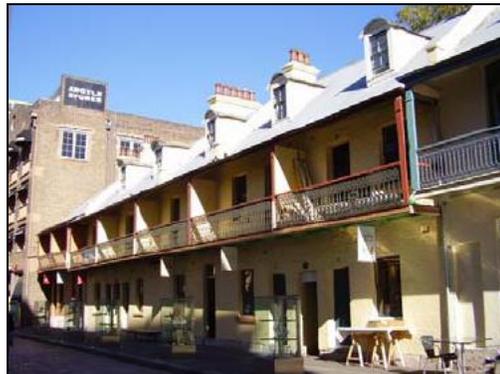


PM-06019

Final Draft CONSERVATION MANAGEMENT PLAN



Playfair Street Terraces, Nos. 17-31 Playfair Street The Rocks

Prepared for Sydney Harbour Foreshore Authority
September 2006

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Executive Summary

This CMP has been prepared by Perumal Murphy Alessi Pty Ltd (formerly trading as Perumal Murphy Wu Pty Ltd) on behalf of the Sydney Harbour Foreshore Authority. Its aim is to provide guidelines for the conservation, interpretation and management of the Terraces at Nos. 17-31 Playfair Street, The Rocks, to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

The Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, are located on the western side of Playfair Street in the block bounded by Argyle Street to the south and Atherden Street and George Street to the north. Playfair Street, which is a pedestrian street, generally retains a diverse mix of commercial buildings. The Argyle Centre and The Rocks Square development is located to the south of the terrace and the Argyle Terrace, Playfair's and Avery Terraces are located to their immediate north.

The Terraces are a row of two storey buildings constructed in stages between 1875 and 1877. Constructed primarily for the rental market, Nos. 17-31 were typical workers' dwellings with simple details and finishes and modest spaces. All of the terraces featured the typical layout with two rooms on the ground and first floor with single storey rear "service" wing. Nos. 17-27 also featured attic spaces.

The Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, are now included on the *NSW State Heritage Register*, together with 95 other items in The Rocks now individually entered on the register. With the adjoining terraces to the north they have been collectively referred to as "Argyle Terrace". Argyle Terrace, Nos. 13-31 Playfair Street, The Rocks, is listed as one item on the *Register of the National Estate* (RNE) and are part of the Argyle Precinct also recognised by the RNE. Nos. 13-31 Playfair Street, have also been classified as a larger grouping by the National Trust of Australia (NSW).

The buildings were used as residential properties until the 1970s through resumption of the land and various managerial changes. In 1970 the Sydney Cove Redevelopment Authority (SCRA) became responsible for the properties and initially proposed to demolish the terraces, with the neighbouring buildings, and redevelop the site as a car park. However, a change of plan and approach, in part influenced by the resident action groups and green bans, resulted in what was to be the first "restoration" project undertaken by the SCRA. The buildings were converted for commercial and retail use and work carried out at this time included the removal of the rear service areas, kitchen and bathrooms, and construction of a timber deck across the western face of the buildings.

The next major conservation works were carried out in the 1990s as a part of the total revitalisation of the precinct. These works included general repairs and replacement of the western 1970s timber deck with a steel and timber structure. The 1990s works were also supplemented by the conservation and interpretation of the area to the west of the site, Foundation Park, which was also established during the 1970s.

The Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, are historically significant as representative examples of mid to late Victorian workers' residential development that illustrates the high density subdivision pattern that was prevalent during this period, particularly in areas such as The Rocks where residential accommodation in vicinity to places of employment was in demand. The buildings significantly retain their fundamental external character and presentation and make a positive contribution to the Playfair Street streetscape and The Rocks Square precinct in general.

The terraces, which are in good and sound condition, are now mostly occupied by small offices and retail tenants. No. 17 is currently internally connected to The Argyle Terraces, Nos. 13-15 Playfair Street, with the one restaurant tenancy occupying all three buildings.

It is anticipated that Nos. 17-31 Playfair Street will continue to be occupied and maintained by small scale commercial and retail tenants. In the short term only minor works are required including:

- repairs to the timber framing and finishes of the eastern, cantilevered balconies; and
- minor repairs and finishes to the windows and entry doors.

The internal connection between Nos. 15 and 17 Playfair Street may be retained, as the fundamental external character and significance of the buildings is not affected by the connection. No. 17 is the only building that currently contains services (commercial kitchen and WCs) which similarly can be retained or removed in the event of change of tenancy. Removal of the services should be carefully considered and seek to minimise any impacts to the highly significant building fabric and spaces.

The Foreshore Authority have commissioned this study to ensure that the heritage values of the place are maintained and enhanced in the longer term, so that the building can remain a viable asset and continue to make a positive contribution to The Rocks area.

1.0

Introduction

1.1 Context of the Report

This Conservation Management Plan has been prepared in accordance with the brief prepared by the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Foreshore Authority.

The Conservation Management Plan (CMP) for the Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council.

1.2 Objectives & Heritage Listing Status

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

Nos. 17- 27 are also known as “Tara Terrace” and collectively, with Nos. 13-15 Playfair Street, they have also been referred to as “Argyle Terrace”.

“Argyle Terrace”, Nos. 13-31 Playfair Street, The Rocks¹, is listed on the *Register of the National Estate*, they are also part of the Argyle Precinct² also listed on the *Register of the National Estate*. Argyle Terrace, Nos. 13-31 Playfair Street are also classified as a group by the National Trust of Australia (NSW).

The Playfair Street Terraces, Nos. 17-31 Playfair Street are included in the *NSW State Heritage Register*, together with 95 other items in The Rocks now individually entered on the register.

1.3 Site Identification

The Playfair Street Terraces are located on the western side of Playfair Street. Playfair Street is a pedestrian street that is bounded by Argyle Street to the south and Atherden Street and George Street to the north.

The site is bounded by the Argyle Terraces, Nos. 13-15 Playfair Street to the north, the Cleland Bond Store (part of Argyle Stores) at No. 33 Playfair Street to the south and Foundation Park and the Gloucester Walk to the west.

Foundation Park is a terraced open area that sits on a rock escarpment at the rear of the site. It features foundations and remnant building and interpretive elements relating to the buildings that previously occupied the area to the immediate west of the site.

¹ Australian Heritage Database, Registered (21/10/1980), Place ID: 14258, Place File No. 1/12/036/0315.

² Australian Heritage Database, Registered (21/10/1980), Place ID: 2116, Place File No. 1/12/036/0315.

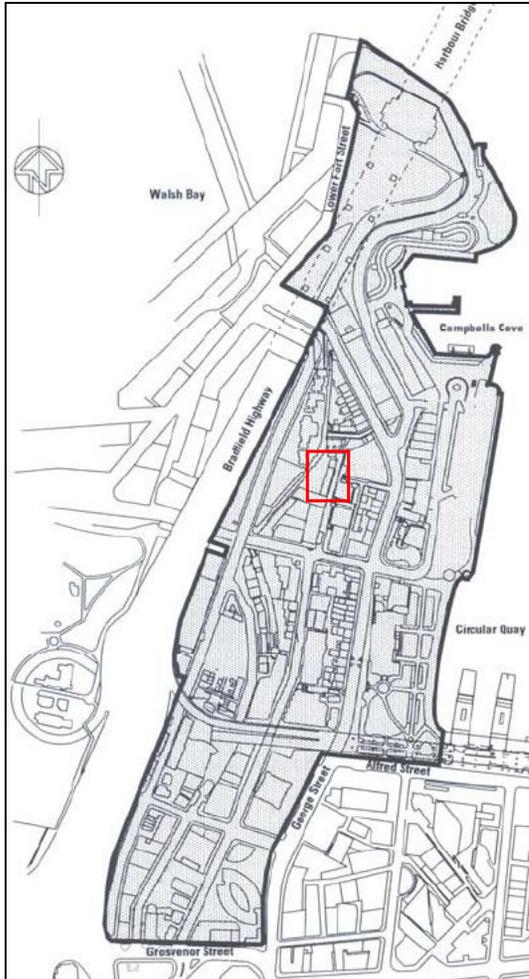


Figure 1.1 Location of Nos. 13-15 and Nos. 17-31 Playfair Street (highlighted) within the context of The Rocks.

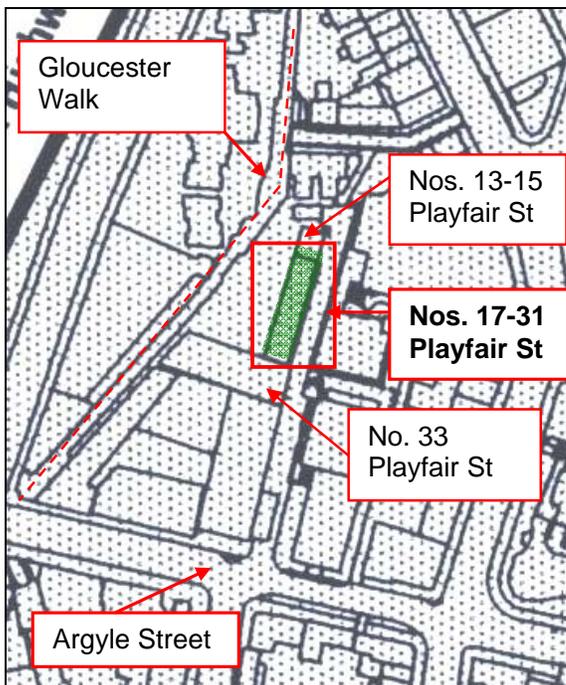


Figure 1.2 Location plan showing the immediate context of the site.

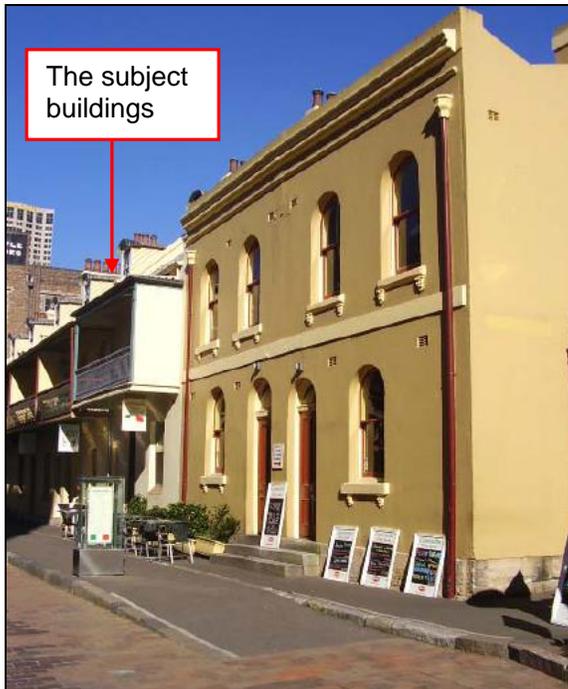


Figure 1.3 Nos. 13-17 Playfair Street.

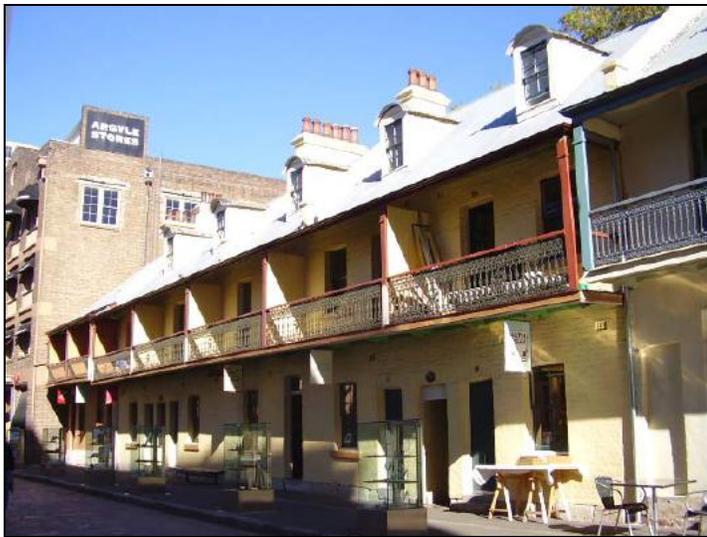


Figure 1.4 Nos. 17-31
Playfair Street.

1.4 Building Description

Nos. 17-31 Playfair Street, also known collectively as the Playfair Street Terraces and “Tara Terrace” (Nos. 19-27), is a row of Victorian workingmen’s terraces constructed in stages between 1875 and 1877. Constructed to the street alignment, Nos. 17-31 are two storey buildings with gable roofs, exposed party walls and rendered chimneys with profiled caps and terracotta pots. The terraces also feature cantilevered balconies to Playfair Street and steel framed, continuous deck across the rear, western, façade which faces an open courtyard and rock face below Foundation Park and Gloucester Walk.

All of the houses are constructed of brick with minimal decorative detailing and typically feature two rooms on the ground and two rooms on the first floor. Nos. 17-27 also feature attic spaces with dormer windows overlooking Playfair Street.

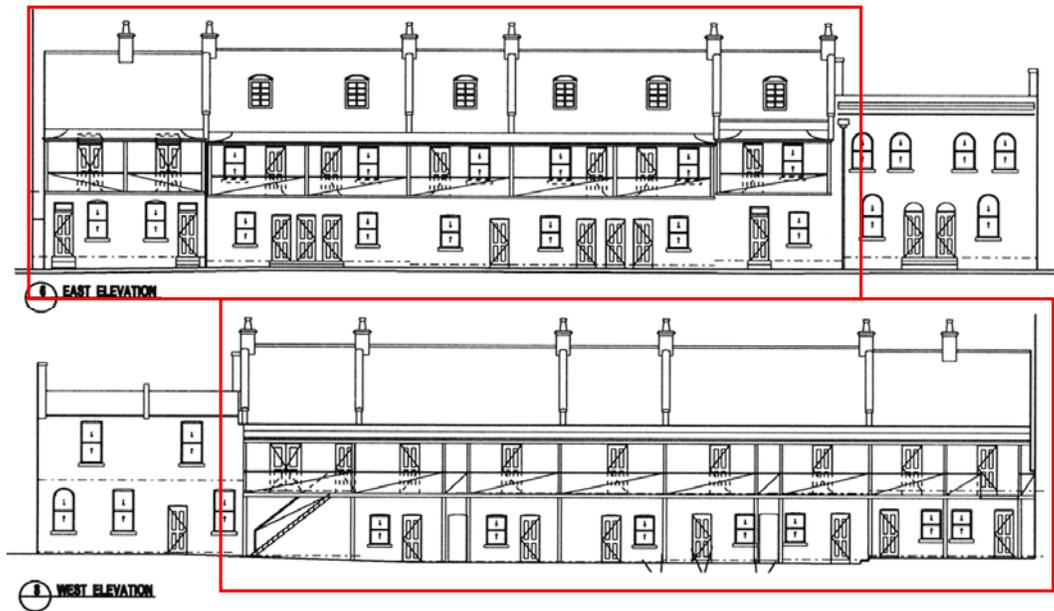


Figure 1.5 The Playfair (east) and rear (west) elevations of the building in the context of the adjoining terraces, Nos. 13-15 Playfair Street, to the north. (Source: The Foreshore Authority)

1.5 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999*, known as *The Burra Charter*, the NSW Heritage Office's Guidelines on *Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

The *Preliminary Conservation Plan for The Tara Terrace Group (Argyle Terraces) Playfair Street, The Rocks*, prepared by Tropman & Tropman dated October 1993 has been reviewed and provided a basis for the historical development of the building and site (as footnoted). Reference has also been made to the *Statement of Significance and Conservation Guidelines for Argyle Terrace and Foundation Park, Nos. 17-31 Playfair Street, The Rocks*, prepared by Annette Green and Lori Anglin in June 1988.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on available documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the Playfair Street Terraces.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.6 Documentary and Photographic Sources

Architectural plans of the building and site have been supplied by the Foreshore Authority. All additional research has been undertaken at the Mitchell Library, the NSW Land and Property Information Office, Sydney Water Plan Room and Sydney Harbour Foreshore Authority Library and Archives.

Historical photographs, unless otherwise stated, were sourced from the Foreshore Authority Archives and collections. Contemporary photographs included in this report, unless otherwise stated, were taken by Luisa Alessi of Perumal Murphy Alessi Pty Ltd, Heritage Consultants, in July and August 2006, specifically for the preparation of this report.

1.7 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in Article 1 of *The Burra Charter*. This includes particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, as defined in detail in Section 7.2, **Application of The Burra Charter**, of this report. For terminology used in identification of historic architectural styles and building elements, the Foreshore Authority encourages the use of the terminology as presented in the *Pictorial Guide to Identifying Australian Architecture* (various editions) prepared by Irving, Apperly and Reynolds.

1.8 Authorship

This Conservation Management Plan has been prepared by Luisa Alessi of Perumal Murphy Alessi Pty Ltd, (formerly trading as Perumal Murphy Wu Pty Ltd) Heritage Consultants, and has been reviewed by Spiro Stavis, Principal.

Luisa is a graduate architect with ten years experience in the heritage field. She has prepared a number of assessments and Conservation Management Plans (CMPs) for both the private and public sector including the following CMPs for the Foreshore Authority;

- Sergeants Majors Row at Nos. 33-41 George Street;
- the former Sailors' Home at Nos. 106-108 George Street;
- Reynolds Cottages at Nos. 28-30 Harrington Street; and
- Terraces at Nos. 46-56 Gloucester Street, The Rocks.

2.0

Documentary Evidence

2.1 Thematic History

In order to better understand how the Playfair Street Terraces developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.³ The organising principal for the thematic framework is the dynamism of human activity -

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁴

The State historical themes of Accommodation (Housing), Commerce and Domestic Life were used in this history to guide research questions, interpret the history, and structure the narrative of the development of the Playfair Street Terraces within the context of the development of The Rocks.

2.1.1 Early development of The Rocks and Playfair Street Precinct

The area regarded today as “The Rocks” stretches along George Street, north of the Cahill Expressway overpass to Dawes Point. However, in its early years until the late 1820s and 1830s, The Rocks was less linear and extended from Church Hill (present day Grosvenor Street) to around Argyle Street to the north.⁵ The area was named “The Rocks” because it was located on a high sandstone outcrop, which significantly was bordered on three sides by deep water anchorages. The topography of the area, its location and shipping that used the anchorages have influenced the physical appearance of the area, street pattern and overall development.⁶

By 1800 George Street itself was a “track” running roughly parallel to the natural shoreline, however, the real focus concentrated on the rocky slopes above, particularly the areas behind the first provision stores in (present day) Grosvenor Street, behind the first General Hospital, on what is now Globe Street and around Harrington and Gloucester Streets.⁷

³ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

⁴ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

⁵ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 1.

⁶ Robert A Moore Pty Ltd in association with the Historic Houses Trust, *Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines*, (undated) p. 8.

⁷ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 1.

By the time the first issues of the *Sydney Gazette* appeared in 1803 the area was already well established and a well known quarter of town. The *Gazette* published stories of the drinking and brawling that went on there, but also described the steepness of the area and unusual arrangement of buildings, accessed by little more than “tracks”.⁸

Meehan’s map of the town of Sydney dated 1807 (**Figure 2.1**) shows the general arrangement of the area at this time. The map combines leaseholders (numbered on the plan) with permissive occupants indicated by the thick black edging along the streets and in vicinity of the subject site. Meehan’s map shows the site as part of the garden for the colony’s hospital.

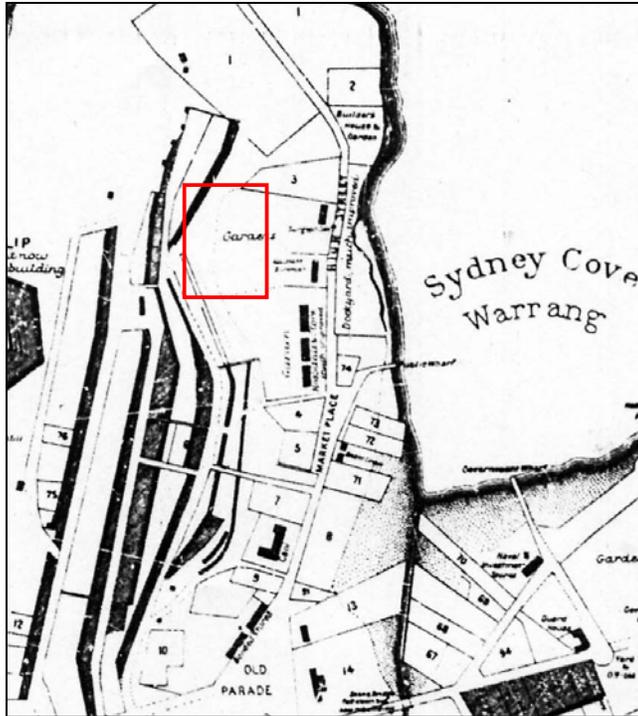


Figure 2.1 Meehan’s Plan of the Town of Sydney, 1807, showing the general arrangement of the area.

(Source: Mitchell Library, Z M2 811.17/1807/1)

In 1810, the rugged footpaths and crooked rows were given a sense of order when Governor Macquarie officially named them, replacing the localised (more descriptive) names with regal or viceregal titles. The main, or High Street, was renamed George Street (after the then reigning monarch) and from the highest ridge in descending order, he proclaimed Princes Street (Windmill Row), Cumberland Street (Church Row), Cambridge Street, Gloucester Street and Harrington Street. A series of cross streets and paths were also named, terminating at Argyle Street.⁹

The streets, however, were not all continuous or well marked out. In 1820, Surveyor James Meehan reported that there was no regular line of communication in The Rocks. The rocky ledges of Gloucester, Cambridge and Harrington Streets were discernible at the less inhabited northern end, near Argyle Street, but converged in a muddle in the area further south. Successive surveyors, including Meehan, tactfully left spaces and streets unnamed on the surveys. A mix-up also occurred between Cambridge and Gloucester Streets. Cambridge Street was originally the one below Cumberland Street, however, in the early 1830s Cambridge and Gloucester Streets became intertwined and difficult to separate at the southern end. New surveys and the granting of freehold titles in the 1830s

⁸Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 20.

⁹Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 21.

finally solved the confusion by reversing the street names to their present configuration, with Cambridge becoming the lower and Gloucester Street the higher.¹⁰

The problems with the early street pattern were complicated by the fact that occupants of the area had simply appropriated allotments and built houses and buildings on them without any official grant or lease. As early as 1802, Governor King had foreseen the problems associated with the non-legal, unrecorded dealings of land ownership, often transferred by verbal agreement. It was not until 1822 that Governor Brisbane commissioned a survey of Sydney and other towns, in an effort to resolve the confusion. The Rocks land, however, had already been appropriated by one means or another and the legitimisation of occupation was not really effected until Governor Darling resolved to begin the long process of granting freehold titles in 1829. More than two decades of slow surveys and investigations, to untangle the rights of the claimants of the land, followed.¹¹

Part of Gloucester Street had been formed by 1807 and up to 1836 maps of the area show a number of small buildings in the area. By the mid 1840s the Argyle Cut was being constructed and Gloucester Street was in the process of being extended northwards to George Street. As a result of, or in anticipation of increased access, more intensive development took place along Gloucester Street in the mid-1840s. Town houses and smaller scale terrace houses were being constructed, replacing the earlier single storey cottages. Both sides of the street were being developed and due to the topography of the area, with substantial basements and retaining walls, particularly on the eastern side of the street.¹²

Playfair Street was originally known as Little Gloucester Street and New George Street. It was renamed Playfair Street in 1885. In 1923, it became an extension of Harrington Street, reverting to the name Playfair Street in 1953. "Playfair" recalls Thomas Playfair, carcass butcher, ships providore, Alderman (1875-1893) and Mayor (1885).¹³

2.2 Historic Themes – Housing, Commerce & Domestic Life

In the early years of European settlement in New South Wales houses were generally free standing. It was not until the 1830s that terrace housing was established as a common form, particularly in the inner city areas. An influx of poor migrants and realisation of the potential financial returns gave land speculators incentive to try and meet the demand for cheap accommodation. Terrace housing was ideal as savings could be made on land, two or more houses could be constructed on lots that previously accommodated one dwelling, and savings could also be made on construction costs with the use of party walls, common chimneys and repetitive detailing.¹⁴

A substantial amount of housing was erected, however, not all of the early terraces were of poor quality. During the late 1830s the emerging middle classes created a demand for good quality town houses in close proximity to the centre of business. In 1837, concern about the structural stability and fire safety of buildings led to the development of a Building Act which also required that party walls were to be of brick and extend beyond the roof surface and combustible materials were to be excluded externally. As a result no timber verandahs were allowed, shingle roofs were banned and timber windows and doors had to be recessed behind the external face of the brickwork. This led to the

¹⁰ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 28.

¹¹ Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 29.

¹² Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 89.

¹³ Fitzgerald, S., *A Guide to Sydney City Street Names*, (1995) p.102.

¹⁴ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 7.

construction of higher a standard of terrace housing by the mid 1840s, however, this was short lived with a decline following the recession of the early 1840s. Public reaction to the Building Act and associated rising building costs also led to amendments to the Act in 1839 and relaxing of the regulations. Timber verandahs were allowed to overhang the street alignments by two and half feet and hardwood shingles were permitted as a roof covering.¹⁵ The pressure for commercial development in the city also began to influence the availability of such prime residential land, which, combined with increasing population maintained the traditional “working class” demographic and character in areas such as The Rocks. The wealthy, professional-merchant class moved out to newly developing suburbs such as Glebe.¹⁶

The housing and accommodation of this period had little regard for planning or sanitation. The emphasis on high returns resulted in minimal standards being developed for the rental market. Simple workingmen’s terraces were mainly constructed in areas such as The Rocks, Surry Hills and Darlinghurst, commonly located within walking distance of main centres of employment. The individual houses were set on allotments which rarely exceeded 4.5m in width and were generally built on or close to the street alignment. They were designed with minimal accommodation with few if any architectural embellishment. The better quality terraces were constructed of brick with lime-wash finish, and later a plain stucco finish was used. Early roofs were clad in timber shingles and later in corrugated iron. The gable roof form was used where no parapet was used. Windows and doors just followed the fashions of the day.¹⁷

In plan, the single storey row terraces comprised two main rooms with possibly a third room and smaller room as a wing to the rear. An attic was sometimes incorporated in the roof space. The two storey version usually comprised two rooms up and downstairs with narrower service wing at the rear. The main entrance typically led directly into the front room. An entrance hall was only used in the larger examples. Fireplaces were usually provided in the two main rooms on the ground floor and possibly in one of the upstairs rooms. A kitchen hearth was sometimes provided in the rear wing. Internally the walls were generally either whitewashed, plastered or lathes with square set cornices. Beaded board ceilings were commonly used in the first floor level with simple joinery throughout.¹⁸

These conditions were well established in the 1860s. The 1870s and 1880s were periods of prosperity, generally with higher living standards in Sydney, however, housing problems remained until the turn of the century. Increased immigrant population and demand for cheap labour led to continued overcrowding and the demand for affordable accommodation resulted in a large increase in residential development. The Rocks continued to support residential, commercial and public land uses mainly due to its location, close to the waterfront and associated activities.¹⁹

¹⁵ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 17.

¹⁶ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 8.

¹⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 11.

¹⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 11.

¹⁹ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 18.

The outbreak of the plague in January 1900 resulted in cleansing operations in the inner suburbs of Sydney and the demolition of a number of cottages and terraces within The Rocks. Part of The Rocks was quarantined and cleansed by the Government in an effort to improve the sanitary conditions. In May 1900, under the *Land for Public Purposes Acquisitions Act*, the quarantined wharf areas and adjacent housing were resumed. This resumption included Millers and Dawes Point but not The Rocks.²⁰ However, in December 1900 a further resumption was proclaimed, incorporating all The Rocks and the western shore of Sydney Cove. Unlike the previous resumption this was made under the recent *Public Works Act* which appears to have been to provide for the approaches of the proposed Harbour Bridge, not as a response to the outbreak of the plague.²¹

The *Sydney Harbour Act* of 1900 allowed for the formation of the Sydney Harbour Trust which was to maintain and manage the resumed areas. The initial aim was to clean up the resumed areas and redevelop for commercial purposes. The City Improvement Advisory Board was also established in March 1901 to assist in overseeing the resumed area.²² The Trust soon realised that they had to alter their initial development aim and accommodate the working population displaced by the cleansing operations and demolitions. In the period between 1910 and 1914 over thirty new waterside worker's tenements were erected.²³ The Sydney Harbour Trust subsequently was responsible of a portfolio of over 800 properties, rented at market rents, and became the first government housing authority in NSW.²⁴

Throughout this period of change and into the mid-twentieth century The Rocks continued to develop as a working class community which revolved around the activities of the wharves and during the 1920s swelled with the construction of the Sydney Harbour Bridge. The Maritime Service Board (MSB) was formed in 1936 to combine the functions of the Sydney Harbour Trust and other groups responsible for shipping, wharves and maritime activities. They also assumed responsibility for the residential properties managed by the Trust. Some changes were made in the area, such as the narrowing of George Street North and the construction of the Board's new headquarters (now the Museum of Contemporary Art), on a prominent part of the waterfront. However, the maritime activities diminished during the 1960s and 1970s which led to a decline in the traditional population and general decline of the area which in turn led to its reputation as a slum.²⁵

In 1970 the newly formed Sydney Cove Redevelopment Authority started to consider the total redevelopment of The Rocks area, however, the workings of local residents and green bans sought to conserve the historic character and nature of The Rocks for its remaining residents. The primary aim was to protect the rights of the residents but also promotion of the area as a historic precinct. Since that time there has been a mix of conservation and re-development including both commercial and residential uses with emphasis on promoting the area as a tourist destination.²⁶

²⁰ Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 134.

²¹ Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 135.

²² Boyd, N., *Gloucester Street, The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 137.

²³ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 5.

²⁴ Department of Housing Website, "About Us - History".

²⁵ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 22.

²⁶ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 5 & 6.

2.3 Initial Development of the Site

The subject land appears to have been largely undeveloped until the 1870s. The street now known as “Playfair Street” was not shown on a plan of the area dated 1868. Since the mid 1870s the street has been known by a number of names:

- New George Street, c.1873 – 1876;
- Little Gloucester Street, c.1877 – 1886;
- Harrington Street, 1923-1953; and
- Playfair Street, from 1953.²⁷

The 1868 plan (**Figure 2.2**) shows the subject land, part of a large block generally bounded by Argyle Street to the south, George Street to east, Union Street to the north and Gloucester Street (now Gloucester Walk) to the west. A laneway cuts through the south eastern portion of the block, accessing the properties fronting George Street and a large building connected to “Flour mills” located opposite the site. The Argyle Stores occupy the south western section of the block.

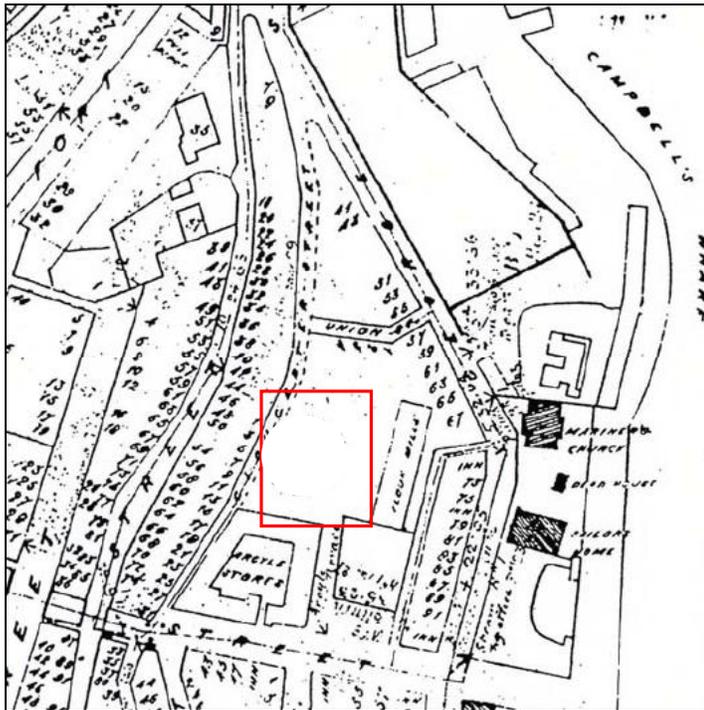


Figure 2.2 1868 Hunt & Stevens Plan showing the subject site, part of a block bounded by Argyle, George, Union and Gloucester Streets.

(Source: City Archives)

The land on the western side of Playfair Street was part of Lot 2 of Section 85 granted to William Carr and John Rogers on 26 October 1838. This land included the southern portion of the site, land now occupied by Nos. 21-31 Playfair Street. In 1839 the land granted to Carr and Rogers was sold to Frederick Wright Unwin. Unwin commenced his “Bonded Stores” in the same year. In 1842 Unwin leased the northern section of his property and continued to develop the southern portion of his site during this time.²⁸ The 1868 Hunt & Stevens map (above) shows Unwin’s, *Argyle Stores* located south of the site with frontage to Argyle Street and central courtyard.

²⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 12.

²⁸ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 22.

In 1870 part of Unwin's land was acquired by William Whaley Billyard²⁹ who by the end of 1871 consolidated this with a grant made on 26 September 1871. This land was sold two years later to Robert Pemberton Richardson of Sydney, an auctioneer.³⁰ A Certificate of Title dated December 1874³¹, shows the land, including the subject sites, (**Figure 2.3**) extending east from Gloucester Street with small frontage to George Street North.

Richardson had by this time subdivided the land, part of DP 143 (**Figure 2.4**), and offered the thirty one allotments for sale at auction on 11 December 1874. The lots were advertised as "*Freehold City Allotments*" about Little Gloucester Street and Mill Street. The plan shows the irregularly shaped allotments on the western side of Little Gloucester Street, generally with 15 feet frontages. The two end allotments, Lots 21 and 31 being a little wider. Lots 4 to 31 were advertised as being suitable as sites "*for residences for small capitalists*".³²

The sale of the subject sites were recorded on the Certificate of Title³³ as follows:

Lot 21 (Nos. 29-31 Playfair Street)	John Nicholson of Sydney, 6 January 1875
Lots 22 & 23 (Nos. 25-27 Playfair Street)	Bartholomew Higgins of Sydney, Policeman, 6 January 1875
Lot 24 (No. 23 Playfair Street)	John Kearney of Sydney, Policeman, 6 January 1875
Lots 25 & 26 (Nos. 19-21 Playfair Street)	John Murphy of Sydney, Publican, 18 January 1875
Lot 27 (No.17 Playfair Street)	John Murphy of Sydney, Publican, 15 September 1876
Lot 28 (Part Nos.13-15 Playfair Street)	William George of Sydney, Labourer, 2 April 1875
Lot 29 (Part Nos.13-15 Playfair Street)	Magnus George of Sydney, 14 October 1876

Most of these purchasers retained ownership until 1901, when the land was resumed. However, in 1876, Nicholson sold approximately half of Lot 21 (facing Little Gloucester Street) to Enoch Rees, a stonemason of Sydney. Two years later it was again transferred to Michael O'Flaherty, a Coal merchant of Pyrmont. Nicholson retained the western portion of the original allotment until 1898.³⁴ Lots 28-31 were purchased by Thomas Playfair and by 1879, only these lots remained undeveloped.³⁵

²⁹ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993)

³⁰ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 12.

³¹ Department of Lands, Certificate of Title, Volume CXCIV Folio 135.

³² Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 14.

³³ Department of Lands, Certificate of Title, Volume CXCIV Folio 135.

³⁴ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 16.

³⁵ Sydney Harbour Foreshore Authority, Heritage Register, Argyle Terrace, 13-15 Playfair Street, The Rocks.

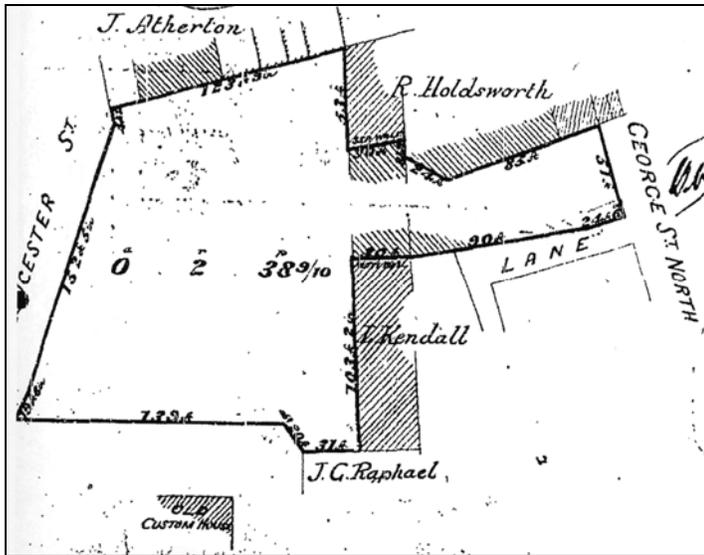


Figure 2.3 Plan of the land consolidated by Richardson illustrated on the Certificate of Title dated December 1874.

(Source: Department of Lands, Volume CXCIV Folio 135)

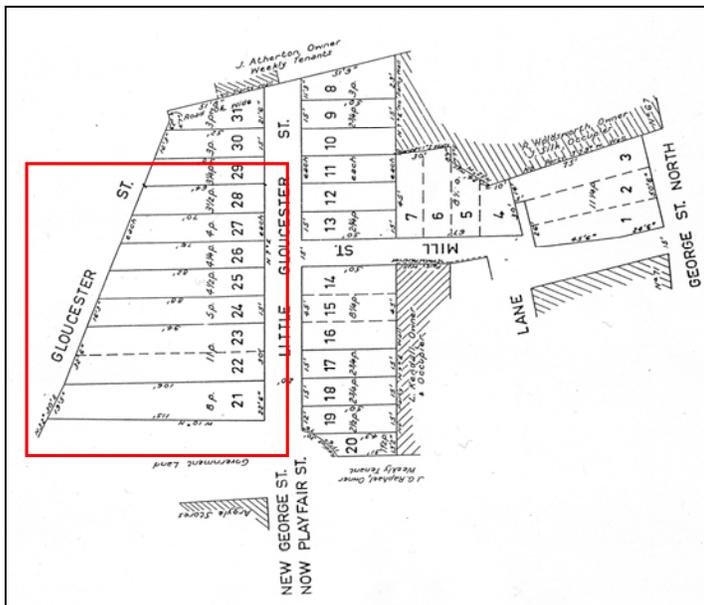


Figure 2.4 The subdivision of the land, DP 143.

(Source: Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 15)

2.3.1 Construction of the buildings

New George Street (now Playfair Street) was first listed in the *Sands Directory* in 1873. In 1875 no residents were listed, however, in the following year a terrace of five houses, probably on Lots 22-26 (Nos. 19-27) had been built and occupied. A sewer plan dated 28th August 1875 (**Figure 2.5**)³⁶ indicates five buildings on the site, in the area between the “Argyle Bond” to the south and “Mill” to the east. In 1876 it would appear that Enoch Rees built a pair of two storey houses, Nos. 29 and 31, after his purchase of the eastern half of the allotment from Nicholson.³⁷ In 1877 the *Sands Directory* notes No. 7 Little Gloucester Street (now No. 17 Playfair Street) was “in course of erection”. It would appear that the single house on Lot 27 (No. 17 Playfair Street) was constructed by John Murphy shortly after his purchase of that block in late 1876.³⁸

³⁶ Sydney Water Plan Room, OCP 78.

³⁷ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 8.

³⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 18.

By 1882 a total of nineteen (19) houses had been constructed on Lots 21 to 27, with eight fronting Little Gloucester Street, eight to Gloucester Walk and three in between. The largest developer was John Murphy who erected nine houses on his three allotments, by using the rear yards of Nos. 17-21 Playfair Street.³⁹ It seems unlikely that the three separate purchasers of the land now occupied by Nos. 19-27 Playfair Street would have combined to construct the row. It is possible that the terrace was constructed by a speculative venture prior to their purchase, however, the sale of land by Richardson made no reference to buildings on the property. In c. 1880 the row was noted as "Tara Terrace",⁴⁰ however, the derivation of the name and connection is not clear.

The c. 1880 Percy Dove plan (**Figure 2.6**), shows the configuration of the buildings at this time. The two storey buildings facing Little Gloucester Street, including Nos. 9-17 (now Nos. 19-27) noted as "Tara Terrace", are constructed to the street alignment with single storey room/annexes and open yards to the rear. The three single storey buildings are shown at the rear of Nos. 17-21 (noted as Nos. 7-11 on the plan). The buildings constructed on the Gloucester Street frontage, now interpreted in Foundation Park are also shown.

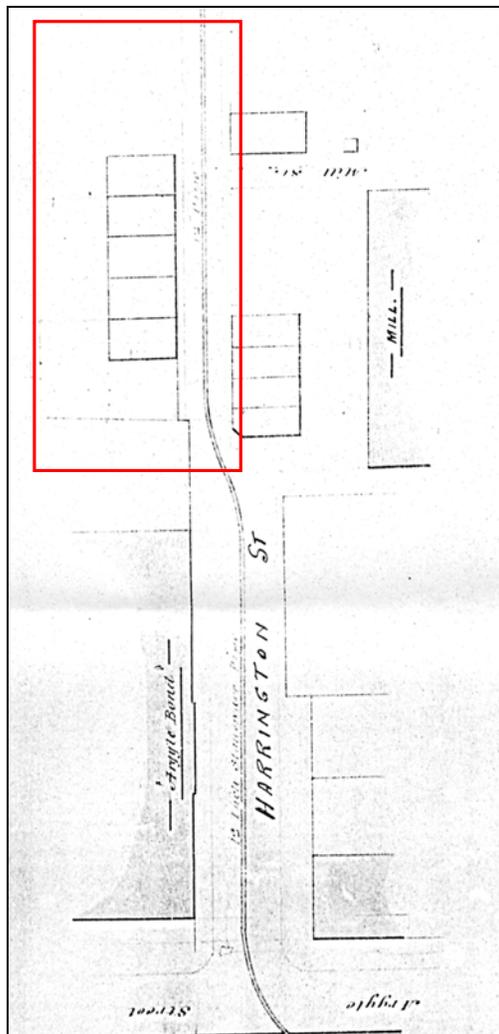


Figure 2.5 1875 sewer plan indicating the presence of five buildings on the site.

(Source: Sydney Water Plan Room)

³⁹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 18.

⁴⁰ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 18.

