

Conservation Management Plan

Sailor's Home (former)

SHR No. 01576

106 – 108 George Street,
The Rocks

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106-108 George Street, The Rocks

Conservation Management Plan

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This document is an update of the following previous studies:

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106-8 George Street, The Rocks	February 1990	Sydney Sailor's Home	Bligh Robinson Architects	Sydney Harbour Foreshore Authority

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EXECUTIVE SUMMARY

The Conservation Management Plan (CMP) for the Sailor's Home (former) located at 106-108 George Street, The Rocks, has been updated in 2021 by **NBRS**ARCHITECTURE for Place Making NSW (PMNSW) and is based on the CMP prepared by Perumal Murphy Alessi for PMNSW, in May 2006.

The CMP for the Sailor's Home (former) has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February 2010). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council.

Conservation can be regarded as the management of change. It seeks to safeguard that which is important in the built environment within a process of change and development. One of the functions of this document is to establish criteria, policies and recommendations for the conservation and on-going use of the building in an appropriate and desirable future direction. In this way, future occupants, managers and owners for the place will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals.

The majority of the site is considered to have at least moderate archaeological potential for deposits of State significance, moving to high where known structures were once present. In particular, the area between Cadman's Cottage and the building is of high archaeological significance as it retains evidence of the original shoreline and wharf that dates back to the use of the place by the Government Coxswain, Water Police and other structures predating 1840. The building also retains evidence of its various phases of construction and development which provide information relating to both the welfare and living standards of the late Victorian and subsequent periods and construction techniques and materials. The buildings demonstrate changes in technology, materials and construction techniques spanning from the 1860s. Therefore, due to the long use of the study area since the early part of the 19th century, the site has would have potential to yield information that will contribute to an understanding of NSW's history and would meet the threshold for State significance.

The building at 106-108 George Street was constructed in two major phases, completed in 1864 and 1925, with both phases related to the building's original use as a Sailor's Home. Although no longer used for its original purpose, the building continues to be known as the Sailor's Home (former).

The site is listed in the Place Management NSW Section 170 Heritage and Conservation Register, a register required by State Government Agencies under the Heritage Act 1977.

The Sailor's Home (former) and site are of State heritage significance for their historic, social and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks Conservation Area which is of State Heritage significance in its own right.

The building is of State significance as a rare example of a building specifically built to accommodate transiting seaman of all nationalities which continued to function in this role for over 100 years. The former Sailor's Home (former) is significant as it provides a record of changing attitudes to social welfare in the 19th and 20th centuries. The building fabric significantly retains evidence of its early use and configuration, demonstrating simple accommodation layout which reflect the meagre expectations of the working class, during the 19th century and acceptance of these standards well into the 20th century.

The fabric and history of the Sailor's Home (former) further demonstrates changing social values of the 20th century, with the construction and subsequent removal of segregated facilities and with the eventual lapse of interest in the home in the 1970s.

The history and significance of the building is intrinsically linked with its location. The changes to the site and the building also reflect growth and development of the Quay, and its shift from the focus of port activities.

The building has a long association with Cadman's Cottage and the former Mariners' Church, and along with other buildings in this section of George Street remains as a reminder of the workings of the Quay as a port. The original 1860s wing of the building significantly retains a visual relationship with the waterfront and due to its four storey facade and high parapet, has landmark qualities from this aspect.

The building is associated with prominent architects William E Kemp (1860s wing) and Spain and Cosh (1920s wing) and with organisations such as the Marionette Theatre of Australia and has played an important role in the interpretation and cultural tourism of Sydney and The Rocks as the base for the Sydney Visitors Centre until 2005, and since then as the location of the well-known Billich Art Gallery.

The key findings and recommendations of this CMP are:

- The Sailor's Home (former) continues to play an important role as part of the historic George Street streetscape, and more broadly, the Rocks Conservation Area.
- The Sailor's Home (former) is currently used as an art gallery and studio and was recently used for food and beverage sales. Both of these uses, particularly the use of the place for food and beverage sales, should preferably be continued, however other retail and commercial uses may be considered.
- Externally, the overall form and scale of both the 1860s and 1920s wings, which are read as a whole, represent the growth and development of the Sailor's Home and area in general, remain intact and provide evidence of the place's former use as a Sailor's Home. As such, the overall form, scale and external features of the place should be protected, retained and conserved. There should be no new door or window openings to the external walls, particularly along the ground floor fronting George Street.
- There may be scope to adapt certain areas within the interior of the building, so long as significant fabric which provides evidence of the former use of the place as a Sailor's Home, is retained. Spaces of high significance, particularly the spatial quality of the ground floor and central void of floors directly above, with void lit by the central skylight, as well as the ground floor lobby providing access to George Street and the verandah spaces along the eastern portion of the building, contribute to the significance of the Sailor's Home (former) and should be retained. The preferred design approach to significant areas should comprise a 'pod' construction, or loose fit or capsule designed fitouts, which involve the addition of isolated spaces with new walls and ceilings to ensure any new associated fixtures, fittings or linings associated with these spaces will be attached to new construction and not directly fix into early or original significant fabric.
- No roof additions should be placed over the central void lit by central skylight associated with the 1860s wing of the building, nor be visible through the skylight from the inside of the space. Any new roof additions should be setback from the parapets, and should not detract from the overall form and features of the place.
- PMNSW should adopt this Conservation Management Plan as the guiding document for future development of the place;
- Recommendations contained in this report should be progressively implemented by PMNSW, or managers of the place;
- This Conservation Management Plan should be used as a guiding document to inform any adaptive re-use proposals for the site;
- Formal procedures for undertaking heritage conservation and maintenance work to the place involving experienced conservation professionals and contractors are maintained to minimise adverse heritage impacts on the heritage significance of the place; and
- The cyclical maintenance and repair program for significant building fabric should continue to be implemented.
- The SCRA Building Site Control Drawing 'XLVI' be updated to include the RL of the parapet heights of the original building and 1920s extensions, as historic structures.

FREQUENTLY ASK QUESTIONS (FAQS)

Introduction

This section of the Conservation Management Plan (CMP) is intended as a guide to prospective lessees of the Sailor's Home (former) and a State-significant property in The Rocks, on what can or cannot be achieved with the property. The FAQs have been prepared to guide people towards the right property choice and to assist in its management and care. The advice given in this section is a summary only and should be read in conjunction with the full CMP and the policies in section 7.0. The most applicable policy section is referenced in the FAQs; however, the reader should be aware that more than one policy section and policy may apply in each situation, and more policy sections may need to be consulted.

Background and Property Significance

The former Sydney Sailor's Home (former) and site are of State heritage significance for their historic and social cultural values. The site and building are also of State heritage significance for their contribution to The Rocks Conservation Area which is of State Heritage significance in its own right.

The historical significance of the Sailor's Home (former) is evident as a place of significant human activity, which was specifically built to accommodate transiting seaman of all nationalities, and which continued to function in this role for over 100 years. Since this time, the building has been used for commercial and retail purposes.

The Sailor's Home (former) comprising an 1860s wing and 1920s wing, is also important as a Victorian Romanesque Revival and Inter War Colonial Revival institutional and maritime building in The Rocks that survived the demolitions and slum clearances that followed land resumptions under the Public Purposes Acquisition Act (1900). Its remarkable survival and intactness is due largely to its government ownership and management for over a century.

The Sailor's Home (former) contributes to the community sense of place and is important to residents and descendants of The Rocks and Millers Point, and now acts as a venue and destination for locals and tourists.

The long use of the study area since the early part of the 19th century suggests a moderate potential for subsurface archaeological remains to be present within the majority of the study area, moving to high where known structures were once present. Overall, the majority of the site and building have moderate archaeological research potential that may contribute to the understanding of early Aboriginal occupation, early colonial settlement and lifestyles of the working-class tenants during the late 19th and 20th Centuries.

Parameters for Change in The Rocks Area

Are there any constraints of the way the property can be used? Refer to policy Section 7.6.

Yes. The Sailor's Home is a purpose-built home originally constructed for the accommodation of seamen, which continued to function in this role for over 100 years. The Sailor's Home (former) is currently used as an art gallery and studio and was recently used for food and beverage sales. Both of these uses can continue, however other retail and commercial uses may be considered.

The Sydney Cove Redevelopment Authority (SCRA) Scheme controls the permitted uses of the Sailor's Home (former). Whilst a range of uses are possible under SCRA, many of the allowable uses will adversely impact the heritage significance and require major and detrimental changes under the Building Code of Australia and the Disability Discrimination Act for fire egress, fire separation and equitable access.

The introduction of other uses such as commercial offices or retail uses may be acceptable but will be dependent of the ability to introduce suitable upgrades to meet building Code Australia and accessible access requirements without damaging impacts on the heritage significance of the

building fabric or spaces.

The Sailor's Home (former) may be suitable for uses such as restaurants or cafes where the services only need to be upgraded for commercial kitchens and associated dry and cool store facilities, or the like.

Any commercial or retail use can only be introduced where the exceptional significance of the building fabric is retained, and compliance requirements for accessible access and building codes can be met without adverse heritage impacts.

Can Adjacent properties be amalgamated for contiguous use? Refer to policy Section 7.7.

The Conservation Management Plan does not support the removal of significant fabric for the introduction of doorways and openings in original walls. Connecting properties across the party wall introduces the need for fire separation and fire-fighting services that will have a major and unacceptable impact on the building.

Exterior

What is the view catchment of this property? Why is this relevant to me as a lessee in The Rocks? Refer to policy section 7.11.

The Sailor's Home (former) is located on the eastern side of George Street, on a block bounded by Argyle Street and Circular Quay West roadway to the south, and the junction of George Street and Hickson Road to the north. Cadman's Cottage and associated curtilage is located to the immediate south of the building, the former Coroner's Court Building is located to the immediate north, and the Overseas Passenger Terminal is located to the immediate east.

The high visibility of the Sailor's Home (former), including its external walls and features, means that any changes to the external building form and fabric will be evident and cannot be easily hidden from public view. All proposed external changes are to be considered within this context.

How Does the significance of the rear or side elevations of this building affect its potential for changes? Refer to policy section 7.7.1 and 7.8

The external facades, particularly those which present to George Street to the west and the Quay to the east, are highly visible features of the site, and as such, should not be obscured.

All proposed external changes are to be considered within this context and are subject to approval.

Can this property have additions to the building at ground or upper levels? Refer to Policy section 7.7.2 and 7.8.

Any new work is to be carried out within the existing building footprint. No external extensions, alterations or additions to the building or roof are to be added. The height, overall form, external facades, the awning over the George Street entry, as well as window and door openings, are to be retained and conserved.

All proposed external changes are to be considered within this context and are subject to approval.

Can change to the exterior be introduced (e.g. new window and external doors), and if so, where? Refer to policy section 7.7.1 and 7.7.3.

Generally, no. All window and door openings are to be retained. The overall form and height should be retained.

Are there any external features of this property that need to be retained and conserved? Refer to policy section 7.7.1 and 7.7.3.

Yes. All of the original external features and built form of the main building are to be retained and

conserved, as outlined in section 5.3.

Can new balconies, verandahs, decks or roof decks be introduced, and if so, where?

Refer to policy section 7.8.

No new balconies, verandahs, decks can be introduced, to ensure the external form of the Sailor's Home (former) is retained.

The open rooftop areas and access should be retained and conserved. Seek heritage advice before any changes are made to the layout of equipment located on the roof, or before any new roof structures and elements are added, to reduce any potential visual or physical impacts on the site. Any new roof additions should be setback from the parapets, and should not detract from the overall form and features of the place.

Can dormer windows or skylights be introduced, and if so, where? Refer to policy section 7.8.1.

No dormer windows can be added. Seek heritage advice before any changes are made to the roof, including the addition of skylights, to reduce any visual or physical impacts.

What opportunities exist for alteration to achieve flat/equitable access for this property? Refer to policy section 7.10

Parts of the Sailor's Home (former) are publicly accessible, and as such, key issues for the provision of accessible access and facilities may need to be addressed. It is essential that the state significance values of the building fabric, spaces and overall setting are not degraded by inappropriate responses to meet ordinance requirements. No new openings should be made to the external walls of the building. In particular, no new openings for new retail tenancies or other new commercial, or food and beverage uses should be made along the ground floor of the George Street façade.

An accessible access strategy should be developed by professionals experienced in this field for the entire building. This will avoid piecemeal and incremental improvements and provide solutions that are appropriate to the heritage values and that are also reversible.

Reference should be made to the Heritage Council publication *Improving Access to Heritage Places* and *Access for All to Heritage Places* produced by the Heritage Council of Victoria.

Any solution must not require major interventions into highly significant building fabric or any unacceptable and adverse impacts on the streetscape setting for the Sailor's Home (former).

Can this property have off street parking? If so, where? Refer to policy section 7.6.

No. Due to the site limitations, it is not possible to introduce off street parking for this property.

Can external aerials or a satellite dish be added? If so, where? Refer to policy section 7.8.2.

Yes. Some new services and sustainability measures including solar panels and solar hot water, antennas and other technology may be sensitively introduced, subject to approval. Any new roof mounted services should not be visible from George Street or from the Quay and should be attached to enable ongoing access for roof maintenance.

How can the security be upgraded? Refer to policy section 7.8.2

If additional security is required, the use of wireless movement detectors is the most acceptable form of security protection that has the least impact on heritage fabric, subject to approval.

As technology is continually changing and is likely to be replaced and upgraded every few years, it is essential that security systems have minimal impact on external and internal fabric and minimal visual intrusion.

Does this property have an important relationship with adjacent buildings which require consistent presentation across the group? Refer to policy section 7.11.

The building retains a relationship with its neighbours, particularly Cadman's Cottage. Additionally, the building forms part of an eclectic and rich grouping located in this section of the eastern side of George Street.

Can exposed masonry or stone be painted? Refer to policy section 7.7.3.

If currently painted, then yes, otherwise no.

Existing masonry and stone surfaces that are currently painted can be repainted such as the stone window sills and fireplace hearth stones.

Exterior stuccoed walls can be repainted.

Existing timberwork can be repainted in a suitable and compatible paint, most likely an oil-based enamel.

All re painting will be subject to approval and needs the consent of Place Making NSW.

Can existing brickwork be rendered? Refer to policy section 7.7.3.

No. Any existing brick work without render should remain so. Adding render to exposed brickwork stops the brickwork from breathing and causes a build-up of moisture and harmful salts which damages the walls and paint finishes.

Does landscaping work need approval and what guidelines apply? (E.g. impact planting trees on the building fabric, archaeology, and views to and from the property, or in relation to the public domain). Refer to policy section 7.15.

Landscaping is acceptable providing it is appropriate for the site and will not damage building fabric (e.g. invasive tree roots). As the Sailor's Home (former) is listed on the State Heritage Register, any landscaping work which disturbs or removes soil below 300mm, and which may result in the disturbance of archaeological resources requires approval from the Heritage Council of NSW and may be subject to other approvals.

Interiors

What interior spaces are significant and should not be changed? Refer to policy sections 7.7.2 and 7.7.3.

The overall form and exterior walls of the Sailor's Home (former) building should be retained and conserved. Removal of some internal walls within the 1920s portion of the building may be considered provided no original or significant fabric is removed, all exterior walls and openings are retained, and the sense of the early layout is retained.

The existing internal layout of the 1860s portion of the building, particularly the spatial character of the ground floor gallery and galleries above, should be retained and conserved.

The central void lit by central skylight should be retained and conserved. Fabric associated with the lightwell may be replaced like-for-like, but the central skylight should continue to remain glazed to ensure light is provided to the spaces below. No roof additions should be placed over the skylight.

The existing layout of the ground floor lobby, providing access to George Street, should be retained and conserved.

For future flexibility and adaptability any new fit-outs or upgrades for a kitchen, laundry or bathroom should be designed to be 'loose fit' and comprise a 'pod' or capsule designed fitout, which involve the addition of an isolated space with new walls and ceilings, to ensure any new associated fixtures, fittings or linings associated with these spaces are attached to new construction, and do not directly fix into early or original fabric, to have minimal impact. This means that fit-outs can be easily removed, and future fit-outs inserted as needed, while leaving the heritage building untouched.

Are there any internal fittings or features that need to be retained, and cannot be modified? *Refer to policy section 7.7.3*

Generally, all of the significant heritage fabric both inside and out is to be retained in their current form.

A full list is included in the CMP in Section 7.7.3.

What are possible locations for new bathrooms, laundries or Kitchens? *Refer to policy section 7.7.2 and 7.7.3.*

Any new bathrooms, laundries or kitchens should be placed in spaces which are considered to be of moderate or little significance in the 1920s wing. No new fitouts should be added to the 1860s wing, to ensure the spatial quality of the gallery spaces, is retained. The addition of new fitouts is subject to archaeological and structural assessments of the existing building.

Can a lift be inserted? *Refer to policy sections 7.7, 7.8.2, 7.9 and 7.10.*

A lift may be able to be inserted, but should not be located in spaces of high significance. The addition of a lift should ensure minimal intervention into original fabric.

Can an internal stair lift be inserted? *Refer to policy section 7.7.*

The two early stair voids and stairs should be retained and conserved. As such, there is limited room for the addition of an internal stair lift.

How can insulation for climate control or noise abatement be added? *Refer to policy section 7.12.*

Yes. Additional roof insulation can be added into the ceiling or roof spaces, subject to approval.

Can significant walls be removed? *Refer to policy section 7.7.1 and 7.7.2.*

No. Significant internal or external walls and walls associated with the original configuration of the original 1860s and 1960s wings, are to be retained as they are. These can be incorporated into the new design and spaces.

Can existing flooring or covers over existing flooring be replaced with new finishes? *Refer to policy section 7.14.*

Original flooring and significant finishes should be retained and conserved. On timber floors, a range of floor finishes are acceptable as long they do not require heavy re-sanding to be removed. Blyurethane based sealers are not acceptable.

Do any significant existing floor finishes need to be retained? *Refer to policy section 7.7.3.*

Timber floorboards should generally be retained and continue to be maintained and repaired like-for-like to match the existing.

The existing floors and finishes can be covered over with loose fitting rugs, carpet or linoleum.

Do any significant existing wall finishes need to be retained? *Refer to policy section 7.7.3 and 7.14.*

Existing external finishes to walls must be maintained with the same paint type and finish in the existing colour scheme. The external colour scheme must only be changed based on research of early colour schemes and are subject to approval. The finishes to the internal walls and ceilings must be retained and maintained. All joinery must continue to be painted in gloss enamel. The internal paint colour schemes may be changed, subject to approval. Unpainted surfaces must remain unpainted.

The existing paint layers are also to be retained as these contain a record of the paint schemes

and can be used to inform future paint schemes.

Can internal lighting of the building be changed? Refer to policy section 7.8.1 and 7.16.

Yes. The internal light fittings have been changed previously and can be changed again, subject to approval. Any new light fitting should be installed in the existing locations and use existing service routes, where possible.

Can reverse cycle air conditioning be inserted? If so, what type and where? Refer to policy section 7.12.

Air conditioning is not a preferred option for the Sailor's Home (former). All other methods of passive sun control such as internal or external blinds, improved ventilation, use of free-standing fans or ceiling fans and heating through free-standing heaters should be investigated and trialled first before air conditioning is considered.

If reverse cycle air conditioning is considered essential for selected spaces, minimising the visual and fabric impact is important and is subject to approval. The external condenser unit is not be visible from George Street or from the Quay, and could be placed on the roof, so long as they are discrete, not visible outside the property or do not cover the skylight over the 1860s wing.

DRAFT

1.0 Introduction

1.1 Context of the Report

The CMP for the Sailor's Home (former) has been structured to fit within the framework of *The Rocks Heritage Management Plan* (adopted February 2010). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council.

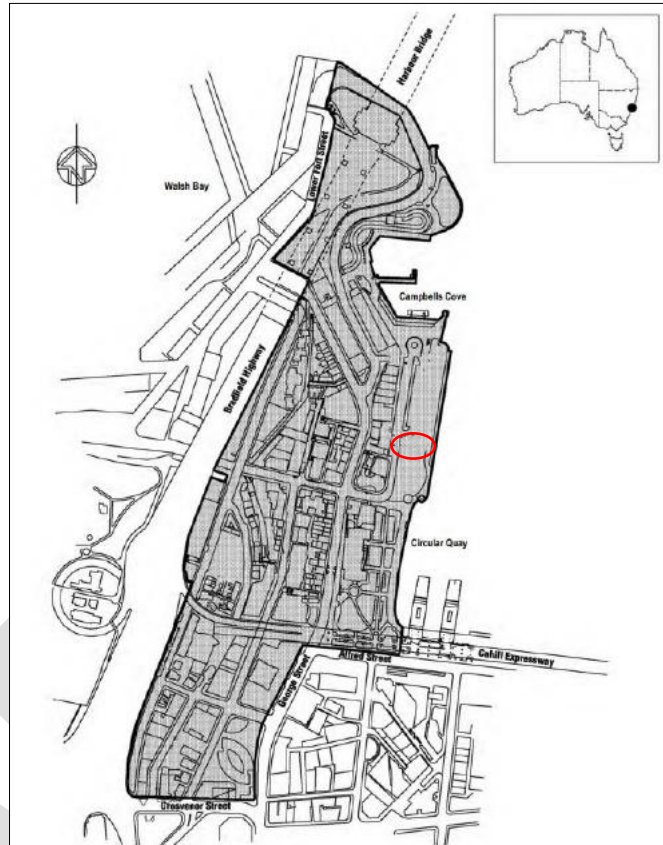


Figure 1: Location of the Sailor's Home (former) within the context of The Rocks. (Source: Sydney Harbour Foreshore Authority and Godden Mackay Logan, *The Rocks Heritage Management Plan*, Volume 1, April 2010)

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the Sailor's Home (former) to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

This CMP aims to be a practical document, to guide decisions that may affect the heritage value of the place. It will form a basis for future planning and provide a standard against which to assess the heritage impact of future developments on the building, site and in the vicinity. The CMP is to be used when planning any works, both temporary and permanent, that involve alteration to the surviving fabric of the place.

1.3 Site Ownership

The Sailor's Home (former) is located on the eastern side of George Street, on a block bounded by Argyle Street and Circular Quay West roadway to the south, and the junction of George Street and Hickson Road to the north. Cadman's Cottage and associated curtilage is located to the

immediate south of the building, the former Coroner's Court Building is located to the immediate north, and the Overseas Passenger Terminal is located to the immediate east.

The building is owned and managed by Place Making NSW (PMNSW). PMNSW are investigating, subject to the recommendations of this CMP, opportunities for future compatible uses and long term leasing of the property, in addition to tenanted commercial and retail use.



Figure 2: Aerial photo of the Sailor's Home (former) shown circled in red. (Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)

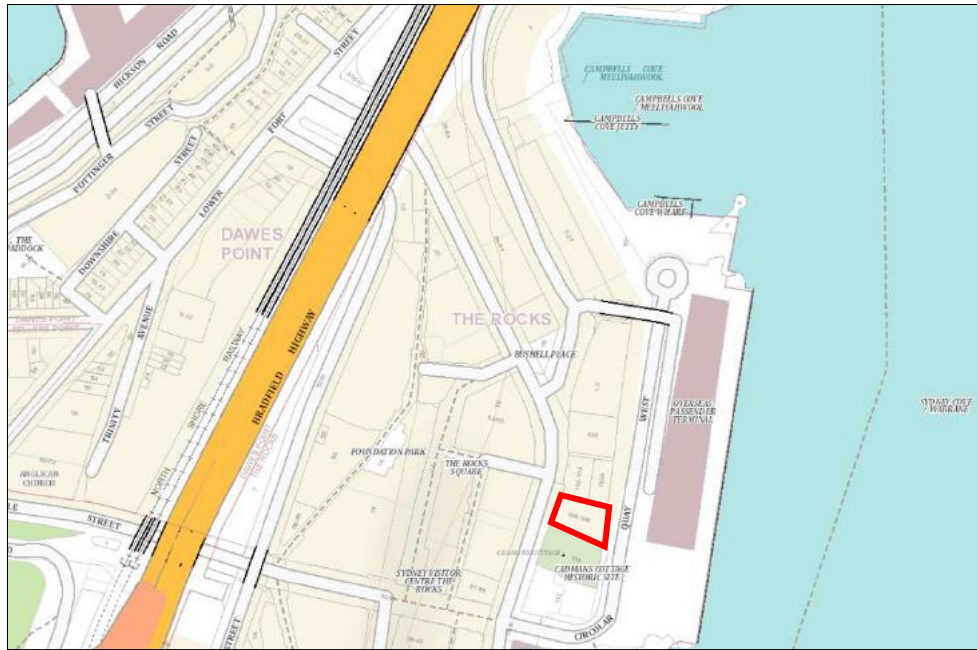


Figure 3: Site Plan showing location of the Sailor's Home (former). The site area is shown outlined in red. Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)

1.4 Cadastral Identification

The Sailor's Home (former) at 106-108 George Street, The Rocks, is owned by the Crown and vested in Place Making NSW. The site comprises of Lot 1 of Deposited Plan (DP) 1007092, located within the County of Cumberland, Parish of St. Phillip, See Figure 5. The site is part of the later subdivision of the Parish of St Philip, County of Cumberland.

