finishes (other external elevations and interiors have been attributed moderate to little significance) – Systems and components intended to reduce or prevent damage due to dampness – Any significant fixtures and fittings attached to the building including the awning

8.2 Ongoing maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of 229-235 George Street, the Rocks. Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule. Separate tables refer to each building.

Schedule of Cyclical Maintenance			
The Brooklyn Hotel, 229 George Street, The Rocks.			
Element	Every Year	Every 2 Years	Every 5 Years
EXTERNAL ELEMENTS			
Façade sandstone and brickwork		Inspect, repair and re-point brickwork as required. Condition report to be prepared and lodged with the Foreshore Authority	
Third floor element		Inspect and repair sandstone	Inspect and repair tiling/ ceiling fabric
Fenestration		Inspect, repair and repaint as required	
Shopfront façade	General inspection-assess and repair as required.		

Schedule of Cyclical Maintenance			
The Brooklyn Hotel, 229 George Street, The Rocks.			
Element	Every Year	Every 2 Years	Every 5 Years
Entrance doors	General Inspection		
Awning		General inspection and rust treatment	Inspection by engineer
Glazed signage/ glazing	Inspect and repair as required		
Principal façade down pipes	General inspection for wear/corrosion		
Under awning signage		Inspect and repair as required	
North elevation brickwork/ ground floor render			Inspect, repair and re-point as required
West elevation brickwork/ render and sandstone capping			Inspect, repair and re-point as required
West elevation entry/ double doors		General inspection, repair as required	
External lighting including principal façade under awning lighting	Repair and replace as required		
Slate roofing			Inspect and repair every five years or following any major storm event
Roof flashings, capping and guttering	Inspect and repair every year or following any major storm event		
INTERIOR FABRIC			
Edwardian bar and fittings	Repair and replace as required		
All flooring	Repair and replace as required		
All ceilings- fabric and finishes			Repair and replace as required
Partitions and finishes including tiling, terrazzo partitions, walls and joinery		Inspect. Repaint finishes as required	
Internal cross walling		Inspect. Repaint finishes as required	

Schedule of Cyclical Maintenance Commercial Building, 231 George Street, The Rocks			
Element	Every Year	Every 2 Years	Every 5 Years
External Elements			
Sandstone materials of the main/ east elevation		Inspect, repair and re-point as required. Condition report to be prepared and lodged with the Foreshore Authority	
East elevation brickwork			
Sheet metal/ copper façade cladding		Inspect and ensure fixings are sound and joints sealed	
Fenestration		Inspect, repair and repaint as required	
Doors (excluding shopfront)		Inspect, repair and repaint as required	
Rear elevation brickwork and sandstone coursing			Inspect and repair as required
Down pipes (east and western façade)	Immediate repair required	Inspect, clean and repair as necessary	
Balcony floor tiling (levels 4 and 5)		Inspect and repair as required- check grout	
Metal ladder and enclosure to roof cavity/ ceiling grate	Immediate repair to make access bird proof		
Slate roofing			Inspect and repair every five years or following any major storm event
Roof flashings, capping and guttering	Inspect and repair every year or following any major storm event		
Cantilevered awning and tie-rods		General inspection and rust treatment	Inspection by engineer
Shopfront	Inspect and repair as required		
External lighting including principal façade under awning lighting	Repair and replace as required		
Interior fabric			
All flooring and finishes – Little	Repair and replace as required		
All ceilings- fabric and finishes- Little			Repair and replace as required

Schedule of Cyclical Maintenance			
Commercial Building, 231 George Street, The Rocks			
Element	Every Year	Every 2 Years	Every 5 Years
Gaming area	Repair and replace as required		
Internal walls (including skirtings and joinery)/ covering and paint scheme		Inspect. Repaint finishes to match as required	
Stair Joinery		Inspect. Refinish to match as required	

Schedule of Cyclical Maintenance			
Johnson's Building, 233-235 George Street, The Rocks			
Element	Every Year	Every 2 Years	Every 5 Years
EXTERIOR			
Sandstone materials of the principal George, Grosvenor and part return of the Milsons lane elevation as well as the section of the northern elevation, over the neighbouring Commercial Building		Inspect, repair and re-point as required. Condition report to be prepared and lodged with the Foreshore Authority	
East elevation brickwork to significant elevations as outlined above			
Sheet metal/ copper façade cladding		Inspect and ensure fixings are sound and joints sealed	
Fenestration	Immediate assessment required and thereafter every two years	Inspect, repair and repaint as required	
Doors (as outlined in schedule of significant elements)		Inspect, repair and repaint as required	
Cantilevered Awning and tie rods	Immediate repair required	General inspection and rust treatment	Inspection by engineer
Rear / contemporary northern and part western elevation brickwork and sandstone coursing			Inspect and repair as required
Rear / contemporary northern and part western elevation fenestration			Inspect and repair as required
Down pipes (all facades)	Immediate repair required	Inspect, clean and repair as necessary	

Schedule of Cyclical Maintenance			
Johnson's Building, 233-235 George Street, The Rocks			
Element	Every Year	Every 2 Years	Every 5 Years
Ground floor terrace enclosure to rear northern elevation			Inspect and repair as required
First floor sandstone balcony to rear northern elevation			Inspect and repair as required
Balcony floor tiling (levels 2 and 5)		Inspect and repair as required- check grout	
Slate roofing			Inspect and repair every five years or following any major storm event
Chimney elements		Inspect, repair and re-point as required. Condition report to be prepared and lodged with the Foreshore Authority	
Roof flashings, capping and guttering	Inspect and repair every year or following any major storm event		
Cement paving and loose stone flooring and metal safety balustrade			Inspect and repair as required
Grosvenor Street commercial entry	Inspect and repair as required		
Grosvenor street shopfront and splayed corner bay			
George Street shopfront – Moderate			
Under awning lighting	Inspect and repair as required		
INTERIOR			
GROUND FLOOR BAR			
Bar/ kitchen area	Repair and replace as required		
All flooring/ finishes	Repair and replace as required		
All ceilings- fabric and finishes			Repair and replace as required
Supporting columns within the bar area			Refinish as required

Schedule of Cyclical Maintenance			
Johnson's Building, 233-235 George Street, The Rocks			
Element	Every Year	Every 2 Years	Every 5 Years
Internal walls (including skirtings and joinery)/ covering and paint scheme		Inspect. Repaint finishes as required	
Lift car/ shaft		Maintain as required	
Contemporary fire stair			
GROUND FLOOR COMMERCIAL ENTRY			
Floor finishes – original commercial lobby tiling		Inspect grout. Repair as required	
Floor finishes / rear lift lobby			Inspect grout. Repair as required
Wall cladding /original commercial entrance lobby		Inspect and repair as required	
Wall cladding/ rear lift lobby			Inspect and repair as required
Partition to former lift well (within original lobby)		Inspect and repair as required	
Ceiling fabric			
Stair fabric			
UPPER FLOOR COMMERCIAL TENANCIES			
Internal walling- North party wall			Inspect and repair as required
Flooring/ Floor coverings	Repair and replace as required – floor coverings are the responsibility of the individual tenancies		
Wall Finishes		Inspect. Repaint finishes as required	
Ceiling fabric (including suspended plaster ceiling)			Inspect. Repaint finishes as required

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- 07/01544 Pt 1 - Tenant and Asset Management Services, Planning Heritage and Urban Design 233-235 George Street, Johnson's Building SHR #01544 Foreshore Authority SHFA NSW Heritage Act Approvals- Under Delegation
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