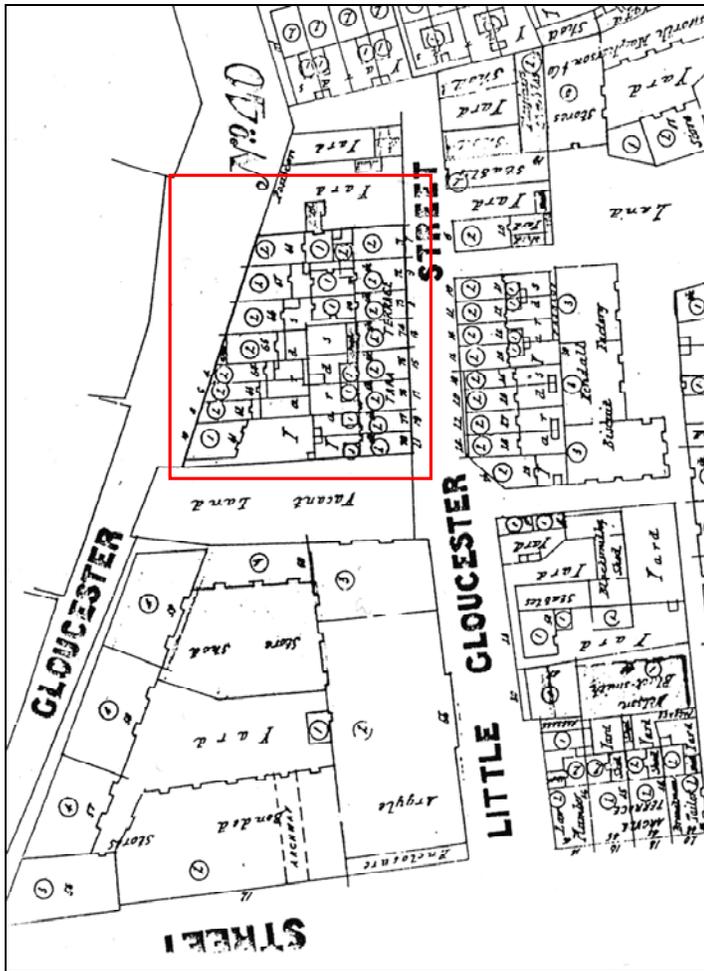


Figure 2.6 Percy Dove plan c. 1880s.

(Source: City of Sydney Archives)

The allotment to the north of these buildings, now Nos. 13-15 Playfair Street, remained undeveloped at this time. Two sheds are shown abutting the single storey building at the rear of No. 17 and on the north eastern boundary. By 1880 Murphy had also constructed another house immediately behind No. 7 Little Gloucester Street (No. 17 Playfair Street), accessed via a passage, the opening of which is still discernable at the southern end of the ground floor facade of the building.⁴¹

In 1880 the Sydney City Council *Assessment Books* described the individual houses on Little Gloucester Street (now Playfair Street) as follows:⁴²

No. 7 (Lot 27, No. 17 Playfair St)	Brick walls Shingled roof	3 floors	6 rooms
1 off (Lot 27)	Brick walls Shingled roof	2 floors	4 rooms
No. 9 (Lot 26, No. 19)	Brick walls Shingled roof	2 floors	4 rooms

⁴¹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 20.

⁴² Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 20.

No. 11 (Lot 25, No. 21 Playfair St)	Brick walls Shingled roof	2 floors	4 rooms
No. 13 (Lot 24, No. 23 Playfair St)	Brick walls Shingled roof	3 floors	5 room
No. 15 (Lot 23, No. 25 Playfair St)	Brick walls Shingled roof	3 floors	6 rooms
No. 17 (Lot 22, No. 27 Playfair St)	Brick walls Shingled roof	3 floors	6 rooms
No. 19 (part Lot 21, No. 29 Playfair St)	Brick walls Shingled roof	2 floors	5 rooms
No. 21 (part Lot 21, No. 31 Playfair St)	Brick walls Shingled roof	2 floors	5 rooms

In 1883 Thomas Playfair commenced construction of two tenements known as Nos. 3-5 Gloucester Street (Nos. 13-15 Playfair Street). The building was first rated in June 1884 and in 1891, Nos. 3-5 Playfair Street (Nos. 13-15) were described as two storey houses of five rooms constructed with brick and cement walls and iron roof. No. 1 Playfair Street occupied by Thomas Playfair was described as wood walls and iron roof with sheds and yards.⁴³

The sequence of construction of the subject buildings, based on *Sands* and title search can therefore be summarised as follows:

- Nos. 19 – 27 “Tara Terrace” 1875;
- Nos. 29 – 31 1876;
- No. 17 1877.⁴⁴

The five houses comprising “Tara Terrace”, the first buildings built on the site, were constructed as typical Victorian workers’ terraces. Each terrace was built on sandstone foundation walls with two rooms at both ground and first floor levels. The main entry lead directly into the front rooms and stairs to access the upper levels were located in the rear rooms of each house. These dwellings were also constructed with an attic room with an east facing dormer window.⁴⁵ Fireplaces were also located in both of the ground floor rooms and to the eastern bedrooms on the first floor. The external walls were probably originally lime washed and later painted or lightly bagged with cement and painted, whilst the internal walls were probably plastered. Timber boarding remaining in the roof space adjacent to the western attic walls of Nos. 19 and 21 suggests that passages may have also existed to connect to the dwellings to the west, fronting Gloucester Street/ Walk.

⁴³ Sydney Harbour Foreshore Authority, Heritage Register, Argyle Terrace, 13-15 Playfair Street, The Rocks.

⁴⁴ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 24.

⁴⁵ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 24.

Nos. 29 and 31 were constructed as a pair with similar style and finish to “Tara Terrace”, although fireplaces were only provided on the ground floor with French doors on the first floor to access the front balcony overlooking Playfair Street. These houses were constructed without attic spaces.⁴⁶ No. 17 was originally very similar to the “Tara Terrace” dwellings in style and detail. The extant fabric indicates that it also features an open passage along the share boundary with No.19.

The *Sands Directory* indicates that at least three of the houses at the western end of the original allotments, along the Gloucester Street alignment, had been constructed and occupied by 1877. By 1879 seven houses had been built, described as “Erin Terrace”. These were also occupied by a number of tradesmen, including mariners, carpenter and tailor. By 1882 the street numbers had changed to accommodate another three houses, and the *Assessment Books* note that all were constructed of brick with iron roofs. All but two were three storey with five or six rooms (the other two were single storey with three rooms).⁴⁷

2.4 History of the Occupation of the Site

The houses generally appear to have been developed for the rental market. From the start only one of the properties, No. 13 Little Gloucester Street (No. 23 Playfair Street) was occupied by the owner, John Kearney. By 1879 all of the houses were occupied by tenants who generally remained in occupation for a few years at the most. The *Sands Directory* indicates that these tenants were varied, ranging from a printer to shipwrights and an engineer.⁴⁸ The terraces constructed along the Gloucester Street alignment (now Gloucester Walk) were also generally constructed for the rental market with only two owner occupiers. In 1879 the occupants included two master mariners, a carpenter and a tailor.⁴⁹

The *Sands Directory* indicates that this situation continued until 1901, when all of the allotments were resumed by the Minister for Public Works and the Sydney Harbour Trust became responsible for the site and buildings. The initial aim of the Trust, which was established as a result of the Plague which hit Sydney in early 1900, was to clean up the resumed areas and redevelop them for commercial use. However, the area within the boundaries of the resumption included many residential properties mixed with the wharves and commercial buildings that the Trust intended to use. The Trust gradually had to accept that it would have to take the role of landlord and manage the newly acquired residential properties and their occupants.⁵⁰

The Trust also soon recognised that not all of the newly acquired property was suitable for commercial purposes and the local topography, steep and rocky in places, would potentially be difficult to develop. In addition, the traditional inhabitants of The Rocks area, such as the wharf labourers, continued to need to live in vicinity to their places of employment. Much of the housing in the area had become dilapidated by this time and demolitions and cleansing operations were undertaken by the Trust, however, repairs to the buildings that were retained, it is assumed such as the subject terraces in Playfair

⁴⁶ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 28.

⁴⁷ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 25.

⁴⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 20 & 21.

⁴⁹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 24-25.

⁵⁰ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 21.

Street, and construction of new housing, on land deemed unsuitable for commercial use, was also undertaken from this time.⁵¹

The building came under the control of the Maritime Services Board in 1936. The MSB made major infrastructure changes in The Rocks area, however, it would appear made little changes to the buildings.

Despite the changes in the administration much of the area and fabric remained intact until the late 1960s. Much of the city had by this time been taken over for commercial purposes and resident population subsequently thinned. The Rocks became more derelict and public opinion generally regarded the place as a slum and largely favoured demolition and redevelopment.

Two of the four terraces still tenanted by the mid 1970s were occupied by residents who had lived in the street for several decades, during which it appears that very little renovation or modification had taken place.

The buildings were transferred to the Sydney Cove Redevelopment Authority in 1970 and with the adjoining terraces at No. 13-15 Playfair Street, were originally slated for demolition. Tenders were called and a number of proposals were considered, including the use of a site for a carpark.⁵² The decision to demolish the buildings is highlighted by the one *Tenancy Card*⁵³ relating to the buildings. The card relates to No. 31 Playfair Street, at this time tenanted by a Mr W Balmain and his mother Mrs Beashel. The entries date from 22 July 1970, at which time the memo notes, "*proposed Playfair Street demolitions – Houses Nos. 13 to 31*". A subsequent note, dated 28 July 1970 notes, "*Playfair Street – proposed demolition of ten houses 13-31 inclusive for carpark*". In the later months of 1970 memos and letters were sent pertaining to the relocation of the present tenants and subsequently "*notice to quit*" the premises. The last entry, dated 13 August 1971 alludes to the continuing "problem" with the existing tenant.

Other file notes dated September – November 1970⁵⁴ suggest the imminent demolition of the terrace in Playfair Street and relocation of the present tenants. The note dated September 1970 lists the houses and tenants involved and current rental as that time as follows:

No. 13	Mr T Kane	three adults, four children	\$3.60 rental per week
No. 15	vacant		
No. 17	vacant		
No. 19	vacant		
No. 21	vacant		
No. 23	vacant		
No. 25	Mrs N Macklan	plus two children	\$4.30 rental per week
No. 27	Mrs CE Moran	only occupant	\$3.45 rental per week
No. 29	vacant		
No. 31	Mr W Balmain - non-resident, occupied by his mother only.		\$3.30 per week

Three of the four tenants were to be accommodated in the East Rocks area. Mr Kane was to be relocated to No. 50A Gloucester Street, Mrs Macklan to No. 46 Gloucester Street and Mrs Moran to No. 63 Harrington Street. Each of these apparently expressed satisfaction with their new addresses. Mrs Balmain, was to live with her son at Chester Hill, however, the report outlines her unwillingness to leave. However, by November

⁵¹ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 21.

⁵² Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 1.

⁵³ Foreshore Authority Library.

⁵⁴ Foreshore Authority Archives, File No. RE 0505.01.01.

1970, two of the tenants had been relocated and the others followed shortly thereafter in 1971.

It was an overseas visit by the SCRA's then Business Manager and Director that brought about a reversal and change of plan. The Director was impressed by the aesthetic and financial returns of refurbishing old and seemingly derelict buildings and on his return called for a reassessment of the situation.⁵⁵ It was decided that the terrace would be retained and from this time the Sydney Cove Redevelopment Authority adapted the remaining houses as commercial premises and developed the rear of the site as Foundation Park. This marked the beginning of the Authority's role in the development of The Rocks as a tourist destination. At the end of the 1970s the character of the area and use and occupation of the buildings was redefined by the refurbishment of Playfair Street as a commercial and tourist zone and pedestrian precinct.⁵⁶

2.5 Development of Building Components and Site

A Sydney Water Plan dated 1887 (**Figure 2.7**)⁵⁷ illustrates the footprint and configuration of the buildings. Amended in 1895, there was no change indicated on the plan, however, it would appear that a building was constructed to the north of the grouping (shown hatched) in the time between. The earlier street numbering is clear and most of the buildings have brick and stone rear "wings" or annexes. Three passages are clearly shown between Nos. 7 and 9, Nos. 9 and 11 and Nos. 15 and 17.

It is interesting to note that the three dwellings constructed at the rear of Nos. 17 to 21 shown on the c. 1880 Dove plan are not shown. The passage between Nos. 15 and 17 corresponds with a stairwell behind "Erin Terrace" constructed to the Gloucester Street alignment. The site to the south of the grouping, now occupied by the Cleland Bond Store, is shown vacant. Whilst the plan shows no change to the configuration of the buildings, the *Assessment Books* indicate that the houses on Lots 26 and 27 (Nos. 17-19 Playfair Street and dwellings at their rear) had been re-roofed with iron by 1891. The books also indicate that all of the shingled roofs had been replaced by 1902.⁵⁸

A photograph dated c. 1901 (**Figure 2.8**) shows the context of the buildings and their frontage to Playfair Street. It would appear that the facades were face brick on face stone plinth with step up from the street level. The timber framed first floor balconies feature cast iron lace balustrades and cantilever over the ground floor entries. This section of Playfair Street is noticeably narrow with two storey dwellings also located on the eastern side of the street. Another photograph dated 1910 (**Figure 2.9**) clearly shows the ground floor facades of the buildings. The difference in floor level between Nos. 27 and Nos. 29 and 31 is apparent. The dormer windows, with curved roof and weatherboard cladding are also clear on the front, eastern roof slope facing Playfair Street.

⁵⁵ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 23.

⁵⁶ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 1.

⁵⁷ Sydney Water Plan Room, PWD 321/1544.

⁵⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 21.



Figure 2.7 Plan dated 1887, amended in 1895 with no changes to the buildings.

(Source: Sydney Water Plan Room)

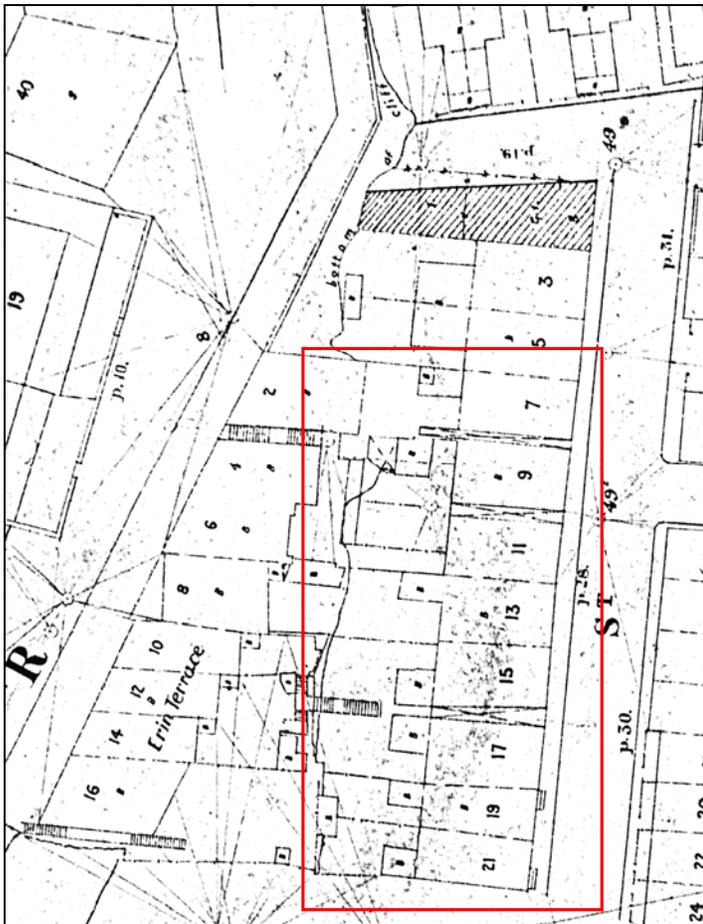


Figure 2.7a Plan dated 1887, amended in 1895 with no changes to the buildings.

(Source: Sydney Water Plan Room)



Figure 2.8 Photograph dated c. 1901 looking north along Playfair Street. The subject buildings are on the left. (Source: Foreshore Authority Archives PS 05)

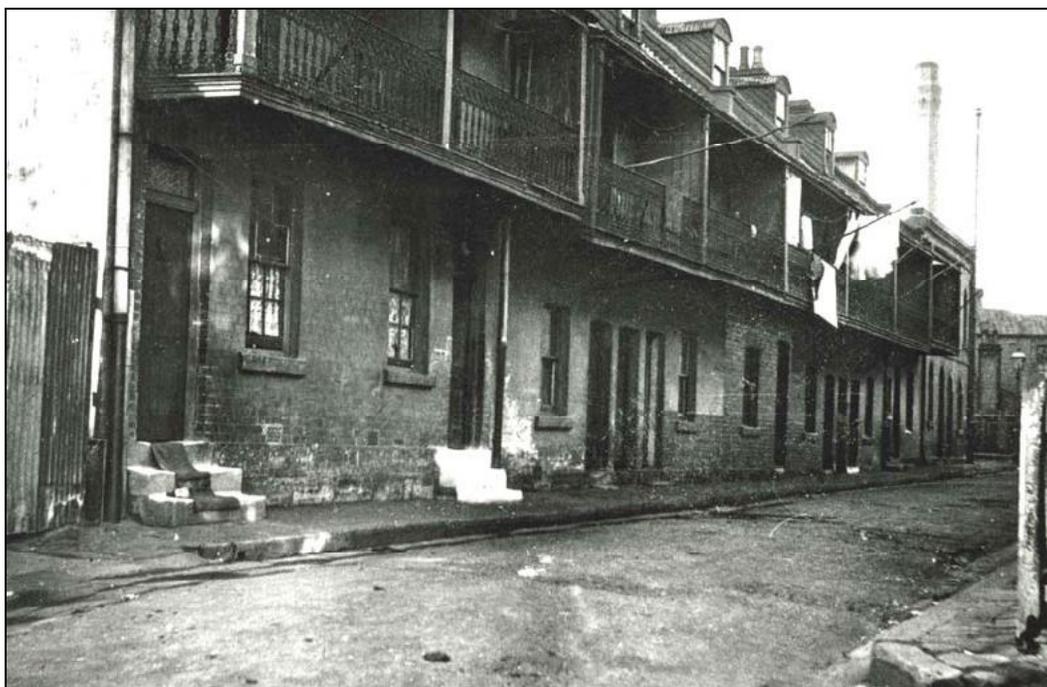


Figure 2.9 Photograph dated 15 October 1910 looking north along Playfair Street. (Source: Foreshore Authority Archives PS 06)

An undated Sydney Water plan (**Figure 2.10**)⁵⁹ revised and re-issued in 1925 and withdrawn from use in 1932 indicates no great change to the building outline between 1895 and 1925. The same configuration and building footprint is shown. Some change is also visible to the buildings to the north of the grouping, noted with “1912”, however, the Cleland Bond Store, which was constructed in 1913–1914⁶⁰ is not shown on the plan.

The terraces built on the eastern side of the street in c. 1875 were apparently demolished during the first quarter of the twentieth century and another row (the original “Argyle Terrace”) facing Argyle Street was demolished at the same time. Following the demolition of the terraces, the eastern side of the street was redeveloped with commercial and warehousing premises. These buildings, which remain today, were constructed well back from the earlier street alignment. In 1921 the demolition of four terraces located at the northern end of Playfair Street enabled the extension of the street to George Street North, thus completing its transition from an access lane to a through road.⁶¹

A photograph dated 1930 (**Figure 2.11**) shows the rear of the large, multilevel houses along the Gloucester Street alignment (now Gloucester Walk). It is clear that the buildings were constructed with minimal concern for light and air. Most of the houses were vacated by the mid 1930s. The City Engineer gave approval to demolish in 1938 and the work was apparently completed by July the following year.⁶²



Figure 2.10 Sydney Water plan (c. 1925-1932) indicating virtually no changes to the buildings.

(Source: Sydney Water Plan Room)

⁵⁹ Sydney Water Plan Room, Sewer Detail Sheet (Blackwattle) 3767 Old.

⁶⁰ Sydney Harbour Foreshore Authority, Heritage Register.

⁶¹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p.39.

⁶² Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 25 & Foreshore Authority website, notes on Foundation Park Interpretation.



Figure 2.11 Terraces on the Gloucester Street alignment, 1930 (now Gloucester Walk) interpreted in Foundation Park. The subject buildings are just visible at bottom left.

(Source: Foreshore Authority Website)

2.5.1 Maritime Services Board

It is not clear if any works were carried out to the subject buildings during the Maritime Services Board administration, between the years 1936 until 1968. The Tenancy Cards indicate minor repairs and works, however, also the poor state of the buildings. Most of the terraces were recorded as being “uninhabitable and vacant” in 1968.⁶³ One photograph of the buildings, dating from the c. 1970s (**Figure 2.12**), indicates their “run-down” state. The façade remain “face brick” and appear soiled and in some areas patched and bagged. The first floor balconies remain open, however, the balustrades are clad in sheet material and corrugated iron roofs appear rusted.

In another photograph (**Figure 2.13**), also dating from the c. 1970s, the Playfair Street facade has been rendered. There appears to be no change to the balconies or facades. Meter boxes are fixed to the front façade. A narrow footpath with sandstone kerbing runs across the front of the buildings. The north end of the street falls and a handrail runs across the front of Nos. 13-15. The photographs also highlight other changes in the area, such as the demolition of the earlier residential buildings on the eastern side of Playfair Street and the widening of the road. A photograph of the rear of the buildings also assumed to date from this time (**Figure 2.14**) shows the painted rear façades, rear wings and annexes of the buildings. A two storey building is evident at the rear of No. 17 at this time. The structure is not shown on the 1925-1932 plan, which may indicate that it was constructed some time since the early 1930s. Some of the remains of the terraces that faced Gloucester Street, now Gloucester Walk, are also just visible in the over grown rock face to the right, (west) of the buildings.

⁶³ Foreshore Authority Archives

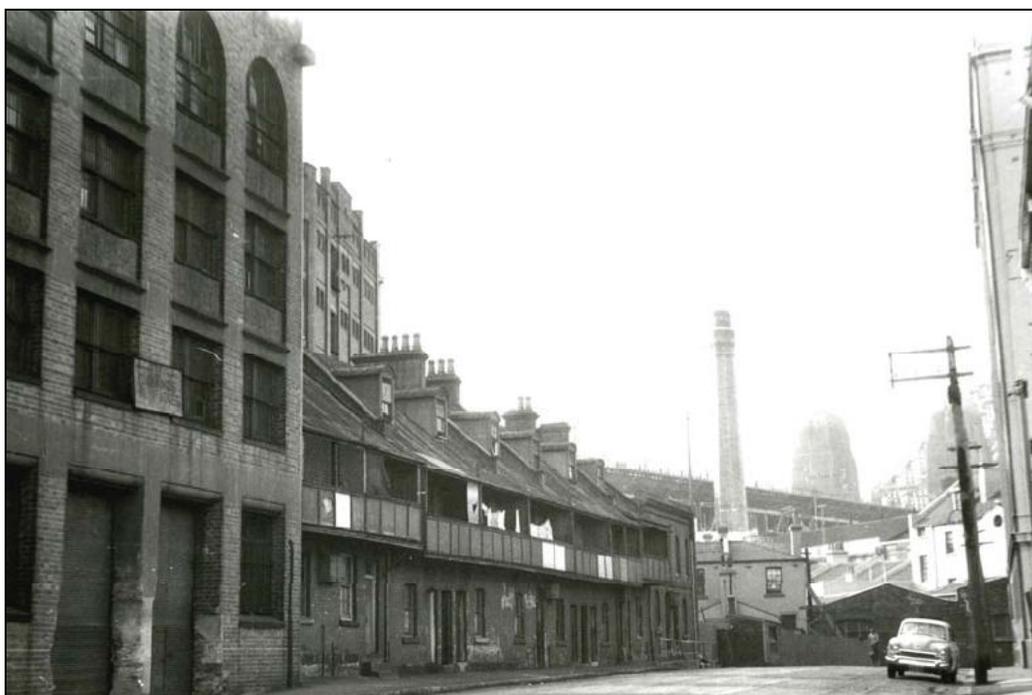


Figure 2.12 The buildings c.1970s prior to the restoration works. By this time the residential buildings opposite the buildings had been demolished, street widened and commercial buildings constructed on the eastern side of Playfair Street (at right). (Source: Foreshore Authority Archives PS 04)



Figure 2.13 The buildings c.1970s prior to the restoration works. (Source: Foreshore Authority Archives PS 01)



Figure 2.14 The rear of the buildings in early 1970s. It would appear that a two storey building had been constructed at the rear of No. 17.

(Source: Foreshore Authority Archives PS 09)

2.5.2 SCRA & 1972 Works

Sydney Cove Redevelopment Authority became responsible for the buildings in 1970. It was intended to initially demolish the buildings and redevelop the site. A change of philosophy resulted in what was to become the SCRA's first restoration project. On the rock escarpment, behind the buildings and associated open yard, the remnants of the buildings facing the Gloucester Street alignment and Gloucester Walk demolished in 1938 were incorporated into a multi-level park. This area was opened as Foundation Park in 1974.⁶⁴

Fisher Jackson Hudson Pty Ltd Architects were commissioned to adapt the buildings, including the Cleland Store, Nos. 13-37 Playfair Street and the site of Nos. 2-16 Gloucester Street, as mixture of shops and restaurants as an extension of the Argyle Arts Centre. Work began on this project in January 1972, but was hindered until May by the imposition of a Builder's Labourer's Federation green ban on the whole of the Authority's area. The builder was P Kilmore of Bondi Junction.⁶⁵

The drawings prepared by Fisher Jackson Hudson show what is referred to as "restoration" and "adaptation" works.

⁶⁴ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 28.

⁶⁵ City Archives BA File 1383/71.

The ground floor plan (**Figure 2.15**) shows the configuration and planning of the buildings including the location of internal stairs and walls. More importantly the outline of the early rear wings and annexes, which contained kitchen and bathroom spaces, are also indicated. The two storey structure at the rear of No. 17, accessed from Playfair Street via the passage between Nos. 17 and 19 is also shown. The line of the rock face at the rear of the buildings is also clear. In addition to replacement of roofing and provision of new battens, fascias and gutters, the plans dated, 18 October 1971, note the following works to the buildings:

Front façade:

- removal of existing verandah roof sheeting and provision of new fascia and gutter to main roof with new curved iron and “returned” ends to verandah;
- making good of all windows and doors;
- provision of new balconies across the front of the buildings with cast aluminium panels (a note on the drawings nominates that the rebuilt balconies to the front of Nos. 17-31 were to be hardwood construction with new curved iron roof and cast panels and handrails); and
- provision of new ledged, braced and framed doors to the three passages.

Rear façade:

- demolition of existing kitchen and toilets behind all structures;
- demolition of existing two storey building at the rear of No. 17 and construction of new two storey toilet block in the same area; and
- provision of new hardwood western walkway and deck.

All of the rear wings/ rooms, lean-tos and outbuildings were removed and the individual small yards were opened up into a single courtyard and paved. The stairwells connecting to Gloucester Walk and park area were also planned. An open timber deck accessed by timber stairs from the courtyard is shown spanning across the rear of Nos. 17-31.

The drawings indicate some proposed new footings and structural works to the flooring of the ground floor. The 1993 Conservation Plan notes that the sub floor space (about 450mm) was actually excavated at this time and floor space filled to prevent rat infestation. The floor structure was removed and new timber structure was built on brick piers. It also noted that all hardwood floor boarding and floor structure to the ground floor was removed as part of the 1972 works. New flooring also had access panels cut in the eastern rooms. Access panels to the western rooms were carried out as part of the 1993 works. Plasterboard ceilings also added below the early or original lathe and plaster and the plaster finish from the internal walls was removed and walls were bagged and painted as part of these works.⁶⁶

⁶⁶ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 25.

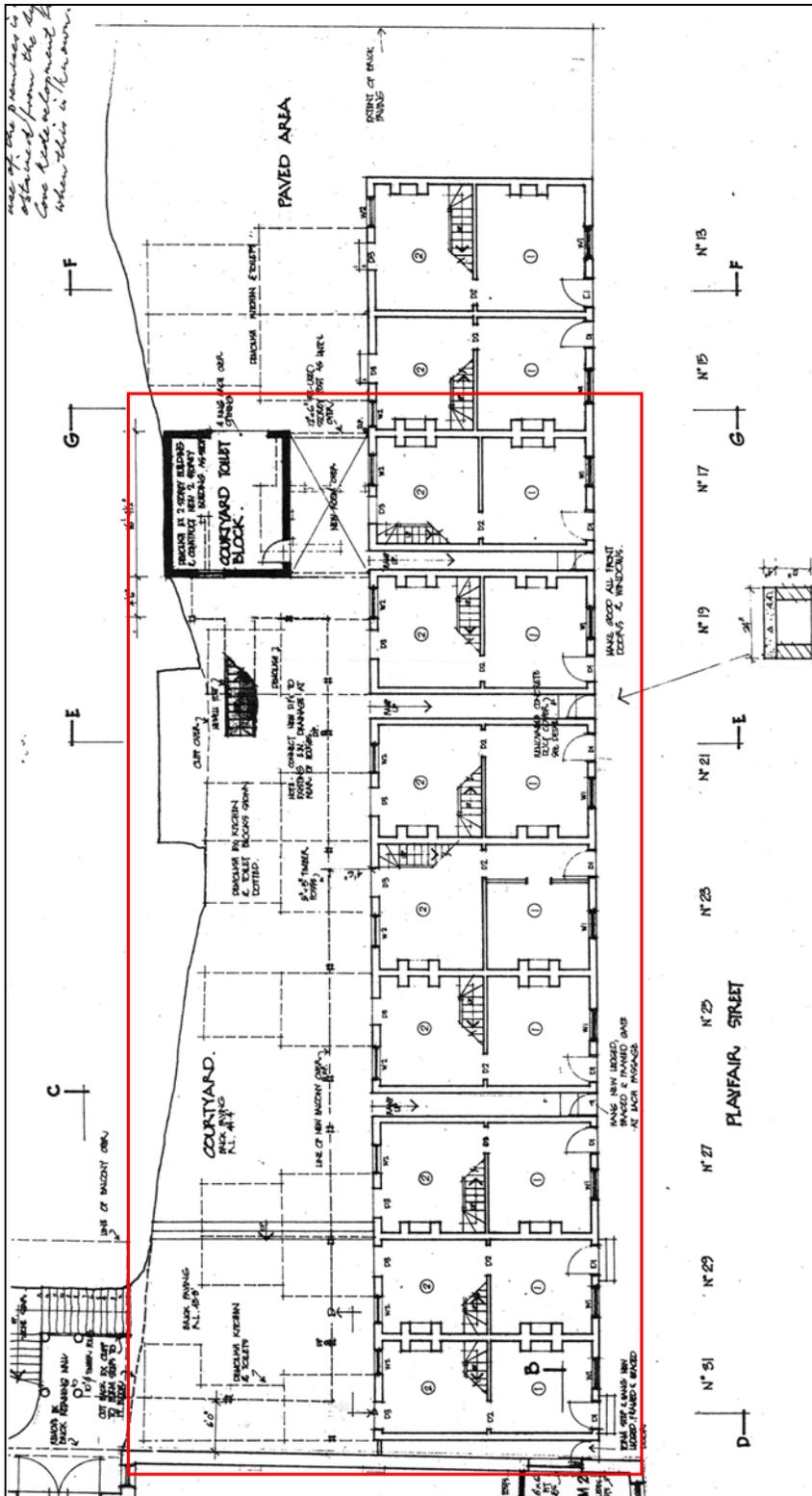


Figure 2.15 Ground Floor Plan prepared by Fisher Jackson Hudson Architects showing the proposed 1970s works. The outline of the rear wings and annexes are shown dotted. Note the proposed courtyard toilet block.

Revised drawings were prepared by the same architects in 1972 (**Figures 2.16 - 2.18**) and approved in January 1973.

It is not clear why, however, the detached toilet block behind and to the west of No. 17 was deleted and simple timber stair proposed in its place. Other changes, which are visible in the fabric today include:

- the removal of the stairs in No. 17;
- the removal of part of the cross walls and opening up of ground and first floor spaces in Nos. 13-17;
- the removal of all internal walls at the ground floor level of No. 17, including the wall to the adjacent passage, and removal of the stair;
- the creation of a new opening between Nos. 15 and 17 at both the ground and first floor;
- the addition of the male and female toilets within the eastern, first floor room of No. 17;
- the replacement of existing doors on the ground floor of the western façade to windows;
- the construction of a new staircase in the courtyard to provide access to the upper level of the Cleland Bond Store and to Gloucester Walk via Foundation Park;
- the enlargement of the rear, first floor windows to create doors to the new balcony;
- the removal of a section of the party wall between Nos. 29 and 31 and the removal of the stair to create open floor plan on both the ground and first floors; and
- the removal of the various hallway and stairway partitions.

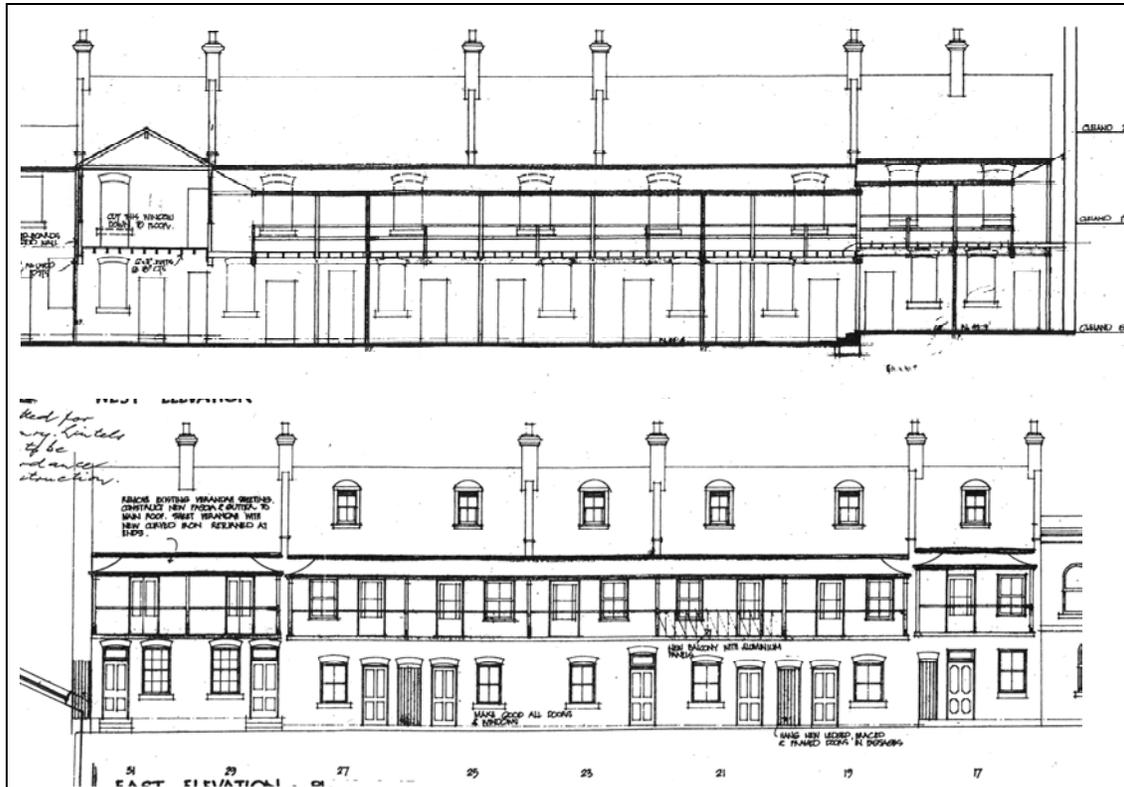


Figure 2.16 Elevations prepared by Fisher Jackson Hudson Architects indicating 1972 works. (Source: City Archives 1383/71)

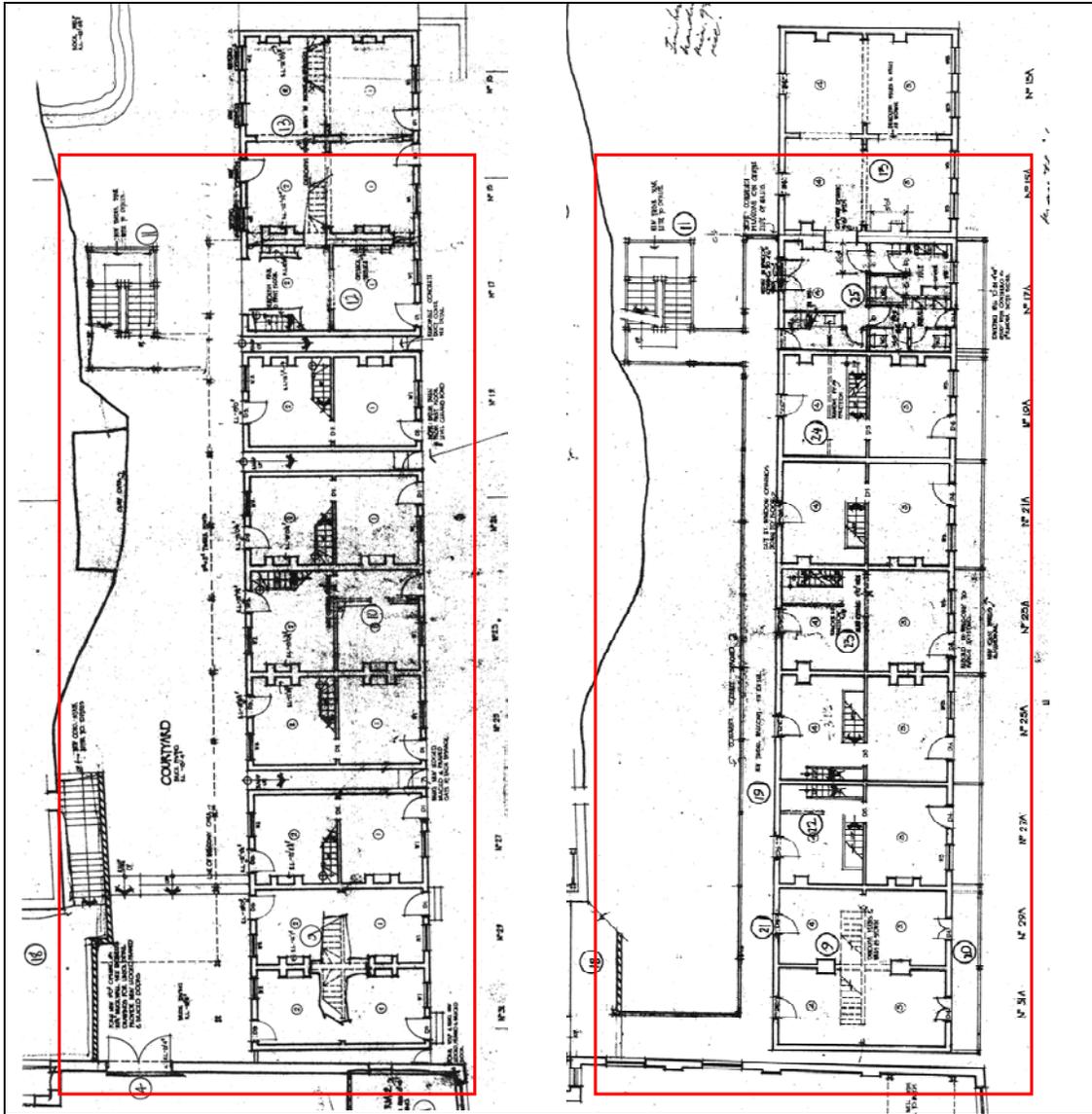


Figure 2.17 Amended floor plans prepared by Fisher Jackson Hudson Architects in 1972. Ground Floor above and First Floor (at right). (Source: City Archives 1383/71)

The proposed courtyard toilet block was deleted and a timber stair proposed in its place.

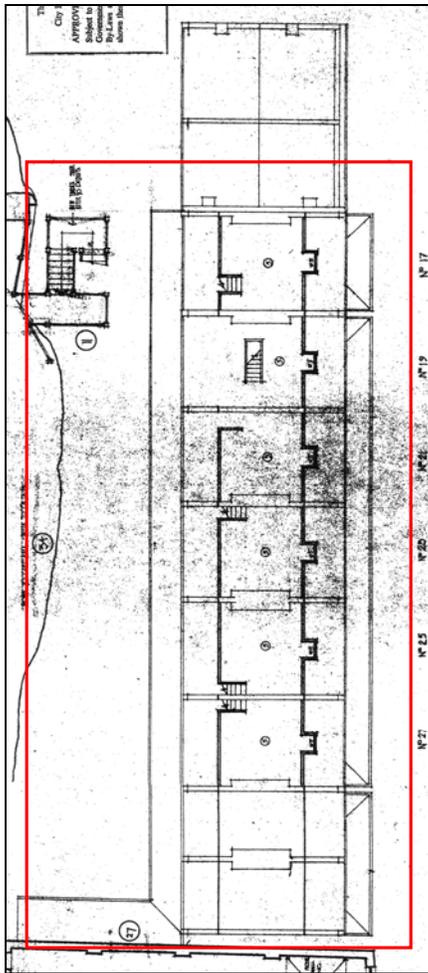


Figure 2.18 Amended drawings prepared by Fisher Jackson Hudson Architects in 1972. Attic Plan.

(Source: City Archives 1383/71)



Figure 2.19 A photograph showing the new timber deck and upper floor access spanning across the rear, western façade of Nos. 17-31, constructed as part of the 1972 works. The Cleland Bond Store is also accessed by the stair and walkway.

(Source: Foreshore Authority Archives PS 08)

The SCRA continued to make improvements to the area from this time. Playfair Street was laid out as a pedestrian precinct and landscaping to Foundation Park and Playfair Street was undertaken by Council on behalf of the SCRA in c. 1975. The SCRA approved works including the supply of thirteen tree containers, supply of soil mixture and appropriate evergreen trees and supply of seven benches together with fixing to the road surface as required.⁶⁷ The street was partially closed off to vehicular traffic and the area opposite the Argyle Stores redeveloped with new buildings. Other changes also included the opening up of the area opposite the site and formation of "The Rocks Square". The nineteenth century building alignment was defined by a shallow sandstone gutter and kerbing, with the narrow footpath on the western side of the street was retained.⁶⁸

A photograph dating from c. 1980s (**Figure 2.20**), shows the newly painted and restored buildings and paving and landscaping to Playfair Street. The buildings appear to be newly painted. The light wall colour is in contrast to the stone plinth/base which appears to be painted in a dark colour. The balconies have clearly been restored with "lace" balustrade reinstated. The photograph incates that the open passage between Nos. 17 and 19 , with simple timber boarded door, remained at this time.