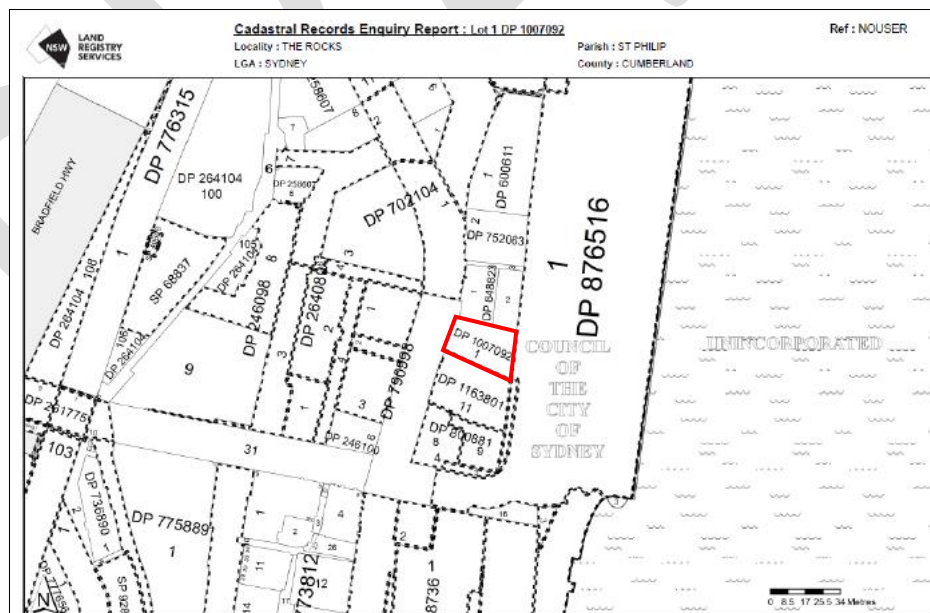


Figure 4: Cadastral Plan of the site at 106-108 George Street, The Rocks (shown outlined in red) is Lot 1, DP 1007092 (Source: NSW Land Registry Services)

1.5 Building Description

The Sailor's Home (former) is a four storey (three storey plus basement) stone and rendered masonry, U-shaped building, comprising two wings joined along the George Street frontage. Although constructed in two major phases, the two distinct forms are tied together by a high, continuous parapet around most of the perimeter of the building, which conceals the roof. The building presents three storeys to George Street, and four storeys to Circular Quay, due to the fall of the site down to the east towards Circular Quay.

The form of the original 1860s portion of the building is located towards the southeast corner of the site. It is legible along the eastern section of the southern façade, and along the southern portion of the eastern façade. This wing was altered in the 1920s by the addition of a number of regular shaped openings (in contrast to the earlier arched head openings), replacement of the original gabled roof and the addition of the parapet. The 1920s portion of the building is legible along the George Street façade, as well as along the northern façade. Later alterations are also visible, including the 1980s addition of an open balcony along the southern façade of the 1920s wing.



Figure 5: (top to bottom, left to right) west (front) elevation, south (side) elevation, rear (east) elevation and side (north) elevation of the Sailor's Home, The Rocks.

1.6 Heritage Listings

Statutory Listings

The Sailor's Home (former) is listed on Place Making NSW's **Heritage Conservation Register (s170 Register)** as an item of State significance.

http://www.shfa.nsw.gov.au/sydney-About_us-Heritage_role-Heritage_and_Conservation_Register.htm&objectid=95

The Sailor's Home (former) is listed on the **State Heritage Register** as, "Sailor's Home (former)," Listing Number 01576, Gazette Number 85 on Gazette Page 2865, on the 10 May 2002.

<https://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?id=5053192>

The Sailor's Home (former) is included in the listing for The Rocks Conservation Area on the Place Making NSW **Section 170 Heritage and Conservation Register**.

http://www.shfa.nsw.gov.au/sydney-About_us-Heritage_role-Heritage_and_Conservation_Register.htm&objectid=170

Non-Statutory Listings

The Sailor's Home (former) is also included in the listing for The Rocks Conservation Area on the Register of the **National Trust of Australia (NSW)**. The Rocks Conservation Area encompasses the area generally bounded by Circular Quay to the east, all of Walsh Bay and Millers Point to Sussex Street to the north and west and extends to Grosvenor Street to the south.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

The Sailor's Home (former) is included in the listing for The Rocks Urban Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.

The Sailor's Home (former) is included in the listing for The Rocks Urban Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government however, it is indicative of the high cultural values of the place.



Figure 6: The State Heritage Register listing boundary plan no: for SHR item no: 01576. The SHR boundary is shown in red and includes the current lot boundary (Lot 1 of DP 1007092). (Source: Heritage Council of NSW)

1.7 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999, known as The Burra Charter; the NSW Heritage Divisions' Guidelines on Conservation Management Documents, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

This Conservation Management Plan is the third CMP prepared for the place and updates the 2006 CMP prepared by Perumal Murphy Alessi.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The NSW Heritage Manual explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. The Conservation Plan provides guidance on substance, structure and methodology for the writing of effective, site- specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an

understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the Sailor's Home (former).

The constraints and opportunities and policy formulation address relevant management issues, and the role and objectives of the relevant heritage authorities. The policies and guidelines draw upon the work and input of all consultants and their investigations – documentary and physical.

1.8 Limitations

The inspection of the building relied on non-intrusive observation to assess its condition and did not involve any physical intervention or removal of fabric.

This CMP does not address in great detail pre contact Aboriginal history, Aboriginal cultural associations or Aboriginal significance of the place. In preparation of this CMP, consultation was not undertaken with stakeholders, key knowledge holders, or the Local Aboriginal Land Council.

1.9 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in the Article 1 of The Burra Charter. For terminology used in identification of historic architectural styles and building elements, The Authority refer to terminology in the Pictorial Guide to Identifying Australian Architecture (various editions) prepared by Irving, Apperly and Reynolds.

In order to achieve a consistency in approach and understanding of the meaning of conservation, a standardised terminology for conservation processes and related actions should be adopted. The terminology in the Burra Charter is a suitable basis for this. Article 1 of the Burra Charter gives the following definitions.¹

Place: means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance: means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance: is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups.

Fabric: means all the physical material of the place including components, fixtures, contents, and objects.

Conservation: means all the processes of looking after a place so to retain its cultural significance.

Maintenance: means the continuous protective care of the fabric and setting of a place and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation: means maintaining the fabric of a place in its existing state and retarding deterioration.

Restoration: means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction: means returning the place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.

¹ Australia ICOMOS Burra Charter 1999, p. 2.

Adaptation: means modifying a place to suit the existing use or a proposed use.

Use: means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use: means a use which respects the cultural significance of a place. Such a use involves no, or minimal, impact on cultural significance.

Setting: means the area around a place, which may include the visual catchment.

Related place: means a place that contributes to the cultural significance of another place.

Additional terms used in this CMP are defined below.

Curtilage: means the area of land surrounding an item or area of heritage significance which is essential for retaining and interpreting its heritage significance. The four types of curtilage are lot boundary, reduced, expanded and composite (Heritage Curtilages, NSW Heritage Office, 1996).

Replacement detail: means elements of joinery, masonry or other material, internal or external, that replaces in a similar style missing parts of fabric, and which is materially compatible and in scale with the missing fabric, but which is not consistent with Burra Charter definitions of restoration or reconstruction.

Yard: an enclosed piece of ground adjoining or surrounded by a building or other structure, accessible from the building and usually from a public thoroughfare such as a lane or passage; in this document, always at the rear or back of a building, hence the 'back yard'.

A series of abbreviations are used throughout the document:

SCRA	Sydney Cove Redevelopment Authority
SCA	Sydney Cove Authority
BS	British Standard (Paint Colour)
COS	City of Sydney (Council)
MDS	Metropolitan Detail Series survey plan
SLNSW	State Library of NSW
ML	Mitchell Library
SHR	State Heritage Register

1.10 Documentary and Photographic Sources

The following reports and studies utilised or referred to during the preparation of this CMP are contained in 9.0 Bibliography.

Information contained in this CMP was largely copied verbatim from the 2006 CMP, with updated sections to reflect changes carried out to the site since 2006. Some figures copied from the 2006 CMP have been updated, where possible, with better quality copies, and additional figures, headings and subheadings have been included to suit the PMNSW CMP format. Likewise, some paragraphs from the 2006 CMP have been reorganised.

In particular, the historical information in this CMP was largely copied verbatim from the 2006 CMP, and new Sections (2.7.6. and 2.7.7) were added to reflect changes carried out to the site since 2006. This additional information was drawn from sources provided by Place Making NSW, including previous reports, historical maps, plan drawings and photographs. Only limited additional research has been undertaken.

Historical photographs, unless otherwise stated, were sourced from the PMNSW Archives and collections.

1.11 Authorship and Copyright

This 2021 CMP update has been prepared by **NBRS**ARCHITECTURE with the assistance of Place Management, Strategic Planning and Heritage Team. The Statement of Significance and conservation policies have been updated with input from all authors of the CMP.

The 2006 CMP was prepared by Perumal Murphy Alessi.

The copyright of this CMP is vested in Place Making NSW.

1.12 Acknowledgments

This Conservation Management Plan (CMP) updates the original CMP written in 2006. The 2006 Conservation Management Plan in respect of 106-108 George Street, The Rocks, to which this current 2021 Plan refers, was prepared by Perumal Murphy Alessi.

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2.0 DOCUMENTARY EVIDENCE

2.1 Thematic History

In order to better understand how the Sailor's Home (former) developed, this history has been approached thematically. This method can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The Heritage Division, formerly the NSW Heritage Office has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.² The organising principle for the thematic framework is the dynamism of human activity. The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.³

The State historical themes of New South Wales were used in this history to guide research questions, interpret the history, and structure the narrative of the development of the Sailor's Home (former) within the context of the development of The Rocks.

2.2 Early Developments in The Rocks

2.2.1 Indigenous Sydney – The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the Eora, or coastal Darug. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a "clan" (subgroup) known as the Cadigal. Their word for The Rocks- or more specifically the shore where the hospital stood on George Street between Globe St and Argyle St was "Tallawolodah". The peninsula of land which we now call Dawes Point was "Tarra", and Sydney Cove itself was "Warrang" or "Warrane".

Due to the rugged outcrops of rock which later gave the "The Rocks" its name, it is unlikely there was any "permanent" occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal to cook fish.

From archaeological evidence was excavated in 1989, a campfire on the site of the ANA Hotel, indicating that a small group of Cadigal had, some 500 years ago, stopped on the site and cooked a meal of rock oysters, bream, schnapper and other shell fish, no doubt taking in the views over the harbour.

2.2.2 The Convict Settlement (1788-1820)

After the arrival of the Europeans in 1788, the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. Along George Street, the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory, and, in 1791 a fort (Dawes Point Battery) were constructed. In 1810 the streets of The Rocks were formalized and generally given the names they bear today.

As the colony grew the rough convict huts were replaced by modest houses, and also a few mansions. From the archaeological excavations that have been carried out over the past 10 years, it has become evident that the lives of the convicts were far different than the general view of many people. The convicts were often tradespeople from Britain's cities, and large numbers of

² Both the Australian Heritage Commission (National) and the Heritage Division, formerly NSW Heritage Office (State) identified themes for research relating to places of heritage significance.

³ Heritage Division, formerly the NSW Heritage Office, Heritage Information Series, Historical Research for Heritage, Baskerville, Bruce (2002).

political prisoners exiled after the Irish rebellion in the 1790s. They appear to have had a far better lifestyle in Sydney than they would have expected in Europe. They ate well off fine china and expensive oriental porcelain and furnished their houses with fine figurines and exotic curios. Many made substantial fortunes from investing in ships trading with Asia and the Pacific.

As Sydney expanded in the 1790s, the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area were forced to register the land they occupied and pay a fee to the colonial secretary.

2.2.3 The Port Town (1800-1900)

Following the opening up of Sydney to free settlement after 1822, the government surveyors surveyed and issued titles to the land in The Rocks and other parts of Sydney. Long-term occupants were granted title of ownership to their land. As Sydney underwent a population boom between 1839 and the 1850s, many old-time occupants subdivided their lands, either selling off portions or else retaining them as landlords due to assisted immigration and then the gold rushes.

From c1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets. By the late 19th century The Rocks had become run down and overcrowded, the dozens of pubs being seen as meeting places for criminal gangs, and the back streets the haunts of prostitutes. In short, it was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean up the area. Of the 103 deaths attributed to the plague, only three occurred in The Rocks. The entire area was bought up ("Resumed") by the Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) which then demolished hundreds of houses considered to be uninhabitable.

2.2.4 Redevelopment (1900-current)

The newly formed State Government Housing Board designed and built "workers" housing in 1911-13, in a move to keep tighter control on the area. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of "terrace" housing as being unhealthy; this being the period of sub-urban expansion and the development of the "Garden Suburb" ideal. The First World War halted much of the Government's redevelopment plans for the area and effectively stopped further demolition.

In the inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War and the Glenmore), and some NSW Government offices (Housing Board, Dept. of Labour and Industry, State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair's butchers, Bushell's, Cadbury's) and all relied on locally-based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953, and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932 saw the demolition of some 400 houses in Princes Street, Upper Fort Street and the western side of Cumberland Street. Princes Street itself disappeared from the map.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c1932-1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex St (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as the post-war immigration gateway to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development. Between 1971 and 1973 the Government gave in to

their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable. Local residents were re-housed in the area, and the former Victorian residential terraces of George, Playfair, Gloucester and Harrington Streets were converted to commercial uses. The area south of the Cahill Expressway, known as the “sacrificial zone” was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

2.3 Development of the Precinct

George Street began as a bush track and later became the main street connecting the edge of Port Jackson at Dawes Point, to the Brickfields, near present Haymarket. An early map of Sydney Cove dated 1800 (Figure 7),⁴ shows the northern section of the “track” running roughly parallel to the natural shoreline with early land holdings either side. Significant portions along the eastern shore, including the area around the subject site appear as common ground at this time. The plan also shows the early configuration of the cove and confluence with the Tank Stream.

Meehan's map of the town of Sydney, dated 1807 (Figure 8),⁵ shows that the “track” had developed in the between and had been named, “High Street”, as was customary to call a towns' principal street. Part of the “track” had also been known as “Spring Row” and was occasionally referred to as “Sergeant Majors Row”.⁶ The subject site also appears to have been developed and is part of the area noted as “Dockyards much improved”. From 1810, Governor Macquarie was responsible for a number of civic improvements, including the establishment of government stores (the Commissariat Stores designed by Lt Colonel William Foveaux),⁷ and dockyards on the western shores of Sydney Cove. In 1810 Macquarie also renamed “High Street” to “George Street”, in honour of the reigning monarch, King George III.

⁴ State Library of New South Wales, Charles Grimes, *Grimes Plan of Sydney*, 1800, Z M2 811.17/1800/1.

⁵ State Library of New South Wales, James Meehan, *Plan of the Town of Sydney*, 1807, Z M2 811.17/1807/1.

⁶ Fitzgerald, S., *A Guide to Sydney Street Names*, p. 77.

⁷ Hughes Turnbull, L., *Sydney: A Biography of a City*, (1999), p. 225.



Figure 7: Grimes' Plan of Sydney dated 1800, showing the early landholdings about the "track" that became George Street, with the approximate location of the subject site circled red. (Source: SLNSW, Z M2 811.17/1800/1)



Figure 8: Plan of the town of Sydney in New South Wales by Jas. Meehan, assistant surveyor of Lands by order of His Excellency Governor Bligh, 31st October 1807 showing early development of The Rocks with the subject site circled. (Source: SLNSW, Z M2 811.17/1807/1)

The development of the site is linked to Cadman's Cottage, which was constructed in 1815- 1816 as the "Coxswains Barracks" attached to Governor Macquarie's Government dockyards and stores. Possibly designed by Francis Greenway, the two-storey sandstone building replaced a group of buildings that had been constructed on the southern section of the site. The Government Coxswain supervised operations of government boats and their crews which transported government officials around Sydney Harbour and the Parramatta River, moved stores to Parramatta and other outlying settlements and carried convicts to the work assignments. Given the importance of water transport in the early years of the Colony, the area would have been a centre for much activity.⁸ At the time of its construction, Cadman's Cottage stood two metres from the water and had a wharf to its north.⁹ The wall to the east of the building that is visible today, shows the original waterline and extent of successive land reclamations. The name of the building is derived from John Cadman, an early Government Coxswain, who took up residence there in 1827.¹⁰

Cadman's Cottage is the earliest surviving structure of the period of the first settlement in Sydney Cove. It has largely survived due to its constant Government or institutional ownership, firstly as a barracks and residence for the superintendent of government craft (1826-1845).¹¹ The Water Police then took possession of the site in 1846 and renovated the Cottage for use as a court and clearing house, with jail cells on the lower floor. The site was further developed at this time with the addition of stores, walls, steps and jetty. A "Dead House", or morgue, was also constructed at the northern end of the site during this period.¹² When the land was reclaimed to build the western side of the Quay in 1853, the Water Police headquarters relocated to the James Barnett designed building on the corner of Albert and Philip Streets (now the Justice and Police Museum).¹³ The Cottage remained vacant for a decade¹⁴ until c.1865 when it came under the ownership of the Sydney Sailor's Home (former) Trust.¹⁵

The Mariner's Church, located north of the subject site, was initially constructed in 1856-7 to a design of John Bibb.¹⁶ The Church was constructed on land that had also been designated as Dockyard and later occupied by Thomas Moore who constructed a house in the northern section of the site. The neighbouring site, to its north, passed to Robert Campbell, after whom the cove is now called. On this land Campbell constructed his house and a substantial sandstone warehouse that dominated the western shores of the cove. Moore's house was equally prominent with distinctive mansard roof, however, was demolished by 1833 and replaced by a small Naval Office.¹⁷

Bethel Street was formed out of a track that extended diagonally across the site, giving access from George Street to the waterside just south of Robert Campbell's house. It was known to local residents as the "go-down". The Naval Office was located on the north western side of this track, and the Dockyard Dead House was constructed to its south east. The Dead House may have also been associated with the Hospital which was located on the opposite side of George Street and was not transferred, with the Hospital, to Macquarie Street in 1816. The Dead House was subsequently replaced by a Morgue on the same site, designed by colonial architect Edmund Blacket and later subsumed into the Coroner's Court building which was constructed to the George Street alignment over Bethel Street. The street is now recognised by the Bethel

⁸ Interpretive Signage located to the south west of the building.

⁹ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

¹⁰ Jahn, G., *Sydney Architecture*, (1997), p. 21.

¹¹ Jahn, G., *Sydney Architecture*, (1997), p. 21.

¹² Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

¹³ Hughes Turnbull, L., *Sydney: A Biography of a City*, (1999), p. 232.

¹⁴ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

¹⁵ Jahn, G., *Sydney Architecture*, (1997), p. 21.

¹⁶ Godden Mackay, *Former Mariner's Church 100 George Street, The Rocks Conservation Plan*, (Sept. 1992), p. 1.

¹⁷ Godden Mackay, *Former Mariner's Church 100 George Street, The Rocks Conservation Plan*, (Sept. 1992), p. 10.

Steps, which is located between the former Mariner's Church and Coroner's Court buildings and continues to provide pedestrian access between George Street, Circular Quay and waterfront.¹⁸

Circular Quay was constructed in two stages. The first stage extended from the eastern shore, Circular Quay East, to the Tank Stream. Circular Quay East was part of the governor's exclusive Domain, until he moved to his new residence in 1838. The first stage involved the reclamation of ten acres (4 hectares) of tidal mud flats under the direction of Major George Barney.¹⁹ The work was affected by the depression of the 1840s, however thousands of convicts were employed in cutting and carting the stone and rubble infill from Fort Denison, the Argyle Cut and the Tarpeian Way to form the flat apron of land around the eastern shore and Bennelong Point to the Tank Stream.²⁰

In the 1850s, after Sydney had recovered from the depression and was beginning to feel the effects of the gold boom, the Quay was extended again over the Tank Stream around to Campbell's Wharf, located north of the Cadman's Cottage complex and subject site. A Trig Survey Map dated 1865 (Figure 9),²¹ indicates the extent of the reclamation.²²



Figure 9: 1865 Trig Survey showing the subject site, extent of reclaimed land and new water line. It is interesting that the Mariner's Church, constructed in 1856-7 is not shown. (Source: City of Sydney Archives, City of Sydney - Trigonometrical Survey, 1855-1865: Block B2-1; cf. Sydney Water Plan Room, 1865 Trig Survey Sheet B2-1 NRS 9929)

¹⁸ Godden Mackay, *Former Mariner's Church 100 George Street, The Rocks Conservation Plan*, (Sept. 1992), p. 11.

¹⁹ Barney was the Colonial Engineer responsible for public works and construction of major projects such as Victoria Barracks, Fort Denison and the fortifications at Bradleys Head.

²⁰ Hughes Turnbull, L., *Sydney: A Biography of a City*, (1999), p. 228.

²¹ Sydney Water Plan Room, 1865 Trig Survey Sheet B2 NRS 9929.

²² Hughes Turnbull, L., *Sydney: A Biography of a City*, (1999), p. 228 & 229.

2.4 History of The Occupation of the Site

In May 1860, the Colonial Government promised the Committee of the Sailor's Home (former) a site at Circular Quay. The Government's decision to grant the vacant, former Water Police site to the newly formed Sydney Sailor's Home (former) was met with approval and seemed a logical decision. The site extended to the north to Bethel Street (land now occupied by the former Coroner's Court building) and south of its present boundaries to the Colonial Stores buildings. Considered large enough to allow for extensions when required, it also included Cadman's Cottage and surrounds. The close proximity to the Quay and the recently constructed Mariner's Church also made it highly suitable for this purpose.²³

The Sydney Sailor's Home (former) had its origins in a benevolent movement dedicated to the improvement of the condition and character of sailors, which had commenced in Britain in the early nineteenth century. A number of institutions were established in quick succession in Britain and provided seamen and apprentices with board and accommodation at a moderate cost. By the 1860s, such institutions were considered essential in any large British port, and also offered instruction in science and navigation without charge.²⁴

The idea for a Sailor's Home (former) in Sydney emerged during the 1850s, apparently following discussions between an old naval officer and captain. An advertisement was subsequently placed in the daily papers and drew the attention of some influential gentlemen including Sir Charles Nicholson and Sir Daniel Cooper, prominent landowners, and others who met and formed a committee to collect the funds necessary to provide the Home. The Home was to be based on the British model, in contrast to the public house style lodgings that had been available to that time.²⁵

On 23 March 1860, a notice appeared in the Sydney Morning Herald announcing that the government had granted the Committee a site on George Street, and that the committee was anxious to commence construction. Architects, Messrs. Weaver and Kemp were appointed to design the building.

A plan of the site for the Sailor's Home (former) dated 1861,²⁶ illustrates the extent of the site and the land and structures inherited by the Home [from the former Water Police site] (Figure 10). A dark line bounds the irregular shaped site and shows the "land to be appreciated". The northern site boundary runs parallel to Bethel Street which extends at an angle from George Street and is bounded to the north by the Mariner's Church. What appears to be a thick stone wall or fence runs along parallel to the western site boundary which also appears to cut through a long narrow structure, assumed to be stores buildings constructed during the Water Police phase, located at the south western section of the site. The southern section of the site is also bounded by one of the Colonial Store buildings [outside the proposed site].

²³ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

²⁴ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

²⁵ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

²⁶ State Library of New South Wales, Anon., *Plan of the site for the Sailors' Home Parish of St Phillip City of Sydney*, M2 811.1719/1861/1

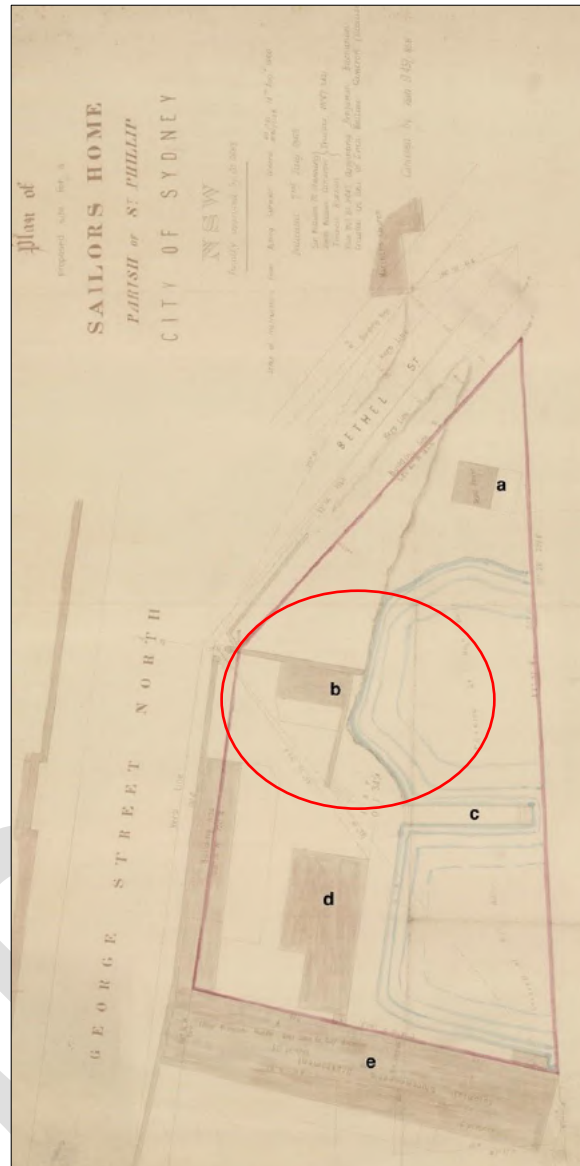


Figure 10: 1861 Plan of the proposed site for the Sailor's Home (former) showing the original site boundaries granted by the Colonial Government and extent of land reclaimed to form the site. This was formerly used by the Water Police but was vacant at the time. Structures noted include a) Dead House; b) unidentified structures at subject site; c) Wharf; d) Cadman's Cottage; e) Colonial Storekeeper's Department Store (outside the proposed site). The subject site is circled red. (Source: State Library of New South Wales, M2 811.1719/1861/1)

The plan clearly shows that the site of the Home comprised a series of sandstone ledges and a sandy beach, "covered at high water". A part of the original shoreline has survived on the site tucked between the Sailor's Home (former) and the Coroner's Court building.²⁷ A sandstone ledge, now located near the south eastern corner of the building, represents the location of the original wharf that existed when Cadman's Cottage was first erected and used as Coxswain's barracks. The remains of the original wharf can be located approximately two metres below the mock structure.²³ The plan also shows the buildings and structures occupying the site at this time, including Cadman's Cottage, what is assumed to be a store building and associated retaining walls and wharf in the middle of the site. A smaller structure and annex, wall and steps (circled) occupy the site of the Home. The "Dead House" is also shown at the northern section of the site.

²⁷ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

The plan also indicates the extent of the reclamation of “Semi Circular Quay” required to form the site.