Figure 2.20 The buildings c.1980s after restoration works. (Source: Foreshore Authority Archives PS 07)

⁶⁷ City Archives, File No. 788/78.

⁶⁸ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 39.

Another photograph taken of the buildings (**Figure 2.21**)⁶⁹ shows the occupied buildings. The addition of signage and repairs to the rendered northern facade are evident. The landscape works and partial closure of the Playfair Street is also evident. A number of bollards and reproduction light fixtures and lamps are located on the western side of the street, associated with the “historic” built context with modern lamps located on the eastern side.



Figure 2.21 The buildings c.1980s after the restoration works. (Source: Foreshore Authority Archives PS 11)

In 1988 an assessment of significance and conservation guidelines for Argyle Terrace (Nos. 17-31) and Foundation Park was completed.⁷⁰ The assessment included annotated plans of the terraces indicating the existing situation for the ground and first floor (see Appendix). The “loft” was not accessed at this time. Generally it noted:

- introduced fluorescent lights;
- doors high in moisture content;
- severe leaching in localised areas of brickwork;
- most stairs concealed for display purposes;
- carpeted floors;
- window and door joinery in situ; and
- ceilings generally plasterboard with no cornice.

⁶⁹ Foreshore Authority Archives, PS 11.

⁷⁰ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988).

Other notes on the drawing include:

Ground Floor:

- rendered and ashlar coursing and bricked opening on the front façade of No. 17;
- dampness on the internal face of the front facade on No. 19 and No. 21;
- timber flooring to No. 21 and No. 23;
- vinyl flooring to No. 25;
- a switch box on south eastern wall of the passage between Nos. 19 and 21 and introduced passage doors to passage between Nos. 25 and 27;
- the door access to No. 29 was closed with access via No. 31; and
- a partitioned storeroom in the western side of No. 31.

The plan shows the changes that were undertaken as part of the 1972 works such as the removal of the central section of the party wall between Nos. 29 and 31 and removal of the stair, internal walls and passage in and adjacent to No. 17. The ground floor uses are listed as follows:

17	Vacant
19	T-shirts
21	Souvenirs
23	Jewellery
25	Leather
29-31	Boomerangs

First floor:

- gutters are full to rear of No. 13;
- vacant shop/premises to no. 17A;
- good display presentation at west room and damp/salts damage to internal face of front, eastern façade and internal and external north western façade No. 19A. Impermeable paints used;
- two interior “windows” introduced in cross wall and new stair on northern wall of No. 21A;
- partition and private room in south eastern section of No. 23A;
- good shop notes in No. 25A;
- redirect exhaust through roof in No. 29A; and
- old joists insitu (evidence of lathe and plaster) and damp along internal face of western wall noted in No. 31.

The first floor uses are noted as follows:

17A	Vacant
19A	Glass
21A	Crafts
23A	Scottish
25A	Beads
27A	Leathers
29A-31A	Milk Bar

The plan also shows the 1970s balcony and stairs and notes the old stairs on the rock face in line with the rear of No. 27. A sketch of the signage on the west elevation balcony is also shown under the awning.⁷¹

⁷¹ Green, A., Anglin, L., *Argyle Terrace & Foundation Park 17-31 Playfair Street, The Rocks, Statement of Significance and Conservation Guidelines*, (1988) p. 37-38.

2.5.3 Sydney Cove Authority, 1990s works

In the late 1980s the Sydney Cove Authority was concerned about the under-utilisation of the Playfair Street precinct. By the early 1990s it was considering the future of the terrace, as it was realised that some maintenance works, as part of the revitalisation of the area, were required. Notes from a building inspection of the "Playfair Street Terraces", Nos. 13-31 Playfair Street dated 2 July 1992⁷² noted in addition to general painting, some specific concerns included;

- a large percentage of the front verandah timbers were rotten, especially Nos. 31, 29, 27 and 19;
- several of the front doors to Playfair Street and passageway had cracked and had loose joints;
- guttering to the front verandahs and main roof was corroded;
- flashing to the front verandahs was leaking;
- window frames were cracked;
- the rear wall of No. 17A had a large hole with wires projecting through;
- the rear wall next to door of No. 27A had a large crack;
- a large crack in the north wall of Sorrentos (No. 13, noted that it was an "old" crack which reappeared when the wall was repainted approximately 2 years prior); and
- poor discharge of some of the downpipes.

Internal items generally related to water leakage and water damage to the east and west walls and ceilings and its affects on the associated paint and timber joinery finishes.

In 1993 a number of studies and reports relating to the proposed maintenance and conservation works to the buildings were commissioned by the Sydney Cove Authority. A report prepared by Orwell & Peter Phillips Architects, dated January 1993, followed along the lines of the 1992 internal report. The purpose of the report was to examine the physical condition of the buildings comprising the "Argyle Terrace" and put forward proposals for remedial works which were in accordance with the conservation objectives for these buildings.⁷³ The report referred to the previous inspection and report and highlighted the main issues relating to the structure and water ingress.

Structurally, the report noted considerable cracking of masonry evident in both internal and external walls. Many of these had signs of previous repair and patching. The worst was at the northern end (Nos. 13 and 15) where steel ties had been inserted. From the location and appearance of the crack it was deduced that the eastern wall may be sinking for at least the northern half of its length, caused by inadequately consolidated ground and numerous excavations for services in Playfair Street over a period of time. It was recommended that a preliminary geotechnical investigation be carried out.⁷⁴

Structural problems with building timbers were attributed to water damage and affects of water. The water damage was seen as the result of failure of roof plumbing, especially the gutters and downpipes; failure of timber members, chiefly at joints; and failure or lack of a damp proof course (in the case of No. 17, in conjunction with construction of a ground floor concrete slab on fill).

The recommended remedial works included, at a minimum, the replacement of all gutters and downpipes and checking and repair of all flashings, ensuring that compatible materials be used. It noted that the whole of the roof was replaced in 1972 and the

⁷² Foreshore Authority, Building Inspection, RE 1199.01.01.

⁷³ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1.

⁷⁴ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1.

present roof, based on Colorbond steel sheet, was then 20 years old. It was therefore considered appropriate to consider full replacement, preferably with galvanised steel in short lengths to represent the traditional appearance of the roof and to ensure compatibility with the original lead flashings. It was considered that much of the damp issues would be “ameliorated” when the rainwater disposal system was made sound. The long term solution for No. 17, where the concrete slab on ground forced ground water and salts to rise up the walls, would be removal of the slab and construction of a new floor with adequate sub-floor ventilation.⁷⁵

Specific issues were noted on annotated plans of the buildings (**Figures 2.22 & 2.23**). The recommended repair strategy was, as a priority, to attend to the water damage and structural movement. Where timber structure or joinery was rotted, minimum replacement of the material was recommended. In the case of the rear balcony, it was recommended to remove the structure entirely. It was also noted that repairs to cracks and internal finishes should be left until the walls had been stabilised and moisture fully dried out. It recommended that cracks be repaired using a flexible material or a soft mortar (no cement) to ensure future movement does not damage adjoining masonry.⁷⁶

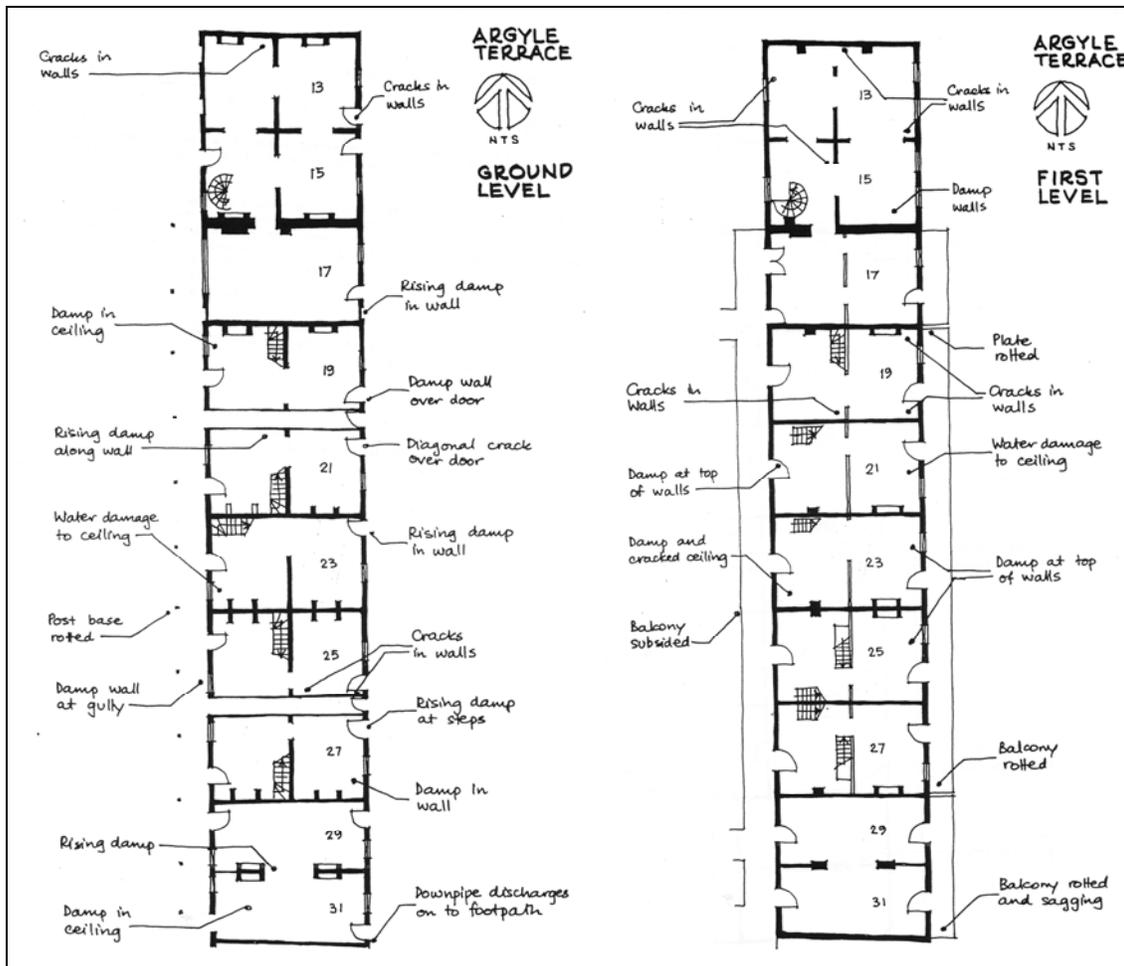


Figure 2.22 The annotated plans prepared by Orwell & Peter Phillips Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

⁷⁵ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.1-2.

⁷⁶ Orwell & Peter Phillips Architects, *Report Condition Survey Argyle Terrace, 13-31 Playfair Street, The Rocks* (17 January 1993), p.3.

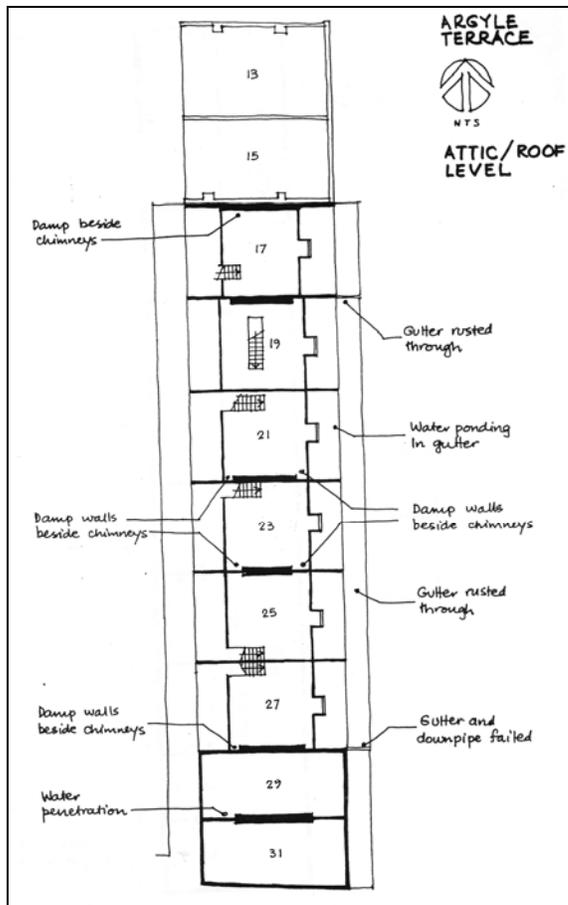


Figure 2.23 The annotated attic plan prepared by Orwell & Peter Phillips Architects.

(Source: Foreshore Authority Archives RE 1199.01.01)

As a result of the report's recommendations a geotechnical investigation was undertaken. Prepared by Mahaffey Associates Pty Ltd, the report dated February 1993, provided comments on the foundation condition, the type and bearing levels of footings and the probable causes of settlement which damaged the buildings. It noted that differential settlements are common for the type and age of the buildings. The recent cracking to the eastern and northern walls of No. 13, suggested marked differential settlement of the north eastern corner of the building. The damage at the time was graded as being slight to moderate and mentioned that "tell-tale" strips had been attached.⁷⁷

Prior to any stabilisation works being carried out, four bore holes were dug to investigate the situation. Two bore holes were dug at the north eastern and north western corners of No. 13 and two were dug in front of the eastern elevation, one at the southern end in front of No. 31 and one in front of no. 17. The bore holes suggested that the buildings were constructed on land reclaimed by filling over the floor of an abandoned quarry. The geology of the area was Hawkesbury sandstone and the report speculated that the exposed vertical face of sandstone to the west of the terrace may be the excavated face of an earlier quarry (although this is not supported by historical sources). There was a discontinuity between boreholes with footings on both loose fill and sandstone bedrock. The report recommended that underpinning would be required at some stage as a remedial measure to the settlement which in this case was found to be mainly due to mixed foundations; vibration compaction due to seismic event; construction works and

⁷⁷ Mahaffey Associates Pty Ltd incorporating Bemac Laboratories, Report No. GR181 Geotechnical Investigation of Settlements to the Argyle Terrace 13-31 Playfair Street, The Rocks, February 1993.

heavy traffic in the vicinity; loss of lateral support due to installation of services close to and parallel with the footings; and migration of fines and effects of water seepage.⁷⁸

In early 1993 Tropman and Tropman Architects were commissioned to prepare contract documents on the buildings including a Conservation Plan and dimensioned measured drawings.⁷⁹ Dated March 1993, the measured drawings (**Figures 2.24 & 2.25**) show the configuration and planning layout of the buildings at this time, including the timber deck and stairs along the western (rear) façade of the buildings.

The 1993 Conservation Plan noted that four of the five stairs in the Tara Group were blocked at first level to create separate tenancies within each terrace. The fireplaces of Nos. 23, 27 and 29 had been partly bricked up to reduce their size by this time. All fireplace surrounds and associated items had been removed and hearths patched with cement screeds at ground floor level and masonite sheets at first level.⁸⁰

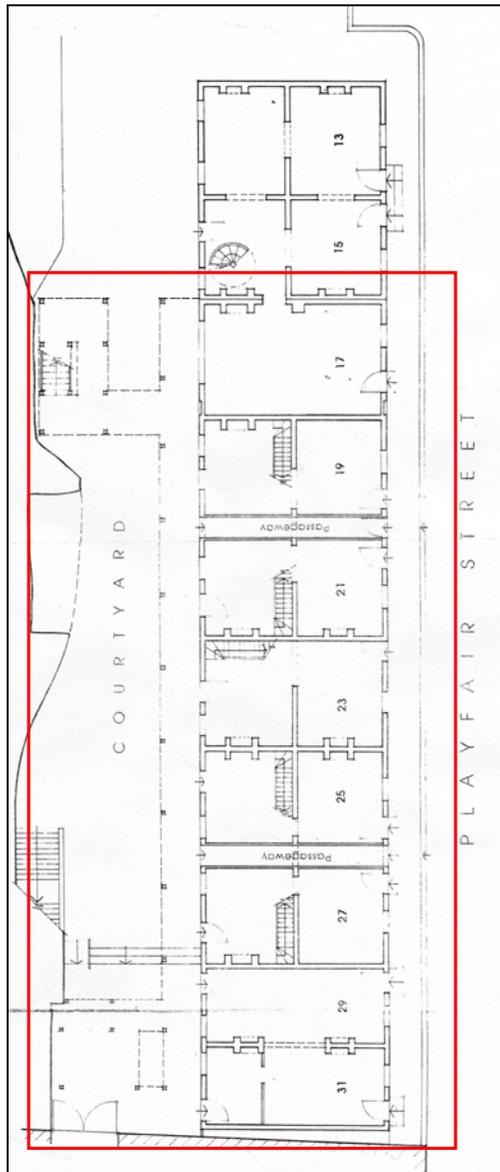


Figure 2.24 The measured ground floor plan prepared by Tropman & Tropman Architects.

(Source: Foreshore Authority Archives RE 1199.01.01)

⁷⁸ Mahaffey Associates Pty Ltd incorporating Bemac Laboratories, *Report No. GR181 Geotechnical Investigation of Settlements to the Argyle Terrace 13-31 Playfair Street, The Rocks*, February 1993.

⁷⁹ Foreshore Authority, RE 1199.01.01.

⁸⁰ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) p. 24.



Figure 2.25 The measured first floor (left) and attic (right) plans prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

In April 1993, Tropman & Tropman Architects also prepared a scope of necessary works for the Argyle Terraces at Nos. 19-31 Playfair Street, The Rocks. The contractor engaged to do this work, Noel T Leach Builders, completed these works, Stage 1 of the overall project in mid 1993. The remaining terraces, Nos. 13-17 Playfair Street, formerly Sorrento's Restaurant were not included in Stage 1 of the maintenance project as there was some uncertainty as to the requirements of a new operator. It was indicated that an operator expressed a willingness to lease the space for an Italian Restaurant. The proposed terms of the lease were to divide the work for fitout and maintenance between the SCA and the operator.⁸¹

⁸¹ Foreshore Authority, Memo dated 30 June 1993, RE 1199.01.01.

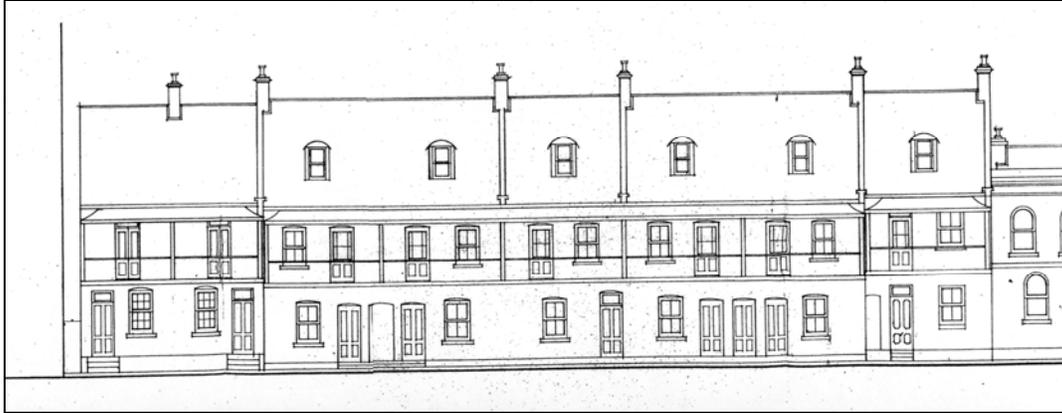


Figure 2.26 The east elevation prepared by Tropman & Tropman Architects. Note the door to the passage between the two doors to Nos. 21 & 19 and Nos. 19 & 17. (Source: Foreshore Authority Archives RE 1199.01.01)

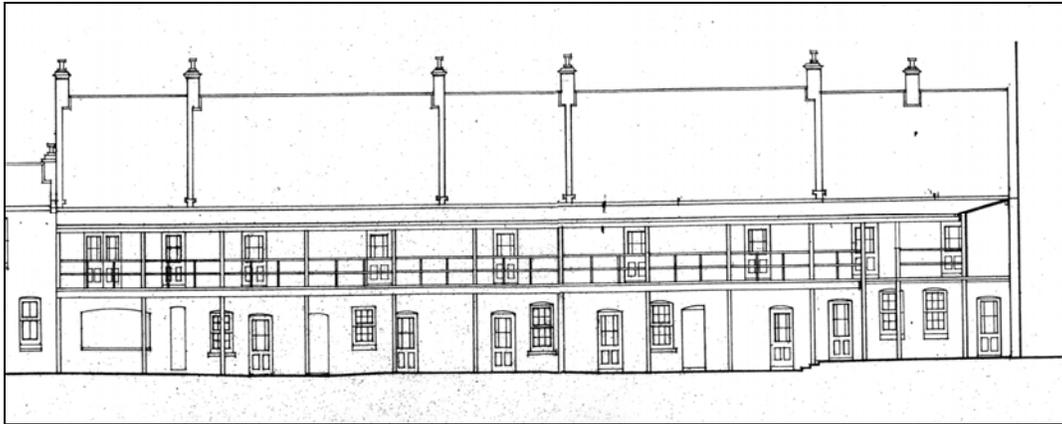


Figure 2.27 The west elevation prepared by Tropman & Tropman Architects. (Source: Foreshore Authority Archives RE 1199.01.01)

The proposed scope works generally expanded on the Phillips report. In addition to general repairs and overall painting of the buildings, the Schedule of Maintenance Works for Nos. 19 – 31⁸² recommended the following external works:

- patch and repointing of southern brick and stone wall;
- patching and replacement of drummy external render;
- repair of verandah timbers and refix roof of verandah;
- check and replacement of rotten tongue and groove flooring to eastern verandah to match existing and finish with three coats of tung oil;
- refix balustrade and handrails;
- repair and patch verandah roof cladding;
- repair and replace roof timbers, repair and refix cladding to main roof as required;
- provision of new oregon fascias;
- removal and replacement of existing gutters and downpipes and replace;
- check and supply new lead flashings; and

⁸² Tropman & Tropman, *Argyle Terraces 31-19 Playfair Street, The Rocks, Schedule of External Maintenance Works and Schedule of Internal Maintenance Works*, March 1993.

- check and patch rendered chimneys with compo render (one part Portland cement, two parts lime putty and ten parts sand).

It was also recommended that the western verandah, timber stairs and platform be checked and timbers repaired and made good. All framing, flooring, balustrades and handrails were to match the existing. Internally, in addition to provision of new fire services throughout, the works included:

- painting of all surfaces including skirtings, walls windows, doors and ceilings;
- provision of two manholes in the western sub floor areas of each of the terraces;
- vermin proofing and white ant proofing operations to sub floor areas;
- construction of new brick wall between the western and eastern chimney breasts in Nos. 29 and 31;
- repair and provision of new timber floor framing as required;
- patching and replacement of some timber flooring, finished with three coats of tung oil and sealer;
- patch and repair all skirting, replace as required to match;
- remove any fixings to walls and all metal and recent plugs;
- remove stud wall to No. 31;
- remove water damaged plasterboard ceilings and replace with new 13mm plasterboard set square;
- remove all exposed cabling and conduits, telephone cables and outlets and associated fixings;
- remove loose door furniture and bolts and make good;
- ease all doors and make good hinges;
- patch, repair and ease all windows, supply glazing bars and elements as required;
- remove any fixings and make good and supply sash catches and lifts as required;
- remove any shelving, mounted display boards and brackets and associated fixings from walls;
- replacement of some of the doors;
- removal of any internal partitions and elements such as blinds;
- refix newell posts, stair banisters and loose timber treads and winders; and
- remove any carpets from floors and associated fixings and make good floors.

Physical inspection today, indicates that these works, in association with some structural works were in fact carried out at this time. In addition, it is assumed that other works, such as the cutting back of hard paving along the front façade of the buildings and provision of a permeable fill to allow dissipation of moisture from the base and footings of the building was also undertaken at this time. Stage 2 of the works involved Nos. 13-17. The Schedule, dated June 1993, also prepared by Tropman & Tropman Architects⁸³ recommended the following external works:

- removal of all vegetation and making good of walls;
- patch all holes, check and replace drummy render and stabilise and repoint brickwork with compo render mix (one part Portland cement, two parts lime putty and ten parts sand);
- patching and repointing of the sandstone base;
- repairs to wall with compo render mix;
- repair and replace roof framing timbers as required;
- check and refix metal sheet roofing and replace all corroded and damaged fixings to match existing;

⁸³ Tropman & Tropman, *Argyle Terraces 13, 15 & 17 Playfair Street, The Rocks, Stage Two Schedule of External Maintenance Works and Schedule of Internal Maintenance Works*, June 1993.

- removal of existing box gutter to east side and replace and provide box gutter to return up parapet;
- check, refix, reshape and replace stepped lead flashing to parapets to main roof and over flashing to box gutter and then repoint to match existing;
- check, patch and rendered chimneys of flat and profiled surfaces;
- check over and replace rotten tongue and groove verandah flooring to match existing, prepare and finish with three coats of tung oil;
- check over all timbers of the eastern verandah and joists and replace, patch and splice, reglue as required;
- refix all balustrade panels and handrails;
- check, repair and replace roof timbers as required;
- check over and rust proof in situ ogee guttering to eastern verandah;
- check, repair and replace all main floor framing;
- check over and refix all metal sheet roofing including ridge capping, replace all corroded fixings to match existing; and
- replacement of existing sarking.

Internal works were also similar to those carried out for the other terraces. A sketch appended to the Schedule also noted specific works:

- relocation of distribution boards on ground floor on north western wall of No. 17 and south eastern wall of No. 15;
- demolition of the existing spiral stair and making good of floor and ceiling surfaces in south western section of No. 15;
- brick in of openings on ground floor in cross wall between the eastern and western rooms of the ground floor of No. 13; and
- construction of a new 1000mm wide stair case with details to march on the western side of the cross wall in No. 13.

The works to Nos. 13-17 were carried out by RE Charles Constructions Pty Ltd with works commencing after July 1993. Physical inspection of the building today confirms that these works were carried out. However, works such as the removal of the concrete floor slab in No. 17, recommended by the Phillips report, was not proposed or it seems carried out. The floor slab remains today. A list of variations, dated 21 September 1993 also indicates that the following internal works were also undertaken:

- brick up of reveal between first floor rooms to make opening original size;
- replacement of damaged floor structure to kitchen;
- brick up of window to kitchen;
- re-swing doors to Nos. 13 and 15 east elevation;
- alterations to stairs;
- two additional manholes to first floor;
- supply and provision of window locks;
- replacement of cracked glass; and
- replacement of the curved verandah roof.

A structural inspection and report on the condition and remedial work required to the timber walkway and stairs was also prepared by Birzulis Associates Pty Ltd. The report dated May 1993⁸⁴ noted that the majority of the posts had rotted bases being almost directly embedded into the ground and surrounded by pavers. The steel stools provided to separate these posts from the ground provided insufficient protection as they were not appropriately coated for corrosion and had rusted. Other defects to the rails and floor boards were also noted. The report recommended the replacement of timbers as required.

⁸⁴ Foreshore Authority Archives RE1199.02.01.

Plans dated June 1993 for the Caminetto Restaurant (**Figure 2.28**) show the layout of the combined areas. The proposed changes, which inspection today indicates were carried out, include:

- brick infill of the ground floor cross wall in No. 13, adjacent to the stair;
- rehangng of front entry doors of No. 13;
- brick infill around proposed pizza oven in No. 15;
- brick infill to opening on the ground floor western façade of No. 17;
- addition of cool room in south western section of ground floor of No. 17;
- cut in of a new door on the upper, western wall of No. 15; and
- creation of bar and reception area on the first floor, eastern room of No. 17.

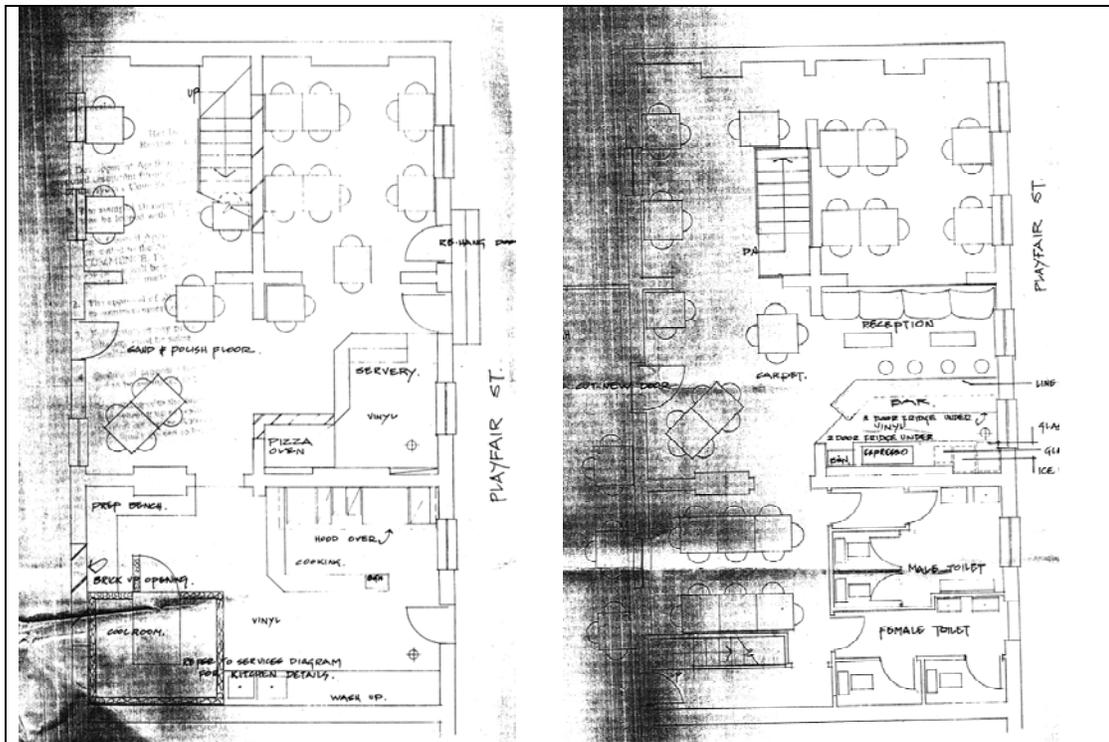


Figure 2.28 The plans for the Caminetto Restaurant in Nos. 13-17. (Source: Foreshore Authority Archives RE 1199.01.01)

Following archaeological excavations from 1993-1995 the SCA undertook to redesign Foundation Park to reveal the cultural significance of the site, whilst retaining its value as an open public space in The Rocks. It would appear that concerns relating to the stability and safety of elements added during the 1970s, including the timber deck and stair structure across the western facade of the terrace and connecting stairs to Foundation Park and Gloucester Walk also prompted the works. The primary objectives for the project included revealing, conserving and interpreting the extant fabric in the park and “pragmatic” issues including:

- providing egress from the top floor of the Argyle Centre to Gloucester Walk;
- reinstating earlier known pedestrian routes in order to link Gloucester Walk and Playfair Street; and
- replacing the “misleading” structure which had been added to the rear of the Playfair Street terraces in the 1970s with one that more “honestly” expressed their adaptation.⁸⁵

⁸⁵ Foreshore Authority Website, Interpretation of Foundation Park, p. 3.

The Authority decided to revitalise the Park by incorporating the newly found remains with significant fabric from the 19th century and 1970s in the new design. The archaeological interpretation was the main element in determining the design concept, however, issues such as maintaining much needed open space and pragmatic aims of access and egress were also important. The Authority commissioned renowned Australian landscape sculptor, Peter D Cole, to provide sculptures in the Park area.⁸⁶

The design and documentation of the works was undertaken in September – December 1995.⁸⁷ The “architectural” elements included the construction of the tower, at the southern end of the Park which interprets the form and levels of the terrace that occupied this area, and stairs and handrails (see **Figure 2.29**).⁸⁸

It is assumed that the timber structure and deck across the rear of the terraces were replaced as part of these works which was undertaken from February to September 1996.⁸⁹ Stairs were provided to correspond with the open passages in the terrace, to facilitate connection and access through to Playfair Street. Conservation works to the Park area comprised wall conservation, vegetation removal and stabilisation of existing walls.

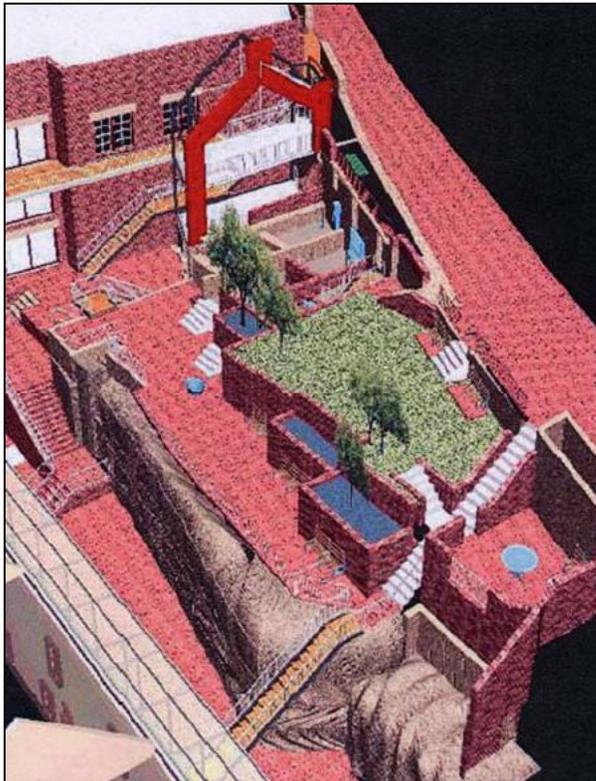


Figure 2.29 CAD image of Foundation Park showing the terraced layout, features, connections and stairs.

(Source: Foreshore Authority Archives Website)

It would appear that these were the last major works to be carried out to the buildings and site. Since this time the Sydney Harbour Foreshore Authority became the registered proprietor of the site and has continued to lease and maintain the place in association with the various tenants. By 2001 some repair works such as provision of metal angles in the wall/ceiling junction for hanging fixtures and modern display cabinets across the street frontage had been provided. Other minor repairs to the timbers of the front, eastern cantilevered balconies also appear to have been recently undertaken.

⁸⁶ Foreshore Authority Website, Interpretation of Foundation Park, p. 3.

⁸⁷ Foreshore Authority Website, Interpretation of Foundation Park, p. 7.

⁸⁸ Foreshore Authority Website, Interpretation of Foundation Park, p. 4.

⁸⁹ Foreshore Authority Website, Interpretation of Foundation Park, p. 7.

2.6 Analysis of History in Context

The documentary evidence indicates that the terraces were generally constructed as speculative residential buildings, a function which continued until the early 1970s. Since that time, after major adaptive works, the terraces have been leased for commercial use, retail and office spaces in both the ground and upper floor levels. The provision of an external stair and public walkway has allowed separate access and separation between the levels.

The evidence shows that the street was originally lined with residential development of similar scale with larger, multistorey buildings occupying the slopes of the escarpment behind and to the west of the buildings. The documentary evidence also suggests that the resident population tended to work in the area and as this focus shifted and port activities declined so did the population. The residential properties on the eastern side of Playfair Street and on Argyle Street were replaced with large scale commercial buildings and stores in the early decades of the 20th century. The nature of the streetscape was also altered by the setback of these buildings and widening of the road. The early sandstone flagging and kerbing remains as a reminder of the earlier alignment.

Successive management changes had little effect on the buildings until the 1970s, when it was realised that residential use could not really continue in the immediate context and when the adaptation to commercial premises resulted in some dramatic changes to the rear of the buildings. Whilst the front of the buildings retained their original form and some details were reinstated, all of the rear wings, rear and outbuildings were removed and the individual small yards were merged into one single courtyard and paved. Successive works in the 1990s sought to repair and conserve the building fabric to enable ongoing commercial use. This was supported by landscaping works and revitalisation of the area in front and to the east of the buildings (The Rocks Square) and works to Foundation Park to improve the open public space and pedestrian links and connections in the immediate context.

Since that time the Authority has continued to promote the commercial use and viability of the buildings with the installation of modern display cabinets, street furniture and features in the area in front of the buildings. A Tenancy Manual was produced by the Authority in 2001 to ensure that the terraces contribute strongly to The Rocks “experience” and that the individual tenancies work as an “integrated environment”. The document discusses the heritage value of the place and outlines permissible works, procedures and shop fitting guidelines.⁹⁰

2.7 Comparative Analysis

There are a number of late Victorian terraces which exhibit similar characteristics and were constructed around the same period as the subject buildings remaining in Harrington, Gloucester and Atherden Streets, The Rocks. These buildings are now generally used for commercial purposes and like the subject buildings provide a strong visual character to their diverse streetscapes.

The terraces located in the northern end of Harrington Street, closer to the intersection with Argyle Street including Nos. 55-71 and more specifically Nos. 42-52 (**Figure 2.31**) on the eastern side of the street are two storey, bald face terraces with gable roofs and similar simple openings and multipaned windows. Constructed between 1874 and 1880

⁹⁰ Sydney Harbour Foreshore Authority, The Playfair Street Terraces, 13-31 Playfair Street, The Rocks, part of The Rocks Square Precinct, Tenancy Manual, May 2001.

they date from the same period as Nos. 17-31 and feature similar scale and form, however, do not feature cantilevered upper storey balconies and exposed party walls. Nos. 61-65 Harrington Street (**Figure 2.30**) on the western side of the road also features a similar form with exposed party walls, however, were constructed a little earlier in the c. 1860s.

There are two groups of terraces located to the immediate north of the site in Atherden Street including Playfair's Terrace at Nos. 1-7 Atherden Street and Avery Terrace at Nos. 2-4 (**Figures 2.32 & 2.33**). However, constructed in 1880-1881, they are more comparable with the adjacent terraces, Nos. 13-15 Playfair Street with their simple parapet with profiled and projecting cornice.



Figure 2.30 Terraces on the north western side of Harrington Street including nos. 61-65 (mid shot).



Figure 2.31 Nos. 42-52 Harrington Street are two storey, bald face terraces which date from a similar period from the subject terraces and feature similar scale and characteristics to Nos. 17-27 such as the simple nature of the facades and pitched roof, but also differ in that they do not have exposed party walls or balconies.



Figure 2.32 Playfair's Terrace at Nos. 1-7 Atherden Street.



Figure 2.33 Avery Terrace at Nos. 2-4 Atherden Street, The Rocks.

There is a range of Victorian terraces remaining in Gloucester Street, ranging from Susannah Place constructed in the 1840s to more substantial Federation Terraces and tenements at Nos. 46-56 and Nos. 117-117A. However, these buildings differ in many ways to the subject buildings in terms of scale and form.

A grouping of terrace buildings generally dating from the mid 1880s to 1890s located at the intersection with Cumberland Street are the closest in age, however, generally are larger buildings and illustrate the prosperity and changes in construction techniques and methods used for residential buildings in the mid to late 1880s.



Figure 2.34 Terraces dating from the 1880s, located near the intersection of Cumberland and Gloucester Streets. The Rocks.

Perhaps the most comparable terraces with Nos. 17-31 Playfair Street are located in Kent Street, Millers Point. A continuous row on the eastern side of the road in particular exhibit the same two storey scale and form as the “Tara” grouping with gabled roofs, projecting party walls, cantilevered timber balconies with lace balustrade and regular openings. The buildings, particularly the grouping at Nos. 32-40 (**Figure 2.35**) and Nos. 56-62 (**Figure 2.36**) also feature passages between the various dwellings leading from Kent Street to the rear yards. Constructed a little earlier than the subject buildings in the 1860s, the buildings were also constructed as speculative residential properties although unlike the subject buildings they significantly continue to be used for residential purposes.



Figure 2.35 Nos. 32-40 Kent Street, Millers Point is a comparable grouping to Nos. 17-31 Playfair Street.



Figure 2.36 Comparable terraces at Nos. 56-62 Kent Street, Millers Point, also feature attic spaces with street facing dormer buildings.

3.0

Physical Evidence

The aim of this chapter is to describe the Playfair Street Terraces, Nos. 17-31 Playfair Street, The Rocks, in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

The site is located on the western side of Playfair Street which runs in a north south direction and is bounded by Argyle Street to the south and Atherden Street to the north. Playfair Street is now entirely a pedestrian street with vehicular traffic limited to service vehicles. The street was partially closed and paved in the 1970s and has since been entirely paved and landscaped as part of The Rocks Square development.

The site is part of a diverse context and streetscape. The built environment ranges from the Argyle Stores building, Nos. 12-20 Argyle Street, which was built in stages from 1826 and now incorporates the Cleland Bond Building at No. 33 Playfair Street constructed in 1913-1914, to The Rocks Centre additions which include a large, partially covered open square dating from the 1980-1990s. The Argyle Stores and Rocks Centre are located on the western and eastern corner respectively of Argyle and Playfair Streets. These buildings are currently undergoing some refurbishment works.

The changes undertaken to the street, including the realignment of the street and more recently constructed buildings opposite the subject site are visible and have been interpreted by the retention of street elements such as the early sandstone gutters and kerbing and the introduction of contrasting paving and street furniture. The pedestrian thoroughfare and open square are linked to Foundation Park and the Gloucester Walk via the two passages in the subject building.

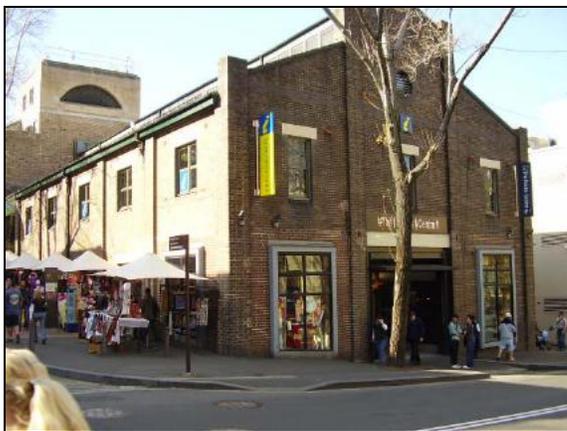


Figure 3.1 The Rocks Centre located on the eastern corner of Playfair and Argyle Street is a two storey face brick building. Originally constructed c. 1924, the building features a more recently constructed addition at the north end facing an open square and now contains a number of retail stores. The length of the building runs along Playfair Street which is a pedestrian street and is lined with market stalls on the weekends.