2.5 Development of the Site and Building Components (1864-1926)

2.5.1 Design and Construction of the Sailor's Home (former) (1864-65)

By April 1860, Kemp had produced an extensive scheme for the building. The scheme followed in form, scale and proportion the design of the Brunswick Maritime Establishment, an English model and prototype and may have also been influenced by the London Sailor's Home (former) and Red Ensign Club, in Wells Street (1835-1974) which features a very similar interior. The Sydney Home was described in an article appearing in the Sydney Morning Herald on 1 May 1860:

“The front in George Street North is laid down at 120 feet, and in this space are comprised a public waiting room, and cashier's office below; and upstairs, a museum, schoolroom and library. The Superintendent's house will occupy about 30 feet square; and at the rear of it running towards the Circular Quay, the building is to contain two rows of dormitories, under which is the basement, intended, at present, to be used for kitchens. Running parallel with the Circular Quay is a basement, also intended to be used for kitchens as well as bathrooms, when the structure is completed. Above this basement is dining hall, 40 feet by 30 feet and 20 feet high. There are additional sleeping berths above the dining hall and at the end of it...”²⁸

The style was described as simple “Norman” with “quite plain, brick and stone dressings”. Together with the recently constructed Mariner's Church, it was thought that the building would elevate and improve the circumstances of seamen. The immediate construction of the building was not contemplated due to a shortage of funds. The estimated cost (in 1860) being £11,000. By July of the same year, £3,000 was thought to be available for the construction of the northern wing, nearly one third of the original design. It was hoped that this wing, when complete, would provide accommodation for sixty men. Tenders were submitted and six months was suggested as a reasonable construction period.²⁹

The contract for the northern wing was let to Mr Lavers at a cost of £2,300. By early 1861, with the foundation laid and portions of the walls constructed, it was hoped that the wing would be completed by the end of the year. It was not however, until late in 1864 that construction was actually pronounced complete. The cost to that date was recorded as £3,511. The additional costs had been explained by a change in the alignment of George Street, which made it necessary to advance the front of the building and increase the depth of the foundation. Money had also been spent restoring Cadman's Cottage which was fitted out for the Manager's Residence, also on the erection of out offices, fences and “laying on of water”.³⁰

²⁸ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

²⁹ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

³⁰ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).



Figure 11: Etching of the proposed Sydney Sailor's Home (former) by Edmund Thomas c.1860 showing Weaver and Kemp's original proposal. (Source: SLNSW, DG SV1A/8; cf. SHFA Archives, GE 01)

It is not clear exactly when the Home was opened, both, 15 January 1865 and 1 February 1865 have been noted. However, an advertisement in the Sydney Morning Herald, dated 1 February 1865, formally invited sailors to the Home that "has been provided" for them. The first listing of the Sailor's Home (former) in the Sands Directory is in 1865.

A Trig Survey, also dating from 1865 (Figure 12),³¹ shows the footprint of the building and its location in relation to George Street and other neighbouring buildings including the Mariners' Church and Dead House, to its north, and Cadman's Cottage to its south. The drawing indicates that there was also some sort of structure attached at the eastern end of the southern façade. Another smaller element is also shown at the south end of the eastern façade.

³¹ Sydney Water Plan Room, 1865 Trig Survey Sheet B2-1 NRS 9929.

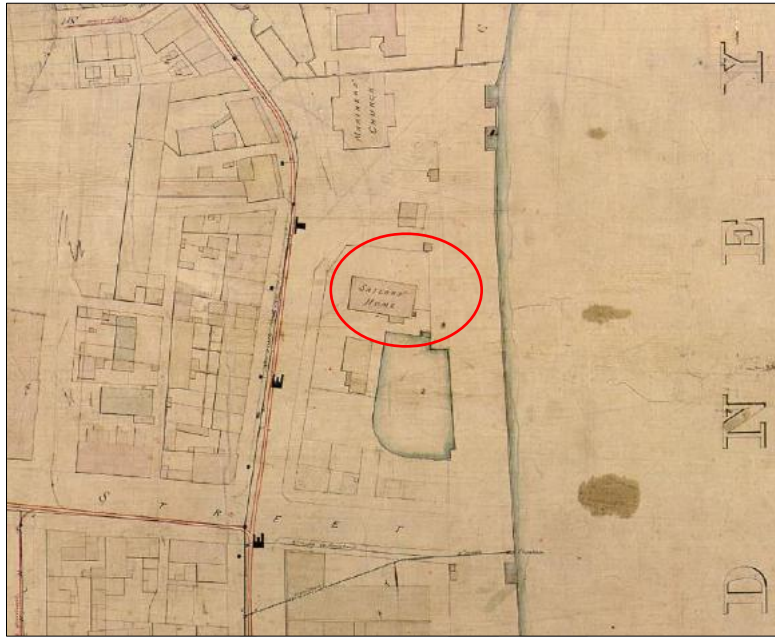


Figure 12: 1865 Trig Survey showing the building and surrounds. The Mariner's Church and Dead House located to its north and Cadman's Cottage to its south. (Source: City of Sydney Archives, City of Sydney - Trigonometrical Survey, 1855-1865: Block B2; cf. Sydney Water Plan Room, 1865 TrigSurvey Sheet B2 NRS 9929)

The completed portion of the building made provision for the completion of the whole building. Sandstone "keys" were provided to both the south western and north eastern corners of the wing. The south eastern corner of the building was also provided with sandstone "mortice" for the same purpose. The western façade was intended to become an internal wall and was simply adorned with only a chimney and front door.³²

The four-storey building was constructed with sandstone base containing kitchen and dining facilities. The upper facades comprising of face brickwork punctuated by timber framed double hung windows with arched heads and sandstone detailing to the window sills, corbels, label moulds and string courses. Internally the building featured timber floors with dormitories on the first and second floors. A total of fifty-six (56) individual "cabins" or "cubicles" were arranged around the open galleries that were lit by large skylights in the steeply pitched, gabled roof. The galleries were supported by a series of square timber columns extending up from the ground floor which featured a reading room and social hall. A stair in the south western corner provided access to the upper levels. A timber stair on the southern wall provided access between the basement Dining Room to the ground floor Main Hall.³³ The 1990 Conservation Plan included sketches showing the assumed original configuration of the building (Figure 13).

A photograph of the building dating from c. 1870 (Figure 14) shows the completed wing with steeply pitched, gabled roof and large skylights. The sandstone basement and features of the northern façade, with its series of arched windows and associated trims is clear. The unadorned, simple western façade and chimney appears unfinished in contrast and obviously was intended to be an internal wall.

An undated photograph of the "Social Hall" (Figure 15), gives an indication of the layout and finish of the interior. The timber posts that support the upper floor, gallery spaces are visible. It is clear that the interior was generally simply finished with painted brick walls. The photograph also shows what are assumed to be later additions to the interior including pressed metal lining to

³² Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

³³ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

the ceilings and surface mounted fixtures and fittings. The void in the first floor level shows the simple timber balustrade to the gallery above.

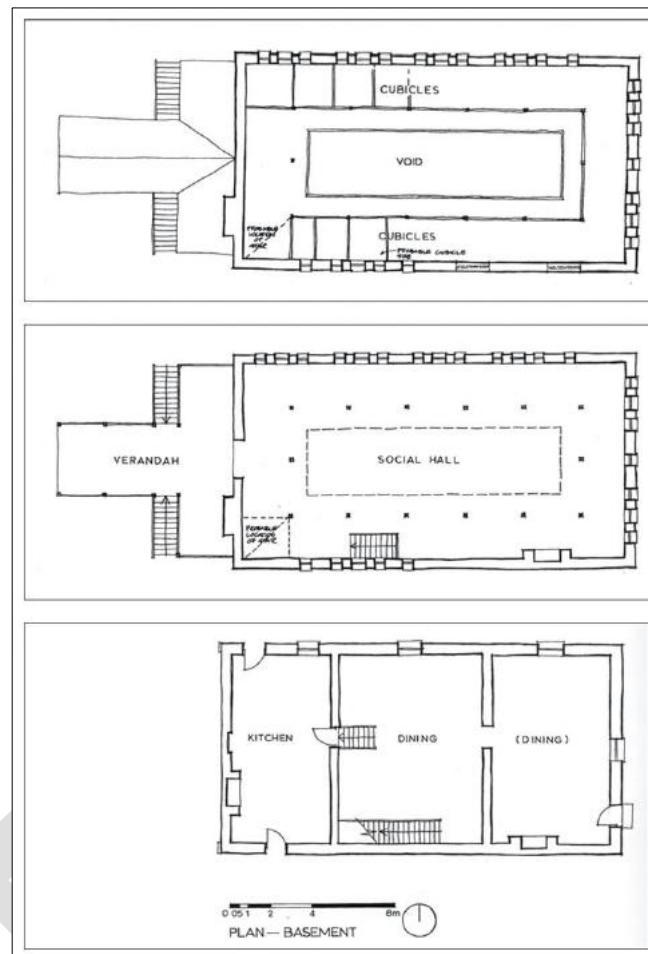


Figure 13: Assumed original configuration of the building, showing first and second floor galleries at top, ground floor at centre and basement at bottom. (Source: 1990 Conservation Plan)

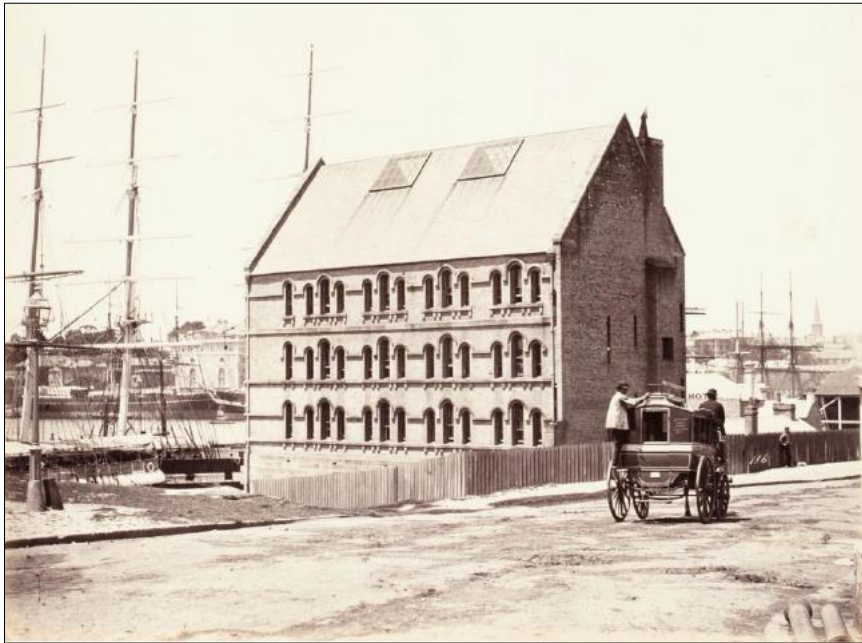


Figure 14: The Sailor's Home (former) as viewed from George Street c. 1872. The unadorned western façade (to George Street) is visible, featuring chimney extending from the gable roof which clearly features large skylights at the apex. (Source: SLNSW, DL PXX 81/44; cf. SHFA Archives, CQW 74)



Figure 15: Undated photograph showing the ground floor, "Social Hall". (Source: SHFA Archives CQW 47)

The first Superintendent of the Sydney Sailor's Home (former), Captain Ralph Robinson, took up residence in Cadman's Cottage in 1865. During the 1870s further infilling of the Cove occurred and in 1877, the area directly in front of Cadman's Cottage was filled and used as a "kitchen and picking garden". A photograph of west Circular Quay dated c. 1875 (**Figure 2.10**) indicates some earth works around the buildings fronting the western side of the Quay. The building however, despite continued works to the Quay appears to have maintained its close proximity to the waterfront at this time.³⁴

³⁴ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

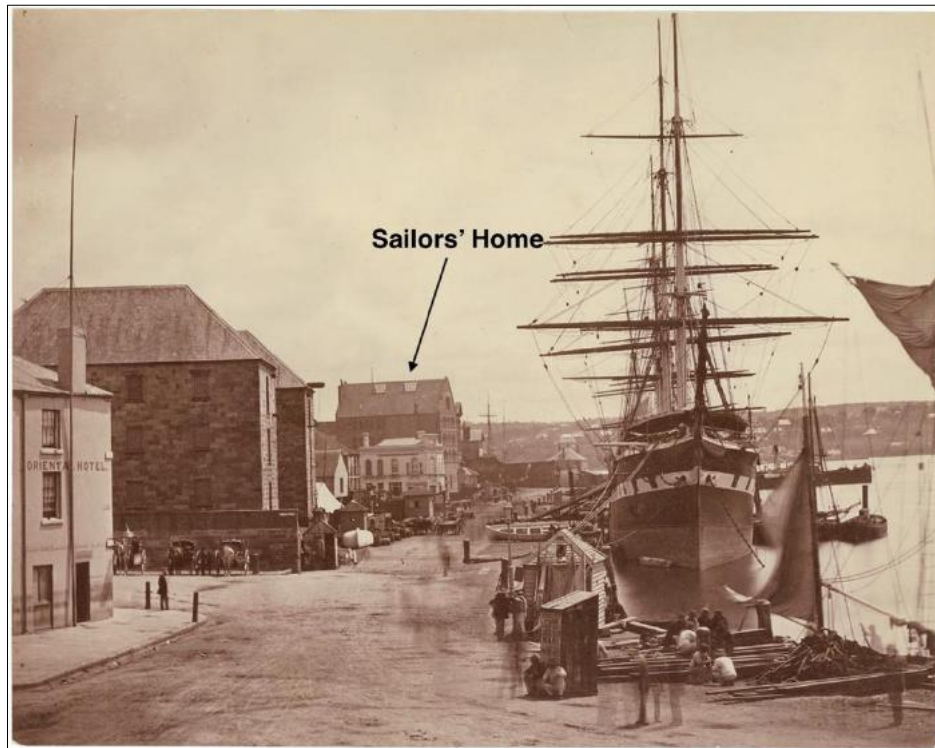


Figure 16: 1871 photograph showing the Sailor's Home (former) on Circular Quay. (Source: SLNSW, SPF/781)



Figure 17: Photograph of Circular Quay dated 1875 showing the configuration of the western shore and relationship with the building at mid left. Some earth works are also visible at left. (Source: SHFA Archives, CQW 35)

The c. 1880 Percy H Dove map (Figure 18) shows the four storey Home and adjacent single storey Cadman's Cottage. The plan confirms the presence of a "garden" in the open area to the east of the Cottage. The Morgue is also shown to the north of the Home, on a separate allotment, noted as being "vacant land", bounded by Bethel Street. It is also clear that the surrounding area along both sides of George Street has been subdivided and developed by this time.

Sydney Water plans dating from the 1880s, (Figure 19 & Figure 20, first surveyed in 1881 and revised in 1887 and 1888)³⁵ confirm the location of the original part of the building and site features. The building is set back from the George Street frontage with ample land around its regular footprint, to allow for the anticipated additions. The plans show the surrounding context and development including Bethel Street and the original form of the Mariners' Church north of the subject site.

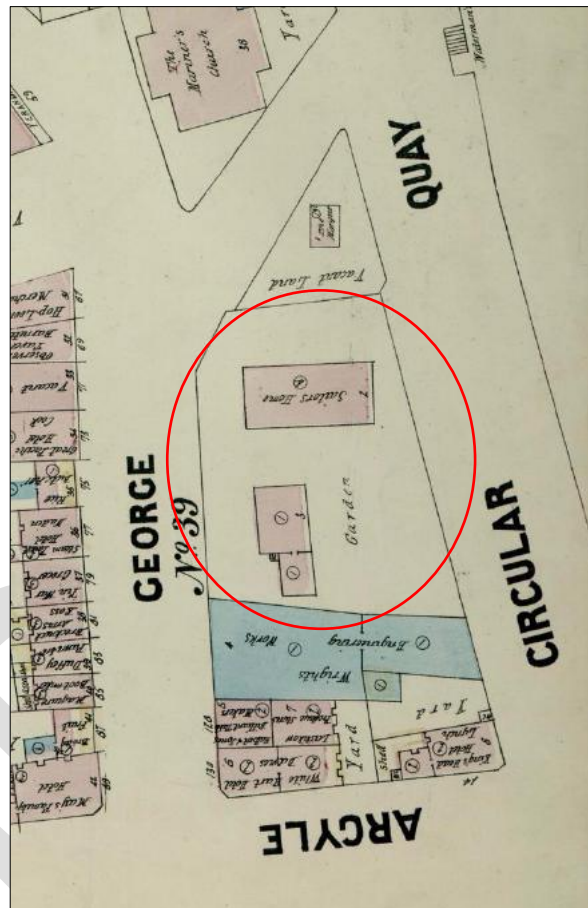


Figure 18: c1880 Percy H Dove Plan. (Source: City of Sydney Archives, H Percy Dove, *Plans of Sydney (Doves)*, 1880: Map 16 - Blocks 38, 39, 40)

2.5.2 Early Alterations and Additions

By 1882 the Sailor's Home (former) Trust Annual Report noted that £3000 had been accrued for "the extension of the building whenever it was required". This sum of money included a donation of £500 made in 1868, following the visit of Prince Alfred, the second son of Queen Victoria. The donation was made in gratitude, after an incident that occurred during a fund-raising picnic for the Home where the Prince was shot at and wounded. The Prince however was "saved" by Sir William Manning, President of the Trust, who dove for the assailant's weapon.³⁶

The 1882 Annual Report noted that improvements were made to the internal arrangements of the building and works had also included the addition of an entrance porch and balcony, to allow

³⁵ Sydney Water Plan Room, PWD 46 Sheets 3 & 4/ 1544.

³⁶ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

direct connection to and from George Street.³⁷ An undated photograph of the building (Figure 21) shows the timber framed structure with corrugated iron roof constructed to the western façade of the building. The structure also included two sets of timber stairs which led down the sides of the building and allowed access to the site and Cadman's Cottage. The photograph also shows the sandstone "keys" and "mortices" left at the south western corner of the building in anticipation of further extensions.



Figure 19: Sydney Water Plan showing the development north of the subject site c. 1880s. (Source: Sydney Water Plan Room, PWD 46 Sheet 3/1544)

³⁷ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

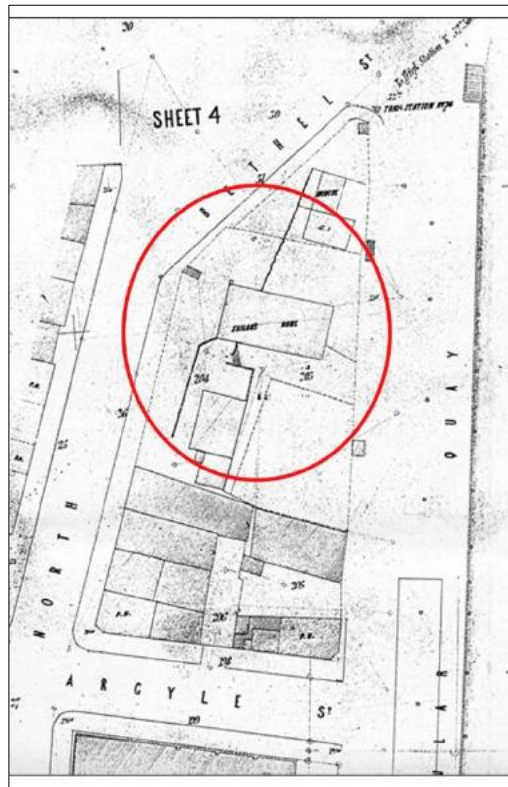


Figure 20: Sydney Water Plan showing the site and associated features including the simple footprint of the Sailor's Home (former), Cadman's Cottage and what appears to be retaining walls and fences. At some stage it would appear that the Morgue building, to the north of the Home, had been extended. (Source: Sydney Water Plan Room, PWD 46 Sheet 4/1554)

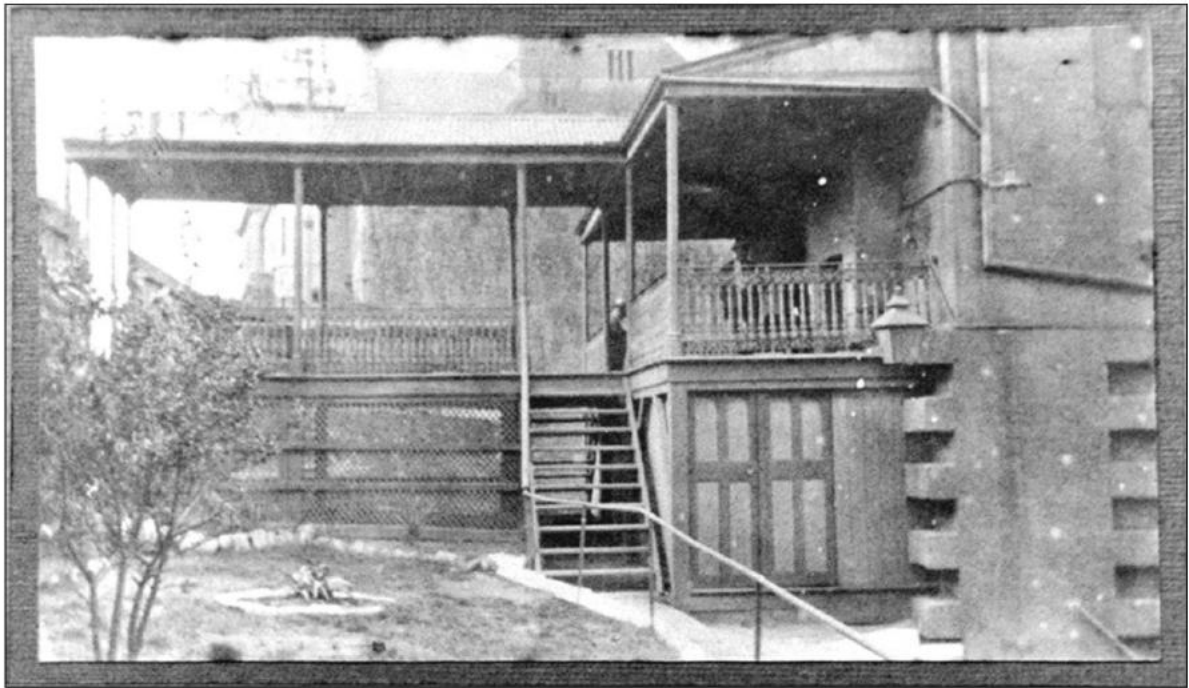


Figure 21: Undated photograph showing the timber framed structure added c. 1882 and “approach from George St North”. Constructed to provide direct access to George Street it also included stairs to access the sides of the building. (Source: SHFA Archives, CQW 46).

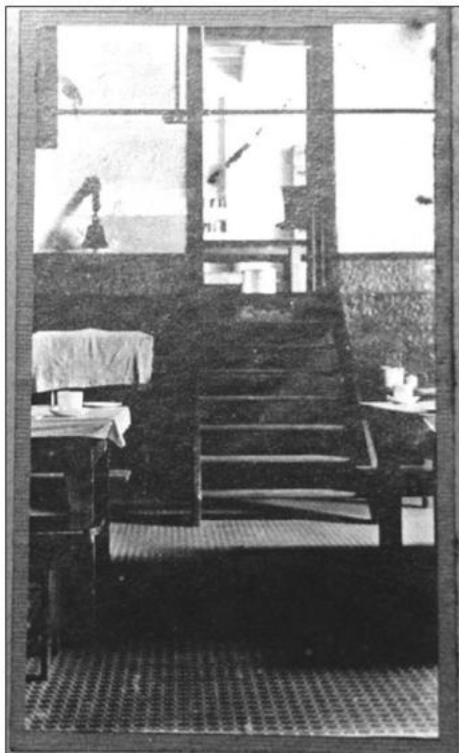


Figure 22: Undated photograph of the basement dining space entitled “The old Dining Room Bell still in position from 1863”. (Source: SHFA Archives, CQW 48).

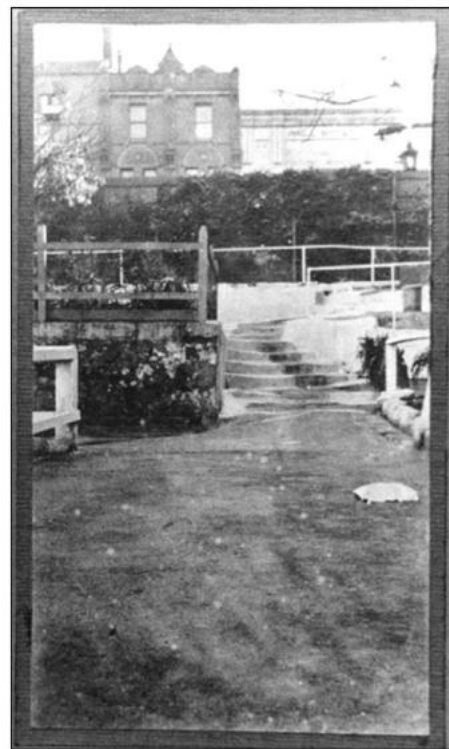


Figure 23: Undated photograph showing “Old Boat steps to the Cottage” between the building and Cadman’s Cottage. (Source: SHFA Archives, CQW 49).



Figure 24: Undated photograph showing the George Street elevation of the Sailor's Home (former) with the timber framed structure added c. 1882. (Source: NSW State Archives & Records, NRS-4481-2-[4/8636]-855)

There had been a decline in the number of seamen staying at the Home, with 1203 recorded in 1877, compared to 744 in 1882. This may have been due to the fact that sailing ships were being replaced with steam ships which required less manpower and crews and may have dissuaded the Trustees from extending the building further at this time, even though funds had been available.³⁸ It is not clear any other works were carried out at this time. The same series of photographs show the old dining hall and steps between the building and Cadman's Cottage. It is assumed that further works were carried out on Cadman's Cottage which continued to house the Superintendent and also featured a timber framed porch, constructed at some stage to the northern facade of the building (Figure 25).



³⁸ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

Figure 25: Undated photograph showing Cadman's Cottage from George Street. A timber structure is also shown attached to the northern façade of the building. The building is also surrounded by fencing, trees and "garden" which may date from the 1870s. (Source: SHFA Archives CQW 51)



Figure 26: Undated photograph showing Cadman's Cottage as seen from the Quay. It is assumed that the photograph was taken after the 1870s works to the gardens. (Source: SHFA Archives CQW 50)

The Home continued operations into the 1900s. In 1899 Plague hit Sydney and resulted in the formation of the Sydney Harbour Trust. All land on the waterfront, including the site of the Home, was vested in the care of the Sydney Harbour Trust Commissioners. However, on 6 June 1905, the Governor withdrew the site of the Sailor's Home (former) with the intent that the land might be re-vested with the Trustees of the Sailor's Home (former). A Sydney Water Plan (Figure 27) shows that other properties located north of the site, including the sites of the City Coroners Court, Mariners Church and ASN Building were also withdrawn. A note indicates that the withdrawal of the ASN Building was gazetted in November 1906.