Figure 3.2 View looking north along Playfair Street from Argyle Street. The Argyle Stores (at left) is a tourist focus with retail, food and beverage outlets and features modern awning and glass enclosure associated with the restaurant/café (Lowenbrau Kellar) located in this section of the building.



Figure 3.3 View looking north along Playfair Street, the subject buildings are at mid shot. The Cleland Bond Store, No. 33 Playfair Street to the immediate south of the site is a four storey, face brick building now part of the Argyle Stores. The building features four bays to Playfair Street with suspended awning over the ground floor entry. The building is currently undergoing refurbishment works.

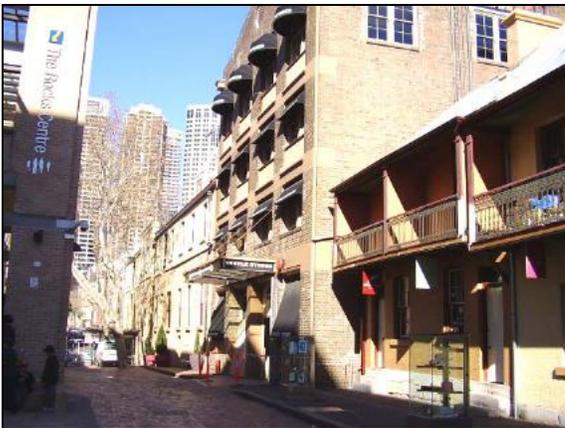


Figure 3.4 The Cleland Bond Store and Argyle Stores occupy the south western section of Playfair Street, to the immediate south of the subject site (Nos. 29-31 are visible at right).



Figure 3.5 The Rocks Centre is located south east of the subject sites and includes a modern multistorey addition with retail, food and beverage outlets which face The Rocks Square.

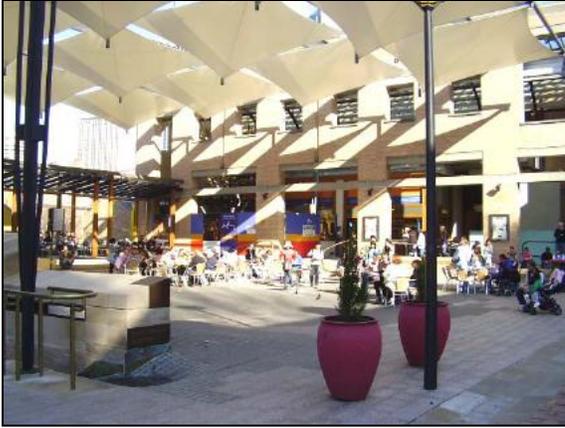


Figure 3.6 The Rocks Centre bounds The Rocks Square, a partially covered open space, which also fronts the subject buildings. Stairs at left provide access to and lead down to George Street North.



Figure 3.7 View of The Rocks Square looking east which features various masonry paving, a structural steel frame supporting the canvas shade cloth and modern street furniture and lighting. A number of food and beverage outlets surround the space.



Figure 3.8 View looking north east along Playfair Street from in front of the subject buildings. Modern display cabinets have also been added to the street frontage to assist the retail stores in the buildings. The former street alignment is interpreted in the various paving materials.



Figure 3.9 Diagonally opposite the site is a large five storey face brick former store building constructed in the Federation period.



Figure 3.10 View looking south along Playfair Street from Atherden Road. The varied scale and character of the street is evident. The former street alignment and end of street is also visible.



Figure 3.11 View of Atherden Street, looking east toward George Street North. The building context here also varies from the 1880s Playfair's Terraces (at left) to large multistorey Federation period warehouses to modern infill (mid shot).



Figure 3.12 An open area to the immediate north of the grouping provides open air dining space for the restaurant tenancy in Nos. 13-17.



Figure 3.13 Nos. 13 and 15 Playfair Street located to the immediate north of the grouping is a pair of terraces with continuous parapet with profiled cornice and arched headed openings. The façade is also mirrored about the concealed central party wall.



Figure 3.14 The rendered building sits on a face stone plinth and also features rendered moldings and window sills.

The internal connection with No. 17 is not apparent from the street façade.

The changes to street level and pedestrian footpaths are also evident in front of the building.

The subject site extends back, west of Playfair Street and is also bounded by the multilevel Foundation Park and the Gloucester Walk. Foundation Park is a terraced public area that retains remnants of the earlier buildings and development which originally lined this section of Gloucester Street, which has now been converted into a walkway.

The Park area was constructed in the 1970s and following archaeological excavations in the early 1990s, was refurbished and new interpretive components were constructed to recall the former dwellings and way of life. Stairs were also constructed at this time to provide safe access around the site and egress from the Argyle Stores and subject buildings.



Figure 3.15 View looking south west along Gloucester Walk. The subject buildings are just visible at left.

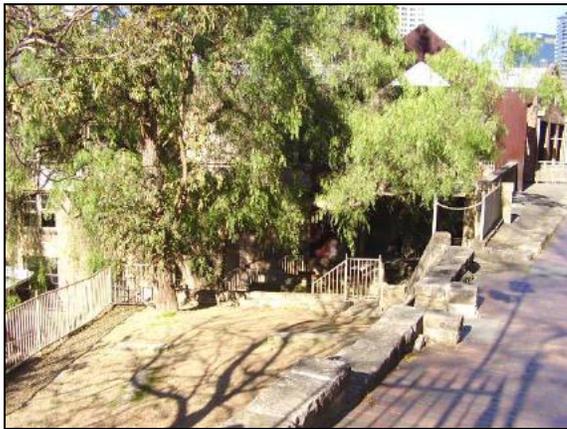


Figure 3.16 View of Foundation Park from Gloucester Walk. The pepper tree remains from the 1970 works. Some trees and shrubs were removed as part of the 1990s works to ensure ongoing conservation of the site elements.



Figure 3.17 Sculptures at the south western corner of the Park interpret the former terrace and dwelling that occupied this area. The “tower” element incorporates a stairwell and platforms below that provide a pedestrian link to Playfair Street but also interpret the various levels of the earlier dwelling.



Figure 3.18 Gloucester Walk continues to connect to Cumberland Street. Signs have also been incorporated to indicate the various pedestrian connections and destinations.

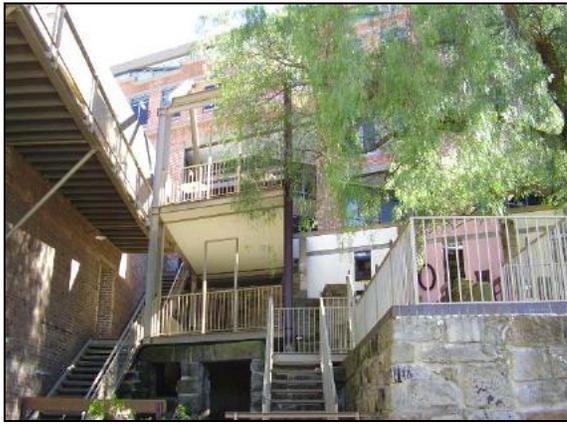


Figure 3.19 View of the “tower” element from the site. The Argyle Store is at left.



Figure 3.20 View of some of the earlier walls and terraced area conserved and “restored” as part of the 1990s works.



Figure 3.21 View of the Park, mid level looking north. The configuration and layout of the various dwellings and living spaces have been interpreted.



Figure 3.22 View of the interpreted spaces, at mid level.



Figure 3.23 The former relationship between the terraces along the Gloucester Walk alignment and subject buildings (at right) is clear.

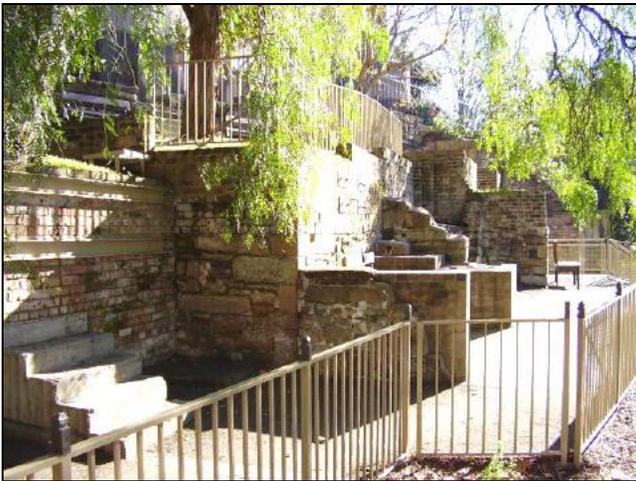


Figure 3.24 View of the Park looking north west.



Figure 3.25 View of the rock face and open courtyard between the subject buildings and Foundation Park area. Three stairwells provide linkages to the subject building and Playfair Street.



Figure 3.26 The southern stair which extends down from the tower and southern end of Foundation Park corresponds to the open passage between Nos. 25 and 27 Playfair Street and connection to Playfair Street.

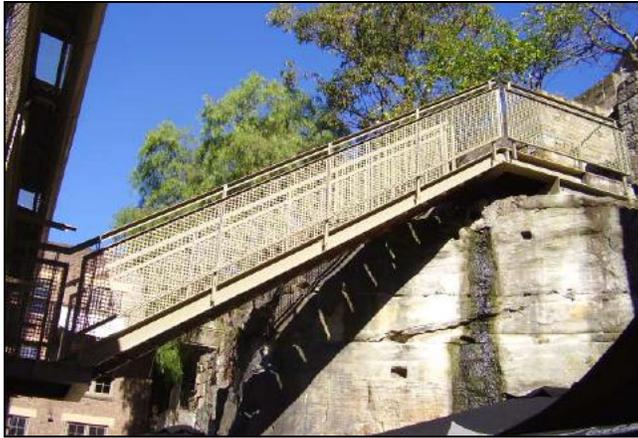


Figure 3.27 View of the northern stair which connects to the rear deck and walkway of the subject buildings.

3.2 Nos. 17-31 Playfair Street

The site is located at the north western section of Playfair Street and extends back to a rock face with open combined courtyard between. The terraces are highly visible when looking north and south along Playfair Street, partly due to their scale but also due to the pedestrian nature of Playfair Street, the form and kink in the street, widening of the road and set back of larger developments around the site. The buildings a continuous and congruous row which makes them prominent. The rear of the buildings and roofscape are also visible when travelling along Gloucester Walk, mainly due to the open nature of Foundation Park.



Figure 3.28 View of the buildings looking south west along Playfair Street.

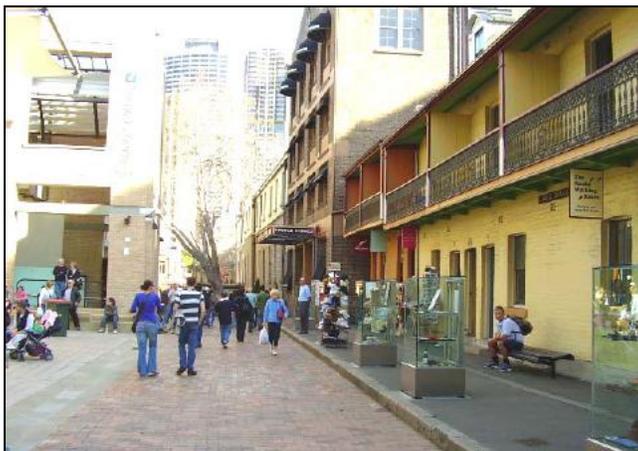


Figure 3.29 The buildings are highly visible and prominent in their streetscape as a continuous row and also due to their smaller scale and the setback of the buildings opposite. Note the display cabinets displaying merchandise from each of the shops on the footpath in front of the buildings. These were added prior to 2001 to assist the retail tenants in the buildings.



Figure 2.30 View of the rear of the buildings, roofscape and surrounds from Gloucester Walk.

3.2.1 Building Description

The subject buildings are a grouping of two storey rendered and painted terraces constructed in stages in the late Victorian period. The Playfair, eastern, façade is characterised by cantilevered timber balconies on the first floor, gable roofs clad in corrugated steel with exposed party walls and rendered chimneys with profiled caps and terracotta pots. Six of the eight, Nos. 17-27 also features dormer windows on the eastern, front roof slope and attic spaces.

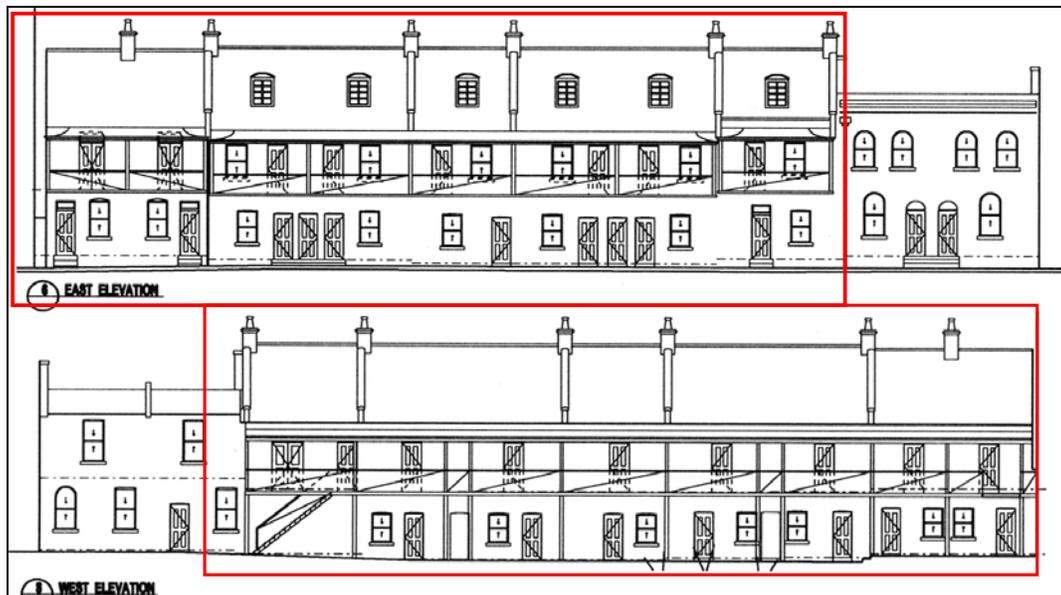


Figure 2.31 Building elevations (Source: Foreshore Authority July 2003).

The rear, western, façade of the buildings is dominated by a steel framed walkway with timber decking and stair spans the length of the buildings. The deck also provides egress from Argyle Store building located to the immediate south of the grouping. The buildings are not attached to the Cleland Store/ Argyle Store Building, a small gap is located between the buildings.

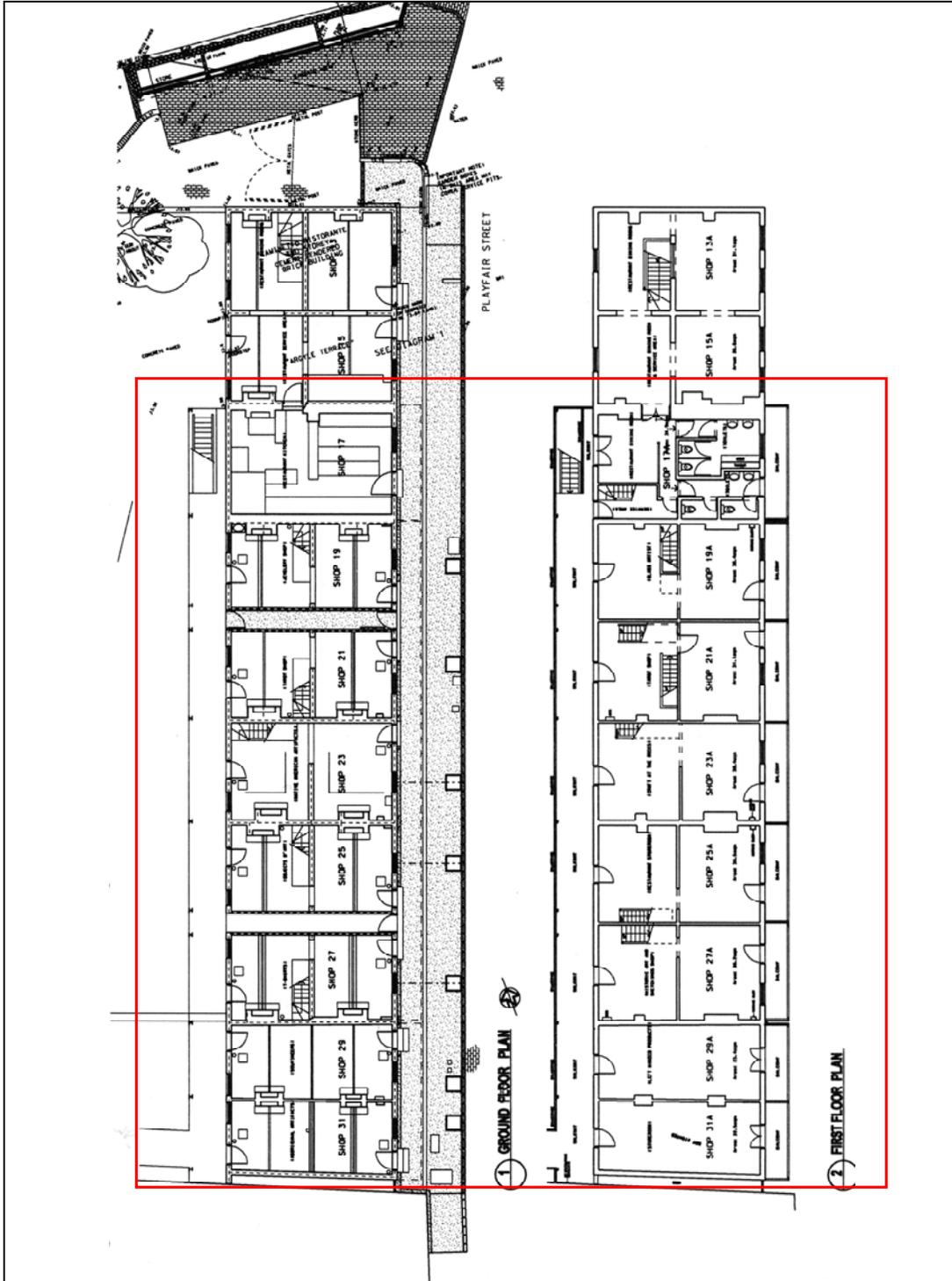


Figure 2.32 Ground and First Floor Plans (Source: Foreshore Authority, July 2003).

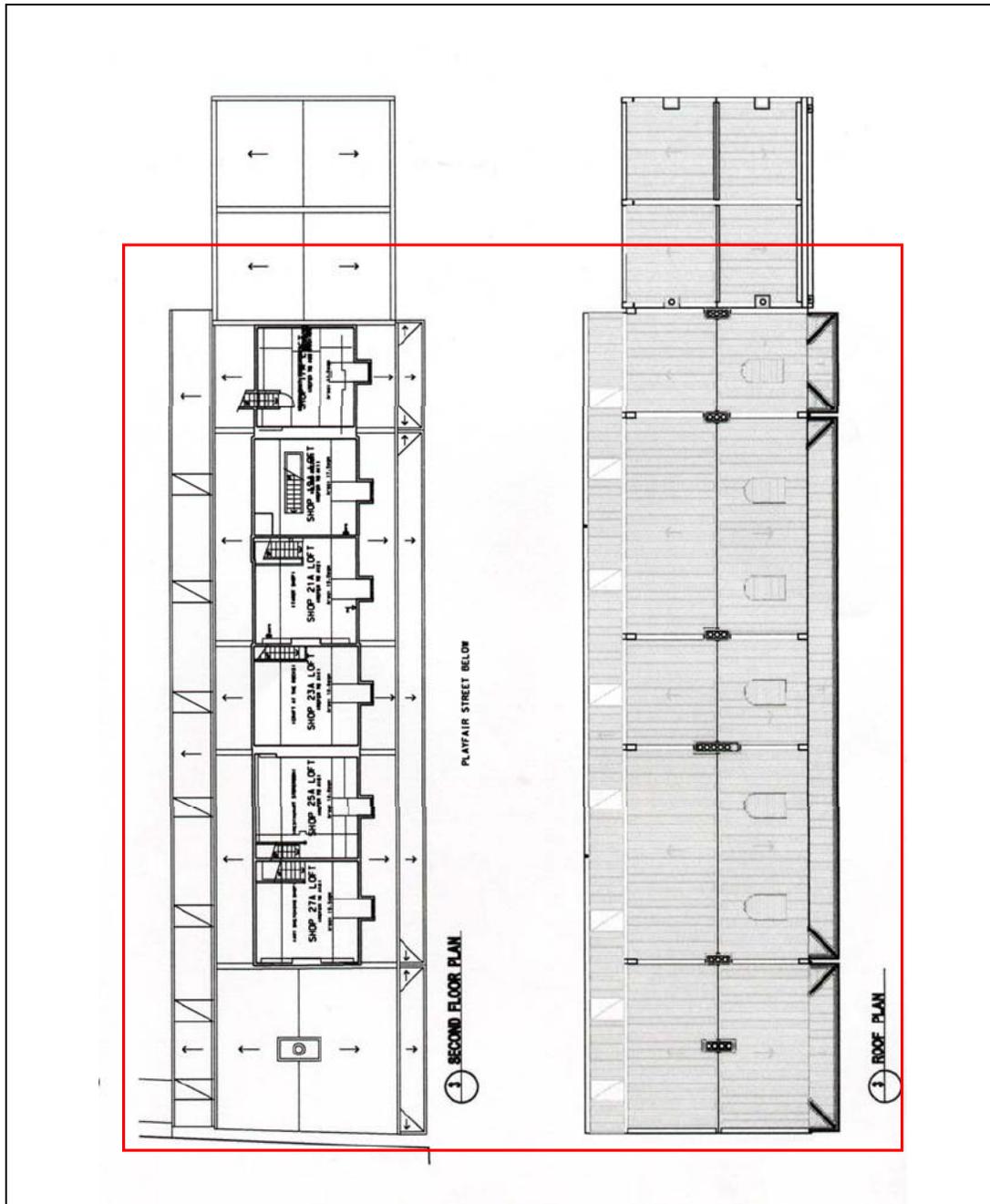


Figure 2.33 Attic and Roof Plans (Source: Foreshore Authority, July 2003).

The grouping has collectively been called the “Playfair Street Terraces” and “Argyle Terraces”. Nos. 19-27 have also been referred to as “Tara Terrace”. The Sydney Harbour Foreshore Authority Heritage Register refers to Nos. 13-15, as “Argyle Terrace” and Nos. 17-31 as Playfair Street Terraces. For clarity these names will be used in the description.

The terraces are currently mostly occupied by retail stores or offices. One, No. 25 is currently being used as a site office for a construction team working in the adjacent buildings. No. 19A is currently vacant and being painted.

The following description will generally note the condition of the spaces and fabric of the building. The condition assessment in this report uses the following categories:

Condition Ratings		Description
5	Excellent	Building or fabric element has no defects. Condition and appearance are as new.
4	Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
3	Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
2	Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exist.
1	Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

3.3 Identification of Fabric - External

3.3.1 Playfair, east elevation

It is clear from looking at the Playfair Street facade that the grouping was constructed in stages with slight differences evident between the two end and central grouping of terraces. Nos. 19-27, the central grouping and first of the grouping to be constructed comprises five terraces (two, mirror image pairs about a central terrace).



Figure 3.34 View of the Nos. 17 (at left) to 31 looking south west along Playfair Street.



Figure 3.35 Nos. 29-31 are located at the southern end of the grouping. The Cleland Bond Store, No. 33 Playfair Street, now part of the Argyle Centre, is located to the immediate south of the grouping.

Nos. 29-31 are a pair that differ from the other terraces in the grouping. The sandstone plinth course and ground floor level is slightly higher than the adjoining terraces, with three sandstone steps at both entries. The ground floor façade features single, multipaned double hung window and door opening with panelled door and glazed toplight over. A pair of timber and glass French doors with toplights over access the cantilevered balcony which features simple timber posts and cast lace balustrade.



Figure 3.36 The buildings are not attached to their neighbour to the south. There is a small “gap” between the subject grouping and the Cleland Bond Store (at left).



Figure 3.37 The floor level of Nos. 29-31 is slightly higher than the other terraces in the grouping. A cement screed has also been added to level the worn sandstone steps.



Figure 3.38 The junction between Nos. 29 and 27 which emphasises the staged construction of the terraces. There are differences including opening pattern, however, the first floor cantilevered balconies feature the same details including hipped curved roof. A simple timber strut has been added to the northern end of the balcony over No. 29.

The verandahs were reconstructed as part of the 1970s works and also repaired as part of the 1990s works. Some recent works and patching is also apparent.



Figure 3.39 The ground floor entry to No. 29 from Playfair Street. A cement screed has been added to the top step/ door threshold, however, wear and tear is evident on the lower two steps. Building tenants also use the external footpath to display merchandise and draw customers into the shop spaces.



Figure 3.40 Nos. 25 and 27 are mirrored about the central, ground floor passage that extends through the building. The southern pair of the grouping of five that were first constructed on the site, they are bounded by projecting party walls and rendered chimneys with profiled capping and terracotta chimney pots. The facades feature single window and door openings on both the ground and first floor. The ground floor features multipaned double hung windows, timber panelled doors with flat arch over with single, four pane window and timber and glass panelled door accessing the first floor balcony. The main roof which extends over both dwellings also features two dormer windows on the eastern, front roof slope with curved roof and double hung timber framed windows.



Figure 3.41 The head of the opening to the central passage which features a plaque acknowledging the SCRA restoration works.



Figure 3.42 The open, ground floor passage located between Nos. 25 and 27 features simple finishes including painted brick walls. A simple brick arch is located halfway.

This passage corresponds with a stair that leads up to Foundation Park and the Gloucester Walk.



Figure 3.43 The floor of the southern passage has been finished with concrete block pavers which it is assumed date from the 1970s works and remain in good condition.

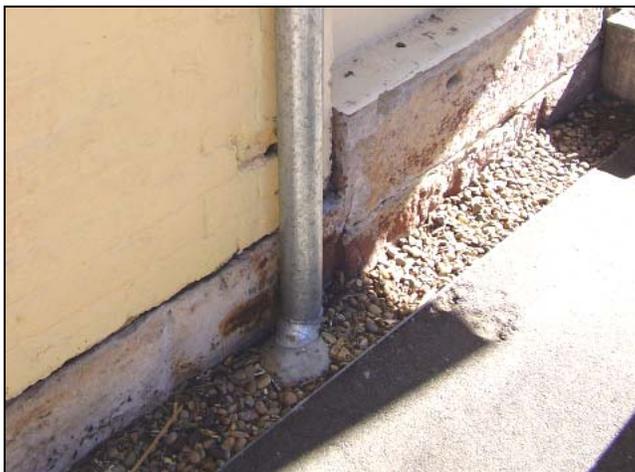


Figure 3.44 The hard paving in front of the buildings stops short of the sandstone base of the building and permeable fill provided to reduce moisture at the building footings. It is assumed that this was provided as part of the 1990s works. The gutters and downpipes also date from the 1990s works.



Figure 3.45 No. 23 Playfair Street is the centre terrace of the grouping of the five that were first constructed. The front façade also features single window and door opening to both the ground and first floors and single curved roof dormer window on the front, eastern roof slope. The ground floor door, however, also features a glazed toplight over.



Figure 3.46 The cantilevered balconies were reconstructed as part of the 1970s works and also repaired as part of the 1990s works. It is assumed that details matched the earlier form and fabric including the decorative bearers. The verandah framing appears to be in good condition, although some recent patching and repairs are evident at the northern and southern end.

A sign bearing “Argyle Terrace 1875-1877” has been fixed to the ground floor façade between Nos. 23 and 25.



Figure 3.47 Simple suspended signage has also been fixed to the soffit of the cantilevered balconies.



Figure 3.48 Nos. 19 and 21 Playfair Street located at the northern end of the central five terraces. Like Nos. 25 and 27, these terraces are located about the ground floor open passage that extends through the building and they share the same roof between the two end projecting party walls. Like the terraces to the south, they also feature single door and window openings to both the ground and first floor facades.

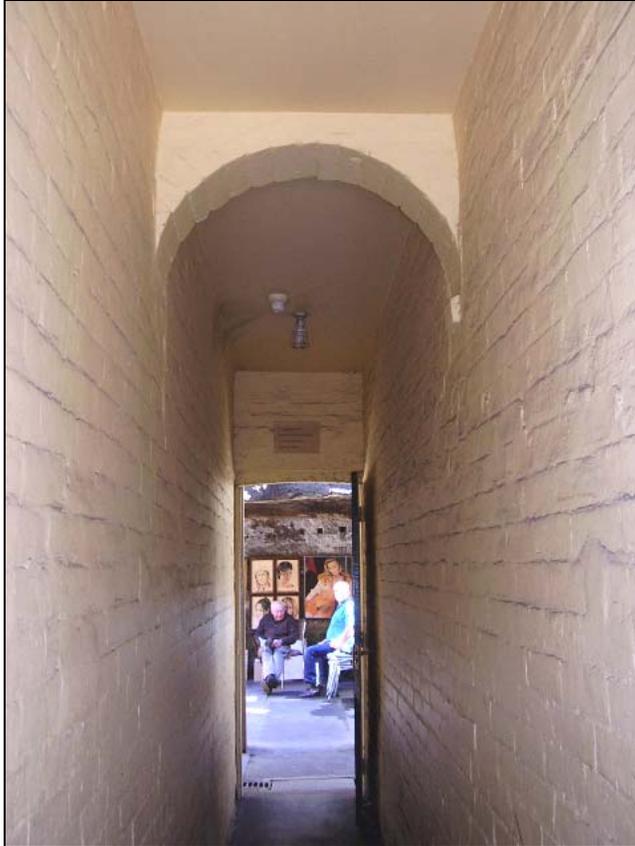


Figure 3.49 View of the passage between Nos. 19 and 21. Like the southern passage, it is simply finished with painted brick walls and also features a central brick arch.



Figure 3.50 The floor of the northern passage, however, features face stone along the wall/floor junction with asphalt finish between. It is assumed that the stone edging is original, it is not clear when the asphalt finish was added.



Figure 3.51 No. 19 Playfair Street.

Each of the terraces are fronted with a pedestrian footpath, which has been widened, the earlier alignments, however, are visible and interpreted by stone kerbing and paving.

Modern display cabinets have also been supplied on the pedestrian footpath for each of the ground floor retail tenants.



Figure 3.52 No. 17 Playfair Street is the only “single” terrace, however, internally has now been incorporated with nos. 13 and 15. The façade also features a single window and door opening on both the ground and first floor. Both the ground and top floor door openings also feature toplights. The ground floor also features a blind opening which was infilled as part of the 1970s works and conversion of the ground floor to a kitchen. The opening originally was part of a passage that provided access to a dwelling constructed at the rear of No. 17. The eastern roof slope also features a single dormer window with curved roof and double hung timber framed window with two panes on the top and bottom window sashes.



Figure 3.53 A rock face and Gloucester Walk bounds the western boundary of the combined sites including Nos. 13-15 Playfair Street.



Figure 3.54 The roofscape of Nos. 17-31. The roofs, party walls and associated chimneys and pots all appear to be in very good condition. The roof cladding was replaced in the 1970s and as part of the 1990s works.

A skillion roofed verandah runs along the rear of Nos. 17-31. Clad in corrugated steel, with some clear polycarbonate sections for light, it was also added as part of the mid 1990s works to Foundation Park. The northern stair (at left) provides connection between Gloucester Walk and Playfair Street.



Figure 3.55 Detail of the roofscape, Nos. 21-31.

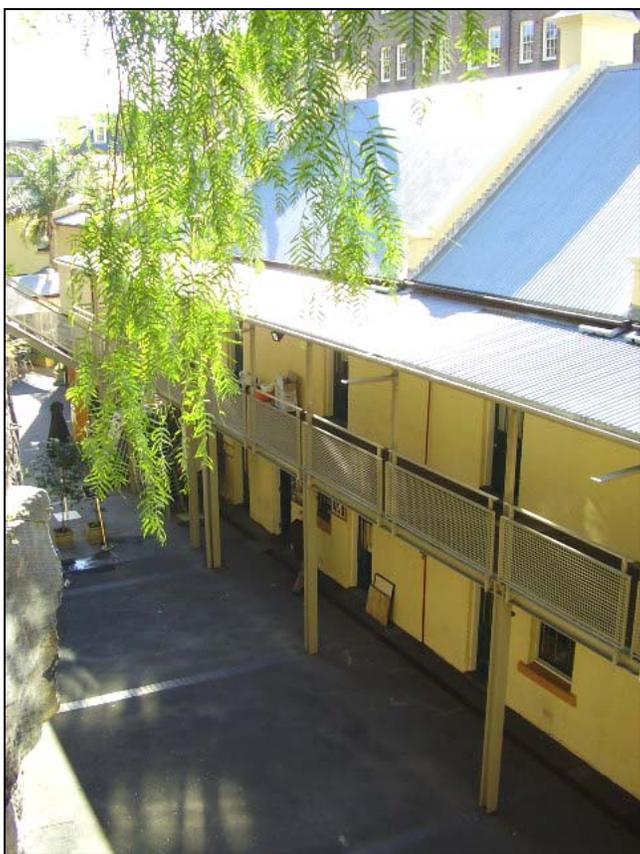


Figure 3.56 The painted brick, rear façades of the terraces are in good condition.



Figure 3.57 View of the open courtyard at the rear of the terraces looking north. The courtyard was opened up and formed as part of the 1970s works. The former boundary and fence lines are interpreted by brick paving.

The linking stair with Foundation Park and Gloucester Walk and steel framed deck were added in the 1990s.



Figure 3.58 View of the steel framed access walkway and deck that accesses the upper floor tenancies. Clear roof sheets have been incorporated to provide additional daylight.

The door openings along the desk were formed from original windows openings on the upper floors of the terraces as part of the 1970s works.



Figure 3.59 Detail of the steel framed roof to the western balcony and deck. The steel framing has been fixed to the painted brick facades.



Figure 3.60 View of the upper floor openings on the western façade of No. 17. The original window openings were altered and doorways formed as part of the original restaurant fitout works in the 1970s.



Figure 3.61 Detail of the upper floor door opening, western façade, No. 17.



Figure 3.62 The infilled, blind opening to the former open passage located on the ground floor between Nos. 17 and 19. The openings on both the eastern and western facades were infilled as part of the 1970s works.



Figure 3.63 The passage between Nos. 25 and 27 looking east toward Playfair Street.



Figure 3.64 The façade retains some earlier building elements and finishes such as hooded vents.



Figure 3.65 The rear façade generally retains original openings and introduced services and elements such as the stair and western balcony.

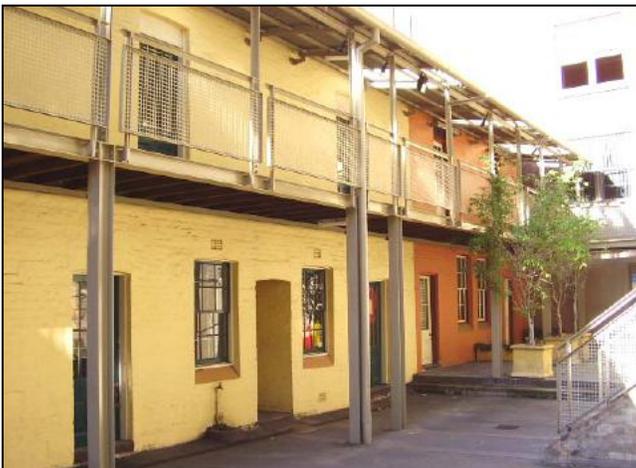


Figure 3.66 Rear facades of Nos. 25-31 looking south east.

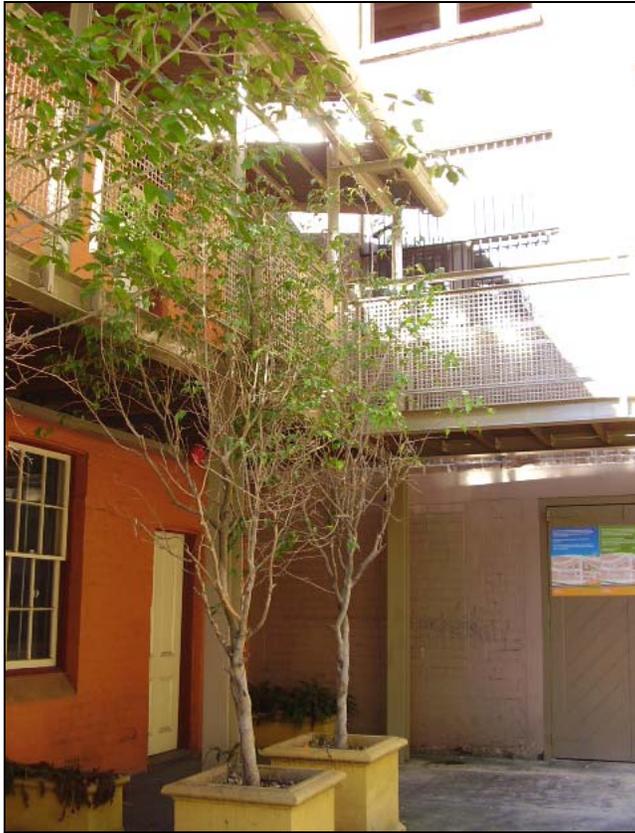


Figure 3.67 The southern end of the steel framed western balcony returns and both provides access/egress from the former Cleland Bond Store and connection to Foundation Park and Gloucester Walk.

3.4 Identification of Fabric – Internal

Internally the buildings are generally detailed and finished similarly. The interiors of Nos. 13-17 have been combined to form one tenancy, whilst others such as Nos. 19, 29 and 31 have separate tenants in the ground and first floors. The interconnecting stair remains in No. 19, however, has been “blocked” off. The interiors of the buildings are generally in good condition and well maintained by the tenants.

3.4.1 No. 17 Playfair Street



Figure 3.68 Nos. 13-17 are currently occupied by an Italian Restaurant. The main entry is at the rear of No. 15 (mid shot). An opening was formed in the party wall between Nos. 15 and 17, to access the restaurant kitchen which occupies the ground floor of No. 17.



Figure 3.69 View of the kitchen in the ground floor of No. 17. The south western corner features a cool room added as part of the 1990 restaurant fitout/refurbishment.



Figure 3.70 View of the ground floor kitchen looking east to the Playfair Street façade. The space features vinyl floor finish on concrete floor slab, ceramic tiles to the walls and modern stainless steel fixtures and fittings. The kitchen was originally created as part of the 1970s works to the building. The space now incorporates the open passage that existed between Nos. 17 and 19.



Figure 3.71 View of enlarged opening and doorway made in the upper, western party wall between Nos. 15 and 17 (1970s) leading to the rear, western room of No. 17. The transition between the two buildings is evident with a change in floor level and “step”.



Figure 3.72 View of the female WCs added to the front, eastern room of No. 17 as part of the 1970s works. The bathrooms, which feature lightweight stud walls and ceramic tile finishes to floors and walls have been upgraded with modern fixtures and features appear to be in good condition.



Figure 3.73 Narrow, timber stair access to the attic over No. 17. The stair, which features simple turned timber newell post and simple square balustrade is located in the rear, western room of No. 17. The stairwell is also partially enclosed by timber boarded partition. The stairwell and associated elements appear to be in good condition. The stair treads are slightly worn and retain evidence of several coats of paint and finishes.



Figure 3.74 View of the attic and dormer window on the eastern roof slope.



Figure 3.75 View of the northern wall and attic space which is simply finished with timber floors, plaster walls and raked ceiling which are in fair condition. A crack is visible to the right of the exhaust duct.



Figure 3.76 The attic features the exhaust from the ground floor kitchen added as part of the 1970s restaurant fitout.



Figure 3.77 A fan and services have been added to the attic space. The space requires additional ventilation as the mechanical equipment generates some heat in the confined area.

3.4.2 Nos. 19 & 19A Playfair Street



Figure 3.78 View of the eastern, front room and ground floor entry of No. 19.



Figure 3.79 View of the north eastern corner of the ground floor of No. 19. The rooms are simply finished and in good condition with timber floors, painted and bagged brick walls and plasterboard ceiling. An aluminium shadow line/track has been added to the ceiling and wall junction to allow hanging. A ceiling beam extends across the width of both rooms.



Figure 3.80 The front, eastern room of No. 19 retains a chimney breast on the northern wall with simple, flat arched opening. A concrete screed and step has been added to the hearth. A services duct, assumed to have been added as part of the 1990s works, extends up the north eastern corner of the room.



Figure 3.81 View looking west into the rear, western room of No. 19. Modern freestanding display cabinets integrating lighting have been introduced by the shop tenant.

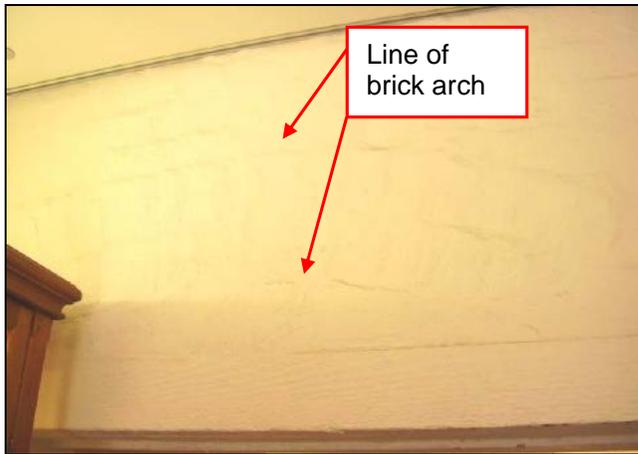


Figure 3.82 The shadow of a brick arch of the original opening in the cross wall remains over the enlarged opening.



Figure 3.83 A narrow timber stair with turned timber newell post, profiled rail and simple balustrade extends up the western face of the cross wall.



Figure 3.84 The stair remains, however, the opening above the stair has been infilled, with upper floor accessed from the western balcony and deck.



Figure 3.85 View of the rear, western room and entry to No. 19A (first floor No. 19). This space is currently vacant and in the process of being painted.



Figure 3.86 View of the blocked off stair between No. 19 (ground floor) and No. 19a. A cupboard has been formed around the base of the stair which continues up to the attic space.



Figure 3.87 The northern wall of the front eastern room retains the chimney breast with brick flat arched opening.