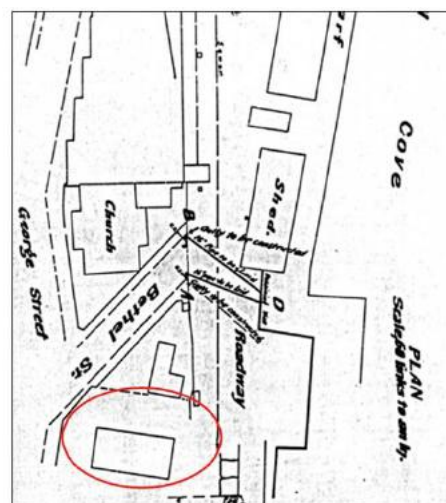
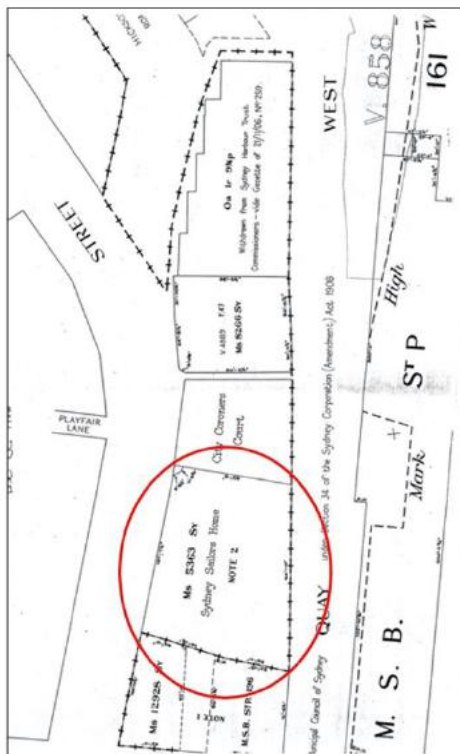


Figure 27: Plan showing the land, including the subject site, withdrawn from the Sydney Harbour Trust (later Maritime Services Board (MSB)). (Source: Sydney Water Plan Room, Real Estate Base Sheet 73)

Figure 28: 1901 sewer plan indicating the building footprints on their respective sites. Bethel Street is still shown, later abolished for the construction of the Coroner's Court building in c.1907. (Source: Sydney Water Plan Room, GC/158/1)

Photographs of The Rocks taken prior to the construction of the Coroner's Court building shows the Sailor's Home (former) building, which is a prominent building in this section of George Street, due to its steeply pitched, gabled roof and location, between the relatively low lying Cadman's Cottage and Bethel Street. A photograph dating c. 1905-07 (Figure 30) clearly shows the original form of the building with later awning extending to the George Street frontage. A timber paling fence wraps around the corner of the site, parallel to the Bethel Street frontage. The photograph also shows the general development around the building, including a long and narrow building to its east, along the waterfront.

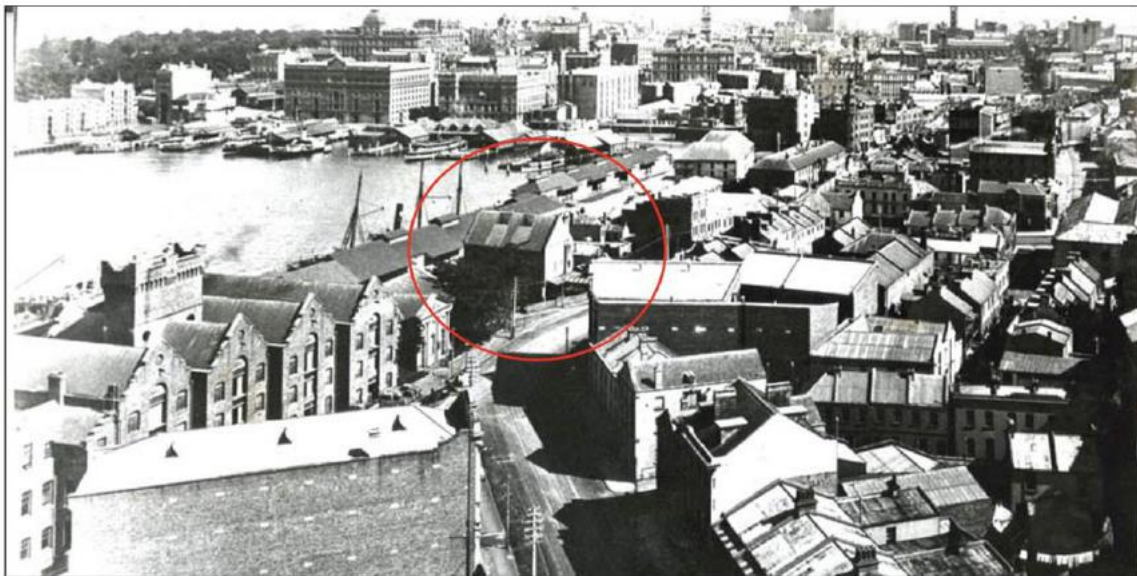


Figure 29: Photograph of The Rocks and George Street, c. 1905. The land generally to the east of George Street to the waterfront was resumed by the Sydney Harbour Trust in 1900. The subject site and some surrounding buildings were subsequently withdrawn from the Trust. The entry and awning added to the building during the 1880s is clearly visible as is the general development in The Rocks. (Source: SHFA Archives GE25)



Figure 30: Photograph of the building and context c. 1905-1907, and prior to the construction of the former Coroner's Court building. (Source: SHFA Archives GE 112)

By 1910 it would appear that the entire site, including Cadman's Cottage had been fenced. The 1990 Conservation Plan notes that the four larger windows seen on the eastern end of the south façade were also added by this time and sometime after 1892. An undated photograph of the area shows the building from the Quay (Figure 31). The William Wardell designed Australasian Steam Navigation (ASN) Building constructed in 1883-8439 is visible to the north (right) of the building. The former "Dead House" and City Morgue is also shown adjacent (to the right) of the building which occupied the eastern portion of the Coroner's Court Building constructed in c.1907. The Observer Hotel (to the left) was constructed in 1908-09. The photograph however predates the Edwardian façade addition which was added to the Mariners' Church in 1910.⁴⁰

³⁹ Wardell also designed St Mary's Cathedral. Hughes Turnbull, L., *Sydney: A Biography of a City*, (1999), p. 233.

⁴⁰ Godden Mackay, *Former Mariners' Church 100 George Street, The Rocks, Conservation Plan*, (Sept 1992) p.24.

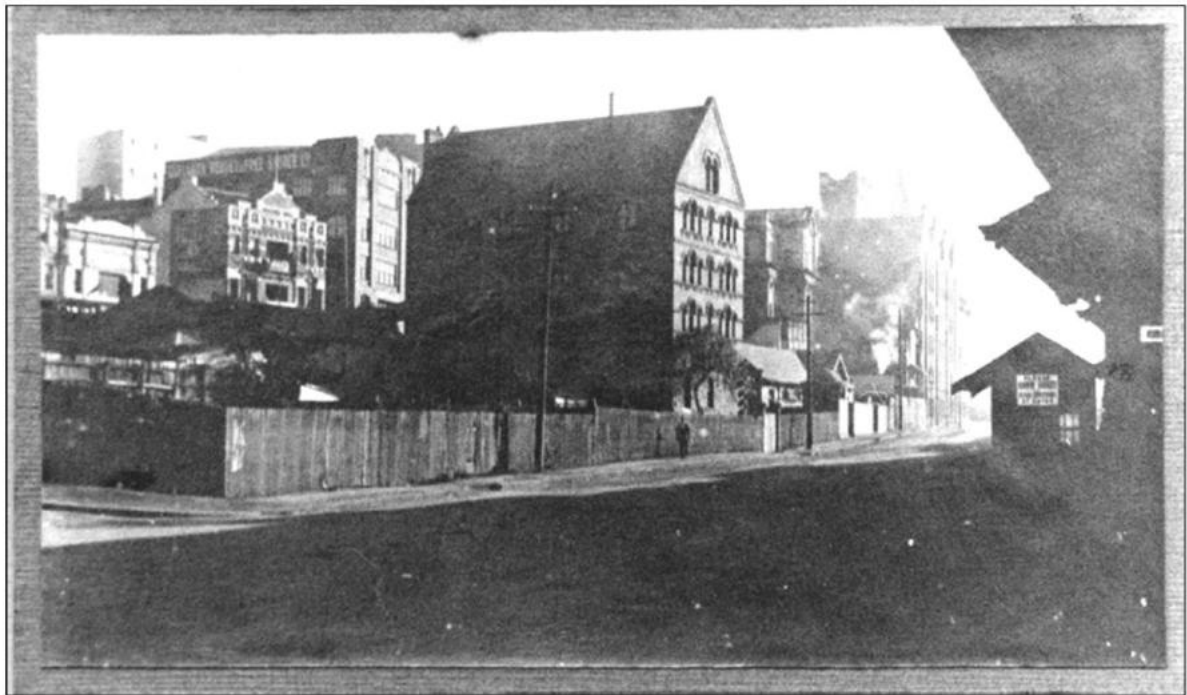


Figure 31: Undated photograph (c.1908-1910) showing “view from Circular Quay”. The ASN building with castellated tower and spire constructed in c. 1883/4 is visible to the right of the Home. Also visible to the right is the former Mariners’ Church. The Observer Hotel, visible to the left of the Home, was constructed in 1908-1909 so it is assumed that the photograph was taken between 1908 and 1910 when major additions obscured the original form of the former Church.⁴¹ (Source: SHFA Archive CQW 44)

In 1916, the Home became the beneficiary of the will of Miss Mary Carss. In 1923 the 60ha property at Kogarah bequeathed by Miss Carss was sold. The sale precipitated the addition of what was referred to as the “Carss Wing” to the Home in 1926. A plaque acknowledging the bequest was placed in the entrance vestibule and is now located at the entrance of the Carss’ Cottage Museum at Kogarah.⁴²

The Sydney Sailor’s Home (former) (SSH) was incorporated as a Company Limited in guarantee on 7 February 1919 with licence to dispense with the word “limited” from the title.⁴³ The site was subsequently dedicated for the Sailor’s Home (former) by notification of Government Gazette of 17 September 1920.⁴⁴ The purpose was to take over the unincorporated association known as the Sydney Sailor’s Home (former) with all its real and personal property and to provide, in the existing building, clean and inexpensive board and lodging for sailors and other persons of all nationalities employed in sea-going ships and vessels.⁴⁵ A Crown Grant dated 13 March 1923, officially granted title to the Sydney Sailor’s Home (former) (the company registered in the Companies Act).⁴⁶

⁴¹ Godden Mackay, *Former Mariners’ Church 100 George Street, The Rocks, Conservation Plan*, (Sept 1992) p.24.

⁴² Bligh Robertson Architects, *Sydney Sailors’ Home (106-8 George Street) Conservation Plan*, (Feb 1990) Section 3 History (no page numbers).

⁴³ Bligh Robertson Architects, *Sydney Sailors’ Home (106-8 George Street) Conservation Plan*, (Feb 1990) Section 3 History (no page numbers).

⁴⁴ Sydney Water, Real Estate Sheet Base 73.

⁴⁵ Bligh Robertson Architects, *Sydney Sailors’ Home (106-8 George Street) Conservation Plan*, (Feb 1990) Section 3 History (no page numbers).

⁴⁶ Bligh Robertson Architects, *Sydney Sailors’ Home (106-8 George Street) Conservation Plan*, (Feb 1990) Section 3 History (no page numbers).

2.5.3 Major Alterations and Additions (1925-26)

Council records show that a Building Application for a new Lavatory Block was submitted in November 1922.⁴⁷ No drawings of the block have been located, however it would appear that the external washroom was subsequently constructed, in the north eastern section of the site as shown in later drawings (refer Figure 32). Prior to this, amenities were housed in various less substantial outbuildings.⁴⁸

In May 1925, Sydney architects Spain and Cosh submitted plans to Sydney City Council proposing extensive alterations and the long anticipated additions to the building.⁴⁹ Approved in July 1925, the drawings, dated May 1925, show the L shaped addition with its Free Classical façade, regular shaped, multipaned timber framed windows, rusticated pilasters and gable roof. The scheme also proposed a prominent gabled parapet to George Street (refer Figure 36).

The drawing shows the proposed brick walls, timber floors and roof framing. The existing basement comprised of three areas; the "Natives Dormitory"; dining room; and kitchen at the George Street end. It would appear that the proposed works to this area included:

- the infill of a door between the Natives Dormitory and dining room;
- removal of the step between the dining room and kitchen (shown in Figure 22);
- raising of the floor level in the central dining room to the level of the kitchen;
- alteration of the existing stair on the southern wall that provided direct access to the Main Hall on the ground floor;
- work to a window opening in the southern wall in the dining room, adjacent to the stair;
- provision of a new servery in the wall between the kitchen and dining room; and
- addition of a new window in the south western wall of the kitchen.

The basement of the addition comprised of a hall, with a stair connecting up to the ground floor entry vestibule, baggage room, linen store and two other stores to the George Street frontage with extra dining room and separate "Natives" dining room in the new wing. A passage is shown between the two wings of the building and connects to a hall containing the access stair. Four basement lightwells are shown along the George Street pavement to the baggage room (south western corner) linen store, smaller store room and larger store room (north western corner). The basement plan also shows the 1922 lavatory block; a simple rectangular structure with hipped roof, comprising three WCs, four urinals, showers and a store about the central entry.

The incorporation of separate "natives" dining room and dormitory is an indication of the social climate of the day. Segregation of "visiting" sailors, particularly native Pacific Islander sailors is emphasised in the proposed alterations and works at this time (refer Figure 32).

The Ground Floor plan also shows the proposed "entrance vestibule" to George Street, flanked by office, room for the watchman, general stair, a cubicle and separate stair up to Superintendent's Quarters. A small porch, and "private" entry to the office adjacent to the entry of the building is shown on the George Street frontage at the south western corner of the building.

Overall, the proposed works provided an additional twenty-six (26) cabins and amenities within the new addition and original wing of the building. The provision of the new access stair resulted in the removal of the original stair that occupied the south western corner of the original wing, infill of floor void and addition of new cubicles on the ground, first and second

⁴⁷ City of Sydney Archives, BA 813/22.

⁴⁸ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990) Section 3 History (no page numbers).

⁴⁹ City of Sydney Archives, BA 540/25 Alts & Adds.

floors. Alterations to the original wing of the building as indicated by the drawings also included:

- enlargement of original entry door/opening on ground floor;
- addition of two new cubicles about a central lobby at the western end of the ground floor and cutting in of a new window for the southern cubicle;
- cutting in of a new opening on the northern wall of the Main Hall to provide access to the new open balcony at the eastern end of the new wing;
- creation of new opening from the first floor landing;
- provision of a new cubicle in the south western corner of the original wing and provision of new window on both the first and second floors; and
- proposed opening up of a window on the first floor to access the balcony at the eastern end of the new wing.

The sections indicate that the proposed “cubicles” were divided by what is assumed to be lightweight, solid partition walls to door head height with some sort of screen over extending to the ceiling. Each room featured panelled timber doors.

The second floor plan shows the proposed Superintendent's residence with bedroom, dining and sitting room, bathroom and separate WC, kitchen, work room and small room with “lift and shoot” (dumb waiter and laundry shoot). These actually featured on each of the levels and extended up from the basement linen store. The lightweight, battened partition walls, unlike the levels below, are solid. A central landing and “enclosed balcony” with casement windows overlooking George Street and balcony are shown on the plan (Figure 34) at the eastern end of the addition.

Balconies were provided on all three levels on the eastern elevation of the new wing. Other features included another “lift”, on the southern wall of the new wing.

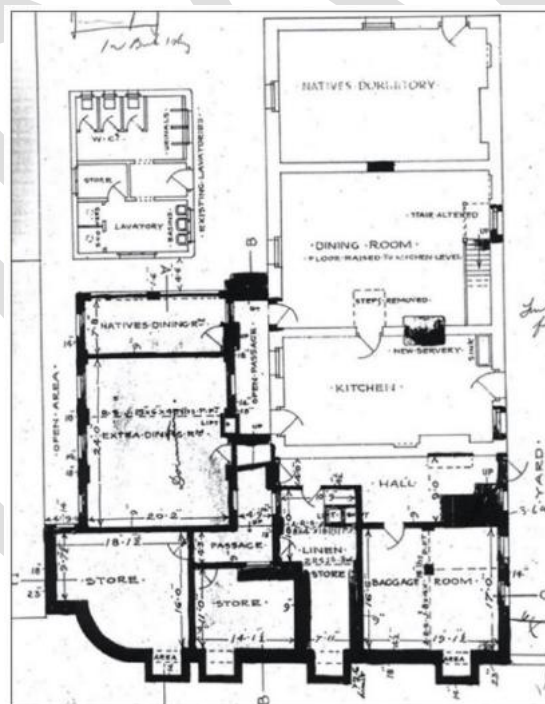


Figure 32: 1925 Basement Plan showing the proposed alterations to the original wing, including the infill of the opening in the wall between the “Natives Dormitory” and “Dining Room”, alteration of the stair on the southern wall and addition of a servery between the “Dining Room” and “Kitchen”. The proposed additions are clearly evident, with notable features including the two “lifts” (dumb waiters) and “shoot”. Note the 1922, existing Lavatory Block. (Source: City of Sydney Archives, 0540/25)

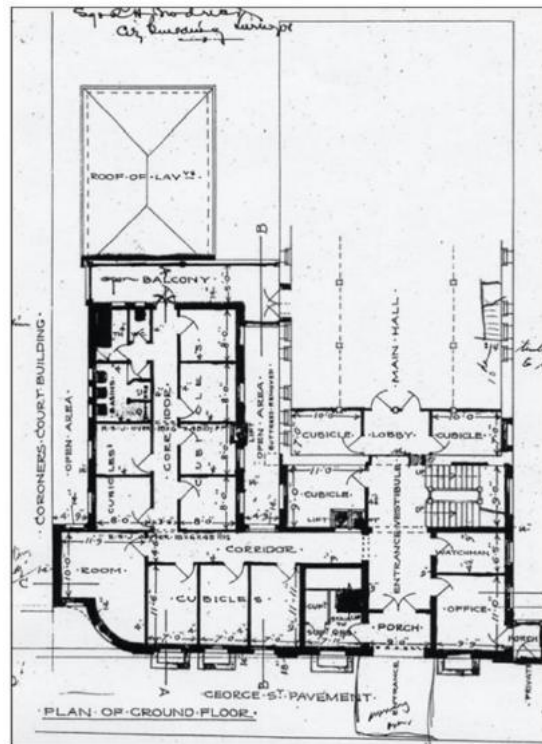


Figure 33: 1925 Ground Floor Plan showing the proposed alterations to the original wing of the building; including the addition of two cubicles and alterations to the lobby, and the proposed addition. Note the “private” porch at bottom right. The hipped roof of the existing, 1922 Lavatory Block is also visible at top left.
(Source: City of Sydney Archives, 0540/25)

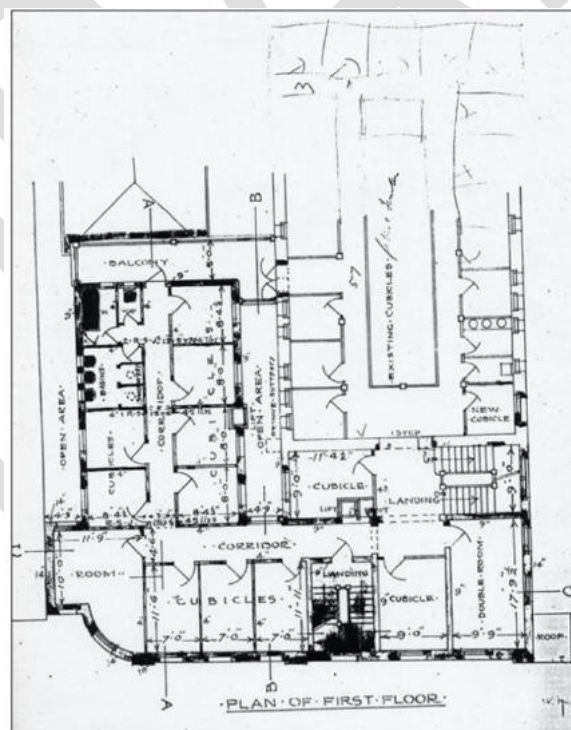


Figure 34: 1925 First Floor plan showing the proposed alterations to the original wing, including the addition of a new cubicle in the southern corner (made possible by the removal of the original accessstair and floor infill) and the northern wing addition featuring open balcony at the eastern end (top left). (Source: City of Sydney Archives, 0540/25)

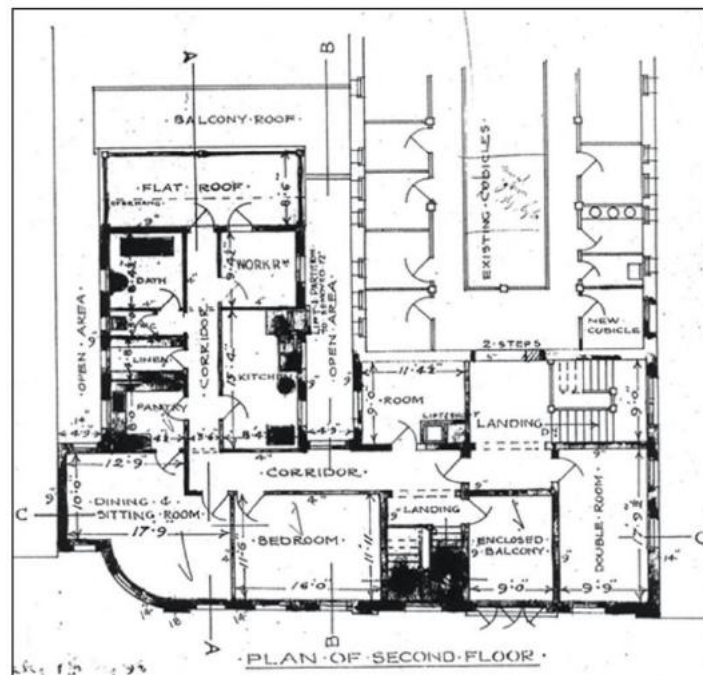


Figure 35: 1925 Second Floor plan showing the proposed alterations to the original wing, including the addition of a new cubicle (made possible by the removal of the original access stair) and proposed northern wing occupied by the Superintendent's quarters. (Source: City of Sydney Archives, 0540/25)

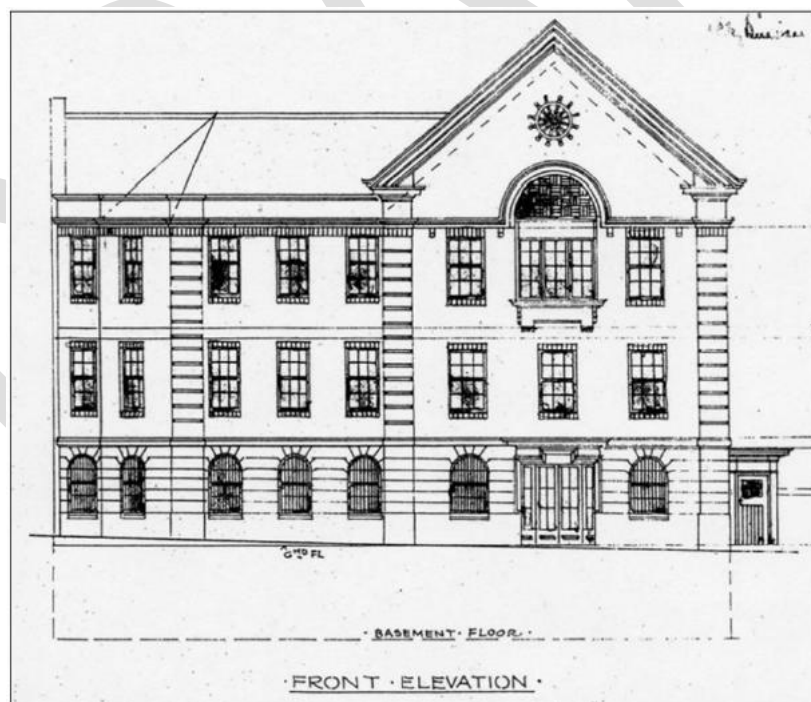


Figure 36: The proposed front elevation of the building prepared by Spain and Cosh in early 1925 with hipped and gabled roof and prominent gabled parapet to the George Street frontage. The separate entry porch is visible at bottom right. (Source: City of Sydney Archives, 0540/25)

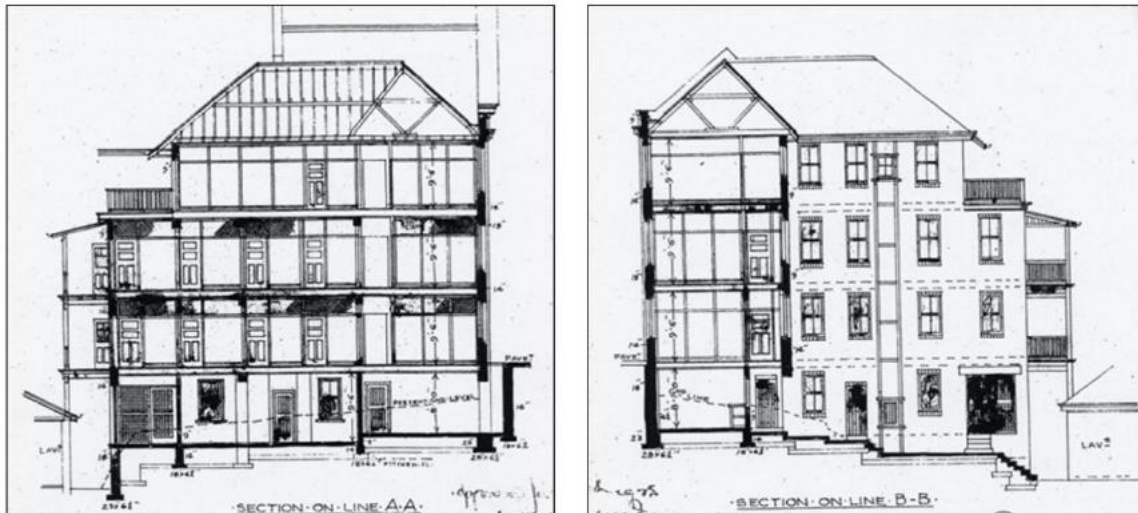


Figure 37: Sections and partial elevation of the proposed northern wing and addition of the building which shows elements such as the proposed partition walls to the cubicles (at left) and open verandahs at the eastern end of the proposed wing (at right). (Source: City of Sydney Archives, 0540/25)