Figure 3.88 The north eastern corner of the front room features a service duct assumed to have been added as part of the 1990s works and window overlooking the eastern cantilevered balcony and Playfair Street.



Figure 3.89 View of the balcony spaces looking north.

The reproduction lace balustrade was reinstated as part of the 1970s works. The repairs and replacement of the verandah timbers were also undertaken during the 1970s and 1990s works.



Figure 3.90 Some of the balcony timber framing of No. 17 is in poor condition.



Figure 3.91 Simple timber screens have been added between the terraces and tenancy spaces as part of the 1990s works.



Figure 3.92 View of the openings on the eastern facade and access to the first floor balcony. The interior is typically finished.

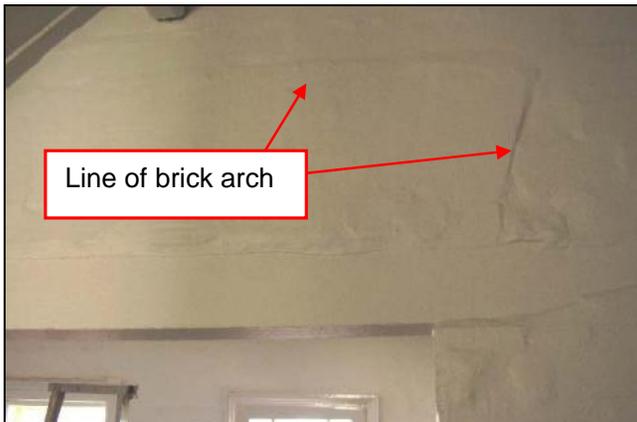


Figure 3.93 The brick arch of the original opening in the cross wall between the two rooms remains over the enlarged opening.



Figure 3.94 The western room features a chimney breast on the northern wall and timber stair extends up the cross wall to access the attic.



Figure 3.95 The stair to the attic features simple timber treads and post and rail balustrade.



Figure 3.96 The northern wall in the attic features splayed chimney breast. The space has generally been lined with plasterboard and features modern fixtures and fittings.



Figure 3.97 The dormer window overlooking Playfair Street.

3.4.3 No. 21 Playfair Street



Figure 3.98 No. 21 is occupied by an Art Gallery.

View of the chimney breast and ceiling on the southern wall of the front, eastern room.



Figure 3.99 View of the ground floor rooms looking west. The terrace is typically finished with timber floors, painted and bagged brick walls and plasterboard ceiling with aluminium angle at the wall/ceiling junction.

Like the other terraces, some patching and repairs to the timber floor is visible.

Track and spot lighting has also been added to the ceiling.



Figure 3.100 The back, western wall of the ground floor. Essential services and ceiling fans have also been added to the ceilings.

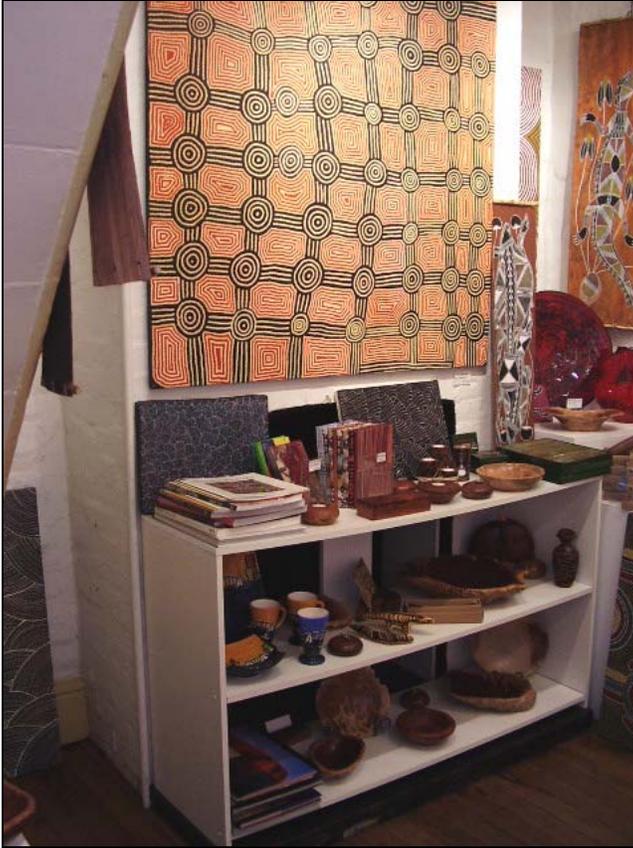


Figure 3.101 The rear, western ground floor room also retains a chimney breast with flat arched openings on the southern wall. A timber stair (just visible at left) extends up the central, cross wall to the first floor.



Figure 3.102 View of the ground floor looking east to Playfair Street.



Figure 3.103 View looking up the timber stair to the first floor. The stair features simple timber treads and risers and simple timber balustrade.

The stair appears to be in good condition. Some of the treads are slightly worn but are sound.

The adjacent wall retains some evidence of earlier patches and works.



Figure 3.104 View looking down the stair. The top of the stair is enclosed by a timber boarded partition.



Figure 3.105 View of the southern wall in the front, eastern room of the first floor which also retains a chimney breast.



Figure 3.106 The eastern façade on the first floor features single window openings with double hung timber framed window and simple architrave, and single glass and timber panelled door accessing the cantilevered balcony.



Figure 3.107 View through the door opening, between the two rooms on the first floor, looking west. The open tread, timber stair leading up to the attic is visible.



Figure 3.108 The western façade features single door openings with timber and glass panelled door which opens out to the western balcony and deck. The door opening was originally a window converted as part of the 1970s works.



Figure 3.109 The base of the open tread stair that extends up the north western wall to access the attic.



Figure 3.110 View looking up the attic access stair which features simple timber balustrade and rail.



Figure 3.111 View of the southern wall in the attic space that features splayed chimney breast.



Figure 3.112 View of the south western corner of the attic which appears to be clad in plasterboard and is in very good condition.



Figure 3.113 View looking down the attic access stair. A simple balustrade surrounds the stair void.

3.4.4 No. 23 Playfair Street



Figure 3.114 No. 23 is currently occupied by The Rocks Walking Tours office.



Figure 3.115 The front, eastern room of the ground floor is used as a reception area and features the original chimney breast with flat arched opening on the southern wall. Modern freestanding joinery cabinets and desks have been added to the space.



Figure 3.116 View looking east to Playfair Street through the two ground floor rooms.

The entry door to No. 23 also features a toplight.



Figure 3.117 The western façade of the ground floor. The original window and door opening which would have accessed the rear wings of the building have been retained. The joinery has generally been replaced and repaired as part of the 1970s and 1990s works to the buildings.



Figure 3.118 The southern wall of the western, ground floor room also retains the original chimney breast.



Figure 3.119 View looking down the timber stair to the first floor that extends up the north western wall. The stair to the attic is also located over the stair.

The stair features simple timber treads and risers. Whilst the treads are slightly worn, the stair is in good condition. The turned timber newell post and simple balustrade are also sound and in good condition.

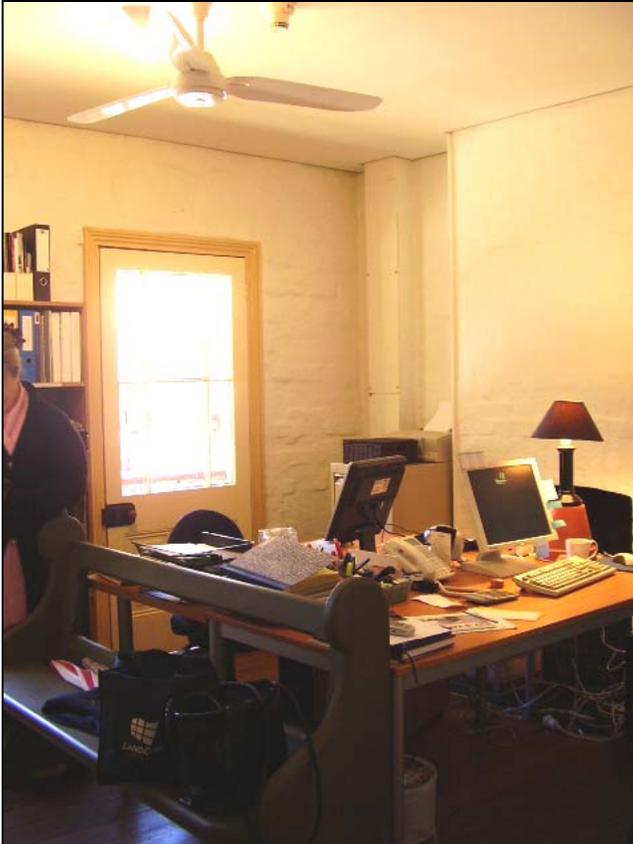


Figure 3.120 View of the south eastern corner of the front, eastern room on the first floor which is currently used as an office.

Like the other terraces the room features a plasterboard ceiling with modern light fixtures and services. A services duct, added as part of the 1990s works, extends up the south eastern wall.



Figure 3.121 View of the first floor, western room. A small chimney breast extends up the southern wall.



Figure 3.122 The stair well extends up the north western wall.



Figure 3.123 View of the simple and narrow stair to the attic. It is assumed that this stair is earlier than the attic stair in No. 21. The stair which is in good condition is detailed like an open tread stair but the soffit is lined with timber boarding that has also been painted. The treads are worn but sound.



Figure 3.124 The top of the attic stair is enclosed by a timber boarded partition.



Figure 3.125 View of the attic southern wall.

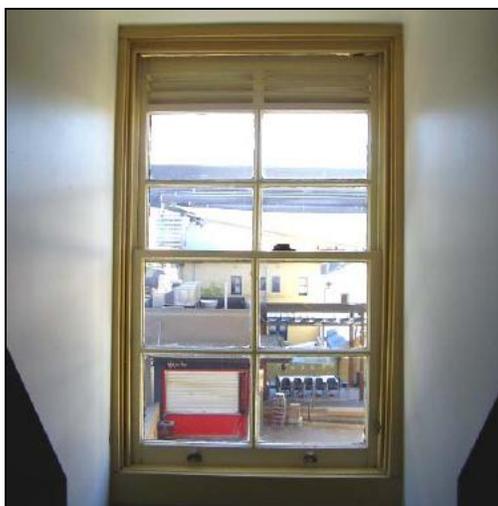


Figure 3.126 Typical attic dormer window.

3.4.5 No. 25 Playfair Street

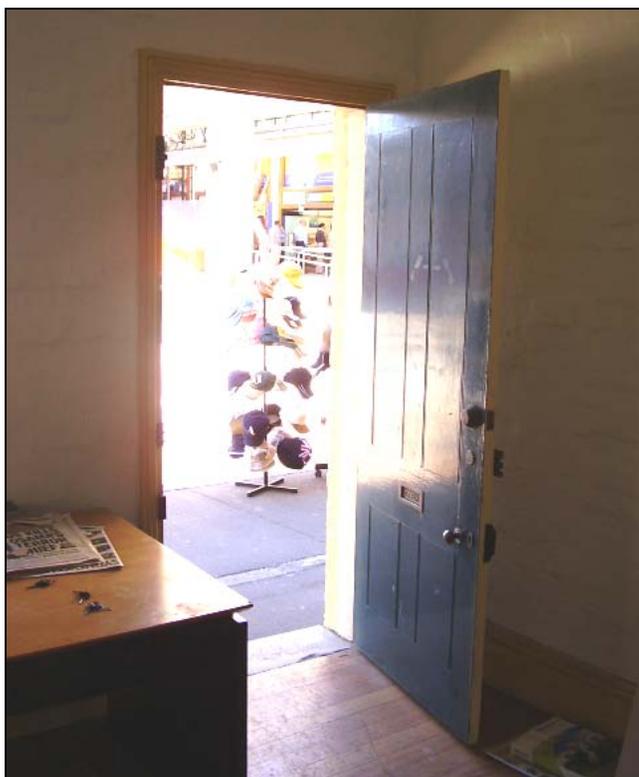


Figure 3.127 Typical entry door, with timber panelled door. Nos. 27, 25, 21 and 19 do not feature toplights over the entry doors.



Figure 3.128 The eastern wall on the ground floor.



Figure 3.129 The front, eastern room retains a typical chimney breast on the northern wall.



Figure 3.130 The rear, western wall features access to the rear courtyard and also retains a chimney breast with brick arched fireplace opening on the northern wall. The stair to the first floor (soffit just visible at top right) extends up the western face of the central cross wall.



Figure 3.131 View of the timber stair to the first floor which is in good condition and features simple turned timber newel post and simple timber balustrade.



Figure 3.132 The north western wall of the first floor features a narrow chimney breast. The stair void is enclosed by a simple timber balustrade.



Figure 3.133 The original window on the western façade of the upper level was converted into a doorway to provide access to the western balcony and deck.



Figure 3.134 The floorboards have typically been patched and repaired and replaced in areas. Here some shrinkage is visible, however, the floors appear to be in good condition and are sound despite some creaking in places.



Figure 3.135 View of the eastern wall and access to the eastern balcony overlooking Playfair Street.



Figure 3.136 View looking up what is assumed to be an early, if not original attic stair which extends up the south western wall of the second floor. The stair is the same, narrow type that also remains in No. 23 and whilst some of the treads are worn, is in good and sound condition.



Figure 3.137 View of the northern wall in the attic, with stepped brick chimney breast.



Figure 3.138 View of the top of the stair and south western corner of the attic, which is in very good condition.

3.4.6 No. 27 Playfair Street



Figure 3.139 No. 27 is currently used for a T-shirt and souvenir shop. The walls of the ground floor are generally obscured by freestanding display shelving and merchandise.



Figure 3.140 The western, rear room on the ground floor also features display units along the walls and service counter, just visible at left, in the north western corner.



Figure 3.141 The original brick arch over the former opening is visible on the western, ground floor wall.



Figure 3.142 View of the typical timber stair which extends up the western face of the cross wall. Like the other terraces, the stair treads are slightly worn, however, the stair and balustrade overall appear to be in good and sound condition.



Figure 3.143 View of the eastern wall on the first floor. Some steel security bars have been added to some of the openings in a number of the terraces.



Figure 3.144 The timber attic stair is an open tread stair that extends up the north western wall of the first floor. Like the stair in No. 21, the stair is wider and it is assumed replaced an earlier stair as part of the 1970s works. It is also clear that the treads have been subsequently replaced at some stage.



Figure 3.145 View of the southern wall in the attic with stepped chimney breast.



Figure 3.146 Detail of the attic ceiling/wall lining which is in good condition having been successively repaired and replaced.

3.4.7 Nos. 29 and 31 Playfair Street

Nos. 29 and 30 are currently occupied by three separate tenants, with two individual retail outlets in the ground floors and an office, occupied by a security firm occupying the combined space of the top floor of both terraces. The party wall between the ground floor chimney breasts was removed up and stairs between the ground and first floors of both terraces were removed as part of the 1970s works. The opening on the ground floor has since been infilled, however, the stairs were not reinstated. An opening was also made in the party wall on the first floor. This opening has been retained and has allowed combination of the space, although lightweight screens and freestanding furniture have been added by the current tenant.



Figure 3.147 View of the retail outlet occupying the ground floor of No. 29.

Nos. 29 and 31 differ from the other terraces in that no cross wall remains to define the original two rooms, however, several ceiling beams cross the ceiling.



Figure 3.148 View of the plasterboard ceiling that is divided into four bays by three ceiling beams that span the space.



Figure 3.149 The western section of the ground floor retail shop in No. 29. The space generally features timber floors, bagged and painted brick walls and plasterboard ceilings with modern fixtures and fittings. Free standing display units and shelving occupies the space. The large units along the walls also incorporate additional lighting.



Figure 3.150 The ground floor of No. 31 is occupied by an Opal and jewellery shop. A display and service counter runs the length of the open space.



Figure 3.151 Two simple brick chimney breasts remain on the northern wall of the ground floor of No. 31. The fireplace opening however has been concealed by a curtain. The wall between the two chimney breasts was removed as part of the 1970s works and reinstated during the 1990s.



Figure 3.152 View looking to the eastern wall and entry of the ground floor shop of No. 31. Track lighting has also been fixed to the plasterboard ceiling.

The spaces and floor and ceiling fabric are all in very good condition.



Figure 3.153 View of the office space on the first floor of No. 29 (No. 31 is the same).

Nos. 29 and 31 are narrower terraces and unlike the other terraces feature French doors to the upper, front façade, accessing the cantilevered balcony over Playfair Street.

The floor boards have clearly been patched and repaired and partly replaced and a new plasterboard ceiling has been added.



Figure 3.154 View of the large opening in the party wall of the upper floor of Nos. 29 and 31.



Figure 3.155 Detail of the toplight over the French doors to No. 29 which is not square. New ceilings and services were added as part of the 1990s works.



Figure 3.156 View of the entry of No. 29A. The access to the upper tenancy is via the western balcony and deck. The western openings to Nos. 29 and 31 also feature toplights. The doorways were formed from the original window openings as part of the 1970s works.



Figure 3.157 Some of the other openings along the western façade also may have featured toplights. The heads of a number of openings are not “square”.

3.5 Ability of Fabric to Represent Historic Themes

The State historical themes of Accommodation (Housing), Commerce and Domestic Life were used in the history to outline and structure the narrative of the development of the Argyle and Playfair Street Terraces within the context of the development of The Rocks.

The building fabric represents this historic theme of housing and domestic life by the retention of the fundamental scale and form of the buildings and use of standard “residential” building elements and components such as bagged and rendered brick, timber windows and doors and details on the verandahs and use of a standard layout of the time. This theme is also emphasised by the associated Foundation Park and its various components and interpretive material and displays.

The changes to the form and fabric of the terraces, such as the removal of the rear “service” wings, kitchen and bathrooms, and opening up of the individual rear yards and “modernisation” of the internal spaces represents the changing requirements and shift away from residential to commercial use in this locality.

The “commercial” uses of the building have been incorporated and work successfully in the buildings.

4.0

Assessment of Cultural Significance

4.1 Assessment of Significance

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 17-31 Playfair Street are historically significant as representative examples of mid to late Victorian terrace “worker’s” style residential development that was constructed during this period, particularly in areas such as The Rocks where residences in vicinity to places of employment were in demand. Together with the Atherden Street terraces and remnants in Foundation Park, they demonstrate the subdivision pattern that occurred in the period between 1870 and mid 1880s.

The terraces are representative of simple, low quality, high density speculative developments which were built during the mid to late Victorian period by developers keen to maximise profits.

The site of the terrace, which extends back to the rock face to the west, and adjacent Foundation Park is significant as it emphasises the difficulties faced when developing in The Rocks precinct due to the topography of the area.

The buildings are part of group that were the first restoration and revitalisation works undertaken by the Sydney Cove Redevelopment Authority, commencing in 1972. The project represented a shift in both the philosophy of the organisation and general approach and understanding of the history and development of the area. The resultant changes to the buildings and area are significant as they represent a shift away from the predominantly residential use of the immediate vicinity to commercial and public use of the area.

Criterion (b) - An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW’s cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 17-31 Playfair Street are associated with a number of government bodies who administered and later undertook major works to the buildings. These include the Sydney Harbour Trust, Maritime Services Board, Sydney Cove Redevelopment Authority and Sydney Cove Authority.

Nos. 17-31 are associated with several local businessman and land speculators who subdivided and developed the sites.

Criterion (c) - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 17-31 Playfair Street are relatively intact examples of worker's terraces constructed in the second half of the 19th century that retain their fundamental form and character. Despite the demolition of the rear wings and some internal walls and features the terraces retain a sense of their original two room configuration on each floor, original spatial qualities and simplicity of the interior and lack of decoration and use of attic spaces accessed via narrow stairs.

Together with Nos. 13-15 they demonstrate the changes in architectural style during this period with the simple and undecorated style of the terraces constructed during the 1870s (Nos. 17-31) in contrast to the slightly more decorated Nos. 13-15 which were constructed in the 1880s and feature Italianate decoration popular at this time.

The terraces are prominent elements in the Playfair streetscape primarily due to their smaller scale and are an integral part of a diverse residential/ commercial character of the place.

Criterion (d) - An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The Terraces at Nos. 17-31 are associated with a number of tenants, residential and more recently commercial occupants of no particular note.

The buildings were part of a development that became a slum that was, after some intervention, improved and revitalised so that the buildings could continue to be part of the social and economic life of The Rocks and Sydney in general.

The buildings have some association with the work of local community groups and green bans in that they mark a change of philosophy and regard for the existing built environment in The Rocks and contributed to the decision to retain and restore the buildings. The works undertaken in the 1970s became what was the first "restoration" project undertaken by the SCRA.

Criterion (e) - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

The Terraces at Nos. 17-31, despite some adaptive works, retain their fundamental form and character and many features of typical workers' terraces erected in Sydney during the mid to late Victorian period. However, the division of storeys, particularly Nos. 19, 29 and 31, confuses the interpretation of the buildings and their original form as individual dwellings.

With the adjoined terraces at Nos. 13-15, the grouping also demonstrates the changes of style in low scale residential accommodation between the 1870s and 1880s.

The buildings and site have scientific and research potential because of the archaeological resources that may remain below the floor and "backyard" areas that may

demonstrate the living conditions and construction techniques of modest dwellings in the late 19th century.

Foundation Park to the immediate west of the buildings contain items and elements of archaeological significance that demonstrate the living conditions and construction techniques of the late 19th century.

Their location and current use make them easily accessible to the public and contributes to their understanding. The connecting stair, walkway and platforms also assist the appreciation of the buildings and site elements.

Criterion (f) - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

There are a number of terraces constructed in the mid to late 19th century remaining in The Rocks area, however, the subject grouping is one of the only grouping of workers' terraces with cantilevered balconies remaining in The Rocks area. Similar examples, however, remain in Millers Point and other inner city suburbs such as Paddington and Surry Hills.

The Terraces with No. 13-15 Playfair Street are the only "residential" scaled buildings now remaining in Playfair Street which is now characterised by larger commercial buildings. With the Atherden Street Terraces these form an important reminder of the predominantly residential character of the immediate area.

Criterion (g) - An item is important in demonstrating the principal characteristics of a class of NSW's

- **cultural or natural places; or**
- **cultural or natural environments.**

(or a class of the local area's

- **cultural or natural places; or**
- **cultural or natural environments)**

Whilst the rear of the buildings have been altered and buildings are now used for commercial purposes the Terraces are good representative examples of late 19th century workers' and speculatively built dwellings that retain their fundamental "residential" form and character and relationship to the street.

4.2 Statement of Significance

The Playfair Street Terraces, Nos. 17-31 and site are of State significance for their historical and scientific values. The site and buildings are of State significance for their contribution to the character and qualities of the precinct and are significant for their contribution to The Rocks, which is of State Heritage Significance in its own right.

The Terraces at Nos. 17-31 Playfair Street are good examples of the typical workers' housing and terrace style of residential development and subdivision pattern that occurred in the mid to late Victorian period in Sydney. Largely constructed for the rental market, the buildings indicate the provision of minimal space to maximise profit.

With Nos. 13-15 Playfair Street, the buildings demonstrate the changes in architectural style during the 1870s and 1880s with the simple and undecorated style of the terraces of Nos. 17-31 in contrast to the slightly more decorated Nos. 13-15.

Despite the demolition of the rear wings and some internal walls and features the terraces retain a sense of their original two room configuration on each floor, original spatial qualities and simplicity of the interior and lack of decoration and use of attic spaces accessed via tight stairs.

The subject grouping is one of the only grouping of workers' terraces with cantilevered balconies remaining in The Rocks area, although similar examples remain in Millers Point and other inner city suburbs such as Paddington and Surry Hills. With the Atherden Street Terraces these form an important reminder of the predominantly residential character of the immediate area.

4.3 Curtilage

The Playfair Street Terraces at Nos. 17-31 Playfair Street are part of Lot 8 DP 246098. The Lot, as indicated on the plan (**Figure 4.1**) extends across the front building line of Nos. 13-31 and includes No. 33 Playfair Street. The western boundary follows the rock face and line of the walls to the west of the site and also includes the open area to the north of Nos. 13-15 Playfair Street.

The recommended curtilage of the Terraces can be defined by the line of the rock face to the west of the buildings, the rear boundaries of Nos. 1-7 Atherden Street to the north and the adjacent footpaths along the Playfair Street frontage. This curtilage represents the original site proportions and "residential" character of the area and does not include No. 33 Playfair Street.

The visual curtilage is far broader with views of the dwellings currently from the south from the intersection of Playfair and Argyle Streets and north from Atherden Street and George Street North. There are also views to the buildings through the Rocks Square and adjacent stair and laneway to George Street and along Gloucester Walk. The expanded curtilage may also include Foundation Park, on the escarpment, to the immediate west of the site and buildings, Playfair Street and The Rock Square.

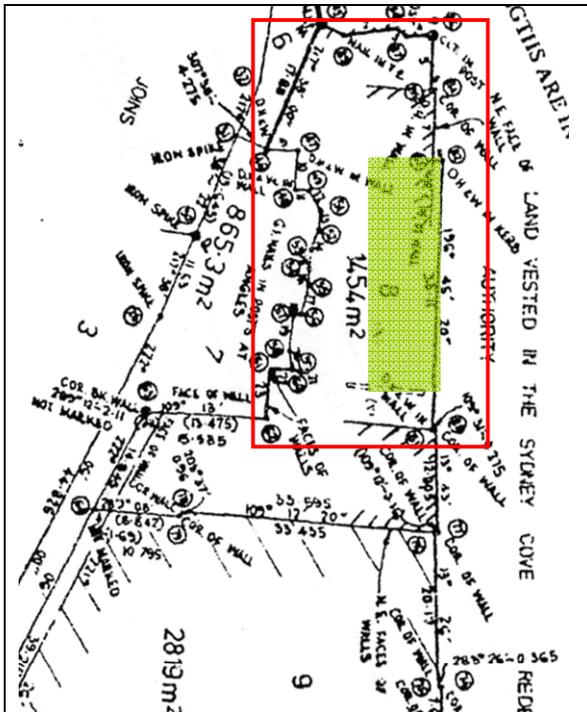


Figure 4.1 Lot 8 DP 246098 which also includes Nos. No. 33 Playfair Street, the former Cleland Bond Store, now part of The Argyle Store complex to the south of the terraces. The recommended curtilage of the buildings does not include No. 33 Playfair Street, however, extends to the footpath in front of the buildings.

(Source: Department of Lands)



Figure 4.2 The recommended curtilage of the buildings follows the line of the rock face to the west, incorporates the open area to the north of the terrace grouping and also includes the original footpath in front of the buildings.

The expanded curtilage includes the open space around the terraces including Foundation Park, Playfair Street and The Rocks Square (at right).

(Source: Foreshore Authority)

5.0

Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item (or the degree to which the significance of the item would be diminished if the component were removed or altered). The Terraces at Nos. 17-31 Playfair Street have been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness and general condition
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

In accordance with the NSW HO Guidelines for Assessing Heritage Significance, the standard NSW HO five-grade system has been modified to assess individual contribution of each element to the overall significance of the item. The following five grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

LITTLE SIGNIFICANCE

Includes fabric generally neutral in heritage value. Also includes most of the fabric associated with recent alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

INTRUSIVE

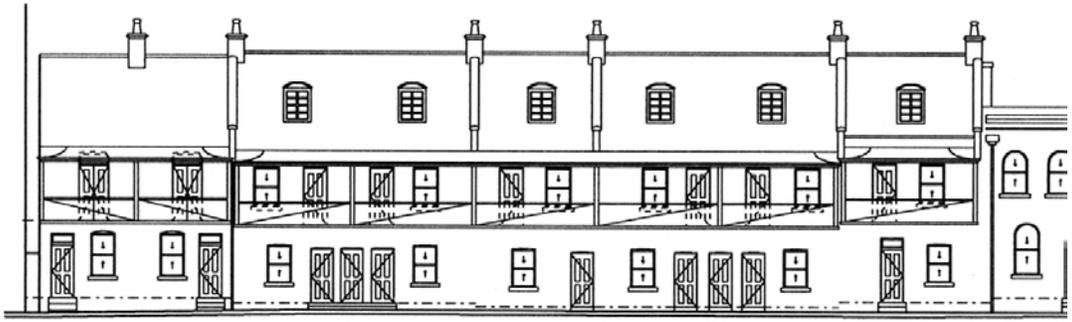
Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this

category would directly increase the overall heritage value of the item. It is anticipated that much of the fabric created in the recent decades may be in this category.

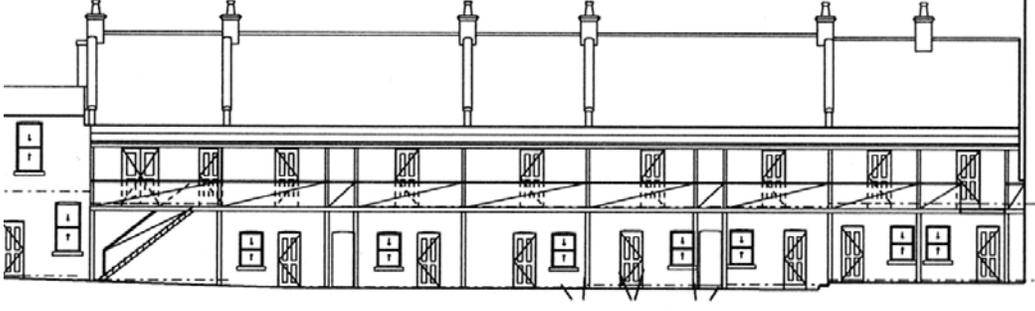
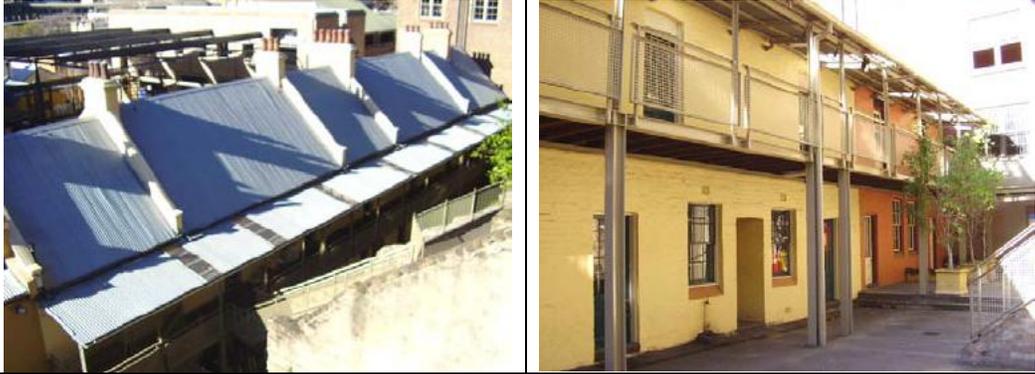
This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of the Playfair Street Terraces at Nos. 17-31 Playfair Street and their various elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

5.1 Grading of Significant Elements and Spaces

5.1.1 External Elements

Eastern (Playfair Street) façade and side elevations	Level of Significance
 <p data-bbox="289 1098 456 1129">EAST ELEVATION</p>	
<ul style="list-style-type: none"> ▪ The overall form, height and scale of the façade including the gable roof, parapets and chimneys. ▪ The dormer windows with curved roof to the eastern roof slope of Nos. 17-27, but not the cladding. ▪ The form and detail of the first floor balconies/ verandahs but not the fabric including timber framing, iron railings, roof framing and cladding. ▪ The brick walls and existing opening pattern including the blind recess on the ground floor face between Nos. 17 and 19 and passage openings between Nos. 19 and 21 and Nos. 25 and 27. ▪ The face stone plinth course/ base of the buildings. ▪ The sandstone kerbing in front of the buildings. 	<p>EXCEPTIONAL</p>
<ul style="list-style-type: none"> ▪ The face brick finish to the southern facade. ▪ The brick arches over openings and stone sills. ▪ The double hung timber framed windows, panelled doors and toplights. ▪ The sandstone door thresholds and steps. 	<p>HIGH</p>

Eastern (Playfair Street) façade continued	Level of Significance
	
<ul style="list-style-type: none"> ▪ The bagged finish to the façades. ▪ The timber roof framing. 	MODERATE
<ul style="list-style-type: none"> ▪ The cantilevered balconies/ verandah timber framing and cast lacework which have been successively replaced and repaired. ▪ The verandah roof and main roof cladding. ▪ The cladding to the dormer windows. ▪ The terracotta chimney pots. ▪ The gutters and downpipes which have been replaced. ▪ The suspended signage and plaques fixed to the building. ▪ The pebble buffer and asphalted pedestrian footpath in front of the buildings. ▪ The modern display cabinets on the footpath in front of the buildings. ▪ The moveable furniture and planter boxes in front of the buildings. 	LITTLE
<ul style="list-style-type: none"> ▪ The various steel security grilles to door and window openings. ▪ The infill to the door of No. 17. 	INTRUSIVE

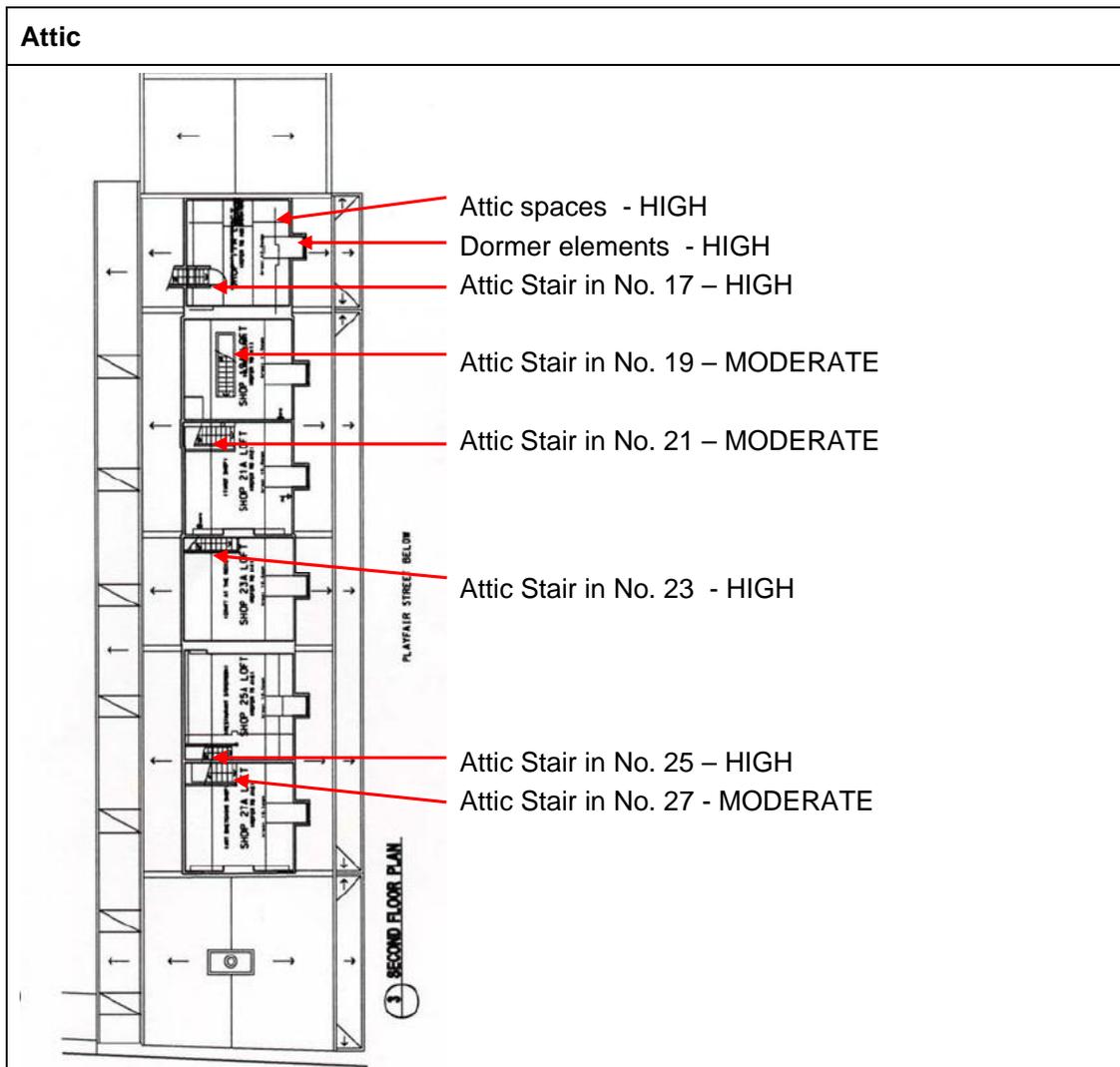
Western (rear) façade	Level of Significance
	
	
<ul style="list-style-type: none"> ▪ The overall form, height and scale of the façade including the exposed party walls, chimneys and brick arches over openings. ▪ The roof form, but not roof framing or cladding. ▪ The brick façade and pattern of openings, particularly the blind recess on the ground floor between Nos. 17 and 19 and open passage openings between Nos. 19 and 21 and Nos. 25 and 27, but not the window frames and sashes or doors. 	<p>EXCEPTIONAL</p>
<ul style="list-style-type: none"> ▪ The open nature of the rear courtyard and space to the north of the buildings. ▪ The connection with Foundation Park and the Gloucester Walk, but not the steel and timber stairs and walkways. ▪ The small gap between the grouping and Cleland Bond Store to the immediate south (Nos. 31 and No 33 Playfair Street). 	<p>HIGH</p>
<ul style="list-style-type: none"> ▪ The bagged finish to the façades. ▪ The timber roof framing. ▪ The timber windows. ▪ The panelled doors and french doors on the eastern façade and ground floor doors on the west facade; ▪ Remnant details such as the hooded vents. 	<p>MODERATE</p>

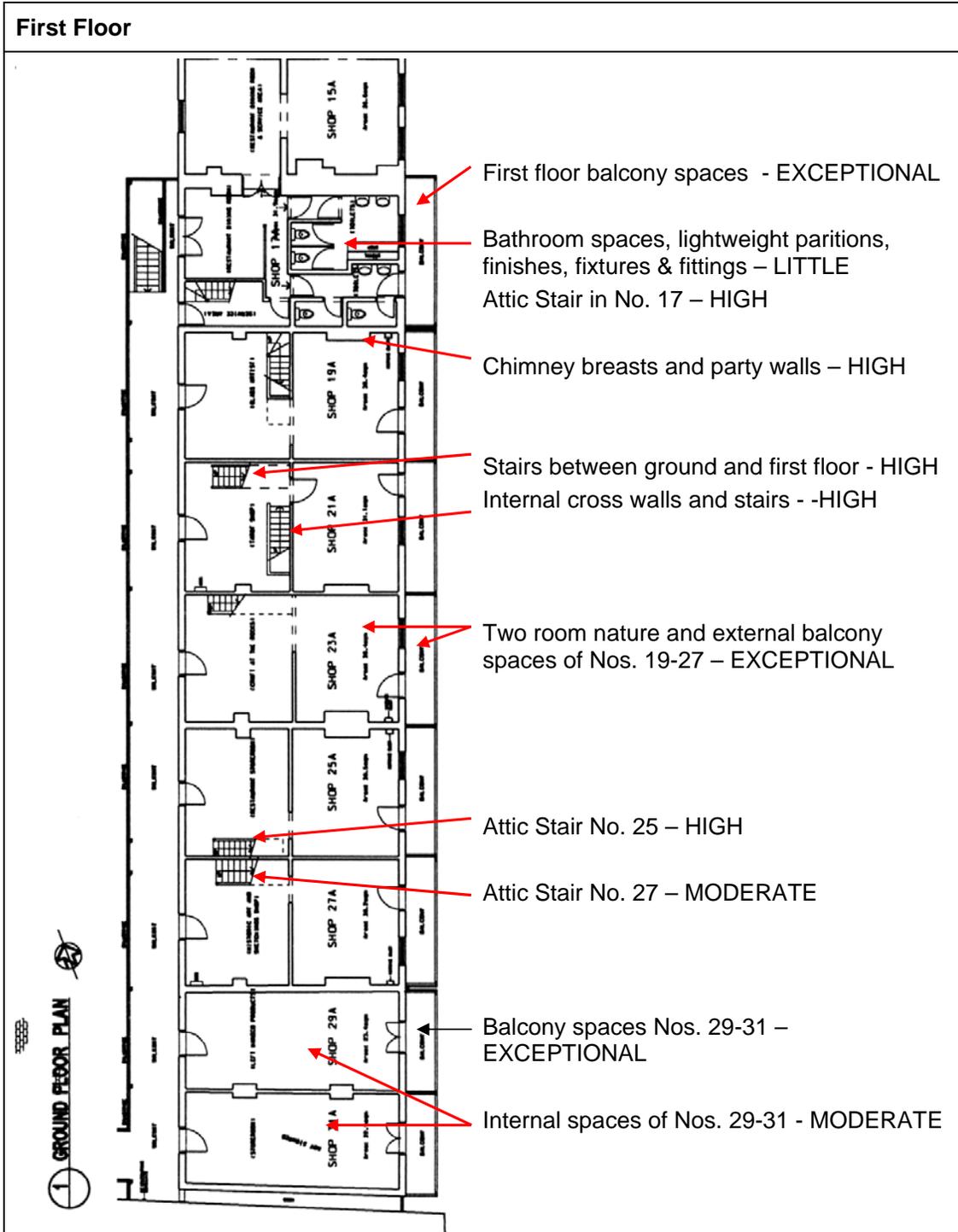
Western (rear) façade continued	Level of Significance
<ul style="list-style-type: none"> ▪ The brick infill of former openings on the ground floor of No. 17. ▪ The timber and glass doors on the first floor of the western façade added as part of the 1970s works. ▪ The steel and timber stairs and deck and associated roof and framing across the rear of the buildings. ▪ The asphalt and brick paving and steps in the rear courtyard. ▪ The fire hose reels and service elements such as fixed lighting and signage. 	LITTLE
<ul style="list-style-type: none"> ▪ Nil 	INTRUSIVE

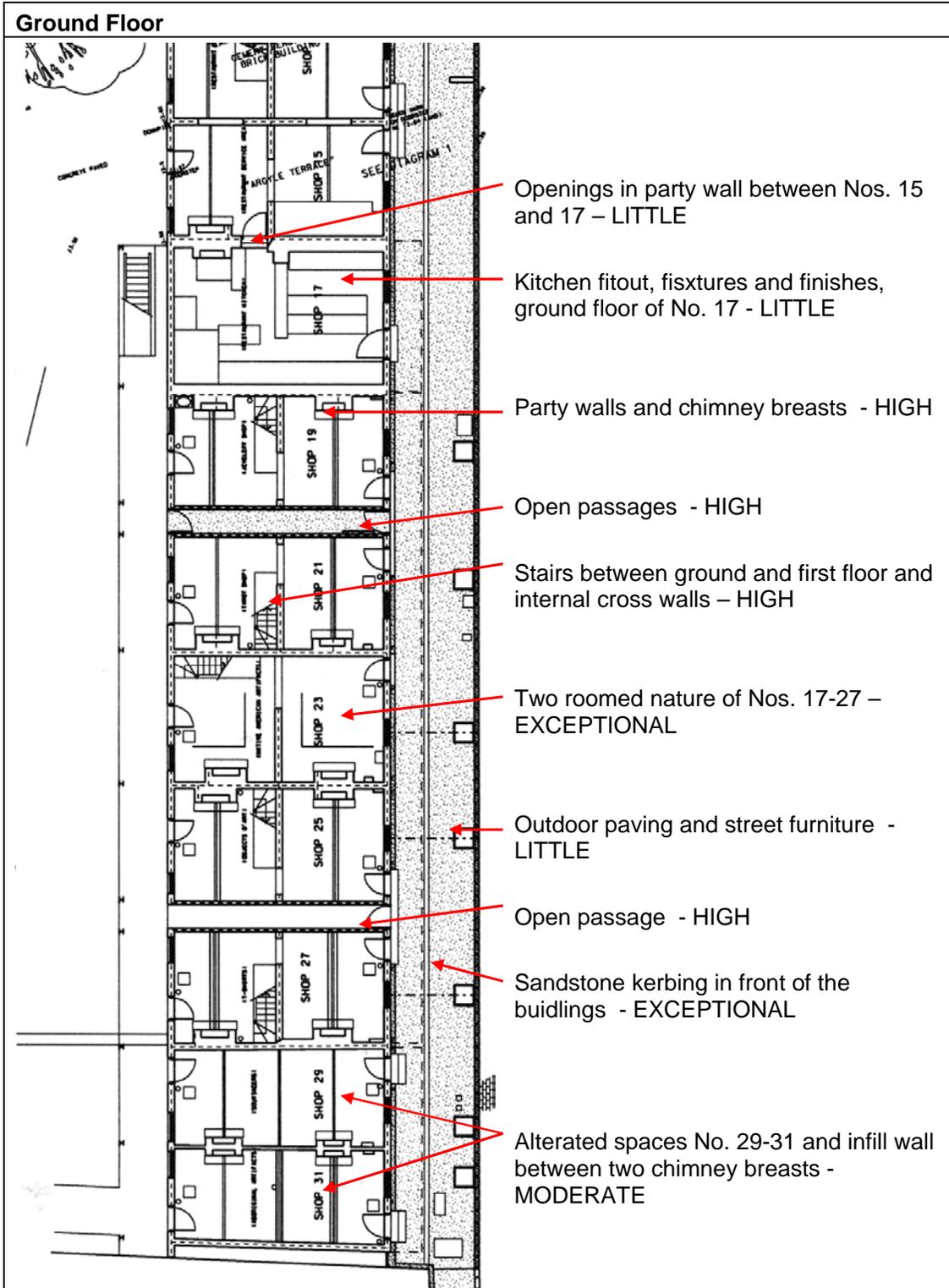
5.1.2 Internal Elements & Spaces

Ground, First Floor & Attic	Level of Significance
<ul style="list-style-type: none"> ▪ The two roomed nature of the ground and first floor and attic spaces of Nos. 17-27. ▪ The cantilevered balcony/ verandah spaces. 	EXCEPTIONAL
<ul style="list-style-type: none"> ▪ The end and party walls of all terraces except the reinstated party wall on the ground floor between the chimney breasts of Nos. 29 and 31. ▪ The cross walls on th ground and first floors in Nos. 17-27. ▪ The chimney breasts and fireplaces but not the concrete fill and steps to the hearths. ▪ The simple timber staircases and balustrades, between the ground and first floors of Nos. 19-27 and the original attic stairs in Nos. 17, 23 and 25. ▪ The attic spaces and form of the ceilings and dormer windows but not the internal wall and ceiling finishes. 	HIGH
<ul style="list-style-type: none"> ▪ The c.1970s attic stairs in Nos. 19, 21 and 27. ▪ The internal spaces of Nos. 29 and 31 which have been altered by removal of stairs and walls. ▪ The timber skirtings and architraves. ▪ The timber floor framing and boarding which has been patched and repaired. ▪ The bagged and painted finish to the walls. ▪ The timber panelling to stair soffits and around stairwells. 	MODERATE
<ul style="list-style-type: none"> ▪ The plasterboard ceiling finishes and aluminium edging/ track at the wall/ceiling junction. ▪ The carpet and vinyl floor finishes. ▪ Lightweight partitions and bathroom spaces on the second floor of No. 17 ▪ The painted wall finish. 	LITTLE

<ul style="list-style-type: none"> ▪ The concrete slab on the ground floor of No. 17 and the kitchen fixtures and fittings and wall tiling. ▪ The various counters, bars, display cabinets and shelving in each of the tenancies. ▪ Modern lights and services fixtures and fittings including vertical duct riser in each of the terraces; ▪ Track lighting. 	<p>LITTLE</p>
<ul style="list-style-type: none"> ▪ Infill to staircase between No. 19 and 19A. ▪ Light infill panels to the ground floor, eastern openings of No. 17. 	<p>INTRUSIVE</p>







5.2 Schedule of Significant Elements

SCHEDULE OF SIGNIFICANT ELEMENTS		
Nos. 17-31 Playfair Street, The Rocks		
Building or Site element	Condition	Significance
EXTERNAL		
WALLS		
External brick walls	Good	Exceptional
Brick party walls and chimneys	Good	Exceptional
Sandstone base	Good	Exceptional
Passage openings (and blind recess)	Good	Exceptional
Panelled doors and toplights (ground floor east façade)	Good	Moderate
Glass and timber doors (first floor east façade and ground floor west façade) and French doors (first floor, east façade Nos. 29-31)	Good	Moderate
Glass and timber doors (first floor west façade).	Good	Little
Windows – timber framed double hung	Good	Moderate
ROOF		
Roof framing	Unknown	Moderate
Roof Cladding	Good	Little
Terracotta chimney pots	Good	Little
VERANDAHS		
Timber framing (east)	Poor to good	Moderate
Cast lace, floor boards and roof cladding (east)	Good	Moderate
Steel framed stairs and walkway (west)	Good	Little
Timber decking and roof cladding (west)	Good	Little
REAR YARD & COURTYARDS		
Brick paving and hard surface	Good	Little
Brick and steel and timber connecting stairs to Foundation Park and Gloucester Walk.	Good	Little

SCHEDULE OF SIGNIFICANT ELEMENTS		
Nos. 17-31 Playfair Street, The Rocks		
Building or Site element	Condition	Significance
INTERNAL		
WALLS		
Wall finish	Good	Little
Paint finishes	Good	Little
Fireplaces and breasts	Good	High
Lightweight partitions	Good	Little
Timber joinery	Skirtings	Good
	Architraves	Good
	Internal doors	Good
FLOOR		
Timber floor framing	Unknown	Moderate
Timber floor boards	Vary	Moderate
Vinyl floor finish (No. 17)	Fair	Little
Ceramic floor tiles (No. 17)	Good	Little
CEILINGS		
Ceiling beams	Good	Moderate
Plasterboard cladding and tracks	Good	Little
FEATURES		
Fireplace hearths	Good	Little
Timber stair and balustrades	Good	High/Moderate (see above)
AMENITIES AREAS & SERVICE ELEMENTS		
Ceramic tiling	Good	Little
Modern fixtures and fittings, including lighting	Good	Little

6.0

Constraints, Opportunities and Requirements

This section outlines various major issues involved in the preparation of the conservation guidelines for the site. It takes into consideration matters arising from the statement of significance, procedural constraints imposed by cultural conservation methodology such as that of the Australia ICOMOS *Burra Charter*. It identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from the Statement of Significance

Considering the Statement of Significance, the following issues need to be addressed in the conservation guidelines.

- Highly significant components of the Playfair Street Terraces, Nos. 17-31 Playfair Street should be retained and conserved and should continue to be used principally for retail and commercial purposes.
- All components of the Playfair Street Terraces, Nos. 17-31 Playfair Street should exemplify and reflect all significant periods of its development.
- No new work or activity should be carried out, which will detract from or obscure physical evidence of the major phases of development of the site and building components.
- No works or activity should be carried out that will obscure or detract from physical evidence of the occupation and use of the site and its building components.
- No building or landscaping should detract from the Playfair Street Terraces, Nos. 17-31 Playfair Street.
- New works or activities at the place should enhance its significant historic character.
- Aspects of the Playfair Street Terraces, Nos. 17-31 Playfair Street which contribute to the visual character of The Rocks should be conserved and not obscured in any future development.

6.2 Issues Arising from Physical Condition of the Place

Nos. 17-31 Playfair Street, The Rocks, appear to be in good and sound condition and appropriately maintained by the current occupants. The last major works to the buildings were undertaken in the 1990s.

Since that time the exterior and interior of the buildings have been painted and well maintained. Some recent works and patching to the timber framing of the eastern

cantilevered balcony/ verandah has been undertaken. The only required works at this stage involves further works to the balcony, particularly the base of the balcony to No. 17.

Some works may also be required to the ground floor openings and internal spaces of No. 17, particularly the attic space of No. 17, where some minor cracking is visible (to the right of the ventilation duct). The space also requires additional ventilation as the equipment generates some heat in the small, restricted space.

6.3 Sydney Harbour Foreshore Authority

The Rocks is managed by the Sydney Harbour Foreshore Authority, which was constituted on 1 February 1999 under the Sydney Harbour Foreshore Act, 1998. The Rocks area is, therefore, not within the jurisdiction of the Council of the City of Sydney.

The principle functions of the Foreshore Authority are stated in its Act as follows:

- (a) to protect and enhance the natural and cultural heritage of the foreshore area;
- (b) to promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- (c) to promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in The Rocks, The Rocks Heritage Management Plan (adopted February, 2002) has been prepared to provide a firm basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.3.1 Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

1. To add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites
5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

It is understood that the Authority proposes to continue to use the Playfair Street Terraces, Nos. 17-31 Playfair Street for small scale commercial and retail uses.

6.4 Asset Owner's Requirements of the Foreshore Authority

The Rocks is seen as an important precinct within the Foreshore Authority's area of influence due to its contribution to Australia's heritage and to the character and enjoyment of Sydney for all. The Playfair Street Terraces Nos. 17-31 Playfair Street are significant as they contribute strongly to that character. The terraces have been adaptively reused for retail and restaurant use since the early 1970s. They are regarded to provide an important heritage and retail component to both The Rocks Centre and Argyle Stores development.

A Tenancy Manual, dated May 2001, was prepared by the Foreshore Authority with the aim to ensure that the terraces continue to contribute strongly to The Rocks experience and that the individual tenancies come together as an integrated shopping environment. The Manual recognises that this involves the "*promotion and co-ordination of high quality retail tenancies which are sensitive to the tourism and heritage issues of the precinct and the building fabric. It includes the co-ordination of shop design, services and signage to achieve a quality unified environment in The Rocks Centre Precinct*".⁹¹

The Manual includes fitout guidelines designed to guide lessees in creating "*individual, exciting and inviting retail environments*"⁹² and stresses the importance and unique nature of the shops. The need for land owner and development approval is also stated, with details of the process which includes liaison with Authority representatives and submission of a development application. A checklist for carrying out new work to the terraces is provided.

The fitout and elements such as lighting are clearly noted as being the responsibility of the lessees, however, the Manual provides guidelines regarding layout of furniture, lighting, signage and even wall fixing details. A picture hanging system has already been incorporated at the ceiling/wall junction in each of the tenancies.

6.5 Heritage Management Framework

6.5.1 NSW Government TAM Guidelines

The Total Asset Management Manual prepared by NSW Government's Asset Management Committee requires that: "*Sustainable management of heritage values should be treated by an agency as part of its core business*". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require 'planning use of heritage assets to maximise their service delivery while protecting their cultural values'.

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

⁹¹ The Sydney Harbour Foreshore Authority, *Playfair Street Terraces Tenancy Manual*, May 2001, p. 3.

⁹² The Sydney Harbour Foreshore Authority, *Playfair Street Terraces Tenancy Manual*, May 2001, p. 3.

6.5.2 Environmental Planning Instruments (EPIs)

There are three principle EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks, and these are as follows:

A. State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 Million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the Act (development under \$5 million) has been delegated from the Minister to the Sydney Harbour Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

B. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks, however it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of the potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

C. Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

The SCRA Scheme does not have any further development provisions nor does it specifically identify Heritage Items.

6.5.3 New South Wales Heritage Act

Heritage and Conservation Register

Section 170 of the *NSW Heritage Act* requires a 'government instrumentality' such as the Foreshore Authority to 'establish and keep a register entitled the *Heritage and Conservation Register*. The register must be reviewed annually, and amended if necessary.

The register must contain items, under the ownership or control of the Foreshore Authority, that are or could be listed in the *NSW State Heritage Register* or could be subject to an Interim Heritage Order, or which are listed as an item of environmental heritage in an environmental planning instrument.

Under Section 170A of the *Heritage Act* the Authority must provide a minimum of 14 days notice to the Heritage Council before removing any item from the Register, transferring ownership of any item, ceasing to occupy or demolish any item. The Authority must also maintain and manage the item in accordance with any principles or guidelines for State owned heritage assets approved by the Minister or the Heritage Council (see also 6.4.1 NSW Government TAM Guidelines).

Sydney Harbour Foreshore Authority has prepared a Section 170 Register, which has been endorsed by the NSW Heritage Council. Those items on the Section 170 Register assessed as being of State significance (94 items) were listed on the State Heritage Register in May 2002 (see below).

State Heritage Register (SHR)

The Playfair Street Terraces, Nos. 17-31 Playfair Street are listed on the *NSW State Heritage Register* (SHR No. 01569). This listing recognises the site as being of State significance and provides statutory protection under the *NSW Heritage Act (1977)*.

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for any of the following works to the item:

- (a) demolish the building or work,
- (b) damage or despoil the place, precinct or land, or any part of the place, precinct or land,
- (c) move, damage or destroy the relic or moveable object,
- (d) excavate any land for the purpose of exposing or moving the relic,
- (e) carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct,
- (f) alter the building, work, relic or moveable object,
- (g) display any notice or advertisement on the place, building, work, relic, moveable object or land, or in the precinct,
- (h) damage or destroy any tree or other vegetation on or remove any tree or other vegetation from the place, precinct or land.

Unless an item constitutes a danger to its occupants or the public, demolition of a State Heritage Register item is *prohibited* under the Heritage Act. An element of a State Heritage Register item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). Authority has been delegated to the Foreshore Authority to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the NSW Heritage Office, or from the Foreshore Authority for minor works.

Archaeological Management

Under Section 57(1) of the Heritage Act (see above) Heritage Council approval is required to move, damage, or destroy a relic listed on the State Heritage Register, or to excavate or disturb land which is listed on the State Heritage Register and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as -

Any deposit, object or material evidence

(a) which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and

(b) which is 50 or more years old.

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications (see above) extends to archaeological works.

Standard Exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

A revised Schedule of Standard Exemptions was gazetted in March 2006, and contains guidelines to determine whether particular works will be covered by a standard exemption. In this case, an Exemption Notification Form (not a Section 60 application) must be completed providing sufficient detail to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to Standard Exemptions in 10.0 Appendix of this report.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item (see Standard Exemption No.6). Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a Conservation Management Strategy endorsed under delegation by the Executive Director, Tennant and Asset Management Services, Sydney Harbour Foreshore Authority. The wording of site specific exemptions in a CMP must be discussed with the Heritage Office and agreed

upon prior to Heritage Council endorsement. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites (see Heritage Office CMP Review & Endorsement Strategy, 2005). Currently, there are **no** site specific exemptions for The Argyle Terrace Nos. 13-31 Playfair Street.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover weatherproofing, fire protection, security and essential maintenance.

6.6 Community Groups

6.6.1 National Trust of Australia (NSW)

The “Argyle Terrace” Nos. 13-31 Playfair Street, The Rocks, has been classified by the National Trust of Australia (NSW).

Listing on the Register of the National Trust carries no statutory implications. The Trust’s opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.7 Building Regulations

The Building Code of Australia is concerned with establishing uniform building regulations across Australia. The Code is implemented in NSW through the Local Government Act 1993. Generally, minimum standards are required to be reached in building works.

The main provisions of the Code concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities.

An assessment of compliance of the complex with the Code has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the Building Code of Australia in heritage buildings, proposals must ensure that significance fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.8 Baseline Archaeological Assessment

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan* in 1991 (Inventory No. 43)⁹³ and in the Foreshore Authority’s S.170 Heritage Register (B102, AR 043).

⁹³ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), prepared for SCA and Department of Planning.

6.8.1 Below Ground

The historical development of the site indicates European occupation since the early 1800s. Deep features such as wells and cesspits may be present in the former yards, although the yards are now covered with hard surface and paving.

The Rocks and Millers Point Archaeological Management Plan notes the condition of the below ground archaeological remains as being “partly disturbed”.⁹⁴ The recommendation for the below ground archaeological remains was for an archaeological watching brief or monitoring programme.⁹⁵

The potential for below ground archaeological resources around the site and below the buildings is undetermined. It would appear that some disturbance occurred during the demolitions on the site during the 1970s and construction of the earlier timber stairs and deck and subsequent works to the rear of the buildings. The sub-floor area was excavated during the 1993 for practical reasons, however, it is understood that no formal archaeological assessment has been made.

The area to the west of the site and Foundation Park was thoroughly investigated and interpreted during the 1990s.

6.8.2 Above Ground

The roof and between-floor spaces may contain archaeological relics. Disturbance of such relics should be minimised. If they do need to be removed, this should only be done by, or under the direction of, a qualified archaeologist. Locations should be recorded and items conserved, catalogued and stored in accordance with the Foreshore Authority and NSW Heritage Office Guidelines.

The 1993 Conservation plan noted that evidence of the earlier connections between the buildings and the terraces on the Gloucester Street alignment remained in the roof space. This material should be retained in situ. The potential for above ground resources is not clear, therefore, in the case of any major works the buildings should be monitored by a qualified archaeologist.

⁹⁴ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Map – Condition of below ground archaeological remains.

⁹⁵ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Inventory No. 42 & 43.

7.0

Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is important in the built environment within a process of change and development. As such, it is one of the functions of this document to establish criteria, policies and recommendations of the conservation, on-going use of the buildings as an appropriate and desirable future direction. In this way the owners and managers of the place/buildings will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals against the criteria.

The following section identifies **Policies** and **Guidelines** as the two basic mechanism, with which to achieve the conservation and on-going use of the subject complex in the context of the adaptive re-use and necessary upgrade of the various building components. A brief **Background** provides the context for each of the policies. The **Policies** identify basic conservation guidelines, which are required to be met. They are supported by **Guidelines** and in places they should be clearly identified by the proponent and discussed in any Development Application submission.

This section contains general policies that are structured under five major headings with sub policies relating to more specific issues. The first major policy, and especially its sub policy 7.2. *Treatment of fabric of different grades of significance*, should be used as a basis for decision making, to enable future planning for each building and external and internal element to be made with due regard to the significance of the fabric in question.

7.1 Application of the Burra Charter

The *Australia ICOMOS Burra Charter 1999*,⁹⁶ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national, state and regional significance are undertaken.

As Nos. 17 - 31 Playfair Street, The Rocks, is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of the *Burra Charter*.

7.1.1 Consistent Terminology

In order to achieve a consistency in approach and understanding of the meaning of conservation by all those involved a standardised terminology for conservation processes and related actions should be adopted. The terminology in the *Burra Charter* is a suitable basis for this. Article 1 of the *Burra Charter* gives the following definitions⁹⁷ -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

⁹⁶ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

⁹⁷ *Australia ICOMOS Burra Charter 1999, p. 2.*

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the *place* itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

7.1.2 Conservation Principles arising from the Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric

Location (Article 9)

A building or work should remain in its historical location.

Contents

(Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change

(Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation

(Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work

(Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place. New work should be readily identifiable as such on close inspection.

Use and Conserving use

(Article 7)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

(Article 23)

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing change

(Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of fabric

(Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for decisions

(Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, supervision and implementation

(Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records

(Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed fabric
(Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7.2 Treatment of Fabric of Different Grades of Significance

The building components of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, have been carefully assessed to identify the differing levels of contribution each makes to the significance of the overall site. The grading utilises a five-tier system of values: exceptional significance, considerable significance, some significance, little significance and intrusive.

The grading of significance of the various elements of the Stores is a valuable planning tool, and it assists in developing a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and their various elements. All elements of moderate or higher level of significance should be subjected to ongoing monitoring and maintenance programme.

1. Elements identified as being of **Exceptional** significance should be retained and conserved *in situ*. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by The *Burra Charter*.
2. Elements identified as being of **High** significance should also generally be retained and conserved *in situ* subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by The *Burra Charter* is permissible, provided that level of significance of each element is retained.
3. Where the fabric is of **Moderate** significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.
4. Elements assessed as of **Little** significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role and/ or are in poor condition. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.
5. Elements identified as **Intrusive** can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These items need not be addressed immediately.

It is recommended that a minimalist approach be taken in removing fabric graded as of **little significance** or **intrusive**, and it be limited to protecting and enhancing fabric of greater cultural significance, or allowing practical use of the building.

7.3 Current and Potential Future Use

Background

Nos. 17-31 Playfair Street, The Rocks, were constructed as speculative developments largely for rental accommodation in the late 19th century.

The Terraces continued to be used for residential purposes until the 1970s when they were converted for commercial use. The Foreshore Authority currently leases the various tenancies and it is anticipated the buildings will continue to be used for commercial purposes into the long term.

The buildings are no longer suitable for residential use due to the removal of the amenities areas of all the terraces. Only No. 17 features kitchen and WC facilities, added as part of the 1970s works to the buildings. Incorporation of additional amenities into the existing envelopes is not necessarily warranted due to commercial nature of the immediate precinct or recommended due to the impact on the building fabric. Reinstatement of the rear service wings may be an option, however, it is not anticipated that the buildings will be re-used for residential purposes due to their location and size.

Policy

A sympathetic use, preferably small scale commercial and retail, should be maintained to ensure the ongoing use and viability of the buildings. Any uses of the building should seek to retain the existing spatial qualities and character of the building and not obscure its historic nature and associations.

Guidelines

1. Future use of the building should take into consideration the identified cultural significance of the place.
2. Use of the place should be compatible with the spatial qualities and fabric of the existing structure without requiring extensive alterations and works within the existing building envelope.
3. Additional services or special features may not be appropriate if the design of these elements places excessive stress on the character and significance of the place and its building fabric and spaces.
4. Any change of use should have regard to potential opportunities for public access to the building, however, such activities within the building should be developed in a way that enables the heritage value of the buildings and site to be showcased and not obscured by these uses.

7.4 Asset Management

7.4.1 Sydney Harbour Foreshore Authority responsibilities

Background

The Playfair Street Terraces Nos. 17-31 Playfair Street, as part of The Rocks, is owned by the Crown and vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy

Sydney Harbour Foreshore Authority shall retain management of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, as a single entity within the overall context of The Rocks precinct.

Guidelines

1. Sydney Harbour Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
2. Sydney Harbour Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks,
3. The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority and tenants of the buildings.
4. The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
5. All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.
6. A program of regular monitoring should be established, covering both the physical changes within the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, and visitor experience issues, and be incorporated, where relevant, into management decisions.
7. The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.4.2 TAM Plans and CMPs

Background

This Conservation Management Plan (CMP) will be one of documents used by the asset owners, managers and tenants for management and maintenance of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and TAM Plans. In the preparation of this CMP, all the relevant asset management documents were included.

Policy

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property.

Guidelines

1. The Authority should include findings of this CMP, particularly Chapter 8 – *Implementation*, into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks.

7.4.3 Adoption, Endorsement and Review of the CMP⁹⁸

Background

The Conservation Management Plan (CMP) for the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to progressively respond to changing situations if they are to remain relevant.

Policy

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every five to ten years.

Guidelines

1. Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the NSW Heritage Office.
2. Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.

⁹⁸ Adoption (the Foreshore Authority), Endorsement (NSW Heritage Council) and Review (the Foreshore Authority)

3. Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
4. Irrespective of the requirement to review the document every 5 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.4.4 Required Approvals

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric.

It is essential that before any change to the item, the Foreshore Authority is consulted in order to determine which approvals will be required, and what documentation will be needed. Approvals for works are required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the minister. Applications are to be made to the Sydney Harbour Foreshore Authority, and will be processed by the Authority.

In some instance, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Sydney Harbour Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

Under the Heritage Act, works which may affect the significance of the site require a Section 60 application. The Foreshore Authority has delegation from the Heritage Council to approve minor Section 60 applications. Applicants should first confirm with the Foreshore Authority whether the proposed works fall within the Foreshore Authority's delegation, or whether application is to be made to the Heritage Council.

The Standard Exemptions for minor works to State Heritage Register items apply to the Terraces (see Section 10.0). Sydney Harbour Foreshore Authority also has delegation to approve Standard Exemption applications. Applicants should first confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Forms for development applications, Section 60 applications (minor works) and Standard Exemption applications are available from the Foreshore Authority.

Policy

Before doing work to any part of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, or lodging a development application or a Section 60 application, the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority.

Guidelines

1. Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal. Where necessary, a Heritage Impact Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
2. Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.

7.4.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected/approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance, and the sensitive fabric and spaces, and can be installed and removed without impact.

Guidelines

1. Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority consent to the proposed development. This includes completion of the Schedules of Works as per the Chapter 8 – *Implementation* of this CMP.
2. Tenants should be aware of Sydney Harbour Foreshore Authority policies and be provided with a *Tenancy Manual* that clearly outlines the guidelines for the use and fitting out of the spaces and obligations of the tenant and the Foreshore Authority.
3. The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of owner's consent.

7.4.6 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The attitudes, skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy

Appropriate conservation skills and experience should be available within project teams to deal with any programs of conservation and upgrading of the building components of Nos. 17-31 Playfair Street, The Rocks.

Guidelines

1. Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, archaeologists, architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
2. Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.5 Management of Significance

7.5.1 Retention of Significance

Background

The Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, were constructed in stages between 1875 and 1877. They continued to be used for residential purposes despite resumptions and changes of management until the 1970s, when they were converted for commercial use in recognition of a shift in the use and demographic of the local area. They have so far continued to play an active and historic role in The Rocks Square precinct.

Policy

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

1. The existing external architectural character and imagery of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should be retained and conserved. Conservation should be undertaken in the context of the on-going use of the building components as small scale commercial and retail premises.
2. The conservation, adaptation and maintenance of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should be approached with the general principle of changing "as much as necessary but as little as possible".
3. Structural alteration to the building components, which impact on the integrity or significance of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should not occur.
4. Future uses should be compatible with the nature and significance of the building components and should enable the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, to remain a vital and important component within the Rocks precinct.

5. Internal alterations and renovations are acceptable within the context of compatible use, however, they should not impact on the significance of the internal original fabric and spatial qualities of the building, or the external façades.
6. No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be highly visible from the street or Gloucester Walk or impact negatively on the façades of the building. Some services are acceptable provided that they are discretely integrated and are not prominent.
7. Evidence of the progressive evolution of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should be respected and retained. Elements such as the open walkway extending along the western facades of the terraces added as part of the 1970s works and reconstructed as part of the 1990s works can be retained to ensure on-going and practical use of the place.

7.5.2 Minimum Standards of Maintenance and Repair

Background

Section 119 of the NSW Heritage Act requires the owner of the building, work or relic listed on the State Heritage Register to ensure that the item is maintained and repaired to standards that are not less than the Minimum Standards imposed by the 1999 Amendments to the NSW Heritage Act.

While it is estimated that the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, will be tenanted most of the time and that many Standards (e.g. for Inspection) will be automatically complied with, it is also appreciated that regardless of tenancy of the property, it is the asset owner's responsibility to assure the auditable compliance with these Standards, and therefore the actual maintenance will need to be undertaken by the Foreshore Authority rather than the tenant.

Policy

Sydney Harbour Foreshore Authority as the asset owner is to assure that the item is maintained and repaired to standards that are not less than the Minimum Standards imposed by the 1999 Amendments to the NSW Heritage Act.

Guidelines

1. Sydney Harbour Foreshore Authority is liable for the execution of works required for the compliance with minimum Standards of Maintenance and Repair, as identified in the Section 8.2 of this CMP – *Minimum Standards of Maintenance and Repair*.
2. As part of the tenancy contracts, the Foreshore Authority may require tenants to execute the required works and provide an auditable trace of the completion of required works.
3. Prolonged vacancies may arise, and that in this eventuality the Foreshore Authority will be liable for compliance with the additional Standards for untenanted properties.

7.5.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

The existing building fabric of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, both internally and externally, is in good condition and generally well maintained.

Policy

Extant building fabric, both internally and externally should be retained and conserved, in accordance with the levels of significance identified in Section 5.0 Grading of Significance of this CMP and in accordance with particular actions specified in the Section 8.2 – Schedule of Conservation Works of this CMP.

Guidelines

1. Original external and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
2. No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of High or Exceptional level of significance.
3. Decayed building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
4. Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should not be so well matched as to be impossible to read on close inspection.
5. All structural elements should be retained as existing and left exposed, with appropriate maintenance. No structural members should be removed, other than to re-instate significant architectural elements.
6. All doors, windows, floors, balustrades, staircases and associated landings should be retained, with appropriate maintenance.
7. Where it is clear that original or significant fabric has been removed it is considered appropriate to adaptively reconstruct based on extant fabric.
8. While the Foreshore Authority is liable for the execution of works identified in the *Section 8.2 – Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
9. Fabric, which is of exceptional or high significance but is hazardous, should be replaced with a suitable modern material.

7.5.4 Conservation of Significant Spaces

Background

The Terraces generally retain their main rooms and a sense of their original internal configuration and layout. The works of the 1970s made some changes that were deemed necessary for the commercial use, and works of the 1990s sought to improve the relationship between various spaces and reinstate some lost fabric and building elements to improve the use and interpretation of the buildings.

Policy

The spatial qualities of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks contribute to its significance and interpretation and therefore should be conserved, as part of the on-going use, on-going management and any future development strategy.

Guidelines

1. The two roomed nature of the ground and first floor of the terraces should be retained and conserved.
2. The interconnecting timber stairs in Nos. 19-27 should also be retained and conserved to highlight the relationship between levels and spaces.
3. Reinstatement of a stair in No. 17 may be considered provided that it is located in the position indicated by the 1970s drawings and that it will significantly improve the use and interpretation of the building.
4. The attic spaces in Nos. 17-27 and associated dormer windows and existing spatial qualities of the room should be retained and conserved.
5. The cross walls on the ground and first floors of Nos. 29 and 31 need not be reintroduced, however the ceiling beams and other evidence of the earlier walls should be retained.
6. The party wall on the first floor between Nos. 29 and 31 need not be introduced provided that the bulkhead and evidence of the early wall be retained. Infill of the large wall is also permissible.
7. The reinstatement of the stairs between the ground and first floors of Nos. 29 and 31 is permissible provided that the stair is located in the earlier position shown on earlier drawings of the building and that there is no impact on any highly significant fabric.
8. The eastern cantilevered balcony spaces of Nos. 17-31 should be retained. The balconies should remain open and not be infilled.
9. The western balcony/ deck can be retained to allow access to the upper levels and rear of the building. The deck should also be "lightweight" in nature and should remain open to allow views to the rear facades of the building and to facilitate cross ventilation and natural light into the interior of the terraces.
10. The open courtyard to the north and west of the buildings should also be retained and conserved. Continued interpretation of the former boundary and fence lines by the use of paving and landscaping is encouraged provided the space remain "open".

11. Interconnecting stairs and walkways with Foundation Park should also be retained to interpret the past relationship and historical associations of the site and also to encourage use of open public space in the precinct and pedestrian links in and through the area.

7.5.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 4.5 of this CMP –Grading of Significant Elements, and managed in accordance with Section 7.3.1 above –Treatment of Fabric of Different Grades of Significance.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

ELEMENT SPECIFIC CONSERVATION POLICIES NOS. 17-31 PLAYFAIR STREET, THE ROCKS			
Ref. No.	Element	Significance Level	Policy
GENERALLY			
	Building character and spatial organisation generally	High	Retain overall form, scale and character of the exterior and character of the ground, first floor levels.
1	External Walls, parapets and chimneys	Exceptional	<ul style="list-style-type: none"> ▪ Retain existing height and form and decorative details to the east façade. Openings on the east and upper west façade to be retained and conserved. ▪ Openings to the lower western façade to be retained, some adaptive works to central window may be permissible. ▪ Sandstone base/plinth course to be retained and conserved and remain face stone. ▪ Render, painted finish to be retained.
2	Roof and roof plumbing	Exceptional/ Little	<ul style="list-style-type: none"> ▪ Existing roof form to be retained. ▪ Roof framing, cladding, flashing, gutters and downpipes to be repaired or replaced to match as required.

ELEMENT SPECIFIC CONSERVATION POLICIES NOS. 17-31 PLAYFAIR STREET, THE ROCKS			
Ref. No.	Element	Significance Level	Policy
3	Internal Walls	High	<ul style="list-style-type: none"> ▪ Retain and conserve internal walls, no new openings are permissible, infill of enlarged openings permissible. ▪ A simple bagged and painted finish to be retained. ▪ Timber skirtings and architraves to be retained, repaired or replaced to match as required.
4	Flooring - Timber	Moderate	Retain framing and floorboards, patch, repair or replace as required.
5	Flooring – concrete slab, ground floor of No.17	Little	Retain or remove and make good flooring.
6	Flooring - Carpet & vinyl (No. 17)	Little	Retain or remove as required. Timber floor as above. If carpet is to be removed, repair and finish to match ground floor.
7	Entry doors and glass and timber doors	Moderate/ Little (first floor west façade)	Retain and repair or replace to match as required.
8	Windows	High	Retain and conserve, repair or replace elements to match as required.
9	Timber Stairs	High	Retain and conserve stairs in current locations, repair and replace fabric as required.
10	Ceilings	Little	Patch and repair, or replace as required.

Additional Guidelines for Conservation of Significant Stonework

1. Deteriorated significant stonework is to be repaired or reconstructed to match the original fabric, using face stone of appropriate colour and texture, however a minimalist approach to repairs should be taken and works performed only after all other options have been explored.
2. For repairs and reconstructions of the historic stone plinth/base of the Terraces, appropriate mortar of should be used, e.g. sections built using hydraulic mortar should be repaired only with hydraulic mortar used. All visible new mortar used must visually match the existing/original.
3. The strength of mortar used in repairs should not exceed the strength of stone. This is to assure that, in case of eventual wall cracking, mortar breaks first and stone blocks are preserved.
4. In case of surface damage to the plinth/base of the Terraces (graffiti, weathering) only non-abrasive methods of intervention should be used in recovering the original finish. In case of weathering stains, warm soapwash may be sufficient.
5. In the case of graffiti and mortar stains, specialist professional organisations experienced in working with historic fabric should be contacted for advice on the appropriate cleaning techniques and products available, including 'Peel-off' foils or

pressure water washing as a last resort. The Foreshore Authority's heritage staff should evaluate what technique is appropriate to the case. Where there is repeated graffiti occurrence, special products such as transparent protective films and coatings will be considered.

Additional Guidelines for Conservation of Significant Brickwork

1. The southern, face brick façade should be retained as face brick and monitored annually. Rubbish and debris should be removed and base of the wall kept clear.
2. Missing or damaged sections of brickwork should be repaired or reconstructed to match the existing, however, a minimalist approach to repairs should be taken.
3. For repairs an appropriate mortar should be used, e.g. sections built using hydraulic mortar should be repaired only with hydraulic mortar used. All visible new mortar must visually match the existing original mortar.
4. The strength of mortar used in repairs should not exceed the strength of bricks. This is to assure that, in case of any eventual masonry cracking, mortar breaks and bricks are preserved.
5. As most of the original face brickwork has been previously rendered and painted over, attempts of reverting to original surface is considered unnecessary and is not recommended.
6. Where new signage or attachments to walls are required, these are to utilize existing penetrations where possible. The adjacent surfaces to be made good and repaired to match the existing surface.

Additional Guidelines for Conservation of Rendered and Painted Built Fabric

1. Missing or damaged rendered and painted built sections should be repaired or reconstructed to match the original. For these repairs and reconstructions, a suitable mortar type should be used. All visible new surfaces must visually match the existing/original in colour and texture.
2. Where hazardous historic material has been utilised in construction, e.g. the lead-based paint, it should be replaced with a modern material of suitable features.
3. In case of surface damage to the historic brick built fabric (graffiti, weathering), both non-abrasive and abrasive methods of intervention should be considered. Generally, in case of damage by graffiti and mortar stains, both removing of stains and re-rendering/repainting may be adequate. The adequacy of a particular technique used should be verified by the Foreshore Authority's heritage staff.

Additional Guidelines for Conservation of Roofing and Guttering

1. The activities of maintenance and repair of roofs are exempted from seeking approval under S.60 of the Heritage Act, under the Standard Exemptions, on the proviso that the work re-uses existing materials or is restoration.

2. Repairs to missing or damaged sections of the roofing are acceptable given that the roofing has been replaced at least two times. Corrugated metal sheeting is the preferred material.
3. Repairs to corrugated metal and guttering may involve replacement of larger sections of roofing. Missing or damaged sections of roofing should be replaced by adequate fabric to match the previous condition. Visual presentation (colour, texture) and form of the corrugated metal must be considered.

Additional Guidelines for Conservation of Plumbing, Electrical and Other Services

1. Repairs to missing or damaged sections of services should avoid impacting significant fabric. Missing or damaged sections of fabric of significant historic services should be replaced to match the original condition wherever such action is technologically feasible and compliant with Health and Safety requirements.
2. Hazardous elements, such as lead or lead-joined pipes, need to be replaced with modern pipes. The presentation of fabric visible in interior or exterior of the building must not be altered in colour, texture or form.

7.5.6 Archaeological Monitoring

Background

Detailed assessment of the archaeological potential of the site has not been carried out, however, *The Rocks and Millers Point Archaeological Management Plan* (1991) noted that the condition of the above ground remains were “*minor to part disturbance*” and that the below ground archaeological remains would be “*partly disturbed*”.⁹⁹ The recommendation for both the above ground and below archaeological remains was for an archaeological watching brief or monitoring programme.¹⁰⁰

A Section 60 application would be required where relics may be disturbed.

Policy

A formal Archaeological Assessment of the site and buildings should be carried out in the context of any future major alterations or works to the buildings. Any works involving excavation of the site should be carried out under archaeological supervision by a qualified archaeologist.

Guidelines

1. A formal Archaeological Assessment of the above and below ground archaeological resources for the site and buildings should be carried out.
2. Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan* (1991), and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any ground disturbance on the property in the future be subject to archaeological monitoring.

⁹⁹ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Maps – Above ground archaeological sites and Condition of below ground archaeological remains.

¹⁰⁰ Higginbotham, E., Kass, T., Walker, M., *The Rocks and Millers Point Archaeological Management Plan*, (1991), Inventory No. 42 & 43.

7.5.7 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy

The significant fabric the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3, Ongoing Maintenance.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

1. The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority.
2. Works should including the ceasing and cleaning out of debris and rubbish from the gap between No. 31 and No. 33 Playfair Street.
3. In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
4. Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
5. Inspection and maintenance works should only be conducted by those with professional knowledge and experience of buildings and materials.
6. No maintenance work or repairs should negatively impact on significant fabric.
7. Maintenance and repair works are to be carried out by tradespeople with demonstrated heritage skills, experience and knowledge.
8. While the Foreshore Authority is liable for the execution of works identified in the *Section 8.3 –Schedule of On-going Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.

7.5.8 Controls on Intervention

Background

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy

Intervention into building fabric for non-conservation purposes should generally be restricted to approved programs of re-use or upgrading of service areas and facilities.

Guidelines

1. Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
2. Limited intervention for exploratory or research purposes should generally be restricted to approved programs of re-use, or upgrading of service areas and facilities.
3. Intervention should not be detrimental to the original fabric.
4. Existing service areas may be upgraded. Any upgrading is subject to the proper approval process.
5. New internal floor coverings are permissible, but should have minimal impact on the floor structure.

7.5.9 Retention of Fixtures and Fittings

Background

It would appear that "restoration" works of the 1970s and "conservation" works of the 1990s resulted in the replacement of most of the earlier fixtures and fittings in the terraces. However items such as the western balcony/ deck should be retained as part of the buildings' development and for practical reasons.

Policy

Features and fixtures associated with the site's historic and ongoing use should be retained and preserved.

Guidelines

1. The retention of these features and fixtures could be considered as part of the design work for future adaptive re-use programs.

7.5.10 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception the significance of the place.

Due to its history, significance and setting in The Rocks area, Nos. 17-31 Playfair Street, The Rocks, is capable of being interpreted for promotional and educational purposes.

Policy

The heritage significance fabric of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should be interpreted on site by appropriate methods such as signage and paving elements.

Guidelines

1. One of the primary components of the conservation management of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
2. The ongoing management the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
3. In making significance accessible, the Foreshore Authority should take into account of the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
4. Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks.
5. Interpretation at the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should take into account all periods of development and occupation in the context of the history of The Rocks area under the management of the Foreshore Authority, and be presented in an accurate and insightful manner.
6. Interpretation should take into account all the historic phases of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks.

7.6 New Work Policies

7.6.1 Integration of New Work

Background

Due to the significance of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, scope for new development is limited. Ideally, no external alterations or additions should occur, except minor additions for services, where these can be concealed from public view. Within the general principles outlined above in this Conservation Management Plan, some relatively minor internal alterations and additions could occur. These should generally be confined to less significant areas and should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components.

Policy

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be

identifiable as such and should, where possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

1. When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.
2. Any new development should be carried out within the existing building envelopes or original footprint indicated in the earlier plans of Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks (refer to 1970s plans in Section 2.0).
3. Period detailing should only be used for elements for which there is clear evidence of the original detail (either remaining in the fabric or in documents).
4. Where there is no evidence of the original detail, it is not necessary/appropriate to invent a period detail (unless the original character of the space is to be recreated and the new element is required to blend in).
5. Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
6. Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.