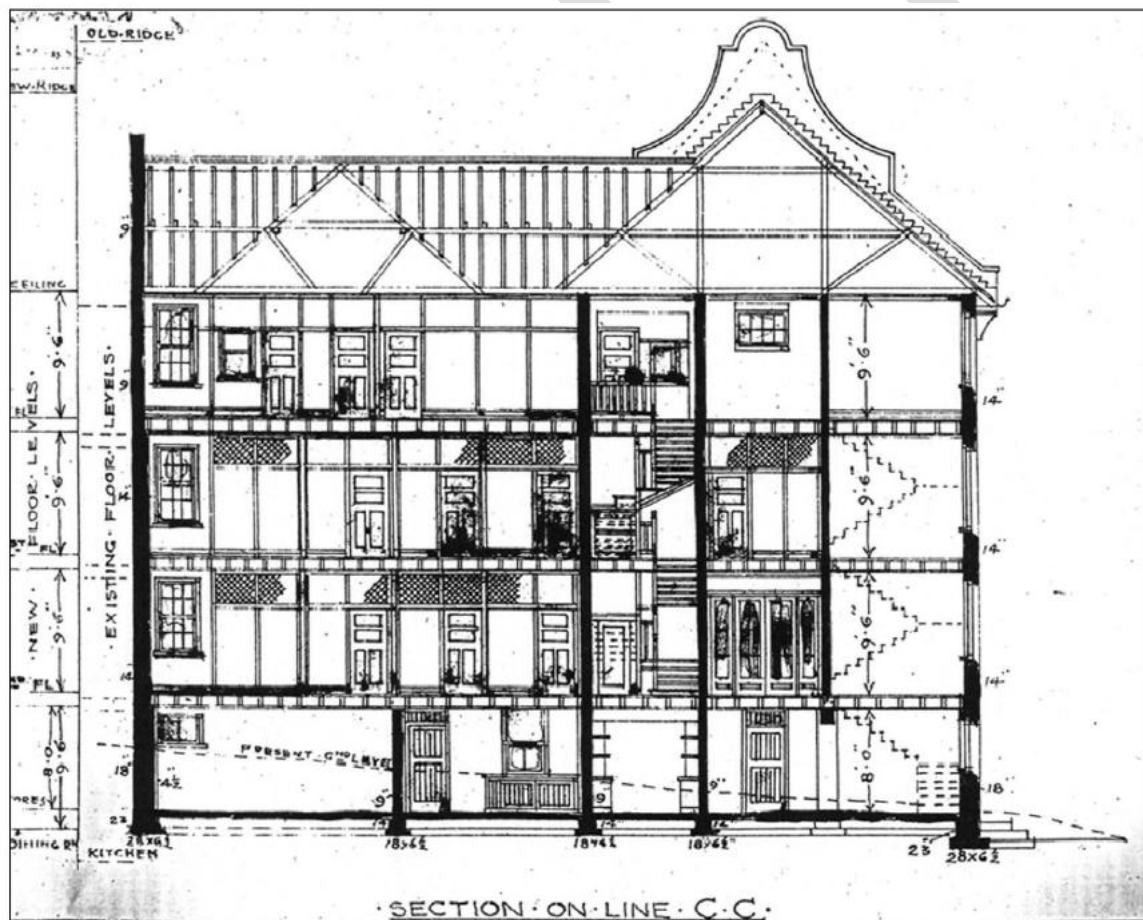


Figure 38: Long Section through the front of the proposed addition which also shows that an Anglo-Dutch inspired parapet, much like the gabled ends of the ASN Building, was considered for the gable end. (Source: City of Sydney Archives, 0540/25)

Another drawing, dated November 1925 (Figure 39), also prepared by Spain and Cosh Architects, shows the proposed Natives' Lavatories for the Sailor's Home (former). Approved in December 1925, the proposed building is a small structure, constructed of double brick with suspended floor and hipped slate roof, located to the east of the 1922 lavatory block and north east of the building. The block contained two WCs, a urinal, shower and two basins. Its existence and location emphasise the enforced segregation and philosophies of the day.

In December 1925 the proposed elevations of the building were amended and approved. The drawings⁵⁰ show that the existing and proposed gabled roof was to be replaced with a flat roof, over the two wings of the building. The flat roof was to be supported on regularly spaced trusses and concealed by a high continuous parapet. A ship's wheel motif, dates of the two buildings and "Sailor's Home (former)" are shown on the proposed parapet. An enclosed stair with pitched roof was also proposed to access the flat roof. "Pebbles" is scribbled on the roof plan as is a reference to a skylight (Figure 43).

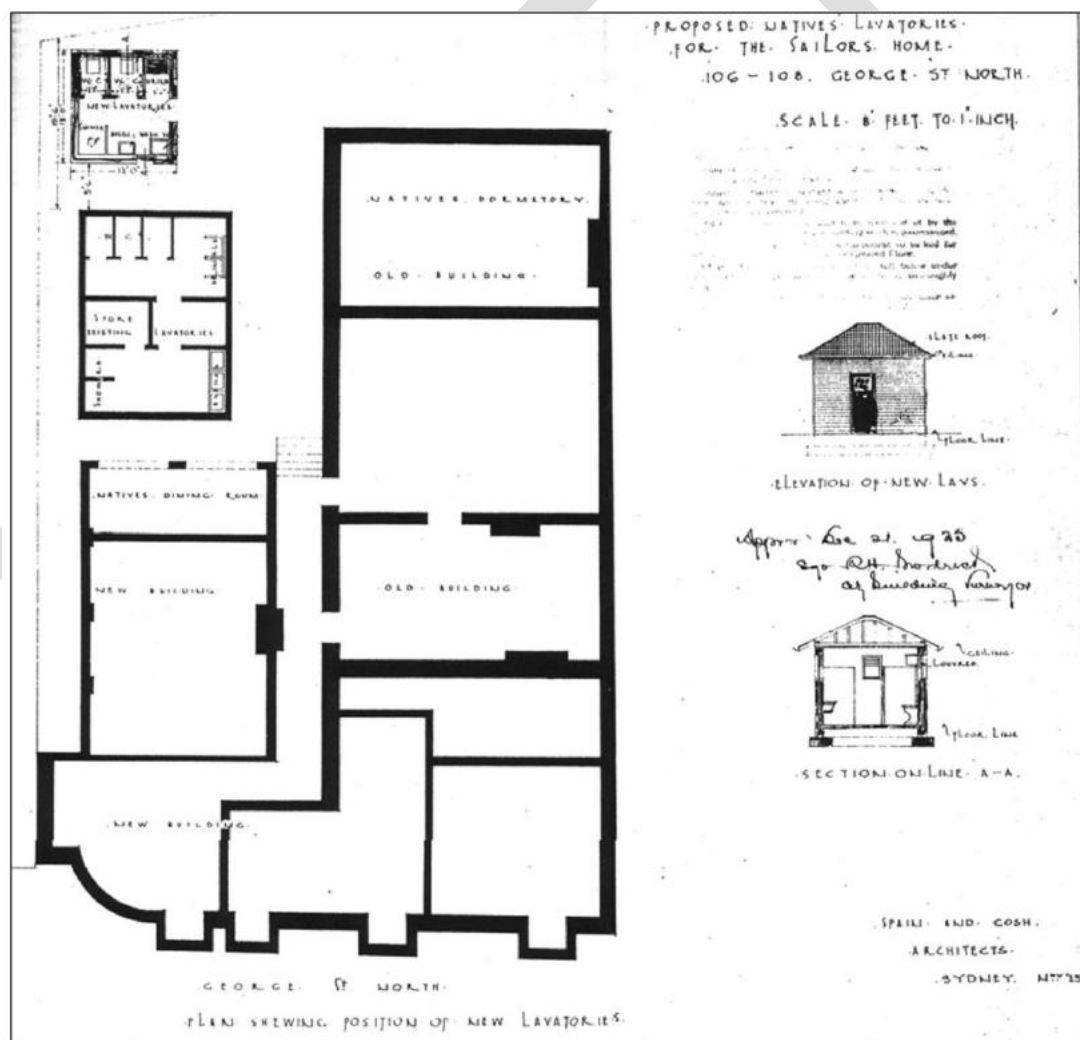


Figure 39: Plan showing proposed new "natives" lavatories, to be sited north east of the building and existing, 1922 lavatory block. (Source: City of Sydney Archives, 0540/25)

⁵⁰ City of Sydney Archives, Sheet No. 4 and Sheet No. 5, BA 540/25.

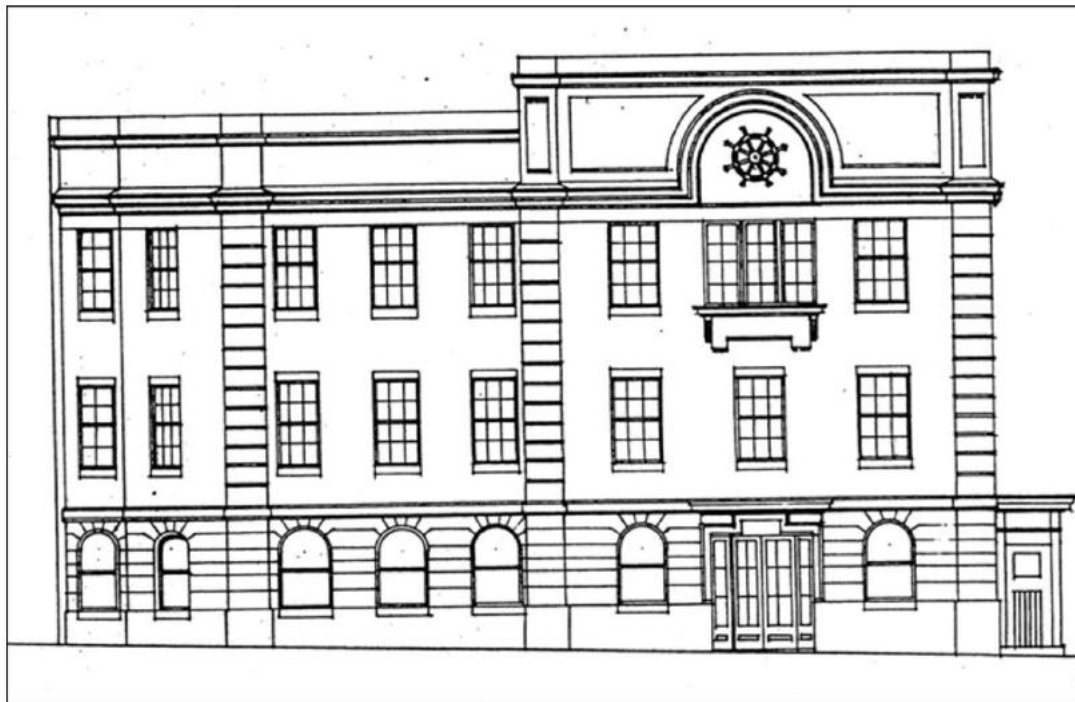


Figure 40: Revised front elevation to George Street, with parapet concealing the roof. The ships wheel motif was proposed for the parapet of the primary bay. (Source: City of Sydney Archives, 0540/25, Sheet No. 5)

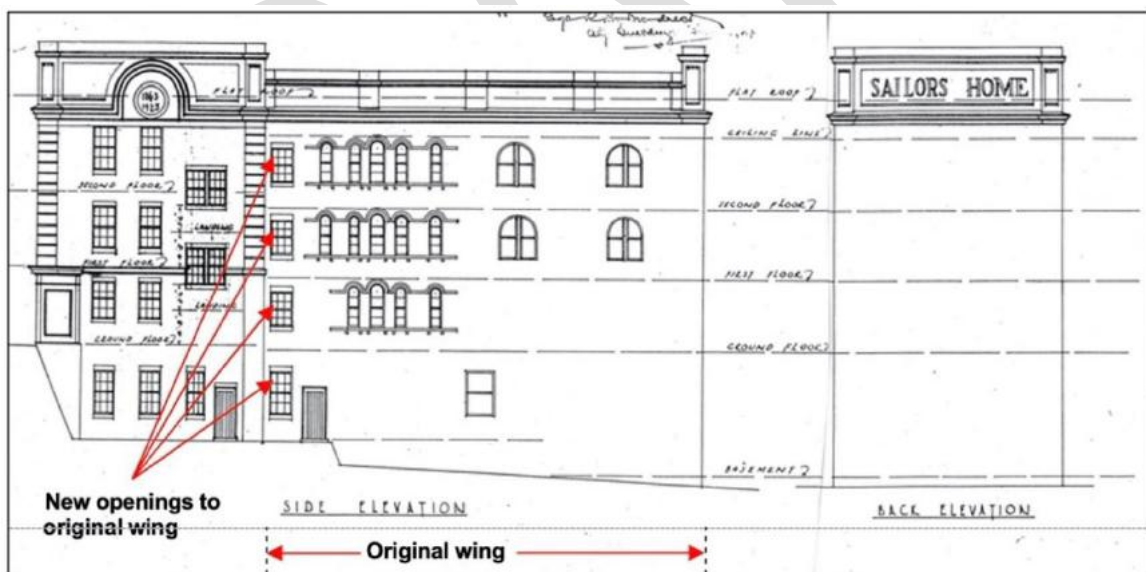


Figure 41: Revised building elevations showing the approved parapets with proposed dates and "Sailors" Home detail. The "Side Elevation" also shows the proposed new openings at the western end of the original wing. (Source: City of Sydney Archives, 0540/25, Sheet No. 5)

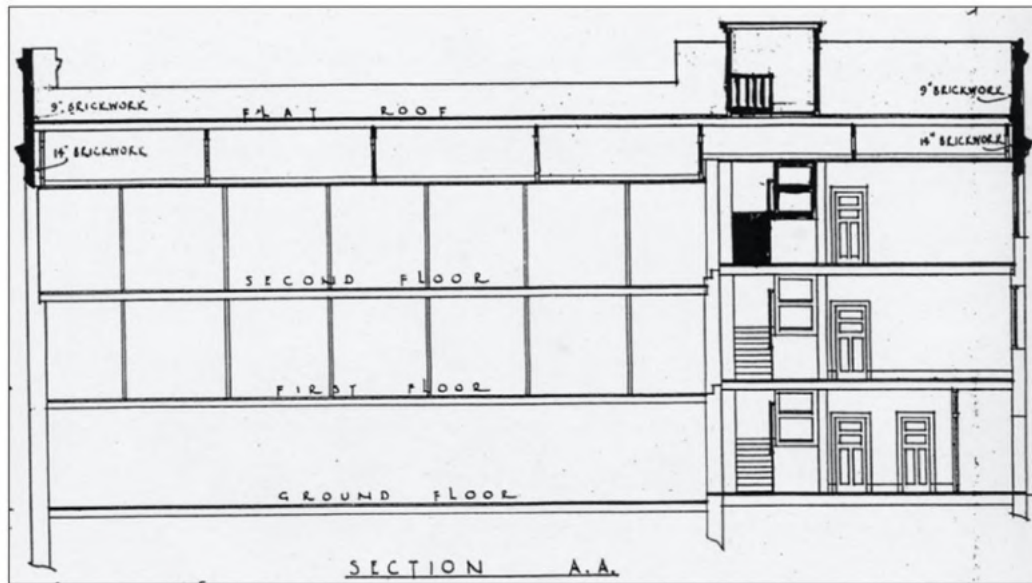
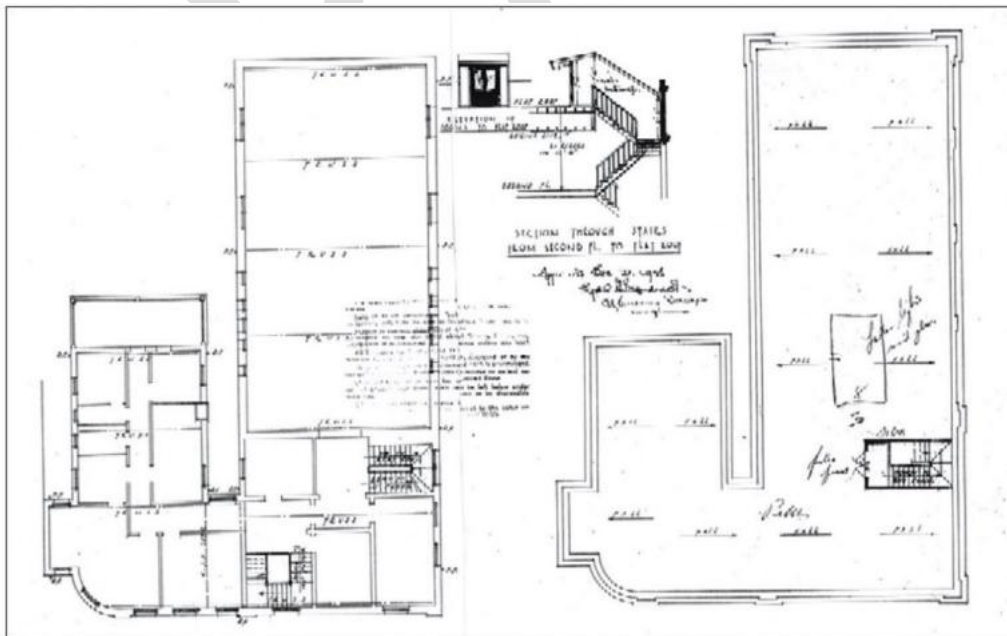


Figure 42: Revised section showing the proposed flat roof and parapet addition. (Source: City of Sydney Archives, 0540/25, Sheet No. 5)

The construction work was undertaken by R Wall and Sons, builders, at a cost of £13,382. The addition, ground, first and second floor facades of the original wing were rendered in 1926.⁵¹

In the following year another Building Application was submitted to Council for the addition of an awning.⁵² The awning, over the George Street entrance to the Home, was also designed by Spain and Cosh and was approved in March 1926.⁵³



⁵¹ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

⁵² City of Sydney Archives, BA 270/26.

⁵³ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

Figure 43: Second floor plan and roof plan showing the access stair and "fall" of the flat roof. (Source: City of Sydney Archives, 0540/25, Sheet No. 6)

2.6 Subsequent Alterations to the Sydney Sailor's Home (former) (1926-1979)

A photograph of the completed building, dating c. 1926 (Figure 44), shows the overall form of the building with its new, high parapet extending around the perimeter of the building including the original wing of the building. The southern façade of the addition and larger bay to George Street feature arched moulding with relief lettering and ships wheel motif as shown on the drawings. The photograph also shows a small, suspended awning over the George Street entry and southern façade of the building. The southern façade is punctuated by the various openings, including the original, narrow arched windows, later arched openings at the eastern end (at left) and the regular openings of the 1925 addition. A number of service pipes and downpipes are also shown. The small, single storey annex is also visible on the George Street frontage. The simple, parapet structure provided separate, private entry to the ground floor office located in the south western corner of the addition. To facilitate the construction of the continuous parapet, the original, gabled end of the eastern elevation was demolished. The original wing was probably rendered as part of the works.

During the 1930s and 1940s the sites along the waterfront continued to develop. The use of Cadman's Cottage by the Home prevented redevelopment of the site, however the area south of the Home and the eastern end of Argyle Street appears to have continued to be developed and occupied by some substantial buildings. A photograph of the Circular Quay West roadway, looking north, (Figure 45) shows the building and its context. The building is obscured by several commercial buildings. The Sailor's Home (former) however, appears to have maintained a relationship and address to the Quay to this time. What appears to be a timber posted canopy is just visible, extending from the south eastern corner of the building. The location corresponds to the arched doorway to the basement that remains today. The "address" to the Quay also appears to have been maintained despite the construction of the long, single storey, Federation building, to its east along the waterfront.

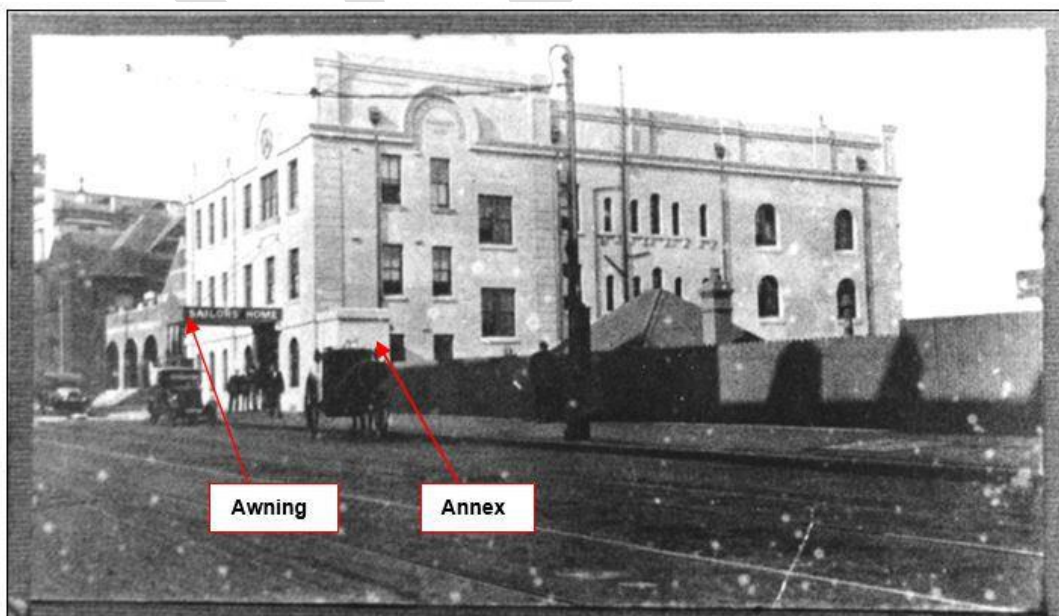


Figure 44: Photograph showing the completed addition and overall form of the building c.1926. The suspended awning to George Street is visible. Note the small annex, entry porch at the south western corner of the building. (Source: SHFA Archives CQW 45)



Figure 45: View looking north along the Circular Quay West roadway c. 1931 showing the eastern façade of the building and general development facing the waterfront. The parapet of the eastern façade featuring bearing “SAILOR’S HOME (FORMER)” as indicated in the drawings and what appears to be a covered entry at the south eastern corner of the building. Note the long, single storey Federation building along the waterfront and incomplete Sydney Harbour Bridge in the background. (Source: SHFA Archives CQW 50)

Cadman’s Cottage continued to be used as a residence for successive Superintendents until 1926, when residence for the Superintendent and his family was provided in the addition. From this time the Cottage was used for any overflow of sailors from the Home. In 1937 it was re-roofed with iron and was generally maintained by the Home until the late 1950s when it was vacated and fell into disrepair.

In June 1937 the roof and parapets of the Home were stripped and painted.⁵⁴ In the following year a Building Application was submitted to Council relating to the erection of a fence at the rear.⁵⁵

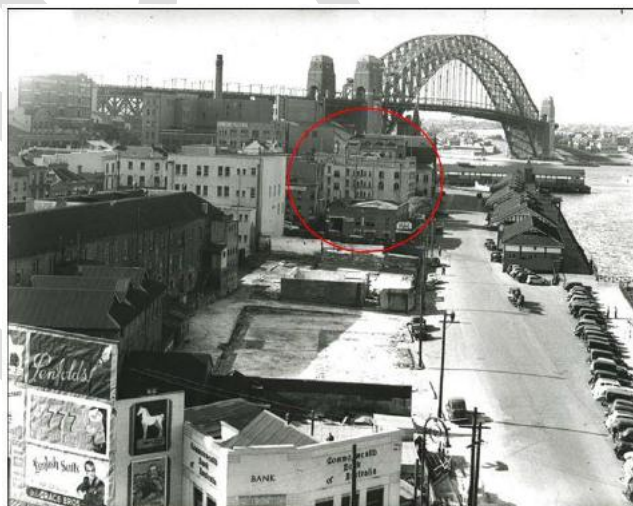


Figure 46: Photograph of west Circular Quay dating c. 1946 with the site of the former MSB Building now the Museum of Contemporary Art in the foreground. It would appear that the use of Cadman’s Cottage by the Home prevented its redevelopment, unlike the area around the building which has clearly evolved. (Source: SHFA Archives CQW 03)

⁵⁴ Bligh Robertson Architects, *Sydney Sailors’ Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

⁵⁵ City of Sydney Archives BA 348/38.

During the 1950s works to the building on the West Circular Quay waterfront continued. A new Sydney Cove Terminal was designed and opened in 1960 to handle cruise ship passengers. The SS *Oriana*, on her maiden voyage, was the first ship to use the new terminal,⁵⁶ which essentially replaced a long, single storey Federation building that had occupied the site. A Sydney Water plan dating from 1962 (Figure 47), indicates the size and bulk of the building and shows that the southern end of the structure featured a bridge, that spanned over the Circular Quay West roadway to the area south of Cadman's Cottage. It is assumed that the buildings that formerly occupied this area were demolished to make way for the structure.

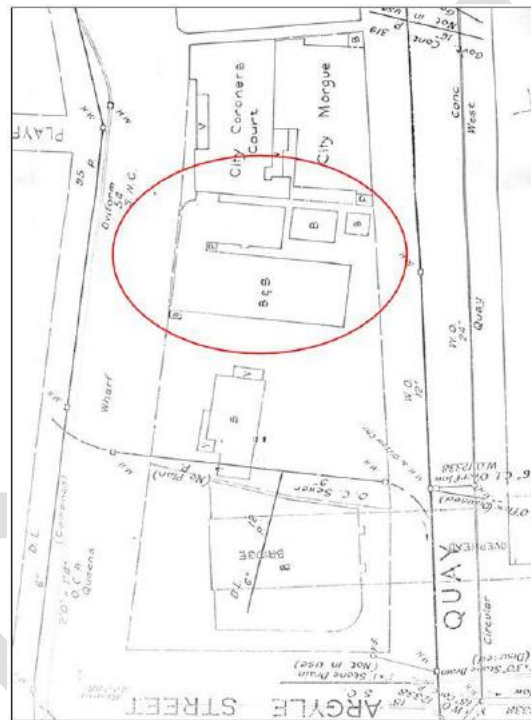


Figure 47: 1962 Sydney Water Plan indicating the size of the Sydney Cover Terminal (at right) and showing the overhead bridge that extended over the Circular Quay West roadway to the area south of Cadman's Cottage. The plan is also interesting in that it shows the footprint of the building and two brick lavatory buildings. (Source: Sydney Water, SRS 3768 Base)

2.6.1 Evolution of the Australian Mariners' Welfare Society

In 1968 the *Sydney Cove Redevelopment Authority Act* was passed, and in late 1970, the Authority resumed the land on which the Sydney Sailor's Home (former) stood.⁵⁷ The land granted to the Sydney Sailor's Home (former) in April 1923 comprised of one rood twenty five and three quarter perches and extended between George Street North and the Quay Roadway, as illustrated on the title.⁵⁸ A Notice of Resumption dated 27 April 1971 made the Sydney Cove Redevelopment Authority (SCRA) the proprietor of "part" of the land and effectively resulted in the subdivision of the original site and creation of lots "A" and "B" (refer Figure 48), essentially the sites of the Sailor's Home (former) (Lot A) and Cadman's Cottage and surrounds (Lot B).

⁵⁶ Jahn, G., *Sydney Architecture*, (1997), p. 188.

⁵⁷ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

⁵⁸ Department of Lands, Land Grant, Volume 3434 Folio 203.

In November 1971 the land designated lot "B" became Crown Land under the Crown Land Acts.⁵⁹ Cadman's Cottage was subsequently gazetted under the National Parks and Wildlife Act as a Historic site. Extensive restoration work followed, in October 1972, and involved the demolition of a number of annex structures.⁶⁰ The building was later used as an information centre for the Sydney Harbour National Park but is today only open for viewing twice a month via guided tours.⁶¹

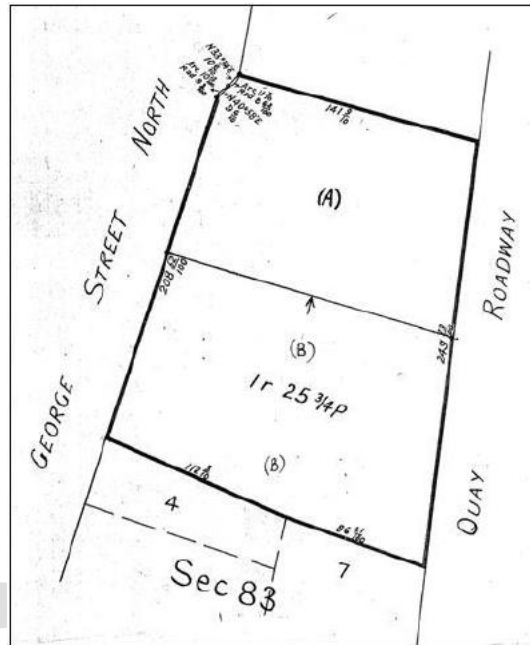


Figure 48: Site plan on the 1923 Land Grant. The site which was originally granted the Sydney Sailor's Home (former) comprised of both lots "A" and "B" and was resumed in 1970 and subdivided, with part (Lot A) being vested with the SCRA. (Source: Department of Land, Land Titles Office, Land Grant Volume 3434 Folio 203)

The Sydney Sailor's Home (former) sought compensation for the resumed land. Agreement could not be reached, and the matter was subsequently reviewed in the Land and Valuation Court of New South Wales. On 5 November 1976, the sum of \$650,000 was awarded to the SSH. This sum was considered to be inadequate and the matter was taken up at the New South Wales Court of Appeal, which on the 20 October 1977, ordered that the assessment be taken back to the Land and Valuation Court. On 22 December 1977, the Court awarded \$1.6million. Further negotiation followed and on 22 February 1978 the SSH accepted an offer of \$1.3 million.

By the late 1970s, sailors coming to the Port of Sydney were no longer in need of the kind of accommodation the Home offered. Shipboard accommodation had vastly improved and by this time seamen were much better paid than they had been a decade earlier. The Council of the SSH deliberated on how best to carry out their future activities, and the conclusion was that it would be more appropriate to establish accommodation for retired seafarers and their dependants, and other aged people.

Following the settlement between the SSH and SCRA, part of the compensation paid went toward the lease of premises at 144 Victoria Street, Kings Cross, where low-cost accommodation continued to be provided for those remaining occupants of the original Home. In 1980 the lease at Kings Cross was terminated and a small residential building was

⁵⁹ Department of Lands, Land Grant, Volume 3434 Folio 203.

⁶⁰ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

⁶¹ NSW National Parks Website, 'Cadmans Cottage Historic Site', <https://www.nationalparks.nsw.gov.au/visit-a-park/parks/cadmans-cottage-historic-site> (accessed March 2021).

purchased at 294 South Dowling Street, Paddington, where the remaining former occupants and some others were accommodated. The Home Council continued to examine how best to use the compensation and it was decided to purchase land in Woolloomooloo and construct a retirement complex, Mariners' Court on the site.

In the late 1990s it was obvious that the name, Sydney Sailor's Home (former), no longer represented the organisation's activities. The charitable organisation accordingly evolved into the Australian Mariners' Welfare Society.⁶²

2.6.2 The Sydney Cove Redevelopment Authority

A photograph of the eastern façade of the building and Cadman's Cottage site dating from the 1970s (Figure 49), shows that changes had been made to the building by this time. The eastern parapet of the original, 1860s wing of the building proudly bears the word "Sailor's Home (former)", made prominent by contrasting paint colour. The parapet and upper three storeys appears to be painted in one colour with the various rendered mouldings, and string courses creating shadow lines on the facades. A flagpole is fixed to the internal face of the parapet and the facade is also decorated with a ships wheel fixed to the top cornice. The photograph also shows that the sandstone basement of the original wing of the building has also been rendered by this time. It is not clear when these works were carried out and it would appear that the canopy seen in the 1930s photograph (Figure 45) had also been removed. A high fence remains on the site eastern boundary. It is assumed that the two lavatory blocks, that occupied the north eastern section of the site, were removed around this time, when the Sailor's Home (former) vacated the building.

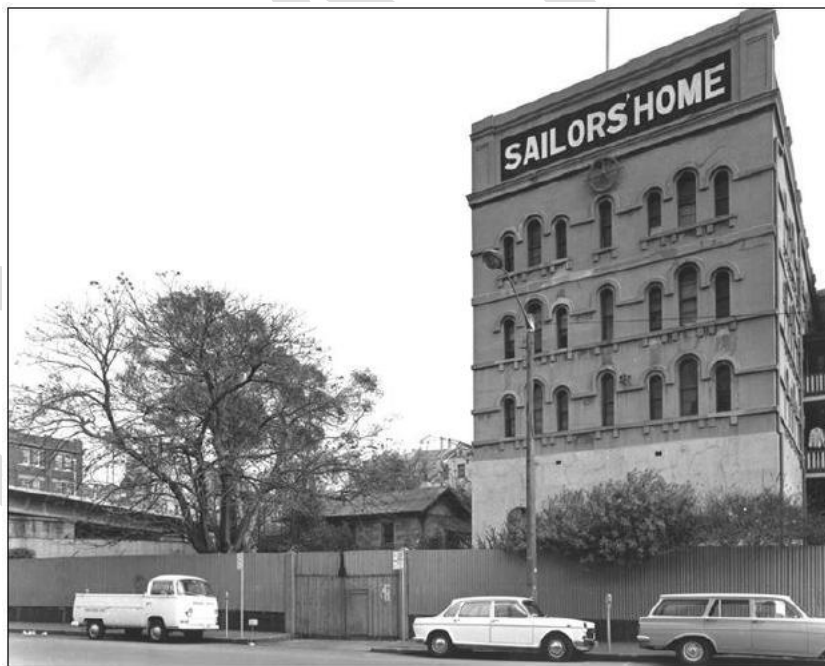


Figure 49: Photograph of part of the eastern façade of the building and Cadman's Cottage site to its immediate south. By this time the basement of the 1860s wing has been rendered. A high fence also remains along the boundary along the Circular Quay West roadway. The photograph also shows plantings around the buildings and the bridge extending from the Sydney Cove Terminal is also partly visible to the south of the site (at left). (Source: SHFA Archives, CQW 20)

⁶² Australian Mariners' Welfare Society Website, 'History Gallery—1865 to 1970', <https://www.marinerswelfare.com/history.html> (accessed March 2021).

[illegible]

2.7 Subsequent Adaptive Reuses of the Building (1980-2020)

2.7.1 Alterations for the Marionette Theatre of Australia (1981-90)

- a reasonable-sized Auditorium, seating around 150 people with good viewing conditions;
- a workable stage area, preferably capable of being adapted to different sizes and methods of production;
- adequate foyer space;
- public toilets;
- box office, cloaks and office areas for MTA staff;
- rehearsal space with above average head room;
- workshop and storage space;
- dressing room and performers green room; and
- as much space as possible for rental to other performing groups, classes or for exhibitions.

⁶³ City of Sydney Archives BA 1273/76.

⁶⁴ City of Sydney Archives. Building Application File 106 George Street. No.1273.

⁶⁵ City of Sydney Archives, 1273/1/76, Drawing No. CP3/1.

which is a “*considerable tourist attraction*” and being located in The Rocks which attracts a large amount of visitors. The report also noted that whilst “*the building has been heavily “modernised” and added to (in the 1920s) the original fabric of 1863 is intact, except for the roof, and its fenestration can be clearly seen on the north, south and east elevations.*”⁶⁶ Other items mentioned in the report included that the external walls “*need patching and painting in a colour appropriate to the surroundings*” and possibly “*some treatment of the windows would be necessary for sound exclusion*”. Also that the “*existing balcony access and fire escape stair should be replaced by a new staircase of non-combustible structure*” and that the whole building should be “*sprinklered and fire-rated ceilings and fire doors be provided as required*”.⁶⁷

In 1980-81 plans were prepared by Hall Bowe and Webber Pty Ltd Architects to adapt the building for use by the Marionette Theatre of Australia (MTA) within the whole of the building.

In March 1982, a Building Application (BA) was submitted to Council for alterations to form a theatre. The estimated cost of the works was \$660,000.⁶⁸ The existing building was described as being constructed of brick, approximately ten metres high with three storeys and basement, with timber floors and roof clad in bitumous felt.⁶⁹ The plans, which were approved by Council in June 1982,⁷⁰ proposed external space for car parking and outside performances; the use of the basement for rehearsal room, workshops, stores, dressing rooms and associated amenities; the Ground floor for entry lobby, box office, foyer, cloak room, amenities and Auditorium with seating for 152-164 (depending on stage size in use) and stage; the first floor for offices and exhibition space and top, second floor for gallery, studios, change rooms and offices.⁷¹

Proposed works to the basement as indicated on the BA drawings, included:

- the provision of a new concrete driveway to extend from the former Quay Road to the existing openings on the eastern wall of the original wing (also proposed to be enlarged);
- addition of new walkway and stair to the western and eastern walls of the former Natives Dormitory;
- removal of the hearth on the south eastern wall of the original wing;
- provision of new enlarged openings between the eastern and central room;
- removal of southern stair to proposed Workshop 2;
- alteration of opening between Workshop 1 and 2 and addition of new timber stair to western wall of Workshop 1;
- opening up of new doorway on western wall of Workshop 1;
- enclosure and fire rating of 1925 stairway (No.3);
- removal of “lift and shoot” from central store room (former linen room);
- alterations to walls and openings in the two western storerooms;
- creations of Dressing Room 1 in former store in north western corner and provision of stud wall and ensuite in northern alcove;
- provision of fire rated wall and door and infill to former “lift” in central passage;
- provision of new opening in wall between proposed Green Room (former extra dining room) and proposed dressing room (former Natives dining room); and
- provision of stud wall and ensuite for proposed Dressing Room 2 at the eastern end of the northern wing of the building.

⁶⁶ Hall & Bowe Pty Ltd Architects, *Sailor's Home – Conversion to MTA Premises*, (undated), p. 1 & 2.

⁶⁷ Hall & Bowe Pty Ltd Architects, *Sailor's Home – Conversion to MTA Premises*, (undated), p. 5 & 6.

⁶⁸ City of Sydney Archives, BA 45 82 05 39.

⁶⁹ City of Sydney Archives, File No. 45 02 0539, BA 0539/82 Application Form details.

⁷⁰ City of Sydney Archives, 539/1/82.

⁷¹ Hall & Bowe Pty Ltd Architects, *Sailor's Home – Conversion to MTA Premises*, (undated), p. 3-6.

The basement drawing also shows the proposed addition of several beams (shown dotted). Some of these relate to a proposed hardwood deck and roof proposed for the southern façade of the building to allow egress (via a new door opening) from the theatre auditorium.

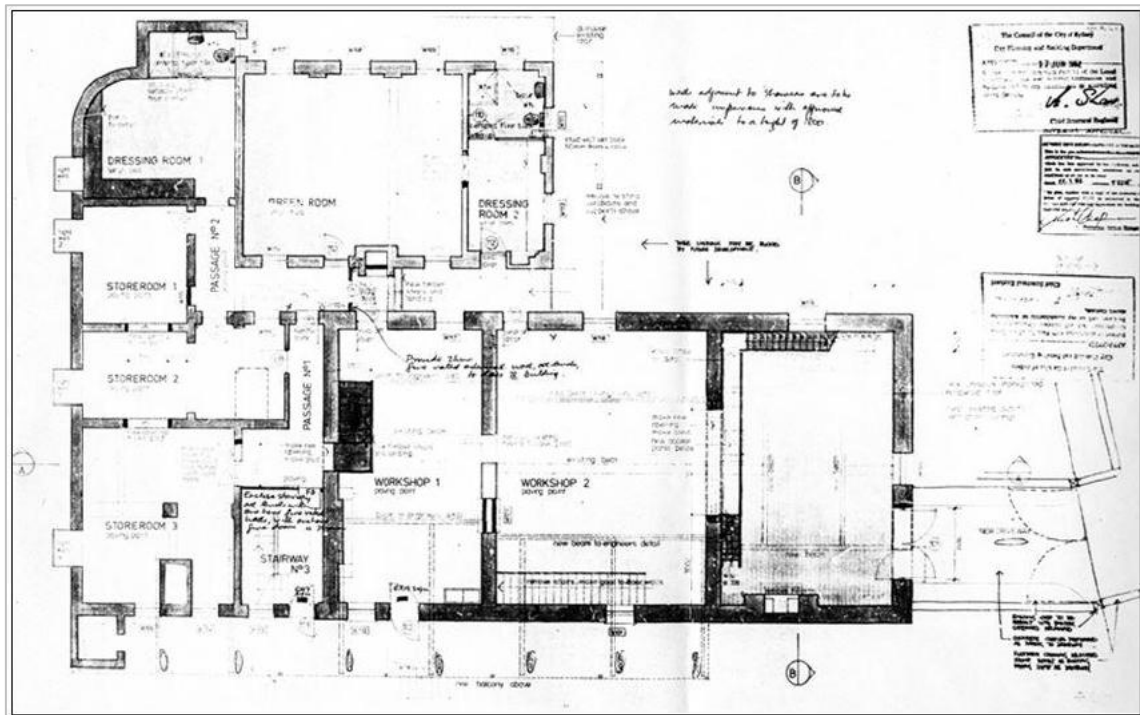


Figure 51: 1982 Basement plan, showing the proposed works to convert the former kitchen and dining rooms to workshops and dressing rooms for the Marionette Theatre. (Source: City of Sydney Archives 539/1/82)

The ground floor drawing indicates the following works were proposed:

- addition of timber stair along the north eastern wall of the original wing and proposed Auditorium space to access a catwalk over the proposed stage area;
- removal of the stairs along the south western wall connecting the former basement dining room and Main Hall and making good of the floor and skirting;
- addition of a new timber landing at the entry of the proposed Auditorium (it would appear that the two cubicles proposed as part of the 1925 works had been removed by this time, with no reference on the plan);
- removal of timber posts to level two and three (first and second floors) and gallery to level two (first floor);
- provision of tiered floor and seating at the western end of the proposed Auditorium, form Main Hall;
- infill of opening (part of 1925 works) on northern wall accessing balcony space;
- enclose and fire rate stair (No. 3, added as part of 1925 addition);
- alteration and division of former office in located in the south western corner of the building and formation of box office;
- demolition of the former "private" entry and external annex at the south western corner of the building, infill and making good of wall surfaces;
- cut back of terrazzo step to the entry porch and provision of concrete ramp;
- demolition of dumb waiter and "shoot" and creation of cloak room adjacent to the entrance lobby;
- provision of new openings and making good of walls and addition of new roof section at western end of the central passage to allow connection to the northern wing via the main entry from George Street;
- removal of window and security grille and creation of doorway on the curved wall section at the north western corner of the 1920s, northern wing (two leaves, 1020mm width);

- addition of ramp and hardwood stair in the northern alcove to provide connection with the proposed Exhibition space over;
- removal of existing walls (shown dotted) and provision of new lightweight partitions to form bar, bar store and male and female WCs;
- replacement of door accessing the balcony with window; and
- demolition of the verandah on the eastern façade of the 1920s, northern wing.

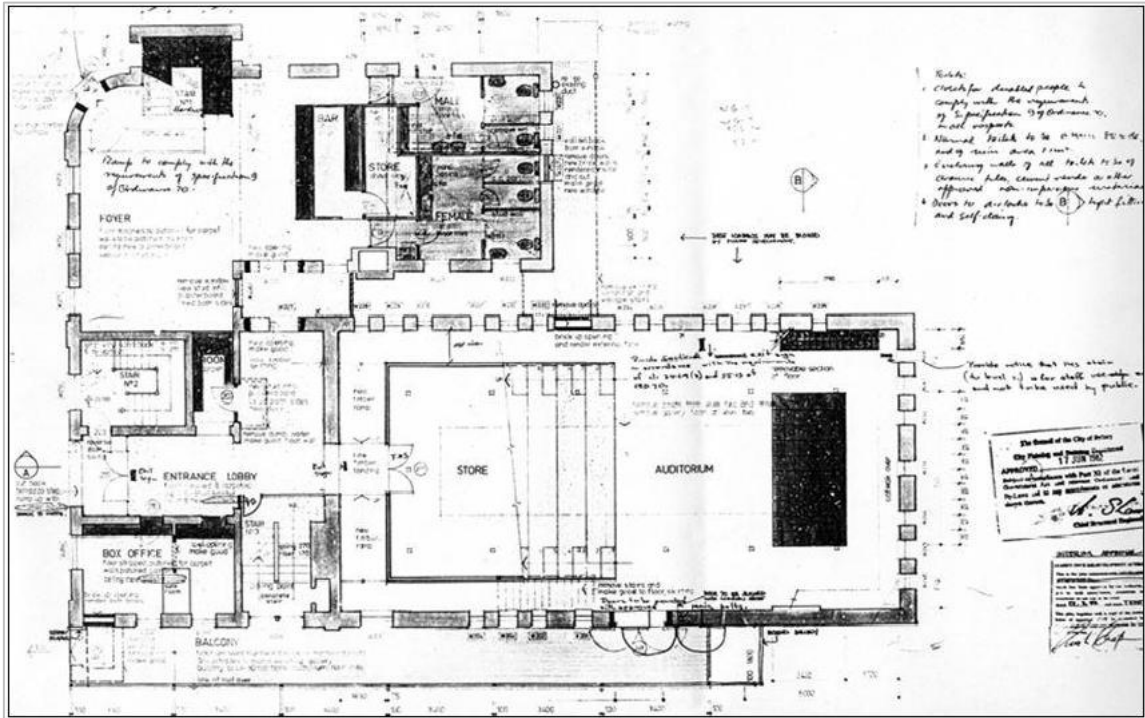


Figure 52: 1982 Ground Floor plan, showing the proposed works to convert the social hall and sailor accommodation to the main auditorium and associate foyer and public spaces including bar and facilities for the Marionette Theatre.
(Source: City of Sydney Archives 539/1/82)

Works to the first floor as proposed include:

- removal of the gallery floor and sanitary fittings and construction of tiered floor for seating (extending up from the ground floor);
- addition of catwalk along the eastern wall of the main auditorium, accessed via the proposed stairs extending from the ground floor;
- infill and making good of door opening on the northern wall accessing the verandah at the eastern end of the northern wing;
- infill and making good of the opening on the western wall shared with the central lobby space;
- enclosure and fire rating of the existing stair (Stair No. 3);
- removal of various walls and partitions in the central lobby and landing area;
- removal of the dumb waiter, former “lift” and “shoot” and reconfiguration of the central room to form tea room and cleaner room including making good of wall and addition of suspended ceiling;
- removal of existing brick walls, stud walls and sanitary fittings at the eastern end of the 1920s, northern wing and making good all wall and floor surfaces and provision of new skirtings, architraves and picture rails and new plasterboard ceiling;
- provision of new stair in the north western alcove to connect the ground foyer and proposed first floor exhibition space;
- alteration of window to the north eastern façade and replacement of eastern door (accessing verandah) with window; and

- demolition of the verandah at the eastern end of the 1920's, northern wing.

The drawing also shows a "canopy" over the George Street entrance with annotation that the "existing canopy to be made good including lighting". A handwritten note indicates that a separate Building Application was required for the canopy and work beyond the street alignment.

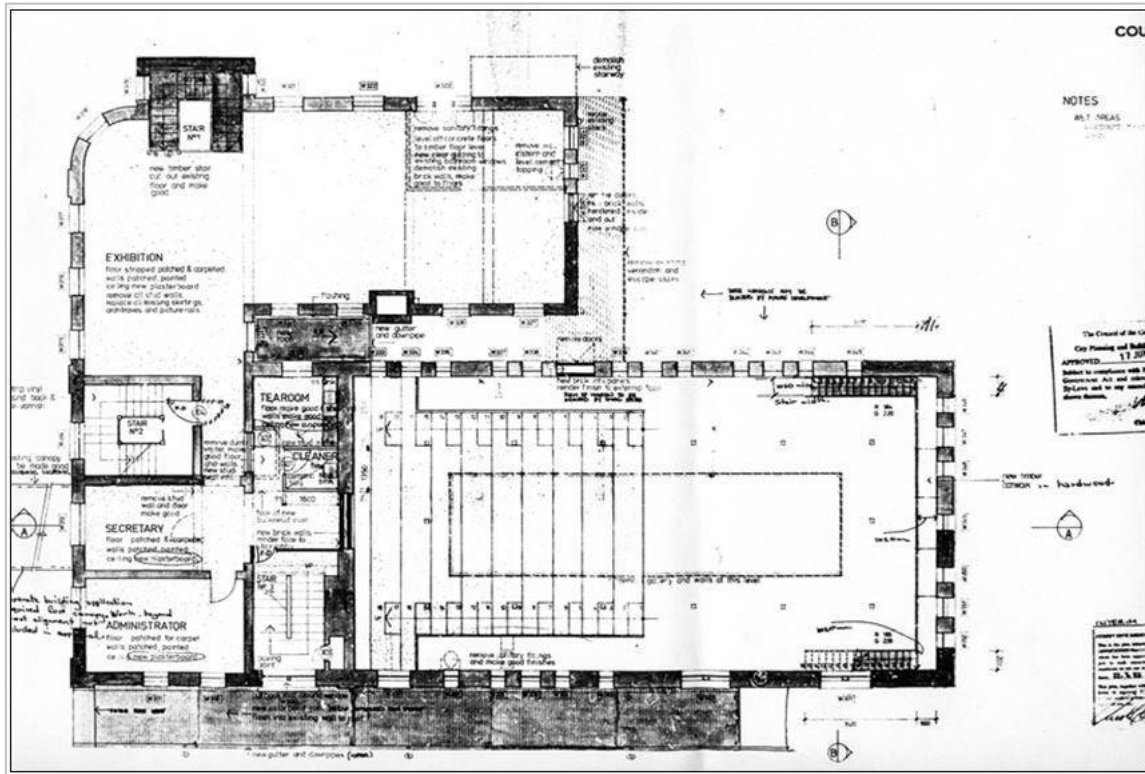


Figure 53: 1982 First Floor plan, showing the proposed works to convert the sailor accommodation to the main auditorium and exhibition space in the northern, 1920s wing. (Source: City of Sydney Archives 539/1/82)

Proposed works to the second floor (Level 4), as indicated in the 1981 drawings include:

- removal of existing sanitary fittings and making good of walls and floors of the original wing of the building;
- retention of existing balustrade, to be cleaned and painted;
- infill of doorway on the northern wall of the original wing;
- provision of fire rated infill and door to opening between the original wing and central lobby spaces;
- enclosure and fire rating of the southern stair;
- provision of toilets in the central room;
- enclosure of former Superintendent's stair;
- minor works to two rooms, proposed offices in the south western corner of the level;
- removal of all sanitary fittings, stud partitions and make good and patch all floor and wall surfaces in the northern wing;
- infill of the dumb waiter openings on the southern wall of the northern wing;
- removal of two windows on eastern wall of northern wing to make door openings to access proposed two change room at the eastern end of the wing;
- removal of door and provide stud wall partitions to divide the eastern room; and
- provision of three-hour fire rated external wall to the eastern wall of the northern wing.

The existing "rooflight" was to be monitored, cleaned and painted and a new blackout blind was proposed. A note indicates that a fireplace located in the north western alcove of the northern wing was to be retained and that a cedar cupboard, located adjacent, was to be removed.