7.6.2 Integration of Services

Background

The installation of services is an intrinsic component of the contemporary functioning and viability of buildings. It is recognised that periodic upgrading of services within the building components may be required.

Policy

The extension or alteration of existing services in the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, must be carefully considered and limited in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

1. Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces.
2. Areas previously modified for services such as the ground and first floors of No. 17, should be re-used, in preference to modifying intact fabric.
3. The surface mounting of services is preferable to chasing services into significant fabric, in particular face brickwork, stonework and timber.
4. Brackets or fixings for services should not damage significant fabric.

7.6.3 Ordinance Compliance

The *Building Code of Australia* is the operative building ordinance in New South Wales for the conservation and re-use of heritage buildings.

In terms of on-going use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex be not degraded by inappropriate responses to meeting ordinance requirements.

Policy

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should focus of responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

1. Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
2. Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
3. Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
4. When dealing with disability access issues, refer to the document “*Access to Heritage Buildings for People with Disabilities*” prepared by E.J. Martin (Cox), August 1997.

7.6.4 Waste Minimisation and Disposal of Waste During and After Works

Background

Historic fabric removed during construction works should be assessed to separate material that can be re-used or that should be retained as sample for potential future reuse and repair. Waste created during construction works must be managed in accordance with legislative requirements.

Policy

The general approach to waste management is based on the avoidance, minimisation, reuse, recycling of waste and disposal hierarchy. In implementation of this CMP, principles of Environmentally Sustainable Development and relevant legislation will be applied, particularly provisions of the Protection of the Environment Administration Act 1991 and the related regulative.

Guidelines

1. In construction works to the site, all waste material and disposal activities will be in accordance with the provisions of the POEA Act 1991, POEO Act 1997, the WARR Act 2001 and the EPAs Waste Assessment Guidelines.
2. Where feasible, waste is to be recycled. If recycling is inappropriate, waste is to be removed to an authorised waste disposal depot.
3. Removal and disposal of all hazardous wastes on site in accordance with state and national regulations and guidelines and best practice for the removal of these materials.
4. During any works, remove the fabric carefully and assess its suitability for reuse. Any historic fabric that is assessed as suitable for reuse should be stored at the site for the duration of works, and used for minor and major repair of historic fabric as necessary.

7.6.5 Signage and External Lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of the Playfair Street Terraces. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Guidelines

1. Signs and external lighting must be consistent with the relevant Sydney Harbour Foreshore Authority policies for signage and lighting in The Rocks.
2. Suitably located signs that provide a legible and clear message and contribute to the vitality of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, are encouraged.
3. Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
4. Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
5. It is not necessary to attempt to create or recreate an “historic” character in the signage, but modern standardised “trademark” signage is not appropriate.
6. Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.
7. The illumination of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, should highlight architectural features rather than floodlighting whole façades.

7.6.6 New Services and Other Relevant Foreshore Authority's Policies

Background

In addition to specific requirements for new work as presented in this Section, all new work has to comply with other relevant Foreshore Authority Planning Policies to assure grant of consent to the proposal.

Policy

Any proposed work to Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, will fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Guidelines

1. In addition to the Foreshore Authority Policies for Lighting and Signage, as presented in this Section, all new work will comply with the Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

8.0

Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks, and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of Nos. 17-31 Playfair Street, The Rocks, with their provisions are those for *Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security*.

It is considered that the current arrangements fully satisfy Standards for the above. To assure compliance with the Minimum Standards of Maintenance and Repair on the site of Nos. 17-31 Playfair Street, The Rocks, the following works need to be undertaken:

MINIMUM STANDARDS OF MAINTENANCE AND REPAIR Nos. 17-31 Playfair Street, The Rocks	
INSPECTION	
<ul style="list-style-type: none">All the buildings should be inspected annually to check for the potential presence of vermin. The expected issues relate to the timber floor and joinery including stairs.	
ESSENTIAL MAINTENANCE AND REPAIR AND WEATHER PROTECTION	
<ul style="list-style-type: none">The roof cladding and flashing to be monitored and repaired as required.Window functioning and doors to be inspected annually and repaired as required.Window frames and sashes to be painted in accordance with the Schedule and ingress of water monitored.The steel and timber western stair and balcony to be annually and repaired as required.The eastern balconies framing and cladding to be inspected annually and repaired as required.	
FIRE PROTECTION	
<ul style="list-style-type: none">Check and repair functioning of all entry door locks to ensure safe egress from the dwelling in case of fire.	
SECURITY	
<ul style="list-style-type: none">Check and provide adequate and functioning locks to all entry door locks.Check and provide adequate and functioning locks to all windows.	

8.2 Schedule of Conservation Works

The following *Schedule of Conservation Works* describes work that should be implemented to preserve the significant fabric of the Playfair Street Terraces Nos. 17-31 Playfair Street, The Rocks. The works should be undertaken within the next year i.e. all works need to be completed before June 2007 to assure ongoing retention of the significant fabric.

SCHEDULE OF CONSERVATION WORKS			
Nos. 17-31 Playfair Street, The Rocks			
Element	Condition	Significance Level	Action/Treatment
External			
Timber framing and floor fascia to eastern cantilevered balconies	Fair to good	Balcony form and detail high, fabric little	Repair, patch and replace elements as required. Prepare and finish to match.
Entry Doors on the ground floor	Good	High	Check and repair minor defects in timber work and locks.
Timber Windows	Fair to good	Moderate	Check functioning of all windows and repair and replace defective members and sash cords. Sand back timber sills, frames and sashes, seal around windows, prepare and paint in appropriate colour.
Internal			
No specific works noted			

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of (here insert the name of the heritage item). Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

ON-GOING MAINTENANCE SCHEDULE			
Nos. 17-31 Playfair Street, The Rocks			
Building or Site element	Every Year	Every 5 years	Every 10 years
GENERALLY			
OVERALL BUILDING	Monitor condition, general cleaning. Check security and general safety.		
EXTERNAL			
SITE ELEMENTS			
STONE KERBING	Monitor condition and general cleaning with non abrasive methods (mild solution of soap/water)	Seek expert advice regarding the condition and wear and tear and treat/ repair accordingly.	
LOOSE FILL AT BASE OF EASTERN FACADES	Monitor condition	Retain and ensure loose fill as required.	
EXTERNAL BRICK & STEEL STAIRS & CONNECTION TO FOUNDATION PARK	Clean down, inspect and repair as required		
EXTERNAL BRICK & ASPALT PAVING	Clean down, check condition and replace bricks and repair as required		
SHEDS	Retain or replace as required.		
GLASS DISPLAY CABINETS	Clean down. Retain or replace as required.		
STREET & EXTERNAL FURNITURE	Monitor condition. Retain or replace as required.		
WALLS			
RENDERED & BAGGED BRICKWORK	Monitor condition	Clean down, repair and refinish to match and paint as required.	
PARAPETS	Monitor condition and check capping	Clean down, treat, patch and repair as required.	
CHIMNEYS	Monitor condition.	Clean down, patch and repair as required.	
WINDOW SILLS	Monitor condition, repair as required.		
EXTERNAL ELEMENTS			
TIMBER WINDOWS & DOORS	Monitor condition and repair as required	Clean down, sand back, patch and fill as required, prepare and paint	Replace members as required.
EASTERN CANTILVERED BALCONY	Monitor condition and repair members as required.	Clean down, sand back, prepare and paint	
WESTERN BALCONY/ DECK & STAIRS	Check condition and clean down. Repair or replace timber decking as required	Clean down, sand back steel elements and steel plates, prepare and paint.	

ON-GOING MAINTENANCE SCHEDULE			
Nos. 17-31 Playfair Street, The Rocks			
Building or Site element	Every Year	Every 5 years	Every 10 years
STORMWATER DISPOSAL			
GUTTERS & DOWNPIPES	Monitor condition and remove any debris or foliage from heads and pipes.		Inspect, repair or replace as required.
ROOFING			
TIMBER ROOF FRAMING	Access roof space and check condition of timbers and ingress of any water. Repair and replace as required.		
CORRUGATED STEEL CLADDING & FLASHINGS	Monitor condition		Inspect, repair or replace as required.
CHIMNEYS & TERRACOTTA POTS	Monitor condition and repair as required		Inspect, repair or replace pots as required.

ON-GOING MAINTENANCE SCHEDULE			
Nos. 17-31 Playfair Street, The Rocks			
Building or Site element	Every Year	Every 5 years	Every 10 years
INTERNAL			
GENERALLY			
BAGGED WALLS	Monitor condition, patch and repair and repaint as required		Clean down, patch & repair render as required, sand back, prepare & paint.
PAINTED FINISH	Monitor condition		Clean down, prepare & paint
LIGHTWEIGHT WALLS & TIMBER PANELLING	Monitor condition and repair as required		Clean down, patch, repair & replace as required. Prepare & paint.
CEILINGS	Monitor condition		Clean down, sand back, prepare & paint
TIMBER FLOOR STRUCTURE	Monitor condition, patch and repair/replace as required. Seek specialist advice regarding rot and vermin.		
FLOOR BOARDS	Monitor condition, patch and repair/ replace as required. Seek specialist advice regarding rot and vermin.		
JOINERY	Monitor condition, patch and repair as required	Sand back, patch & fill & replace members as required, prepare and paint	
TIMBER STAIRS & BALUSTRADE	Monitor condition, patch and repair as required.	Sand back, patch & fill & replace members as required, prepare and paint.	
SERVICE AREAS No. 17	Monitor condition and check sanitary installations. Upgrade as required		Replace as required
SERVICES			
MECHANICAL (No. 17)	Inspect, repair, replace and upgade as required.		
ELECTRICAL	Inspect, repair, replace and upgrade as required.		
PLUMBING	Inspect, repair, replace and upgradeas required.		

9.0

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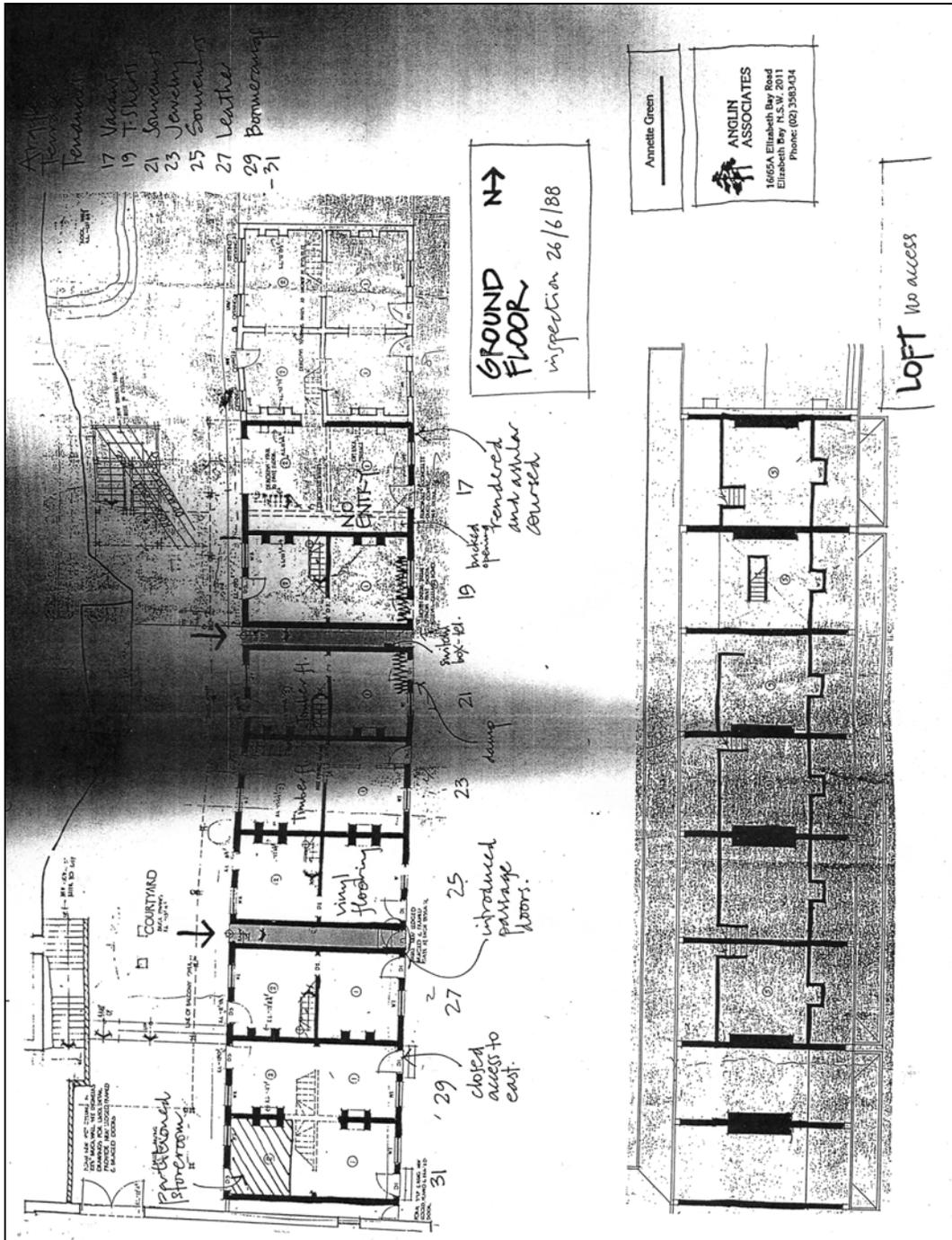
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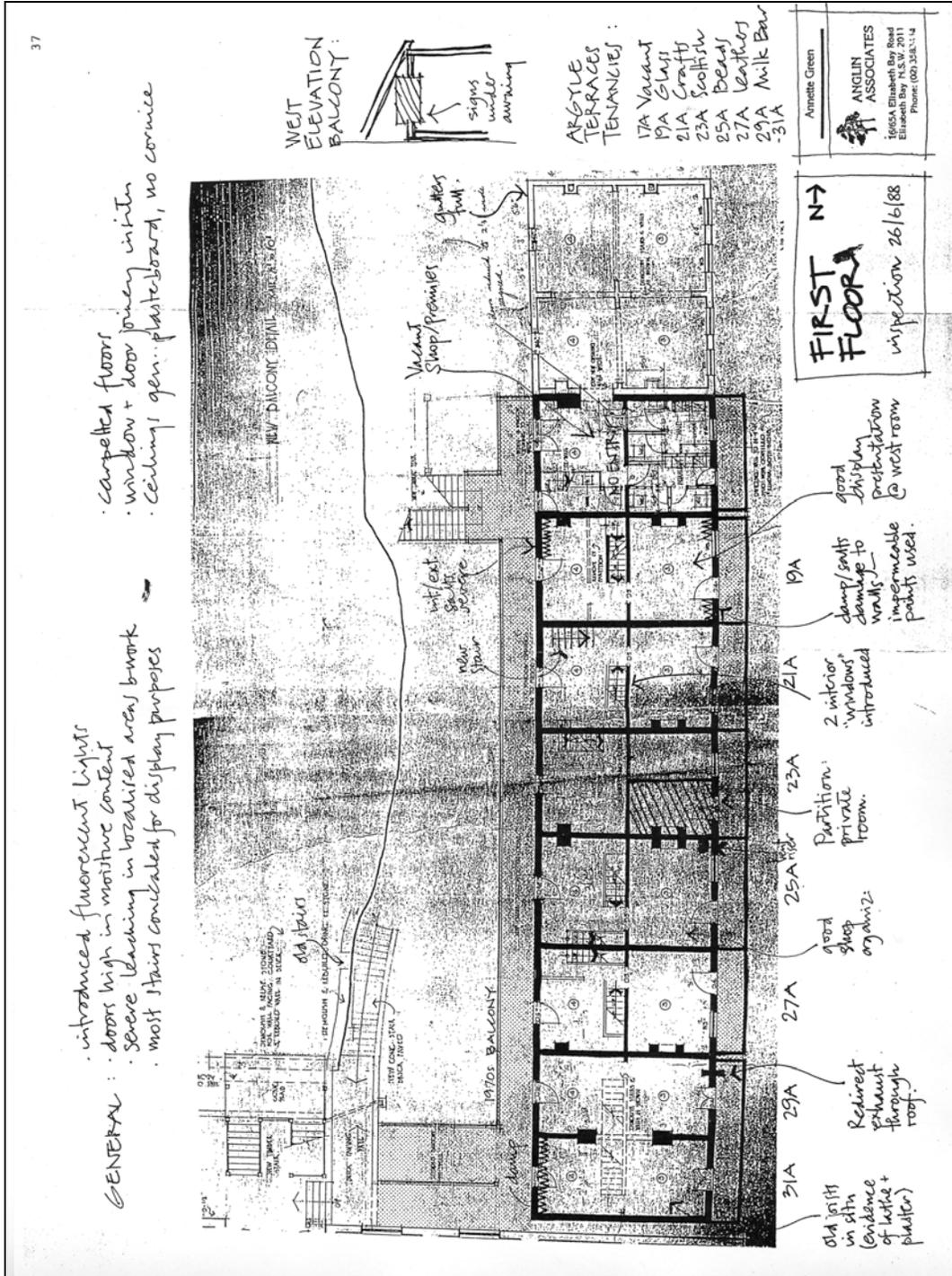
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10.0 Appendix

10.1 1988 Inspection annotated plans





10.2 Sands Directory & Tenancy Cards¹⁰¹

1871	No street listed for location	Gloucester Street Vacant to No. 44
1872	Missing	
1873	New George Street Nelson, William - Shipsmith Bayshaw, William	Gloucester Street Vacant up to Argyle Stores
1874	Missing	
1875	New George Street	Gloucester Street Vacant Land Argyle Stores Argyle Bridge
1876	Little Gloucester Street Vacant Land 9 Humphreys, Edward - Shipwright 11 Hector, William - Printer 13 Kearney, John 15 Macbeath, Benjamin - Boatbuilder 17 Ray, Henry – Coppersmith Vacant Land Argyle Stores	
1877	Nothing under Little Gloucester, Playfair, Harrington, Little Gorge or New George Street	Gloucester Street 2 Green, Edward 4 Hughes, Henry Vacant Land 12 Nicholson, John Brown, James Vacant Land and Bridge
1878	Missing	
1879	Little Gloucester Street 7 Georgeson, William 9 McClusky, Hugh 11 Baxter, James – Joiner 13 Parsonage, George – Bookbinder 15 McBeath, Benjamin - Boatbuilder 17 Brown, Peter 19 Woodley, Arthur – Blacksmith 21 Holland, George Vacant Land Argyle Stores	Gloucester Street 2 Green, Edward 4 Murphy, David 6 Kearney John Erin Terrace 8 Featherbridge, J. – Master Mariner 10 Duggan, James – Carpenter 12 Ireland, Robert 14 Nicholson, Henry – Master Mariner
1880	Little Gloucester Street Vacant land 7 Georgeson, William 9 McClusky, Hugh 11 Baxter, James – Joiner 13 Parsonage, George – Bootmaker 15 McBeath, Benjamin 19 Woodley, Arthur – Blacksmith 21 Holland, George Vacant land Argyle stores	Gloucester Street 2 Green, Edward 4 Murphy, David 6 Kearney, John Erin Terrace 8 Featherbridge, J. – Master Mariner 10 Duggan, James – Carpenter 12 Ireland, Robert 14 Nicholson, Henry – Master Mariner Vacant land

¹⁰¹Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993) & Foreshore Authority Archives

1881	Little Gloucester Street	Gloucester Street
	Vacant land	2 Green, Edward
	7 George, William	4 Murphy, David
	9 McClusky, Hugh	6 Kearney, John
	11 Naylor, Charles – Engineer	8 Featherbridge, J. – Master Mariner
	13 Parsonage, George	10 Holland, George – Engine Driver
	15 McBeath, Benjamin – Boatbuilder	12 Ireland, Robert
	17 Brown, Peter Charles – Mariner	14 Nicholas, Henry – Mariner
	19 Woodley, Mrs Mary Ann	Vacant land
	21 Frances, Mrs Elizabeth - Laundress	
1882	Little Gloucester Street	Gloucester Street
	7 Georgeson, William	2 Wilkes, William – Watchmaker
	9 McClusky, Hugh – Draftsman	Doherty, Theophilus
	11 Thompson, John	Adair, Hugh
	13 Kookoosachi, Constantine	4 Tong, Hong
	15 McBeath, Benjamin – Boatbuilder	6 Kaller, Otto – Waterman
	17 Robins, Peter	8 Kearney, John
	19 Kelch, Luis	10 Coombes, Joseph – Ropemaker
	21 Harnett, David – Carpenter	12 Nock, Mrs Ellen
	Vacant land	14 Ireland, Robert
		16 3No. Tenants
		Vacant land
		Bridge and stairs to Argyle Street
1883	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Glass, D. – Master Mariner
	9 McClusky, Hugh	4 Elliot, Richard
	11 Thompson, John	6 Keller, Otto
	13 White, Edward	8 Kearney, John
	15 McBeath, Benjamin	10 Higgins, B.
	17 Robbins, Peter	12 Knock, Ellen
	19 Welch, Lewis	14 Ireland, Robert
	21 Finney, Jesse	
1884	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Vacant
	9 McClusky, H.	4 Vacant
	11 Thompson, George – Stevedore	6 Keller, Otto
	13 White, Edward	8 Kearney, John
	15 Simpson, William	10 Higgins, Bartholomew
	17 Burns, John	12 Knock, Mrs Ellen
	19 Tattersal, James	14 Ireland, Robert
	21 Richardson, John	16 2No. tenants
1885	Little Gloucester Street	Gloucester Street
	7 George, William R.	2 Coster, Mrs
	9 Curran, Manus	4 White, Edward
	11 Clarke, Thomas	6 Keller, Otto
	13 Hunter, Thomas	8 Kearney, John
	15 Cameron, Hugh	10 Higgins, Bartholomew
	17 Burns, John	12 Knock, Mrs Ellen
	19 Simpson, William	14 Ireland, Robert
	21 Riteraw, John	16 3No. tenants
1886	Nothing under Playfair, little Gloucester, Little George or Harrington Streets	Gloucester Street
		2 Coster, William
		4 White, Edward
		6 Haines, Stephen
		8 Kearney, John
		10 Higgins, Bartholomew
		12 Knock, Mrs Ellen
		14 Ireland, Robert – Tailor
		16 3No. tenants

1888 Playfair Street

3 Grant, William – Master Mariner
5 Allen, James
7 George, William
9 Brown, Thomas
11 Davidson, John – Shipwright
13 Hunter, Thomas – Master Mariner
15 Reid, Mrs
17 Brennan, John
19 McGrath, Charles
21 Morris, Thomas

1889 Playfair Street

3 Riley, James
5 Canns, Samuel – Restaurant
7 George, William
9 George, Mrs
Dunston, Mrs
11 Beashell, Richard
15 Foley, Martin
17 Brennan, John
19 Strong, Augustus
21 Morris, Thomas – Master Mariner

1890 Playfair Street

3 Holmes, George
5 Young, Isaac
7 George, William
9 Brown, Thomas
11 Coglán, John
13 Garren, Lewis
15 Foley, Martin
17 Brennan, John
19 Strong, Augustus
21 Morris, Thomas – Master Mariner

1891 Playfair Street

3 Carey, Patrick
5 Young, Isaac
7 George, William
11 Coglán, John
13 Garren, Lewis
15 Foley, Martin
17 Brennan, John
19 Strong, Augustus
21 Morris, Thomas – Master Mariner

1892 Playfair Street

3 Wells, William
5 Humphreys, Albert
7 Simpson, William
9 O'Shanna-sey, Mrs
11 Coglán, Joseph
13 Garren, Lewis
15 Foley, Martin
17 Brennan, John
19 Strong, Augustus
21 Young, Isaac

Gloucester Street

2 Costler, William
4 White, Edward
6 Haines, Stephen
8 Kearney, John
10 Higgins, Bartholomew
12 Knock, Mrs Hellen
14 Ireland, Robert

Gloucester Street

2 Hanivan, Michael
4 Torkelson, Canute
6 Haines, Stephen – Engineer
8 Kearney, John
10 Higgins, Bartholomew
12 Knock, Mrs Ellen
14 Ireland, Robert

Gloucester Street

2 Hanivan, M
4 Torkelson, Auguste
6 Haines, Stephen – Engineer
8 Kearney, John
10 Higgins, B.
12 Nock, Mrs Ellen
14 Ireland, Robert

Gloucester Street

2 Hanivan, Michael
4 Barrow, Henry
6 Haines, Stephen – Engineer
8 Kearney, John
10 Higgins, B.
12 Nock, Mrs Ellen
14 Ireland, Robert

Gloucester Street

2 Hannivan, Michael
4 Barrow, Henry
6 Haines, Stephen
8 Kearney, John
10 Higgins, B.
12 Nock, Mrs Ellen
14 Ireland, Robert

1893 Playfair Street

3 Stausbury, Joseph
5 Martis, Albert
7 Simpson, William
9 Holmes, George
11 Coghlan, Joseph
13 Garren, Lewis
15 Foley, Martin
17 Brennan, John
19 King, Mrs Elizabeth
21 Youngs, Isaac

1894 Playfair Street

5 Simpson, Henry
7 Holmes, George
19 King, Mrs E.
21 Young, Isaac

Argyle Street

11 Coghlan, Joseph
13 Garren, Lewis
15 Foley, Martin
17 Brennan, John

1895 Playfair Street

3 Brennan, John
5 Simpson, Benjamin
7 Graham, Francis
9 Roberge, William
11 Coghlan, Thomas
13 Garren, Louis
15 Foley, Martin
17 McClafferty, Dennis
21 Young, Isaac

1896 Playfair Street

3 Brennan, John
5 Simpson, Benjamin
7 Graham, Francis
9 Roberge, William
Argyle Street
11 Coghlan, Joseph
15 Garren, Lewis
21 Young, Isaac

1897 Playfair Street

3 Brennan, John
5 Simpson, Benjamin
7 Graham, Francis
9 Roberge, William
11 Coghlan, Joseph
13 Garren, Lewis
15 Wilson, Thomas
19 Holmes, George
21 Gordon, Charles

Gloucester Street

2 Hannivan, M. – Carpenter
8 Kearney, John
10 Higgins, B.
12 Nock, Mrs Ellen
14 Ireland, Robert

Gloucester Street

2 Hannivan, Michael – Carpenter
4 Elliot, James
8 Kearney
Kearney, Mrs Annie
10 Higgins, B – Senior Sargeant of
Police
12 Nock, Mrs Ellen
14 Ireland, Robert

Gloucester Street

2 Hanafin, M.
4 Elliot, James
6 Anderson, Mrs Amy
8 Kearney, John
10 Carson, Robert
12 Brodrick, John
14 Ireland, Robert

Gloucester Street

2 Hanafin, M
4 Elliot, James
6 Anderson, Mrs Amy
8 Kearney, Mrs Annie
10 Carson, Robert
12 Ifield, Stephen
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael
4 Elliot, James
6 Anderson, Mrs Amy
8 Kearney, Mrs Annie
10 Carson, Robert
12 Edwards, J.
14 Ireland, Robert

1898 Playfair Street

5 Simpson, Benjamin
7 Graham, Francis
McCombie, Mrs
9 Anderson, Albert
11 Coghlan, Joseph
13 Garel, Lewis
15 Wilson, Thomas
17 Patten, Thomas
19 Read, Walter
21 Gordon, Charles

1899 Playfair Street

5 Bjornsen, Edwin
5 Holmes, George
7 Graham, Francis
McCombie, Mrs
9 Lochart, William
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Sims, William

1900 Playfair Street

5 Bjornsen, Edwin
5 Elliot, James – Engineer
7 Graham, Francis
McCombie, Mrs
9 Avery, William E.
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 McBride, James
21 Brown, Thomas

1901 Playfair Street

3 Bjornsen, Edwin
5 Elliot, James T. – Engineer
7 Grace, Henry
9 Godfrey, Alfred
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Anderson, Albert
21 Brown, Thomas

1902 Playfair Street

3 Bjornsen, Edwin
5 Chant, David
7 Grace, Henry
9 Morton, Sydney
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin
19 Anderson, Albert
21 Noble, Edwin

Gloucester Street

2 Hanafin, Michael
4 Elliot, James
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael – Carpenter
4 Elliot, James
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
14 Ireland, Robert

Gloucester Street

2 Hanafin, Michael – Carpenter
4 Hewitt, Charles
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Carson, Robert
Paddon, Thomas
14 Ireland, Robert - Tailor

Gloucester Street

2 Hanafin, M.
4 Johnstone, Leslie
6 Murphy, Patrick
8 Kearney, Mrs Anna M.
10 Smythe, William
12 Paddon, Thomas
14 Ireland, Robert
16 Sullivan, James

Gloucester Street

2 Hanafin, Michael
4 Johnstone, Leslie
6 Murphy, Mrs Elizabeth
8 Kearney, Mrs Anna M.
10 Smythe, William
12 McEwan, Samuel
Paddon, Thomas
14 Ireland, Robert
16 Sullivan, James

- 1903 Playfair Street**
3 George, William
5 Champ, David
7 Gaudron, C.
7 ½ Avery, William
11 Coghlan, Joseph
13 Garel, Louis
15 Wilson, Thomas
17 Simpson, Benjamin

- 1904 Playfair Street**
3 Alner, Henry
5 Champ, David
7 Baikle, William
11 Llamand, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
17 Simpson, Benjamin
19 Noble, Edward
21 George, William

- 1905 Playfair Street**
5 Champ, David
11 Llamand, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
17 Simpson, Benjamin
19 Noble, Edward
21 George, William

- 1906 Playfair Street**
5 Champ, David
7 Sedgwick, Mrs Ellen
9 Avery, William
11 Llamond, Nicholas
13 Garel, Louis
15 Coghlan, Joseph
21 George, William

- 1907 Playfair Street**
3 Paice, Henry
5 Champ, Mrs Mary J.
9 Garel, Louis
11 Thomson, Charles
21 George, William

- 1908 Playfair Street**
3 Paice, Henry
9 Olston, Augustus
11 Simpson, Benjamin
13 Garel, Louis Senoir
21 George, William

- Gloucester Street**
2 Hanafin, Michael
4 Johnstone, Leslie
6 Murphy, Patrick
8 Hewitt, Charles
10 Smythe, William
12 McEwan, Samuel
14 Paddon, Thomas
14 Ireland, Mrs Margaret
16 Sullivan, James

- Gloucester Street**
2 Hanafin, Michael
4 Janafin, Joseph
6 Hartup, C. M.
8 Sedgwick, Mrs Nellie
Campbell, Mrs Kate
12 Dubron, James
14 Ireland, Mrs Margaret
16 Sullivan, James

- Gloucester Street**
2 Hanafin, Michael
4 Hanafin, Joseph
6 Parrett, Alexander J.
12 Ireland, Mrs M.
14 Buckley, George
16 Sullivan, James

- Gloucester Street**
2 Hanafin, Michael
4 Mackellar, Duncan
6 Fawcett, Mrs M. J.
Hoben, William J.
8 Lang, Charles
10 Roach, Thomas
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

- Gloucester Street**
2 Kindland, Charles J.
4 Mackellor, Duncan
6 McDougall, Alexander
8 Long, Charles
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

- Gloucester Street**
2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Aubin, George L.
8 Roche, Lombard T.
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

1909 Playfair Street

3 Paice, Mrs Mary Jane
5 Moran, Thomas Henry
7 Silver, Joseph
9 Parrot, David
11 Kane, Thomas
13 Garel, Louise Senior
15 Nolan, Mrs Catherine
19 Alexander, Mrs M.
21 George, William

1910 Playfair Street

3 Paice, Mrs Mary Jane
5 Garel, Louis Junior
9 Perrot, David
11 Kane, Thomas
13 Garel, Louis Senior
15 Nolan, Mrs Catherine
17 Hasler, David
19 Alexander, Mrs M.
21 George, William

1911 Playfair Street

1912 Playfair Street

3 Paice, Mrs Mary Jane
5 Hasler, David
7 Champ, Mrs Mary
9 Silver, Joseph
13 Garel, Mrs Louis
15 McSherry, Phillip G.
17 Morrissey, William
19 Alexander, Joseph
21 George, William

1913 Playfair Street

3 Paice, Mrs Mary Jane
5 Naulls, W. J
7 Ryan, John H.
9 Silver, Joseph
11 Kane, Thomas
13 Garel, Louis
15 McSherry, Phillip G.
17 Scott, John
19 Griffiths, James
21 George, William

1914 Playfair Street

Gloucester Street

2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Aubin, George L.
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs. M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 McDougall, Mrs Elizabeth
4 Gregory, W. J.
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Barker, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Gregory, W. J.
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Barker, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Butler, James
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Butler, James
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Ireland, Mrs M.
14 Bourke, Matthew
16 Sullivan, James

Gloucester Street

2 Edwell, Charles
4 Butler, James
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Winter, Thomas H.
14 Birkley, Walter
16 Sullivan, James

1915 Playfair Street

3 Kane, Thomas M.
5 Naulls, Walter J.
7 Ryan, Mrs Mary
9 Silver, Joseph
11 Kane, Thomas
13 Garel, Mrs Catherine
17 Scott, John
19 Brown, Charles
21 George, William

1920 Playfair Street

3 Kane, T. M. Junior
5 Naulls, Mrs Emily
7 Ryan, Mrs Mary
9 Silver, Joseph
11 Seige, Mrs Elizabeth
13 Garel, Michael
15 Hartley, E. D.
19 Jurgens, Joseph
21 George, William Robert

1925 Playfair Street

13 Kane, Thomas
15 Maulls, Mrs Emily
17 Ryan, Mary Jane
19 Marshall, George
21 Seage, Mrs Elizabeth
23 Silva, Joseph
25 Hartley, Mrs Lillian
27 Scott, John Henry
Harrington Street
31 George, William R.

1930 Harrington Street

13 Kane, Thomas
15 Naulls, Mrs Emily
17 Ryan, Mary J.
19 Marshall, George
21 Seage, Mrs Elizabeth
23 Silva, Joseph
25 Hartley, Mrs Lillian
27 Scott, John H.
29 Scott, George
31 George, William

1933 Harrington Street

13 Kane, Thomas
15 Naulls, Mrs Emily
17 Evan, Mary J
19 Kidd, James
21 Seage, Mrs Elizabeth
23 Silva, Joseph
25 Hartley, Mrs Lillian
27 Scott, John H.
29 Moran, Mrs Catherine
31 George, William

Gloucester Street

2 Mendham, Thomas
4 Wyatt, Henry
6 Bradshaw, George
8 Roche, Lombard
10 Hansen, Silva
12 Winter, Thomas H.
14 Pampton, Mrs E.
16 Sullivan, James

Gloucester Street

2 McDowell, James
4 Dickinson, Mrs. H.
6 Bradshaw, George
8 Hutton, Albert E.
10 McDonald, Roderick
12 O'Brien, Patrick
14 Reynolds, Charles
16 Innis, John

Gloucester Street

2 Soderstrom, O.
4 Dickinson, Mrs H.
6 Light, Charles J.
8 Moran, Mrs Kathleen
10 Kidd, David
12 McBride, John
14 McCarthy, Sydney
16 Innis, John

Gloucester Street

2 Soderstrom, O.
4 Dickinson, Mrs Hannah
6 Knight, Charles J.
10 Kidd, David
14 McCarthy, Sydney

- 1934 Harrington Street**
13 Kane, Thomas
15 Avery, James
17 Ryan, Mrs Mary J
19 Kidd, D
21 Gray, Earnest
23 Bonnette, George
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Moran, WJ
31 George, M
- 1935 Harrington Street**
13 Kane, Thomas
15 Pierson, James
17 Ryan, Mrs Mary J
19 Kidd, D
21 Gray, Earnest
23 Bonnette, George
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Moran, WJ
31 George, M
- 1936 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Gray, Earnest
23 Bonnette, George
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Moran, WJ
31 George, M
- 1937 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Lowe, Emily Margaret
23 Priz Vincent
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Lopez, John/ Warwick, Humphrey/
Richards, Frank
31 Gibson, Constance Pearl

- 1938 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Craig, Caroline
23 Priz Vincent
25 Hartley, Mrs Lillian
27 Moran, WJ
29 Richards, Frank
31 Gibson, Constance Pearl
- 1939 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Remfrey, Joseph Earnest
23 Priz Vincent
25 Manning, FW
27 Moran, WJ
29 Richards, Frank
31 Gibson, Constance Pearl
- 1940 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Manning, FW
27 Moran, WJ
29 Richards, Frank
31 Sing, William Augustus
- 1941 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Frank
31 Turner, John Joseph/ Dixon Gladys
- 1942 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Cocksedge, Sarah G
23 Gosch HJL
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Frank
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)

- 1943 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1944 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1945 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1946 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)

- 1947 Harrington Street**
13 Kane, Thomas
15 Scotland, John
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1948 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Ryan, Mrs Mary J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, Mrs Margaret Mary (later
by maiden name, Beashel)
- 1949 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1950 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1951 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1952 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Thomson Robert/ Seale D and
other ?
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1953 Harrington Street**
13 Kane, Thomas
15 Sylward, CW
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Seale D
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1954 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1955 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1956 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1957 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, D
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1958 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

- 1959 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Davis, Mrs G
25 Sing, William Augustus
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1960 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1961 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, WJ
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)
- 1962 Harrington Street**
13 Kane, Thomas
15 Crow, Joseph Leslie Carl
17 Avery, William J
19 Kidd, Albert Graham
21 Griek, Frank
23 Connelly, JP
25 Macklin Nellie
27 Moran, Catherine Eileen
29 Richards, Grace Elizabeth
31 Balmain, William (occupant is his
mother Mrs Margaret Mary Beashel
1892-1974)

1963	Harrington Street	
	13 Kane, Thomas	13
	15 Crow, Joseph Leslie Carl	15
	17 Avery, William J	17
	19 Kidd, Albert Graham	19
	21 Cocksedge, Reginald George Henry	21
	23 Connelly, JP	23
	25 Macklin Nellie	25
	27 Moran, Catherine Eileen	27
	29 Richards, Grace Elizabeth (died 1963)	29
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	31
1964	Harrington Street	
	13 Kane, Thomas	
	15 Schlede, Rolf Carl	
	17 Avery, William J	
	19 Kidd, Albert Graham	
	21 Cocksedge, Reginald George Henry	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	
1965	Harrington Street	
	13 Kane, Thomas	
	15 Schlede, Rolf Carl	
	17 Avery, William J	
	19 Kidd, Albert Graham	
	21 Cocksedge, Reginald George Henry	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	
1966	Harrington Street	
	13 Kane, Thomas	
	15 Vacant ?	
	17 Vacant ?	
	19 Kidd, Albert Graham	
	21	
	23 Connelly, Faye Patricia	
	25 Macklin Nellie	
	27 Moran, Catherine Eileen	
	29	
	31 Balmain, William (occupant is his mother Mrs Margaret Mary Beashel 1892-1974)	

Tenancy Cards for Nos. 17-31 Playfair Street (formerly Harrington Street).

No. 17 Harrington Street

1934	May	Defence Dept: Understand tenant M Ryan desires transfer to No. 21 & suggesting that this be done.
1935	February August November	M Ryan: Asking transfer to No. 35a Gloucester Street. RP Dept File Tenancy file of MJ Ryan. PO: Rental arrears of MJ Ryan.
1939	November	DR: Indebtedness file of Mrs MJ Ryan.
1949	May May August	MK Moore: Askg Bd to transfer tenancy of above premises to MJ Ryan. W Avery: Askg Bd to transfer tenancy of above premises to him. PO: W Avery. Signing attorn at £1.3.0 pw from 18/8/49.
1952	March	Records: Insurance file, Engineer-in-chief to review valuation of premises.
1954	January	PO: Tenant applies to have electric light installed in bathrooms.
1955	May May/June	PO: Rent increase from £1.11.0 pw to £1.14.6 pw from 7/3/54 PO: Instal additional power point for refridgerator est £2.15.0.
1958	Nov/Jan December	WJ Avery: Accepting conditions re rental £2.3.0 pw from 22/9/57. PO: W Avery requests additional power points in kithcen and lounge room.
1964	October	Eng: Asvg that the premises are in a dangerous condition and suggesting that the tenant be transferred to alternate vacant premises in the redevelopment area.
1965	July September October October November	PO Requesting inspection of premises and they are now vacated. Rec: - stating that area will not be re-let and will ? ? ? state whether fire ? cover £100 will be retained. GIO: Asking to be advised to what purpose are the above prmises are to be used. City Council: stating it has accepted the non Rate status of the property whilst it is own by the Bs and not leased for private purposes. GIO: - stating they have cancelled fire insurance in repsect to the above premises.
1968		Uninhabitable and vacant.

No 17

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes Rates	Water	In'ce
EVERY – William John	Attornment dated 8/8/49 in respect to premises No. 17 Harrington Street from 15/8/49 at £1.3.0 per week for use as a private residence			27	11	006
“ “	WT	15/8/49	£1.3.0 pw	Bd	Bd	Bd
“ “	WT	23/9/57	£2.3.0 pw	“	“	“
	Vacated 15 Sep 70					

Premises vacated on 11/7/1965 – Transferred to 48a Gloucester St

No. 19 Harrington Street

1931	June	PO: D Kidd signing attorn £1.3.6 pw from 1/6/31.
1933	January August	PO: Rental arrears of D Kidd £6.19.6 to 25/12/32. C Council: Notice to prevent access of rats to cistern.
1934	April July	Appln for transfer to No. 28 Harrington Street. (DR) Rental arrears file of D Kidd.
1935	August August	City Council: Notice to repair yard surface, renew bath, renovated and renew guttering. E Kidd: Appln for transfer to premises
1937	April	DR:- rental arrears of W Kidd.
1939	June September	DR: Indebtedness of D Kidd. Town Clerk: Notice to renovate and repair premises.
1940	July	DR: Indebtedness of D Kidd.
1947	February	Town Clerk: Notice to replair leaky roof, renew broken underfloor ventilator and repair broken paving of yard.
1952	March	Records: Insurance file, Engineer-in-Chief to review valuation of premises.
1954	January	D Kidd: Tenant applies for transfer to 31 George St.
1955	May	PO: Rent increase from £1.12.6 pw to £1.15.6 pw for G Kidd from 7/3/55.
1958	June September	AG Kidd signing attornment at £1.10.0 pw from 6/6/58 PO: Tenant A Kidd requestes additonal power point in laundry.
1960	November	Indebtedness of A Kidd of £12-19-0 to 4/12/60
1962	January	D/R: - Indebtedness of AG Kidd.