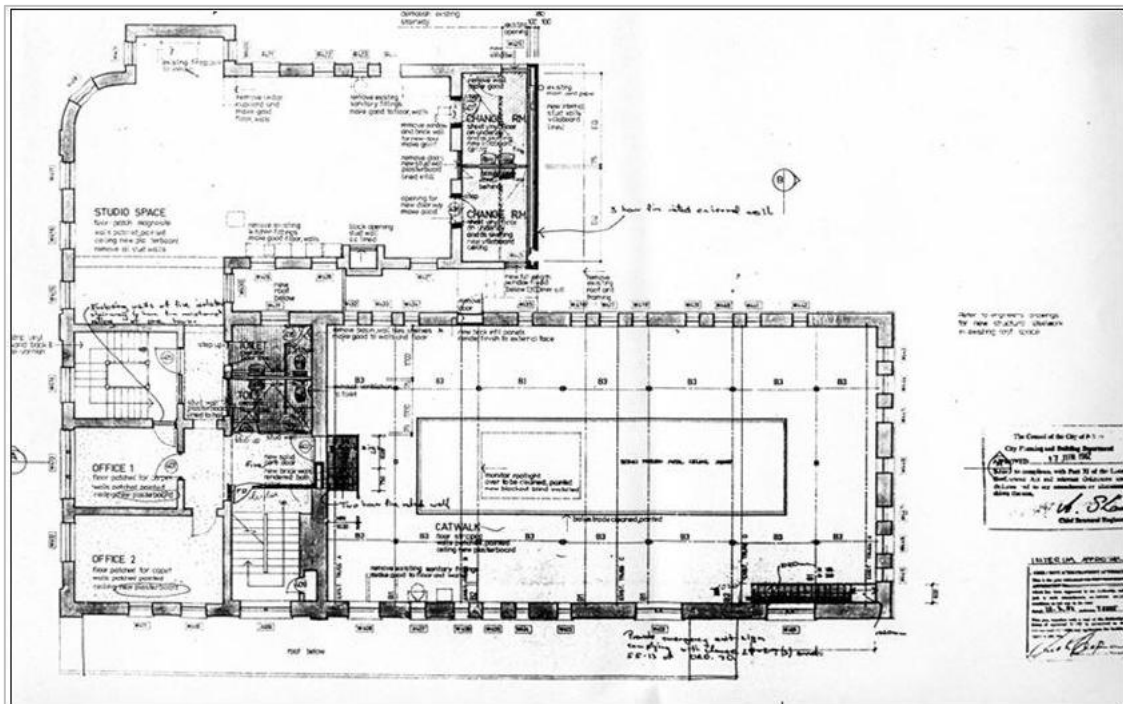


Figure 54: 1982 Second Floor plan, showing the existing gallery and former sailors accommodation in the original 1860s wing and proposed studio space and change rooms in the northern, 1920s wing and which replaced the former Superintendent's quarters. (Source: City of Sydney Archives 539/1/82)

The external fire stair constructed to the northern wall of the 1920s wing was demolished. To comply with fire regulations necessary for use as a public theatre other works to the building at this time included;

- a new exit and internal escape balcony to the southern façade;
- fire sprinklers and fire-fighting equipment throughout the building;
- provision of emergency exit signs; and
- fire doors and fire rated ceilings were installed in various sections of the building.

It would appear that these drawings were amended, with amendments approved by Council in July 1983. The proposed uses of the spaces were changed and a number of the proposed works were omitted, with "minimal impact" noted on the drawings. The basement of the original wing of the building, which continued to comprise of three sections was to contain rehearsal room, in the eastern room, Green Room in the central room and Dressing Room 2 in the western room with new ensuite enclosed by lightweight stud wall proposed in the south eastern corner of the room. A Dressing Room was still proposed for the room at the north western corner of the 1920s wing and two workshop spaces are noted for the main area of the northern wing. The omissions included:

- the basement doorway on the eastern façade of the original wing was to remain as existing;
- the hearth in the south eastern section of the basement was to have "minimal impact";
- the floor finishes to the basement were to remain as existing, however fire rated ceilings are noted;
- the ensuite proposed in the northern alcove of the 1920s, northern wing to Dressing Room 1 was to be deleted; and
- Dressing room 2 was relocated with ensuite now proposed for the original wing.

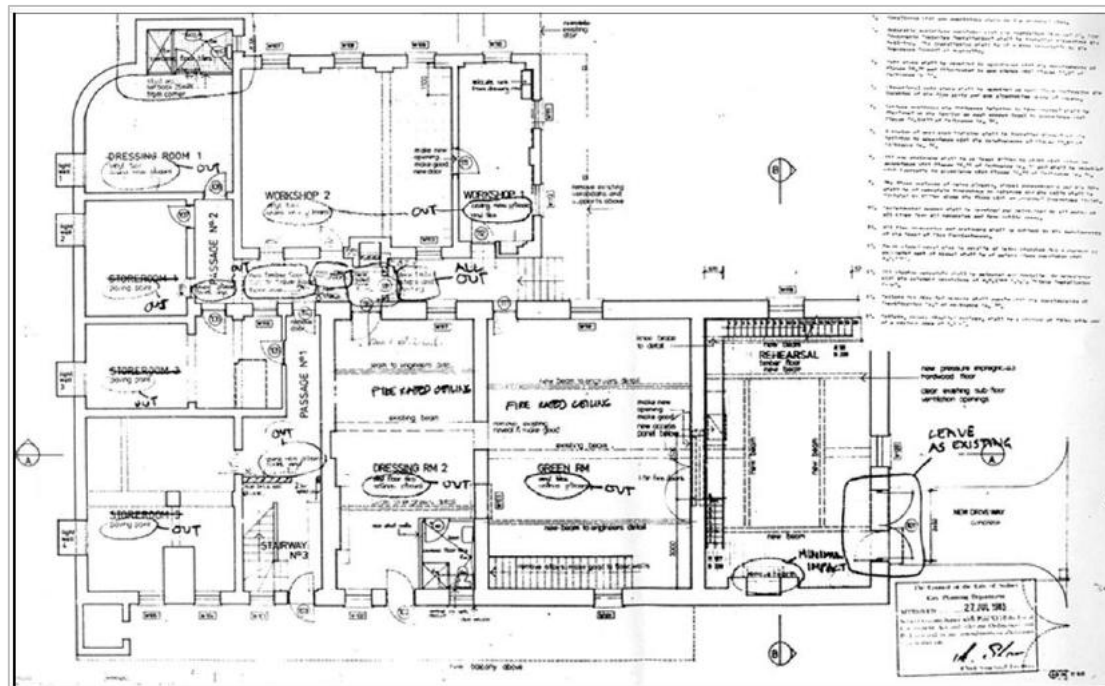


Figure 55: Amended basement plan, approved in 1983, showing the proposed amendments or "omissions". (Source: City of Sydney Archives 539/1/82)

On the ground floor the proposed catwalk at the eastern end of the main auditorium was deleted and the base of the tiered flooring/ seating was amended. Other amendments include the deletion of the bar and reduction of the infill between the wings of the building. The proposed hardwood deck to be constructed to the southern façade, to allow egress from the main auditorium was retained, however the proposed roof and supporting posts were deleted.

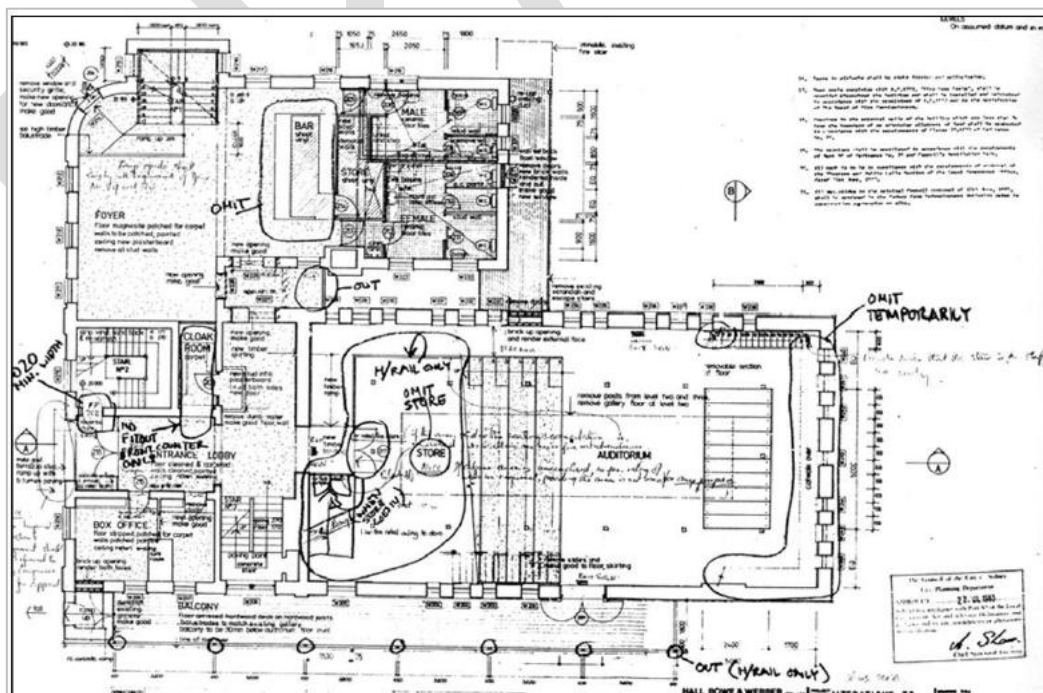


Figure 56: Amended Ground Floor plan, approved in 1983, showing the proposed amendments or "omissions". (Source: City of Sydney Archives 539/1/82)

The first floor amendments included the retention of existing floor and ceiling finishes, with new proposed plasterboard ceilings deleted. This was also repeated on the second floor, in addition to the deletion of a proposed stair in the south eastern corner of the original wing. The amended drawings also show the deletion of air conditioning units and ducting in the original wing of the building, and notes installation of smoke vent to the “rooflight”.

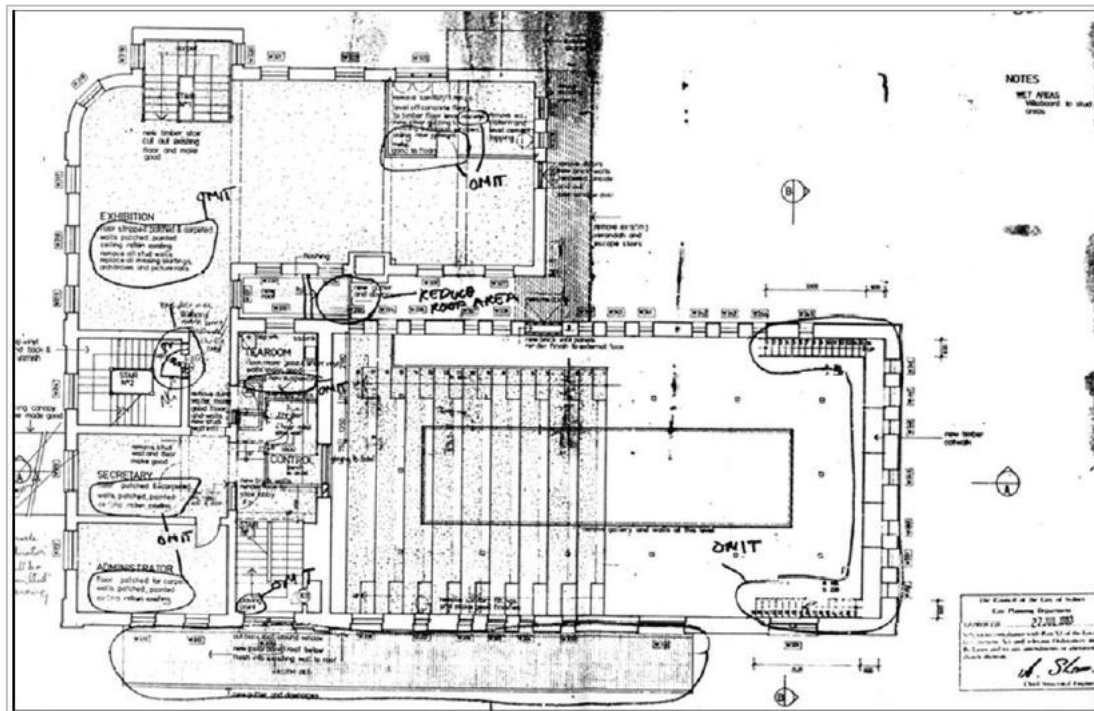


Figure 57: Amended First Floor plan, approved in 1983, showing the proposed amendments or “omissions”. (Source: City of Sydney Archives 539/1/82)

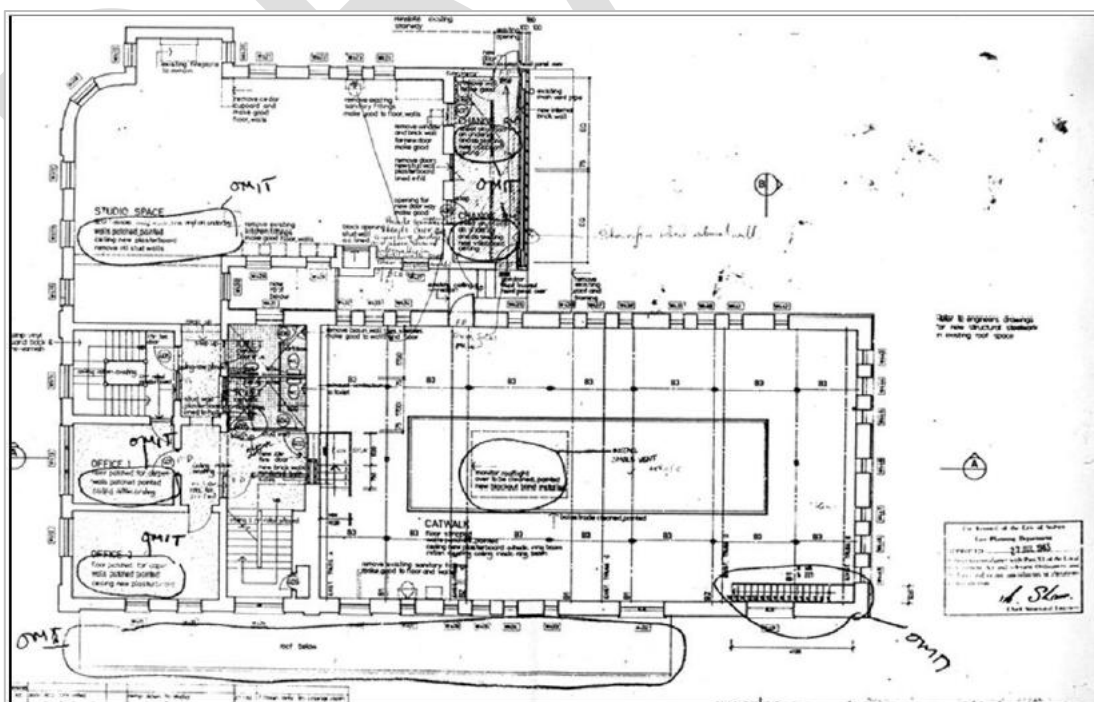


Figure 58: Amended Second Floor plan, approved in 1983, showing the proposed amendments or "omissions".
(Source: City of Sydney Archives 539/1/82)

An annexure to the specification shows that the architects were also concerned with the building surrounds and 1920s details, including the following:

- "treatment and use of the land between the south façade and Cadman's Cottage Historic Site (stone steps, fence, etc.);
- gate, driveway and fence to Circular Quay West;
- balcony to south façade ("1920s detailing required");
- removal of annexe to the south west corner (restoration or rendered pilaster, construction of stone pier and metal railing fence to match Cadman's Cottage);
- entrance lobby at George Street (ramp, steps, marble facings);
- awning at George Street (globes, details etc.);
- rainwater heads, downpipes and astrigals are to match existing. Gutters to be ogee section. All new roof drainage is to be copper."



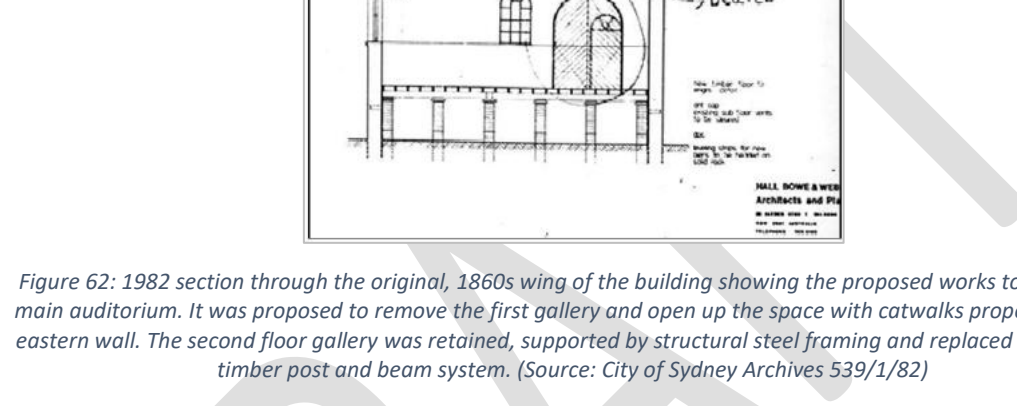
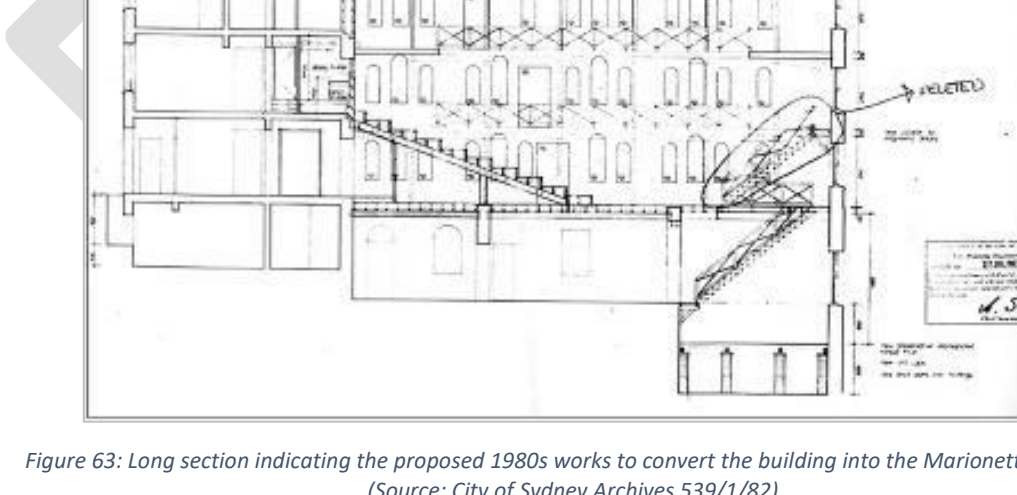
Figure 59: 1982 front, George Street elevation. Note the proposed alteration of the ground floor window to a two leaf door in the north eastern, ground floor façade (bottom left). (Source: City of Sydney Archives 539/1/82)



Figure 60: 1982 Southern elevation. The balcony and new doorway were required to provide egress from the theatre auditorium. The roof structure over the balcony was however deleted. (Source: City of Sydney Archives 539/1/82)



Figure 61: Eastern elevation of the building. The existing basement doorway was retained as existing. (Source: City of Sydney Archives 539/1/82)

[illegible]

(Source: City of Sydney Archives 555/1/62)

The works were carried out by Kell & Rigby builders.⁷² The Marionette Theatre of Australia took up residence in the building in 1983.⁷³

A focus on the planning and public use of Circular Quay as the city's most dynamic urban place resulted in further works to the building and vicinity in general. The predominance of air over sea travel resulted in the reduced need for the large Sydney Cove Terminal that had been designed during the 1950s. An RAIA "ideas" competition considered the building's use, size and appearance. The competition also aimed to create and improve public space around the Quay. The joint winners' scheme resulted in the shortening of the building and creation of an open plaza,⁷⁴ which immediately made the Sailor's Home (former) and surrounding development more visually prominent.

It also had effect on a number of buildings in the locality. SCRA initiated a programme to undertake repairs to the buildings in its charge. A Specification prepared by SCRA, dated September 1986, outlined proposed renovations for the buildings at Nos. 100, 102-104 and 106-108 George Street. In relation to the Home, No. 106-108 George Street, the scope of works was described as "*external renovation of existing rendered brick and sandstone buildings known as the Craft Centre at 100 George Street and the Marionette Theatre at 106-108 George Street*".⁷⁵ In 1986 a Building Application was also submitted to Council for further works to the Home. Prepared by Lawrence Nield & Partners, the works related to the addition of partitions and provision of toilets to the second floor.⁷⁶ These works generally coincided with the works to the Overseas Passenger Terminal (1985-87),⁷⁷ also undertaken by Lawrence Nield & Partners.

In 1988 SCRA issued a Specification for window and render repairs to the building.⁷⁸ Minor cement render repairs were proposed for the south, east and northern elevations of the building. No render repairs were proposed to the George Street, western facade of the building (Figure 64-Figure 67). Works to the timber framed windows included general adjustment of all windows and replacement of sash cords, replacement of stop and parting beads, replacement of sash lifts and fasteners and replacement of glass, as required. The schedule detailed the required works and also documented the complete replacement of window, frame and arch bar of W1-4, the south eastern basement window (Figure 64).

The drawings, dated May 1988, also note that the basement "*sandstone to remain unpainted*" (see Figure 64). This suggests that the render finish to the basement wall, seen in the 1970s photograph (Figure 49), had been removed by this time.

⁷² City of Sydney Archives, Building File No. 45 82 0539.

⁷³ Bligh Robertson Architects, *Sydney Sailors' Home (106-8 George Street) Conservation Plan*, (Feb 1990), Section 3 History (no page numbers).

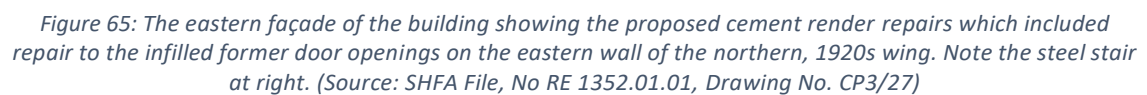
⁷⁴ Jahn, G., *Sydney Architecture* (1997), p. 188.

⁷⁵ SCRA, *Specification Job No. 374 for Proposed Renovations at 100, 102-104 and 106-108 George Street, The Rocks, Sydney*, September 1986.

⁷⁶ City of Sydney Archives, BA 45 86 1143.

⁷⁷ Jahn, G., *Sydney Architecture* (1997), p. 188.

⁷⁸ SHFA, File No. RE 0041.02.01, Specification Contract No. 401.



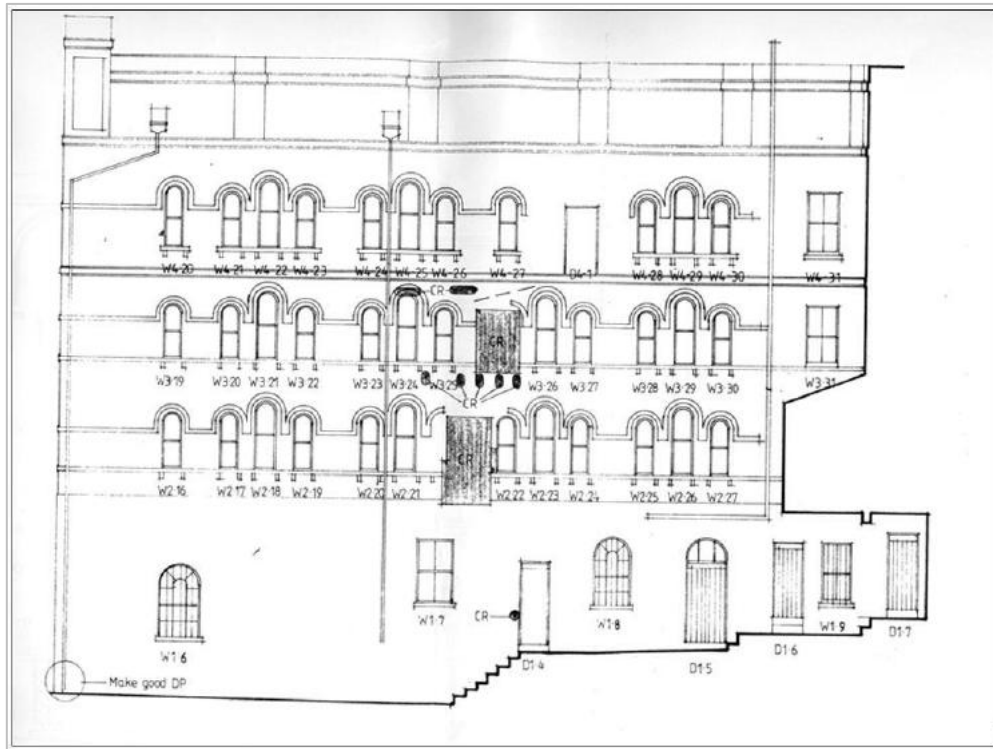


Figure 66: Northern façade of the 1860s wing showing cement render repairs to infilled windows and basement doorway. (Source: SHFA File, No RE 1352.01.01, Drawing No. CP3/27)

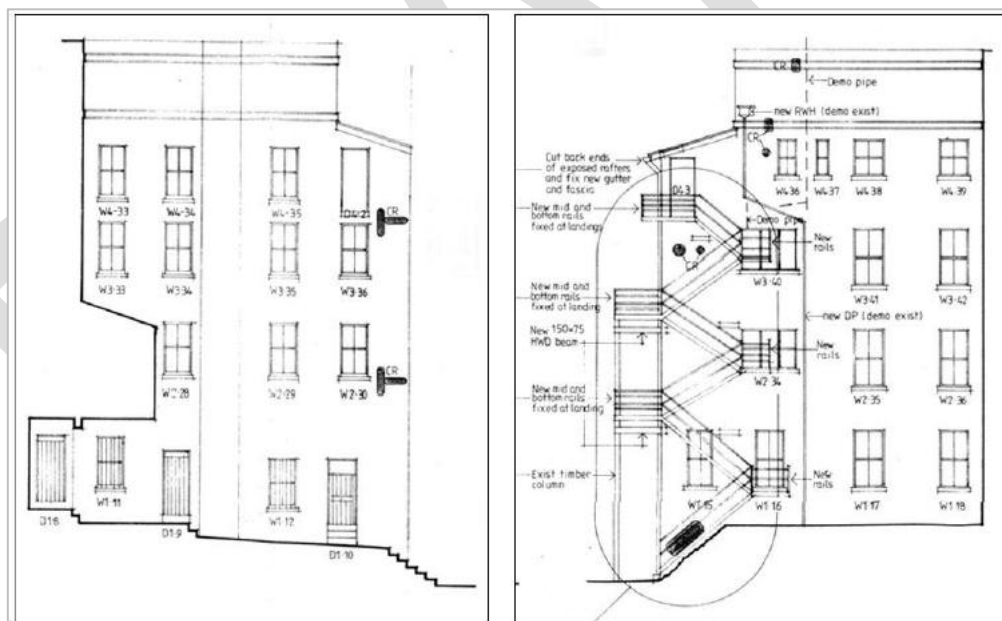


Figure 67: South (at left) and northern façade of the 1920s wing of the building, indicating areas to be repaired. (Source: SHFA File, No RE 1352.01.01, Drawing No. CP3/27)

In June 1988 the Sydney Cove Authority commissioned Travis Partners Architects to prepare an assessment of the development potential of the Marionette Theatre Building. A range of potential future uses of the building were considered, including: Theatre Restaurant, Office accommodation, Jazz Club, Café/ Restaurant and retail premises. A mix of some of the

above was also considered however, refurbishment of a Jazz Club venue or Restaurant/Nightclub were considered the most viable and appropriate options.⁷⁹

The Marionette Theatre continued to occupy the building until 1990. The building apparently proved to be too small (150 seats) for other than a fringe theatre, which resulted in only intermittent use.⁸⁰ The Festival of Sydney used the basement area and theatre space for a short time between December 1990 and January 1991 for change and rehearsal rooms⁸¹ however in February 1991, it was noted that the building had essentially remained vacant since November 1990 and was rapidly deteriorating with rain entering the broken windows deteriorating the building fabric particularly the joinery.⁸² The licence for the place of public entertainment was cancelled in 1991.⁸³

2.7.2 Preparation of a Conservation Plan for the Vacant Building (1991)

By 1991, Bligh Robinson Architects had been commissioned by SCRA to prepare a Conservation Plan for the building, the purpose of which was to establish a conservation policy to guide the maintenance and future use of the building.