1966	February	D/R A G Kidd - Indebtedness
	September	AG Kidd – advg he wishes to vacate these premises on 11/9/66.
	September	H Murray: - advg he is nable to remove rubbish from premises and bull is to be fwdd to A Kidd.
	November	D/R Insurage against fire of premises.
	December	GIO: advsg unoccupancy allowed for 90 days.
1967	March/ April	GIO: Advg cancelling fire insurance cover for \$200.
1968		Uninhabitable and vacant

No 19

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
KIDD – Albert Graham	Attornment dated 6/6/1958 of premises No. 19 Playfair Street for use as a Private Residence from 9/6/58 at £2.4.0 pw			27	11	007
“ “	WT Vacated 11/9/66	6/6/58	£2.4.0 pw	Bd	Bd	Bd
RL & NM Biliman		5 year lease	1 st \$1152.00 2 nd \$1404.00 3 rd \$1608.00	Rental advices 537 for balance of term		
Lessee responsible for portion of rates in excess of 4111.49 at rate of 1.10% operation date 10/9/73						
Peter Madougall		5 year lease	1/8/73 1 st 2450.36 2 nd 3112.00 3 rd 3433.84 4 th & 5 th 3433.84 (ea yr)			
Lessee repsonsible for any increase in rates above a base figure of \$4119-49 at the rate of 2.78% of each increase						

No. 21 Harrington Street

1934	May	PO: Earnest Gray signing attorn. 18/- pw from 14/5/1924.
	May	PO: Reptg tenancy of T seage, how deceased, terminated.
	May	Eng: Reptg inspection, satisfactory but reglazing at cost of 15/-.
	June	R Willis: Re above, no money from T Seage's estate so unable to pay.
1935	July/Aug	City Council: Notice to remove rubbish from and effect repairs to eaves guttering.
	August	PO: Rental arrears file of E Gray £2.10.0 due to 11/8/35.
1937	April	DR: Indebtedness file of E Gray
	April	Eng: Reptg inspection on tenant vacating premises satisfactory.
	May	R Morton: - Offering 18/- per week rent for tenancy.
	July	M Lowe: Appln for premises
	August	EM Lowe: - Appln for electric light and power to be installed will pay an extera 1/6 per week rent.

	August September	PO: Emily Margaret Lowe sign attorn £1 pw from 9/8/37 EM Lowe: - Asking that ceiling in kitchen be lined and sink put in and grates in the dining room and bedroom close up.
1938	May/ August May/August September Dummy registration	Eng: premises are in order as far as the late tenant is concerned. PO: Mrs EM Lowe has vacated owing 11/6 PO: Mrs Caroline Craig: attornment at 1/1/6 pw as from 5/9/38 Rental arrears of E Gray late tenant
1939	January May May	Mrs C Craig: - Appln to transfer tenancy to 20 merriman St. Eng: premises are in order as far as late tenant is concerned. PO: Joseph Ernest Remfry attornment at £1.1.6 from 22/5/39.
1940	April/ May May	Eng: Rptg insoection of premises on Remfry vacating. PO: Sarah Ganhilda Cocksedge sign attorn £1/1/6 pw from 20/5-40
1943	May/ June October	PO: F Girek signg attorn £1/1/6 from 7 June 1943. F Girek: - Appn for tenancy in lower Forst Street.
1945	March/ April October	PO: F Griek reported that Mrs M Balmain willfilly damaged window at premises. S Girek: Appln for transfer to a bigger house.
1952	March	Records: Insurance file, Engineer-in-Chief to review valuation of premises
1953	April	Aust Gaslight Co: Advising that a leak occurred in gas stove and needs repair.
1954	October	PO: Instal power outlet in dining room est £8.
1955	May	PO: Rent increase from £1.11.0 pw to £1.14.0 pw for F Greik from 7/3/55
1956	October	PO: tenant requests one square of glass for window estimated cost £1 Recov.
1958	June October	LVS Rent reduction to £1.14.0 pw from 23/9/57. S Greik: Appln to have kitchen painted, yard finished off after laying of water pipes.
1963	September October May September	R Cocksedge: Advsg that her has resided at premises sine November '42. Tenancy previsouly held by mother Mrs Cocksedge who later married Mr F Greik, both are now deceased. RGH Cocksedge signing attornment for £2/3/- pw from 14/10/63 R Cocksedge: Indebtedness file. PO: indebtedness file of R G Cocksedge to 13/9/64 is at £64.16.0

	November	PO: indebtedness file of R G Cocksedge to 29/11/64 is at £87.19.0
	August/ Sept	City Council: Asking Bd to confirm that No. 21 was vacated 28 th Feb 1965 and not re-let.
1966	November	D/R R Cocksedge - Indebtedness
1967	June	A/C: re R Cocksedge: - Advsg \$231.80 was outstanding on vacation as at 4/3/65 and remains unpaid.
1968		Uninhabitable and vacant.

No 21

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
GRIEK - Frank COCKSEGE - Reginald George henry	Vacated premises on 13 th October 1963 Attornment dated 11/11/63 in respect of premises No. 21 Playfair St for use as a Private Residence as from 14/10/63 at £2.3.0 pw			27	07	009
" "	WT Evicted 4 th March 1965	14/10/63	£2.3.0 pw	Bd	Bd	Bd

No. 23 Harrington Street

1931	July December	PO: Rental arrears of JE Silver £4.4.0 due to 5/7/31. J Silver: Expln asking consideration of above.
1933	June May August October	G Bonnette: Asking Trust to grant him tenancy of these premises. Eng: Recdg rebuilding and enlarging of kitchen at est cost of £24.10.0. PO: George Bonnette signing attorn £1.1.0 pw from 14/8/33 (DR) Indebtedness of file of J Silver (late tenant)
1934	December	PO: Rental arrears of G Bonnette £6.3.9 due to 9/12/34.
1935	November	G Bonnette: Regretting arrears and offering 1/6 pw towards reduction.
1936	January January September December December	G Bonnette: Expln re arrears and promise to liquidate. G Bonnette: Has paid portion in arrears - making further offer to liquidate. G Bonnette: asking removal of fuel stove. G Bonnette: Fwdg keys on vacating and promising reduction of indebtedness Eng: Reptg inspection on Bonnette vacating premises, satisfactory.
1937	February	1.1.0 from 8/2/37.

1938	Dummy registration	Rental arrears of G Bonnette late tenant.
1939	May	Small fire occurred at these premises 20/5/39 GIO might be advised.
	June	GIO: Noting no damage was occasioned by fire 20/5/39.
1940	February	DR: indebtedness file of G Bonnette late tenant.
	July	Eng: premises ar in order as far as late tenant is concerned.
	August	£1.1.0 pw from 19/8/40.
1941	July	DR: Indebtedness file of G Bonnette late tenant.
1943	January	PO: Robert Thomson signing attornnt @ £1.1.0 per wek from 16/1/43.
	Jan/ Feb	PO: PO: HJL Gosch intends vacating on 8/1/43. Inspn reported.
1949	November	D Seale: Appn for transfer of tenancy to premises reported about to become vacant at Millers Point.
1952	March	Records: Insurance file, Engineer-in-Chief to review valuation of premises.
1954	June	PO: Mrs G Davis: signing attornment £1.10.0 pweek as from 7/6/54.
1955	February	Mrs G Davis: Complaint re condition of these premises.
	May	PO: Rent increase from £1.10.0 pw to £1.13.0 pw for G Davis from 7/3/55.
1956	August	PO: Reporting indebtedness of G Davis.
1957	August	PO: Install 1 power point and 3 lights Est £16/10/0.
1958	July	DR – G Davis – Indebtedness file.
	August	PO: Tenant requests additonal Power Point in kitchen.
1959	November	A/G Sup of Works: Advsg premises require cleaning and painting throughout prior to granting of a new tenancy. Est cost £16/-/-
	December	PO: JP Connolly signing attornment at £2/1/- pw from 21/12/59
1961	November	Eng: Tenant requests installation of power point in Laundry. Est cost £2.1.0 (recoverable)
1962	May	PO: Reptng indebetedness of J Connolly £7.5.0 to 20/5/62
1964	March/ April	PO: Advg JP Connolly died on 27/3/64. April
	April	FP Connolly: Asking Bd to tranfer tenancy to her.
	April	FP Connolly: Signing attornment at £2/1/- pw from 20/4/64.
	May	FP Connolly: Appn for pensions concession rate.
	June	AR Sloss, MLA: Advg mrs F Faye (Connolly) wishes to transfer to other premises, suggesting Kent St.

1966	December	Neill (Re Connolly) 14/12/66 Married James Gerrard Neill.
1967	January	Neil: Tenancy
1968	March	Mrs J Neill: -Applying for other premises. Wants consideration as tenant for 145 Gloucester Street when vacant. Advsg present premises damp, unhealthy and rat and roach infested. Young children afraid to use bath and toilet in yard because of rats etc.
1969	Dec/ April	Noting Mrs Neill vacated premises on 15/12/68 and rent has been paid to date. Further actions re 153A Gloucester St is proceeding.
	April	Fire insurance
1968		Uninhabitable and vacant.

No 23

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes	Rates	Water	In'ce
CONNELLY – Fay Patricia	Attornment dated 20/4/1964 in respect of a building comprising ground floor and first floor only erected on premises known as no. 23 Playfair Street, together with yard area and outhouses to a height of 9 feet above ground level for use as a “private residences” as from 20 th April 1964 at £2.1.0 per week.			27	03	015	
“ “	WT	20/4/64	£2.1.0 pw	Bd	Bd	Bd	
“ “	WT	25/5/64	£1.13.0 pw	Pensioners Rental Concession			
NEILL - Fay Patricia	Attornment dated 5/1/67 in respect of a building comprising ground floor and first floor only erected on premises known as no. 23 Playfair Street, together with yard area and outhouses to a height of 9 feet above ground level for use as a “private residences” as from 19 th December 1966 at \$4.10 per week. VACATED 12/12/68 – Tenant transferred to 153A Gloucester St.						

No. 25 Harrington Street

1932	May	PO: rental arrears of L Hartley £4.8.0 due to 1/5/32.
1933	October	(DR) Rental arrears file of L Hartley.
1935	August September September November	RP Dept File 26/1455. Tenancy file of L Hartley. Eng: Repairs to door lock have been carried out. September PO: Rental arrears file of L Hartley. November Eng: tenant Hartley requires kitchen renovated and yard whitewashed. Cannot recommend ?.
1936	April	Eng: Rates service being received, recdg City Council repair some and debit.
	October	Asking that premises be renovated internally.

1937	August october	DR: Rental arrears file of L Hartley A/c: reglazing square of glass cost 1/11, recoverable from tenant.
1939	July July September September September November November	L Hartley: Asking transfer to No. 70 High St. DR: Indebtedness of L Hartley. L Cummings (Hartley): Asking transfer to 70 high St. Eng: Rept on inspection of premises after vacated by Hartley – Window glass broken. PO: RW Manning signing attorn £1.1.0. pw from 2/10/39. Eng: Recov cost of reglazing 4 square of glass and repairing £1.5.0 late tenant. L Hartley: - Denying liability for 9/- charged by Board for door allegedly missing on her vacation.
1940	August September	PO: - F manning appln for permission to have gas cooker installed. PO: F W manning : Askg for estimate to have above gas installed.
1941	April/ May May May	PO: WA Sing signing attornment for £1.1.6 pw from 5/3/41. Eng: Supply fitting and connect gas cooker - £15 WA Sing. Eng: Recov. Cost of reglazing 3 squares glass 7/6 F Manning.
1947	Feb/March	Town Clerk: Notice to protect WC cistern to prevent access of rats.
1952	March	Records: Insurance file, Engineer-in-chief to review valuation of premises.
1954	Nov/Dec	PO: Instal power point and laundry light est £8.15.0
1955	May	PO: Rent increase from £1.11.0 pw to £1.14.0 pw for W Sing from 7/3/55.
1956	August	PO: Instal tenants own gas bath heater . Est £39.10.0 Rec.
1957	Nov/Dec	WA Sing: Accepting condition re rental PO: Instal tenants own gas bath heater . Est £39.10.0 Rec.2.3.- pw from 4/12/57.
1960	February February Feb/March March September	PO: Aavg WA Sing tenant o premises has left same in good condition. PO: Req. installation of light in attic and bathroom. PO: Interior painting and repairs where necessary. PO: N Macklie signing attornment at £2/3/- pw from 14/3/60. PO: Tenant requests installation of two power points.
1961	April	PO: Indebtedness of N Macklie of £8/12/0 to 16/4/61.
1962	October	DR: N Mackin: Indebtedness
1963	November	PO: Indebtedness of N Macklin of £12/13/- to 3/11/63.

1964	January	D/R Indebtedness of N Macklin.
1965	August	P/O Indebtedness of N Macklin £36/18/6.
1966	May	Indebtedness of N Macklin: cs: fwdg \$62.15 rent outstanding to 8/5/66.
1967	March	N Macklin: Advsg difficulties to pay rents and asking if Board will accept his terms.

No 25

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
MACKLIN – Mrs Nellie	Attornment dated 11/3/1960 in respect of premises known as No. 25 Playfair Street, for use as a “private residences” as from 14.3.60 at £2.3.0 per week.			27	03	015
“ “	WT	14/3/60	£2.3.0 pw	Bd	Bd	Bd
	VACATED 4 Nov 70 Mrs macklin removed to 46 Gloucester St					
EE Jacobs Argyle Centre 25-25A	New operateure date 5/3/73					

No. 27 Harrington Street

1928	January	J Scott: Complaininf re behaviour of M George tenant of No. 31 asking that he be removed.
1930	May	Eng: Tenant required electric light point installed.
1931	January May October	PO: Tenants arrears £8/4/6 due to 11/1/31. Illness in family. T&A: Reglazing 2 squares in balcony door 8/7; Recoverable. E Scott: is vacating, but promising to redue arrears by 5/- pw.
	October October	PO: WJ Moran signing attornment £1/1/6 pw from 19/10/31. Eng: Reptg inspection, premises satisfactory.
1932	July	PO: Rental arrears or WJ Moran £3.6.0 due to 26/6/32.
1934	January July May	PO: - Rental arrears of WJ Moran C Moran: Asking transfer from No. 27 Harrington St to No. 32 Harrington St. C Moran: Again requesting transfer to No. 32 Harrington St.
1935	July/August October	City Council: Notice to povid improve water supply. Eng: Tenant has not complained re: condition of bathroom floor.
1936	January March	PO: Rental arrears of WJ Moran £38.14.0 due to 19/1/36. (DR) See file as above.

1937	December	DR: Rental arrears file of WJ Moran.
1940	DR	Rental arrears of WJ Moran.
1942	(Dummy Registration)	DR: Rental arrears of WJ Moran
1947	Feb/ March	Town Clerk: Notice to repair and reglaze window of front room on ground floor.
1952	February March	PO: Tenant requests power pt in kithcen £4. Records: Insurance file, Engineer-in-chief to review valuation of premises.
1955	May	PO: Rent in arrears from £1.11.6 pw to £1.14.6 pw for W. Moran from 7/3/55.
1956	June	C Moran: Complaining about condition or roof above bedroom and the chimney, also asking for fuel stove to be removed to enable him to instal a gas stove.
1958	Dec/ Jan May/June June	W Moran: Accepting condition re rental £2.2.0 pw from 22/9/57. C Moran: Requesting Board to decrease rent if feasible. LVS Rent reduction to £1.14.6 pw from 23/9/57.
1959	November	C. Moran: - Making application to have back bedroom and walls of dining room painted.
1962	June June October	PO: Mrs CE Moran requests transfer of tenancy to her name. PO: CE Moran sign attornment £2.3.0 pw from 18/6/62. Australian Gas Light Co: Advq of repair needed to gas system.
1967	February	Mrs C moran: Rq. Painting of lounge room, kitchen, laundry and toilet.

No 27

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
MORAN – Catherine Eileen	Attornment dated 18/6/62 in respect of premises No. 27 Playfair Street, for use as a “private residences” as from 18/6/62 at £2.3.0 per week.			27	14	020
“ ”	WT	18/6/62	£2.3.0 pw	Bd	Bd	Bd
	WT	18/6/68	£1.14.6 pw	Widows reduction		
	VACATED 4 Nov 70 removed to 63 Harrington St					

No. 29 Harrington Street

1928	March October October November	LMC: E O'Brien owes £5.6.0 to 12/3/28. PO: Appln by G Scott for installation of 5 EL points. PO: GE Scott signing attornment £1/2/6 pw from 22/10/28. WG Scott: Water service very poor and chimney smoking badly.
1930	January	PO: WJ Moran signing attornment £1.4.0 pw from 30/12/29.
1931	January October	Appln for reduction in rental. C Moran: Appln to transfer to No. 27 Harrington St.
1934	November December	Eng: Reptg premising burgled and front door and window pane smashed, cost or repair £1.10 Police Dept: re above. Action taken but no arrest made.
1937	August August August August October November December	PO: John Lopez sign attorn £1.1.6 pw from 23/8/37. PO: Recdg refund of rental deposit of £1.1.6 to J Lopez. PO: Humphrey Francis Warwick sign attorn £1.1.6 pw from 23/8/37. J & G Lopez:- Askg for refund of one weeks rent £1.1.6 as deposit. PO: Rental arrears of HJ Warwick £3.4.6 to 17/10/37. PO: Reptg inspection of premises on HJ Warwick vacating premises satisfactory. PO: Frank Joseph Richards sign attorn £1.1.6 pw from 29/11/37. Private residence.
1943	March September	PO: GE Richards sign attorn £1.1.6 from 29/3/43 Private residence. A/c: Connect gas stove. Job V1768 £1 recov from tenant.
1947	Feb/March	Town Clerk: Notice to renew leaky downpipe.
1952	March July	Records: Insurance file, Engineer-in-chief to review valuation of premises. PO: Install extra power point in front room gr floor £4.10.0.
1955	May	PO: Rent increase from £1.10.0 pw for G Richards from 7/3/55.
1958	Dec/Jan	Mrs G richards: Accepting condition re rental £2.1.0 pw from 22/9/57.
1962	June	Mrs G Richards: Fwdg one weeks rent and req a receipt for last weeks rent.
1963	January	Eng: G Richards: Reglazing: sub to reglaze 1 square glass in kitchen and loung room windows.
1964	January February	Public Trust Office: Avg that ontents have been removed and tenancy is now surrendered. Encl key to property. PO: Advg premises were recently vacated but are in dirty condition and are not suitable for letting in presen condition.

	February	PO: Advg inspection of premises is required at 10.30 AM on 4/2/62.
	March	Public Trust Officer: Askg Bd its amount of rent which was owing at the date of death of G Richards.
1966	November	City Council: - adg 90 cents remains outstanding in rate account re these premises asking if this could be forwarded to City Treasurer.
1967	January	29 Playfair Street.
	January	City Council: - silly fools want 90c from rent of Jan & Feb 1964.
	February	Gov. Insurers Office: Advg premises vacant.
	June	Gov. Insurers Office: Advsg cancelling fire ins. For \$500.

No 29

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
RICHARDS – Grace Elizabeth	WT	29/3/43	£1.1.6 pw	27	19	010
“ “	WT	23/9/57	£2.1.- pw	Bd	Bd	Bd

Mrs Richards dies 27th November 1963. Rent paid by Estate to 2nd February 1964.
Vacated premises in poor condition: Eng-in-chief asked to cost to make habitable.

No. 31 Harrington Street

98	January	M George: (J Scott) Complaining re behaviour of George asking Comm to remove him from occupation
1930	July	City Council:- Notice to paint dining room and bedroom walls and ceilings.
1935	May	PO: Reptg arrears W George who died 15/4/34 owing rental to Trust.
	August	RP Dept File 27/155 Tenancy file of Wm George.
1937	August	PO: Mildred Waulker sign attorn £1.1.6 pw from 16/8/37
	August	M Waulker: Appln for refund of rental deposit £1.3.6.
	September	Eng: Replace shades and copper.
	September	PO: Constance Pearl Gibson sign attorn £1.1.6 pw from 27/9/37.
	November	CP Gibson: Fwdg £2 on a/c rental arrears.
	November	CP Gibson: Has married again name is now Mrs S Hanson fwdg £1.2.6 on a/c rent.
	December	CP Gibson (Hanson) Fwdg £2 on a/c of Rent.
1939	May	DR: - Indebtedness of CP Gibson.
1940	February	PO: William August Sing sign attorn £1.1.6 pw from 4/3/40.

	February	PO: Reptg inspection on P Gibson vacating door of living room to be repaired, one square broken glass to be replaced and rubbish to be removed.
	March	Eng: Recov cost repair door in living room, reglaze one square of glass in rear room first floor and remove rubbish from Gibson.
	November	PO: John Joseph Turner sign attorn £1.1.6 pw from 11/11/40.
	October	PO: WA Sing vacating. Everything in order on inspection.
	December	Eng: Tenant JJ Turner will be vacating on 8/12/40 – Inspection made – premises in good order.
	December	PO: Gladys Irene Dixon: Sign attorn £1.1.6 pw from 30/12/40.
1941	August	Eng: Reptg inspection on GI Dixon vacating – 1 square glass to be replaced by late tenant.
	August	PO: MM Balmain signing attornment for £1.1.6 pw from 1/9/41.
1942	September	M Balmain: Appn to rent premises 42 High Street.
1944	October	P): re Mrs M Balmain refusing to pay rent. Suffering from mental disarrangement. Complaints from neighbours concerning her condition.
1945	March	Petition by residents of harrington St to have Mrs M Balmain removed from premises.
	May	D Rawley: Appln to rent premises when Mrs Balmain vacates.
	July	Petition by residents of Harrington St to have Mrs Balmain removed.
	July	M Balmian: Anonymous letter from above left at office.
	August	M Balmain: Asking Bd to have letters addressed to M Beashel or Balmian placed in letter box.
	August	RAAF: Cpl WG Balmain has been granted 14 days leave and left unit on 4/8/45.
	November	W Balmain: Due to recent happening I make an application for a suitbale house or small flat.
1946	March/May	PO: MM Balmain signing attornment at £1.1.- pw as from 21/5/46.
1947	March	PO: WG balmain signing attornement at £1.1.6 pw from 24/3/47.
1948	February	M Balmain: Rental arrears. Advsg Bd that debt has nothing to do wioth my son and all correspondence should be addresses to me.
1949		Indebtedness file of W Balmain. Rental arrears.
1952	March	Records: Insurance file, Engineer-in-chief to review valuation of premises.

1954	August	PO: Mrs M Balmain vacated under notice to quit owing rental arrears of £25.16.6. Recommending amount be written off as bad debt.
1955	May	PO: Rent increase from £1.10.0 pw to £1.13.0 pw for W Balmain – 7/3/55
	June	PO: Indebtedness file of W Balmain.
	September	Auditor General: Amount of £25.16.6 may be regarded as irrecoverable.
	October	Eng: Reglaze one square broken glass in back room. Est cost 12/6
1956	February	Eng: Reglaze small square of glass in back rm window. 12/6 Recov.
1957	January	PO: Indebtedness file of W Balmain.
1958	January	DR: indebtedness file of W Balmain.
	Nov/ Jan	W Balmain: Accepting condition re rental £2.1.- pw from 12/9/57.
	March	PO: W Balmain: Indebtedness £6/3/- to 23/3/58.
	June	LVS Rent reduction to £1.13.0 pw from 23/9/57.
	September	DR W Balmain - Indebtedness file.
1961	March	PO: Indebtedness of W Balmain of £8.5.0 to 19/3/61.
1962	March	DR Indebtedness of W Balmain.
	October	PO: - Recommending that rental be increase to £2.1.0 as tenancy is in name of W Balmain who is not in receipt of a pension to justify rental reduction.
1965	July	D/R Indebtedness of W Balmain.
1968	July	City Council: Advg a recent inspection of premises discloses that the eaves guttering attached to the overhanging balcony is in need of repair.

No 31

Name of Tenant	Nature of Tenancy	Period	Rental	Rates & Taxes		
				Rates	Water	In'ce
BALMAIN - William	Attornment dated 24/3/47 in respect of premises No. 31 Playfair St for use as a Private Residence as from 24/3/47 at £1.1.6			27	02	020
“	“	WT	23/4/47	£1.1.6 pw	Bd	Bd
“	“	WT	23/9/57	£2.1.- pw	“	“
“	“	WT	23/9/57	£1.13.- pw	Reduction OAP	
“	“	Despite the fact that W Balmain does not live on premises, premises are occupied by his mother only (pensioner) the reduction of rental of £1.13.0 per week for pensioners to continue. Reverted to maiden name Beashel (Pensioner Car B10410)				

VACATED 25/7/71

WM Crittle (sic) S Lane . New operation date 5/3/73.
 29A to 31 A 1st Floor Argyle Centre

10.3 Standard Exemptions under the NSW Heritage Act

The following is a Schedule of Standard Exemptions, produced by the NSW Heritage Office, that apply to the buildings.

10.3.1 General Conditions

1. These general conditions apply to all of the following Exemptions.
2. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the NSW Heritage Office including *"The Maintenance of Heritage Assets: A Practical Guide" 1998*, *"Moveable Heritage Principles" 2000* and *"The Heritage Council Policy on Managing Change to Heritage Items"*.
3. The following standard Exemptions do not apply to anything affecting relics, places, items or sites if heritage significance to Aboriginal peoples or which affects traditional access by Aboriginal people.
4. The Executive Director, Director and Managers employed by the Heritage Office, Department of Planning; the Executive Director, Tenant and Asset Management Service, employed by the Sydney Harbour Foreshore; the Executive Director Cultural Heritage employed by the Department of Environment and Conservation; and the Director of Planning employed by the Sydney City Council may perform any of the function of the Director-General of the Department of Planning (Director-General) under these exemptions.

The authorisation to the Executive Director, Tenant and Asset Management Services of the Sydney Harbour Foreshore Authority is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Executive Director, Tenant and Asset Management Services.

The authorisation to the Executive Director Cultural Heritage of the Department of Environment and Conservation is restricted to land for which it is the delegated approval body under section 169 of the Heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemption is satisfied, must not be carried out by the Executive Director Cultural Heritage.

The authorisation to the Director of Planning, Sydney City Council is restricted to land for which the Council is the delegated approval body under section 169 of the heritage Act, and the preparation and submission of information required to demonstrate that compliance with the criteria contained in these exemptions is satisfied, must not be carried out by the Director of Planning, Sydney City Council.

5. In these Exemptions, words shall be given the same meaning as in the *Heritage Act 1977* ("the Act") unless the contrary intention appears from the context of the exemption.
6. Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

Guidelines

In addition to the above guidelines listed in paragraph two, the Heritage Council adopted further guidelines on 7 April 2004 for use in interpreting and applying standard exemptions.

If it is unclear whether proposed development satisfies the requirements of these exemptions, an application will be required under Section 60 of the Heritage Act.

10.3.2 Standard Exemption 1: Maintenance and Cleaning

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- (a) the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;
- (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

Guidelines

Maintenance is distinguished from repairs, restoration and reconstruction as it does not involve the removal of or damage to existing fabric or the introduction of new materials. It is a continuing process of protective care. Typical maintenance activity includes:

- *the removal of vegetation and litter from gutters and drainage systems;*
- *resecuring and tightening fixings of loose elements of building fabric;*
- *lubricating equipment and services which have moving parts;*
- *the application of protective coatings such as limewash, polish, oils and waxes to surfaces which have previously had such coatings applied; and*
- *cleaning by the removal of surface deposits using methods other than aggressive mechanical or chemical techniques such as high pressure, high temperature or strong solvents which may affect the substrate.*

This standard exemption applied to the maintenance of all types of heritage items including buildings, works, landscapes; cemeteries and movable heritage. Reference should be made to other relevant standard exemptions (#12, 14 and 17) for particular types of items.

10.3.3 Standard Exemption 2: Repairs

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

- (a) the replacement of services such as cabling, plumbing, wiring and fire services that used existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
- (b) the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

Guidelines

This standard exemption is not intended to allow the cumulative replacement of large amounts or a high proportion of the fabric of the item. If replacement of large amounts of fabric is necessary, an application will be required to be submitted under s 60 of the Heritage Act. If there is uncertainty about whether the proposed extent of repair is exempt from approval, advice should be sought from the NSW Heritage Office.

Repairs should have detailed specifications and carried out by licensed tradespeople with experience in the conservation of heritage buildings. It is essential that the composition of elements of the fabric such as renders, mortars, timber species and metal types remain the same to assist with matching appearance and avoiding chemical incompatibility.

Repair may involve reconstruction which means returning an item to a known earlier state. This may involve the use of new or recycled materials.

Reconstruction must satisfy a four-part test to qualify for exemption from approval:

- 1. The nature of the earlier state being reconstructed must be known. Where there is conjecture about the earlier state of the fabric or where it is proposed to change the appearance, material or method of fixing of the fabric an application under s 60 of the Heritage Act will be required.*
- 2. The replacement of fabric must be matching in appearance and method of fixing. The use of salvaged or recycled fabric can be a valuable resource in matching appearance in preference to the use of new fabric which may appear obtrusive. However the damage to other heritage buildings by the salvaging of fabric for*

reuse is unacceptable. Salvaged materials must be judiciously sourced so as not to encourage secondary damage to other heritage resources. The use of artificial ageing techniques to assist the matching of new with original fabric is only advocated where there is an obtrusive mismatch of materials which negatively impacts on the heritage significance of the item. Ideally, new and original fabric should be subtly discernable on close examination to assist interpretation of the history of change to the building.

3. *The fabric being replaced must be beyond further maintenance. The replacement of fabric may only occur where fabric is missing or it is so damaged or deteriorated that is beyond further maintenance. In many cases the judgement about the level of deterioration and the effectiveness of further maintenance will require the advice of a person who is suitably experienced in similar heritage conservation projects. If it is unclear that the fabric is beyond further maintenance, its replacement will require the submission of an application under s 60 of the Heritage Act.*
4. *Significant fabric must not be damaged or removed. In all cases of repair, the damage or removal of significant fabric is not permitted without approval. Significant fabric is that which contributes to the heritage significance of the item. The identification of the level of significance of fabric will usually require the advice of a person who is suitably experienced in similar heritage conservation projects. The damage or removal of significant fabric will require the submission on an application under s 60 of the Heritage Act.*

New material used in repairs should where possible be date stamped in a location which is not conspicuous but is legible on close examination. Archival recording of removed and replacement fabric is advocated and should be used interpretive displays where practicable.

10.3.4 Standard Exemption 3: Painting

1. Painting does not require approval under s. 57(1) of the Act if the painting:
 - (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
 - (b) involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting;
 - (c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.
2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:
 - (a) the Director-General is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
 - (b) the person proposing to undertake the painting has received a notice advising that the Director-General is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director-General and describe the proposed colour scheme, paint type, details of surface preparation and paint removal involved in the repainting. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director-General shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

Guidelines

Painting of surfaces which have not been previously been painted such as face brickwork, stone, concrete or galvanised iron is likely to adversely affect the heritage significance of the item and is not exempt from approval under this standard exemption. Likewise, the stripping of paint coatings which intended to be protective may expose the substrate to damage and cause the loss of historical record and significance of the building. In cases where surface preparation has revealed significant historic paint layers, repainting should facilitate the interpretation of the evolution of the building by displaying appropriately located sample patches of historic paint schemes. This information should also be examined if it is proposed to recreate earlier finishes or paint schemes.

Paint removal of failed layers to achieve a stable base for repainting is exempt from approval but intervention should be minimised to avoid the loss of the significant historical record. Where old paint layers are sound they should be left undisturbed. The removal of paint with a high content of lead or other hazardous materials requires considerable care and use of experienced tradespeople as its disturbance can create health hazards. If the removal of such paint layers will adversely affect the heritage significance of the item, an application will be required under section 60 of the Heritage Act.

Reference should be made to The Maintenance Series, NSW Heritage Office, particularly Information Sheets 6.2 Removing Paint from Old Buildings, 7.2 Paint Finishes and 7.3 Basic Limewash (available on line at www.heritage.nsw.gov.au).

10.3.5 Standard Exemption 4: Excavation

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director-General is satisfied:

- (a) where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that there is little likelihood of there being any relics in the land or that any relics in the land are unlikely to have State or local heritage significance; or
- (b) where the excavation or disturbance of land will have a minor impact on the archaeological resource; or
- (c) where the excavation or disturbance of land involves only the removal of fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director-General and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director-General

is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director-General shall notify the applicant.

NOTE 1: Any excavation with the potential to affect Aboriginal objects should be referred to the Director-General of the Department of Environment and Conservation.

NOTE 2: If any Aboriginal objects are discovered on the site, excavation or disturbance is to cease and the Department of Environment and Conservation is to be informed in accordance with s 91 of the National Parks and Wildlife Act, 1974.

NOTE 3: This exemption does not allow the removal of State significant relics.

NOTE 4: Where substantial intact archaeological relics of State or local significance, not identified in the archaeological assessment or statement required by this exemption, are unexpectedly discovered during excavation, work must cease in the affected area and the Heritage Office must be notified in writing in accordance with s 146 of the Act. Depending on the nature of the discovery, additional assessment and possibly an excavation permit may be required prior to the recommencement of excavation in the affected area.

Guidelines

Excavation or disturbance to which clause 1(c) applies only involves the removal of unstratified fill material of minor heritage significance. Such fill will have been deposited in a single episode.

10.3.6 Standard Exemption 5: Restoration

1. Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under s. 57(1) of the Act.

2. The following restoration does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director-General is satisfied:

- (a) the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.

3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director-General and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director-General shall notify the applicant.

Guidelines

Restoration in accordance with clause 1 of this standard exemption does not involve the removal of fabric and only relates to the return of fabric which has been removed to storage or has been dislodged from its original location.

10.3.7 Standard Exemption 6: Development Endorsed By The Heritage Council Or Director-General

1. Minor development specifically identified as exempt development which does not materially impact on heritage significance, by a conservation policy or strategy within a conservation management plan which has been endorsed by the Heritage Council of NSW or by a conservation management strategy endorsed by the Director-General does not require approval under s. 57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed development. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1, the Director-General shall notify the applicant.

Guidelines

This standard exemption does not exempt development that is consistent with a conservation policy or strategy contained in an endorsed conservation management plan or interim conservation management strategy other than development that is specifically identified as exempt development in that conservation plan or strategy.

8.4.8 Standard Exemption 7: Minor Activities With No Adverse Impact On Heritage Significance

1. Anything which in the opinion of the Director-General is of a minor nature and will not adversely affect the heritage significance of the item does not require approval under s.57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed activity. If the Director-General is satisfied that the proposed activity meets the criteria set out in paragraph 1, the Director-General shall notify the applicant.

Guidelines

This standard exemption has the potential to relate to a wide range of minor development. In determining whether a proposed development is minor the Director may have regard to the context of the particular heritage item such as its size and setting. For instance a development may be considered to be minor in the context of Prospect Reservoir's 1200ha curtilage whereas a similar proposal affecting an item on a smaller site may not be considered to be minor.

In order to assess whether a proposal has an adverse affect on heritage significance it is necessary to submit a clear and concise statement of the item's heritage significance and an assessment of whether a proposal impacts on that significance.

10.3.9 Standard Exemption 8: Non-Significant Fabric

1. The following development does not require approval under s.57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:

- (a) the alteration of the building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director-General and describe the proposed development. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a), the Director-General shall notify the applicant.

Guidelines

In order to assess the level of significance of fabric it is necessary to submit a clear and concise statement of the item's heritage significance and to grade the fabric of the place in accordance with its association with or impact on that significance. It may not always be concluded that more recent fabric is of less or no heritage significance.

10.3.10 Standard Exemption 9: Change Of Use

1. The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director-General is satisfied:

- (a) the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; or
- (b) the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant association with the item by current users;

2. A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director-General and describe the changes proposed. If the Director-General is satisfied that the proposed development meets the criteria set out on paragraph 1(a) or (b), the Director-General shall notify the applicant.

Guidelines

For the purposes of this standard exemption any change of use which is inconsistent with specific conditions of any previous approval or consent such as hours of operation or nature of conduct of an activity requires approval under section 57 (1) or the modification of an approval under section 65A of the Heritage Act.

10.3.11 Standard Exemption 11: Temporary Structures

1 The erection of temporary structures does not require approval under s. 57(1) of the Act, providing that the Director-General is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director-General is satisfied:

- (a) the structure will be erected and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 months;
- (b) the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological feature of its curtilage or obstruct significant views of and from heritage items.

2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director-General and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director-General is satisfied that the proposed development meets the criteria set out paragraphs 1(a) and 1(b) the Director-General shall notify the applicant.

Guidelines

The cumulative impact of the multiple use of this standard exemption will be considered by the Director in the assessment of simultaneous construction of a number of temporary structures or a succession of temporary structures which may have a prolonged adverse impact on the heritage significance of the item.

10.3.12 Standard Exemption 12: Landscape Maintenance

1. Landscape maintenance which is of the type described below does not require approval under s 57 (1) of the Act:

- (a) weeding, watering, mowing, top-dressing, pest control and fertilising necessary for the continued health of plants, without damage or major alterations to layout, contours, plant species or other significance landscape features;
- (b) pruning to control size, improve shape, flowering or fruiting and the removal of diseased, dead or dangerous material, not exceeding 20% of the crown of a tree within the period of 2 years; or
- (c) tree surgery by a qualified horticulturist or tree surgeon necessary for the health of those plants.

NOTE 1: In relation to cemeteries, landscape features include monuments, grave markers, grave surrounds, fencing, path edging and the like.

Guidelines

Landscape features and garden are fundamental to the setting of heritage items and are important to the appreciation of the heritage significance. Landscape setting is by its nature evolving and often requires more regular maintenance than other elements of heritage fabric. Horticultural advice may be required to ensure a regime of maintenance appropriate to the retention of heritage significance of a place. General advice about landscape maintenance is provided by The Maintenance of Heritage Assets A Practical Guide Information Sheet 9.1 Heritage Gardens and Grounds (printed versions available from the NSW Heritage Office).

10.3.13 Standard Exemption 13: Signage

1. The erection of signage which is of the types described in (a) or (b) below does not require approval under s 57(1) of the Act:

- (a) temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
- (b) a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;

2. The erection of signage which is of the types described in (a) or (b) below does not require approval under s 57(1) of the Act provided that the Director-General is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect is has received a notice advising that the Director-General is satisfied:

- (a) the erection of non-illuminating signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
- (b) signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;

3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director-General and describe the nature and purpose of the advertising or signage. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director-General shall notify the applicant.

4. Signage of the kind described in paragraph 1 and 2 must:

- (a) not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
- (b) be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
- (c) be able to be later removed without causing damage to the significant fabric of the item; and
- (d) reuse existing fixing points or insert fixings within joints without damage to adjacent masonry.

Guidelines

In addition to the requirement do clause 4 of the standard exemptions, signage may be controlled by development control plans or signage policies prepared by the relevant local council (also in this case Sydney Harbour Foreshore Authority). The operation of the standard exemptions do not effect the requirements for consent by local councils or the need to satisfy any signage policies which may have been adopted by them.

Additional forms of signage not addressed by this standard exemption may not require approval under section 57 (1) of the Heritage Act if they satisfy the requirements of other standard exemptions such as Standard Exemption 7 (Minor Activities with no Adverse Impact on Heritage Significance) or Standard Exemption 8 (Non-significant Fabric).

Signage in accordance with clause 2(a) of the standard exemption for the purpose of assisting the interpretation of heritage significance:

- *requires approval under section 57 (1) of the Heritage Act if additional information is provided which is unrelated to heritage interpretation such as commercial promotion or sponsorship; and*
- *must be in accordance with Interpreting Heritage Places and Items published by the NSW Heritage Office available online.*

10.3.14 Standard Exemption 15: Compliance with Minimum Standards and Orders

1. Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the *Heritage Regulation 1999* or an order issued under either:

- (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or
- (b) section 121S of the *Environmental Planning and Assessment Act 1979* regarding an order which is consistent with a submission by the Heritage Council under section 121S(6) of the Act;

does not require approval under s. 57(1) of the Act.

Guidelines

This standard exemption is intended to facilitate and expedite compliance with orders and minimum standards of maintenance and repair.

The Minimum Standards of Maintenance and Repair replaced the “wilful neglect” provisions of the Heritage Act in 1999. The minimum standards are contained in Part 3 of the heritage Regulation 1999 and are reproduced in the Heritage Information Series published by the NSW Heritage Office. The minimum standards only apply to items listed on the State Heritage Register and relate to

- *weather protection;*
- *fire protection;*
- *security; and*
- *essential maintenance and repair to prevent serious or irreparable damage.*

Maintenance and repair which exceed the minimum standards in the Regulation may be exempt from approval under other standard exemptions (refer to #1 and #2).

Orders under s 121S (6) of the EP&A Act are those given by a council or other consent authority in relation to an item listed on the State Heritage Register, land to which an interim heritage order applies or a heritage item listed under an environmental planning instrument. Orders must not be given in relation to items listed on the State Heritage Register or land to which an interim heritage order relates unless the consent authority has given notice of it to the heritage Council and considered any submission made by it.

10.3.15 Standard Exemption 16: Safety and Security

1. The following development does not require approval under s. 57(1) of the Act, provided that the Director-General is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director-General is satisfied:

- (a) the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
- (b) development, including emergency stabilisation, necessary to secure safety where a building or part of a building has been irreparably damaged or destabilised and poses a safety risk to its users of the public.

2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director-General and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director-General is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director-General shall notify the applicant.

Guidelines

Development exempt under this standard exemption must be for the temporary or emergency securing of safety for the users or the public. Permanent upgrading of site or building security may be exempt under other standard exemptions such as #7 (Minor Activities with no Adverse Impact on heritage Significance) or #8 (Non-Significant Fabric). Development described in 1 (b) of this exemption is intended to apply in circumstances where there has been damage caused by a sudden change in circumstances of the building such as a catastrophic event, rather than safety risks which may arise from ongoing neglect or maintenance.

Emergency maintenance and repairs such as required following a storm event may be exempt under other standard exemptions such as #1 (Maintenance and Cleaning) and #2 (Repairs). More intrusive means of upgrading security which may damage significance fabric will require the submission of an application under section 60 of the Heritage Act.

Development in accordance with this exemption must be undertaken with minimal intervention to significant fabric.