The Plan, dated February 1990, described and illustrated the form and fabric of the building at that time and confirmed the as built details of the 1983 and earlier works. In relation to the original 1860s block it noted that:

- the basement with original sandstone walls that divide the space into three large rooms currently used as rehearsal, dressing and green rooms and features such as “the massive sandstone fireplace” in the rehearsal room had survived relatively intact;
- evidence of original timber floors and structure was visible despite the addition of plasterboard finishes and steel structure (part of the Marionette Theatre alterations of the 1980s);
- earlier details such as the original fireplace on the western wall of the dressing room was clear (despite being bricked in) and line of the former stair and ceramic tiling relating to the kitchen use;
- of the original ground and first floors only the perimeter walls remain. The interior was gutted to allow construction of the tiered seating for the theatre use;
- at ground floor the original brick wall has been rendered and adorned with simple timber picture rail and skirting board (in contrast to the earlier photograph of the space (Figure 15);
- a series of colour schemes for the Hall were also noted including “a pink, then blue and more recently mission brown”;
- evidence of the original first floor structure was preserved in the perimeter wall by the joist holes and in the pressed metal ceiling which was thought not to be original, but pre-1925. Impressions on the external walls also indicated the position of the original partition walls;
- an area of the ceiling in the south western corner of the auditorium also indicated the location of what was assumed to be the original stair;
- the fabric of the second floor level remained, although supported by a system of structural steel work installed in 1983 and concealed in the depth of the original floor;
- the exact position of the cabins were visible in the timber floor, perimeter walls and the pressed metal ceilings;
- the timber structure above also remained and matched the earlier photographs;
- a section of the floor in the south western corner had also been replaced confirming the former stair (removed as part of the 1925 additions).

⁷⁹ Travis Partners Pty Ltd, *Marionette Theatre Building 106-108 George Street, Sydney Assessment of Development Potential for the Sydney Cove Authority*, August 1988.

⁸⁰ SHFA, File No. RE 0041.02.01, Authority Meeting Notes of 10 October, 1990, Attachment.

⁸¹ SHFA File, No. RE 1010.01.14, letter from SCA to The Festival of Sydney dated 13 December 1990.

⁸² SHFA File, No. RE 1010.01.14.

⁸³ City of Sydney Archives, L06/01191.

The Plan noted the following in relation to the elevations of the 1860s block:

- the joinery of the narrow Romanesque styled windows of the Southern façade were described as being in poor condition and the openings on the ground floor interior boarded up;
- the original sandstone walling at basement level was noted as being in good condition, as was the wall over, which was originally face brick and was rendered in 1926 to match the addition;
- the pattern and fabric of the eastern façade was noted for its ability to provide evidence of the original form of the building, however the windows were noted as being in poor condition;
- the sandstone at basement level also displayed evidence of having once been rendered;
- the openings were noted as being in poor condition;
- the 1925 openings on the northern façade had been made at first level as indicated on the Spain and Cosh drawings;
- the chimney that occupied the western wall remained with breast visible in the 1925 stairwell; and
- that the condition of the original western sandstone wall was fair, having previously been patched in places.

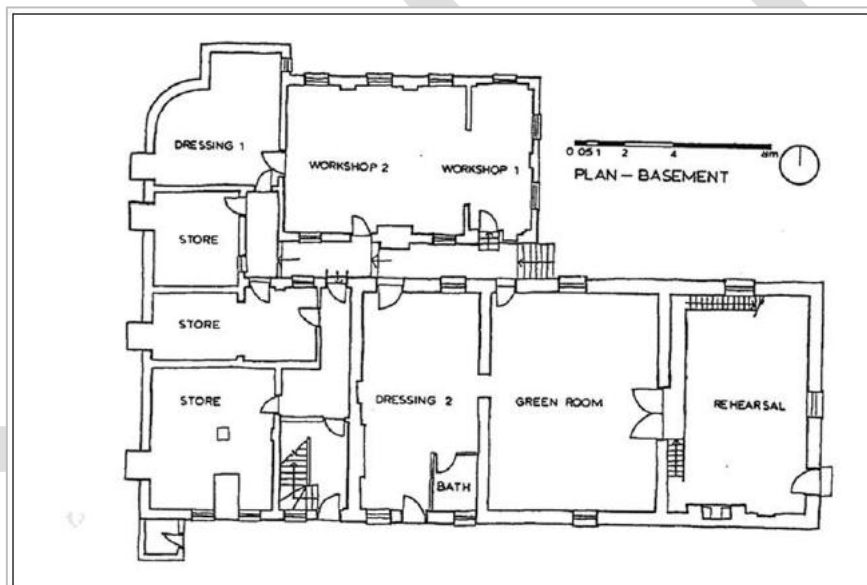


Figure 68: Basement plan, showing the configuration of the building in 1990. (Source: Bligh Robertson Architects, Sydney Sailor's Home (former) (106-8 George Street) Conservation Plan, (Feb 1990))

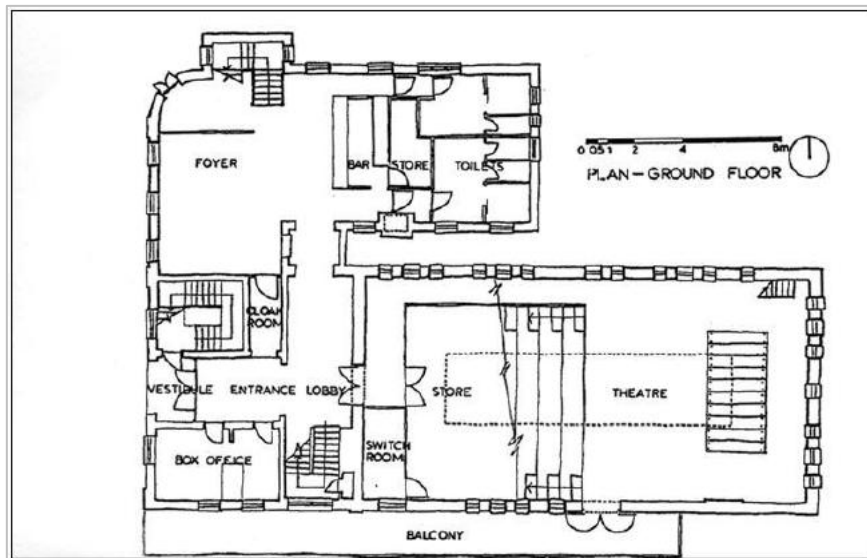


Figure 69: Ground Floor plan, showing the configuration of the building in 1990. (Source: Bligh Robertson Architects, Sydney Sailor's Home (former) (106-8 George Street) Conservation Plan, (Feb 1990))

In relation to the 1920s block:

- the basement was noted as being as it was in the late 1920s with changes to the original fabric including the addition of fire rated plasterboard ceilings and exposed fire sprinklers throughout;
- the 1920s stairway was fire isolated as part of the 1983 works;
- the original pavement lights remain intact but had been boarded up;
- the opening for the "lift" on the southern wall to the central passage had been infilled;
- the ground floor was significantly altered in 1983 with the addition of the bar, cloak room and storage space and WCs;
- a stair had also been added (as part of the 1983 works) in the north western corner;
- original detail of the former Superintendent's stair and entry and lobby including terrazzo flooring the entry, wall tiling and pressed metal ceilings were evident, although some changes had been undertaken to ceiling;
- the 1920s footprint of the ground floor had been altered to accommodate a new circulation pattern, including the partial infill of the central passage;
- the condition of the first floor was noted as being "poor" however despite alterations retains evidence in the walls and ceilings of the former partitions and layout. The changes also included the removal of the eastern balcony and infill of the former door with a window;
- the walls and ceilings above the stairwell on the first floor showed signs of damp, as did the southern wall; and
- the cubicle that contained the lift and shoot had been made into a tea room.

In relation to the second floor of the 1920s "Carss wing" of the building it was noted that it "bears little resemblance to its original condition when used as the Superintendent's Quarters" and that:

- the ceiling had been removed and that new steel beams (added as part of the Marionette Theatre conversion) were evident in the exposed roof structure;
- the brick perimeter walls were in bad condition;
- all stud partitioning had been removed;
- the existing fireplace was in reasonable condition, although the original tiled surround showed wear;

- evidence of the bathroom fitout remained and the dumb waiter cavity had been “plastered over”;
- the original balcony to the rear had been enclosed by brickwork, although the original windows had not been bricked; and
- the wing was linked to the original structure with a steel walkway and steps (noted as being a “very unsympathetic junction between the structures”).

The Conservation Plan assumed that the 1980s works suffered from a lack of funding as the floor appeared poorly finished and painted and that plasterboard ceilings were not installed and plumbing fixtures not added despite the extension of plumbing.

In terms of the elevations of the 1920s wing, it was noted that:

- the western façade had virtually survived intact, the only exception being the replacement of the ground floor window on the curved section, at the north western corner of the building, with double doors and addition of security grilles. The original awning had survived in good original condition;
- changes to the southern façade included the removal of the entrance porch at the south western corner of the building and infill of some of the ground floor openings;
- the original character of the eastern elevation of the “Carss wing” has been “lost in a series of alterations” with the removal of the balconies, alteration of original window openings and infill of the second floor balcony;
- windows to the basement facade are of later style of the 1920s, however predate the 1980s works;
- the northern elevation remained in quite good condition, with a piece of the original sandstone shoreline still evident;
- the original balconies were removed and a steel stair now provides access from the second floor to the ground;
- the windows and fixed louvres are original and in good condition;
- there was some evidence of damp in the northern elevation; and
- paintwork applied for the 1988 Bicentenary did not cover the full length of the northern façade.

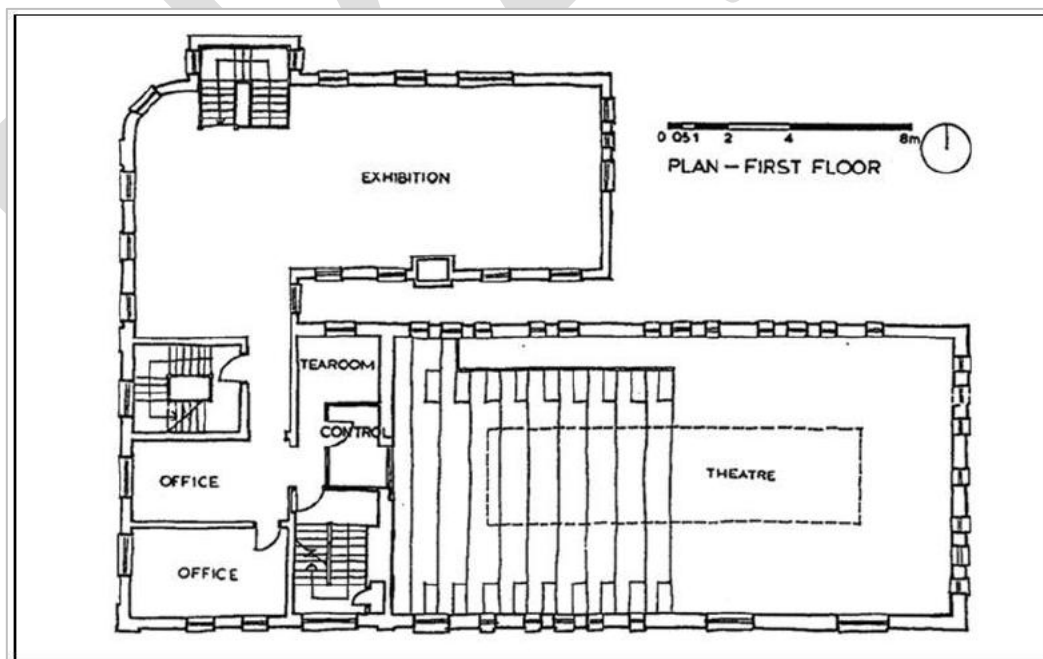


Figure 70: First Floor plan, showing the configuration of the building in 1990. (Source: Bligh Robertson Architects, Sydney Sailor's Home (former) (106-8 George Street) Conservation Plan, (Feb 1990))

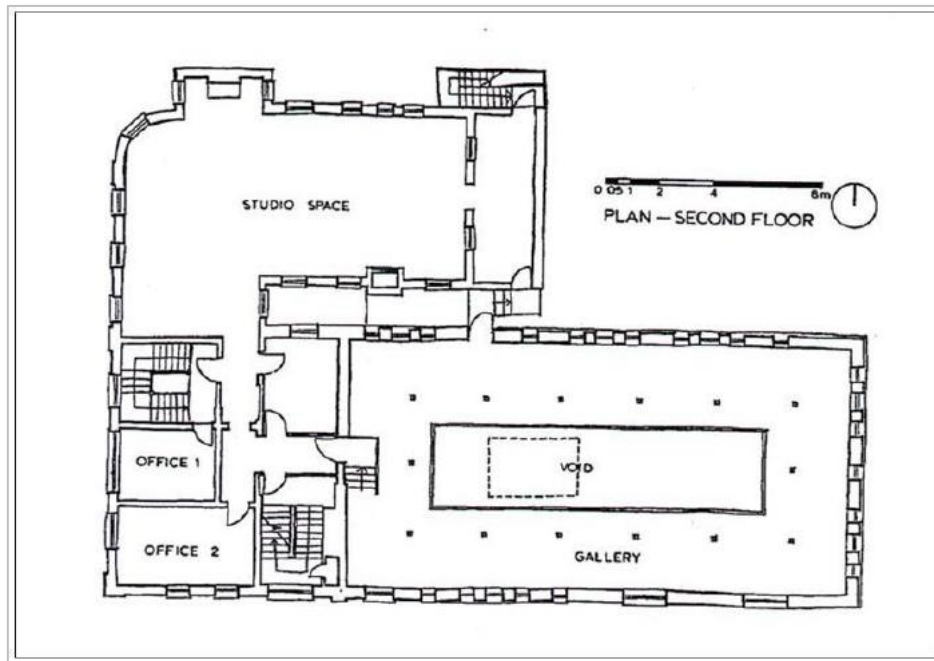


Figure 71: Second Floor plan, showing the configuration of the building in 1990. (Source: Bligh Robertson Architects, Sydney Sailor's Home (former) (106-8 George Street) Conservation Plan, (Feb 1990))

The Conservation Plan noted that the building was in need of urgent maintenance and restoration of certain elements. It noted that *“a long period of neglect had led to substantial water penetration of joinery and peripheral walls”*. It summarised the works requiring urgent attention as follows:

- original Romanesque Revival styled window joinery to the south and east elevations of the 1860s block, required immediate restoration work;
- original Classical Revival styled multipaned windows and joinery to the western façade (and particularly at second floor level) required immediate attention;
- termite damage to the roof structure over the 1860s section needed immediate rectification;
- the flat roof over both wings, its bituminous membranes, flashings and drainage required inspection and remedial work, to halt damp damage to the northern and southern walls of the 1920s block;
- 1860s doors and windows at the basement of the 1860s wing (particularly the north elevation) were deteriorating and in need of restoration; and
- Rising damp visible in the box office area (ground floor).

The Conservation Plan identified a number of constraints on future uses which essentially emphasised the retention of evidence relating to the building's former occupancy. The re-use options discussed were:

- Restaurant, with dining areas in the three main room of the basement in the 1860s wing of the building, amenities, store, preparation and cool room, kitchen and bar in the northern, 1920s wing and “al fresco dining” in the area between;
- Theatre re-use, retaining the tiered flooring in the ground floor of the original 1860s wing and drama/ rehearsal school in the northern, 1920s wing;
- Gallery Museum space, with exhibition space in the original wing, studio space and café over the two floors of the 1920 wing; Jazz Club/ Music Venue/ Night Club (as suggested by Travis Partners/ Colliers International Property Consultants) in upper floors of the original wing and Piano Bar in the 1920s wing;
- Budget accommodation with double and single room spread over the two sections of the building with amenities between; and
- Office/ retail space in the 1920s, “Carss wing”.

2.7.3 Alterations for the Rocks Heritage and Information Centre (1992-1993)

Concurrently with the preparation the Conservation Plan, in April 1990 the Minister announced that he had requested the Sydney Cove Authority to establish a Heritage Centre in The Rocks. After consideration of a number of options, the Authority's board settled that the former Sailor's Home (former) at No. 106 George Street would be an appropriate venue and that the centre would be expanded to include visitor information services, at the time operating at No. 104 George Street, the former Coroner's Court building.⁸⁴

A Draft Management Plan, prepared by the SCA in 1990, looked at potential visitor numbers and audience for the Centre. The former Sailor's Home (former) was considered the most appropriate location for the Heritage Centre and it would appear that the SCRA board proposed that architects be engaged to prepare the necessary documents for the repair and restoration of the building and its re-use as a Heritage Centre with basement Jazz Cellar in accordance with the recommendations of the Conservation Plan. Minutes of SCRA Meeting No. 296, 10 April 1990, indicate the intention of the Board to advertise and seek expressions of interest for a jazz club venue in the lower levels of the building.⁸⁵

In February 1991, the Authority approved the use of the Sailor's Home (former) as The Rocks Heritage Centre and approved the appointment of Noel Robinson Architects (NRA) to undertake the following works:

- prepare measured drawings;
- document the urgent repair works outlined in the conservation plan;
- document and supervise the restoration works; and
- document and supervise the works necessary to adapt the building for use as a Heritage Centre.

An amount of \$2.25 million was allocated in the 1991-1992 Capital Works budget, based on square metre rate. In a letter from SCA to NRA, dated 25 September 1991, it was outlined that the building was to be "*restored to its 1920s configuration with cubicles to be partly reinstated*" and "*as much as possible of original fabric is to be conserved.*" It was recognised that the basement level of the 1920s wing would be fitted out with a kitchen and café/restaurant occupy the ground floor.⁸⁶

An addendum to the Specification dated August 1991 outlined the demolition of the tiered seating and platform, removal of applied paint finishes to the masonry wall surface and repairs to the windows. Undated photographs of the ground floor of the original wing and former Theatre Auditorium, assumed to be taken about this time, show the condition of the building elements in this section of the building. Evidence of the former structure was used in the "restoration" of the space and reinstatement of the gallery and associated building elements.

⁸⁴ SCRA, *The Rocks Heritage & Information Centre Draft Management Plan*, (December 1990), p.1.

⁸⁵ SHFA File No. RE 1010.01.14.

⁸⁶ SHFA File No. RE 1010.01.14.



*Figure 72: The ground floor, former Theatre Auditorium looking east after removal of the stage and associated stairs and tiered seating c. early 1990s. Evidence of the first floor gallery and building elements remain.
(Source: SHFA Archives, undated recording by Ross Graphics)*



Figure 73: The ground floor, former Theatre Auditorium looking west toward George Street, after removal of the tiered seating c. early 1990s. Note the door opening (at left) made as part of the Marionette Theatre works in the 1980s to allow egress to George Street, via the steel and timber balcony along the southern façade of the building. (Source: SHFA Archives, undated recording by Ross Graphics)

In early 1992 Godden Mackay were engaged to undertake archaeological investigation of the area to be affected by the proposed upgrading works. The proposed works included the installation of sub floor services and construction of a small raised deck at the eastern end of the 1920s wing. The principal issues addressed related to the development of the site as part of the Government Dockyard and the later Water Police Establishment. Structural information regarding the development of the Sailor's Home (former), particularly with regard to changes to the basement area were of concern. Preliminary documentary investigations indicated that any significant archaeological contexts were unlikely to be affected however some excavation, in the way of test trenches, monitoring and analysis was undertaken. The test trenching was restricted to areas that would be disturbed during building works, with monitoring during the construction phase.

Examination of the documentation indicated that much of the surface material would have been disturbed by both phases of the construction of the building. Both wings, particularly at the western end were constructed on bedrock, and as such, it was considered that all deposits and structures lying on top of the bedrock in this area would have been removed during construction. The western section of the 1860s wing was also constructed on bedrock, however evidence of earlier structures may survive beneath the present slab floor. The remainder of the site was subject to filling and reclamation during construction of the 1860s wing. The only section which it was considered that subsequent disturbance was likely to have occurred was in the north eastern courtyard space where services were laid and ablutions blocks were located.

The building works were undertaken during 1992 by Gledhill Constructions Pty Ltd.

Drawings of the proposed works could not be located, however, physical inspection of the building indicates that original features, such as the first floor gallery in the original, 1860s wing of the building, was reinstated as part of the works.

SHFA files show that the works also included the reconstruction of the timber balconies to the eastern façade of the 1920s wing and the construction of the open, deck structure at the basement level. The deck levels were raised from the finished ground level of the north eastern section of the site and featured timber decking and simple balustrades over the rendered masonry base and concrete floor slabs. The raised areas created cellar, bin storage and area for service elements in the cavities below. The files indicate that the brick paving, planter boxes and planting at the eastern end of the site were existing and the structure was to be integrated with the existing landscaping and open area elements.⁸⁷

SHFA files indicate that other works included:

- installation of a lift;
- work to ceiling timbers affected by termites⁸⁸ and replacement of roof cladding with Lysaght "Klip-lok";⁸⁹
- refurbishment of the roof skylight;
- reinstatement of the first floor gallery, associated supporting timber post and beam construction and connecting stair in the north western corner of the original wing;
- installation of some lightweight partitioning on the second floor and interpretation of "a cubicle"; and
- works to the windows, including the provision of new window furniture (noted as being missing), replacement of glass and total replacement of a number of windows due to the effects of rot and white ants.

A number of variations to the original works were completed including stone repairs by The Traditional Stonemasonry Company. This work comprised: replacement and biscuit repairs to sills, epoxy repairs to window and door reveals with mastic joints, replacement of some steel lintel bars,⁹⁰ and regrouting of stonework.⁹¹

Engineer's notes also show that the stability of the 1920s slabs on levels two and three of the 1920s wing required some work. Reinforcement was apparently found in the level 3 slab, however there was no reinforcement in the level 2 slab and some "*reinforcement in way of steel plates and installation of steel beams was recommended*".

⁸⁷ SHFA File, No. RE101.01.13, Sketch plans.

⁸⁸ SHFA File No. RE 1010.01.03.

⁸⁹ SHFA File No. RE 1010.01.03, Architects Instruction dated 13/8/92.

⁹⁰ SHFA File, No. RE 1010.01.11.

⁹¹ SHFA File No. RE 1010.01.03.

Investigation of paint finishes was also carried out and confirmed that the building was at some stage painted off white, with some windows painted mid Brunswick green and all windows were subsequently painted a Deep Red or Oxide Red.⁹²

In October 1993, a Certificate for Practical Completion of the electrical services, lift installation, fire detection systems, air conditioning and ventilation system was issued.⁹³ The Rocks Heritage and Information Centre subsequently occupied the ground floor of the building with upper floor used for exhibition space after “two years of careful restoration at a total cost of the \$2.8 million”.⁹⁴

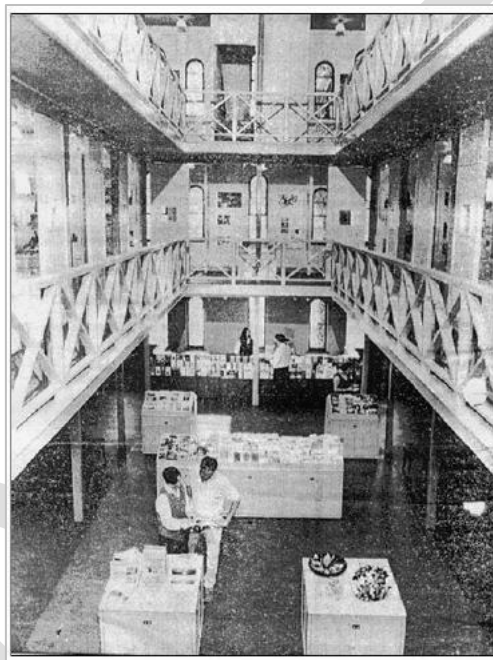


Figure 74: View of The Rocks Heritage and Information Centre on completion of the works c.1994 with information centre on the ground floor with Exhibition space in the restored upper gallery spaces. (Source: SHFA File RE 1010.01.14)

2.7.4 Alterations for the Sailors Thai Restaurant (1995)

During 1994, discussions were held between SCA and the owners of the Darley Street Thai Restaurant. Plans were subsequently prepared by Burley Katon Halliday (BKH) with a view to establish a Thai Restaurant and separate Noodle Bar in the building. During the course of 1995 plans were developed and works commenced by Built Pty Ltd. The major issues of the fitout related to the fire rating, finishes to the floors, Building Code and access. Working with SCA architects, appropriate signage, electrical, hydraulic and mechanical issues, particularly in relation to the kitchen, public WCs and associated exhausts were all considered and resolved.⁹⁵ The setback between the northern façade and the adjacent building at No. 104 George Street, the former Coroner's Court building, provided a relatively discrete location for the necessary mechanical equipment, ducting and exhaust systems (refer Figure 75). The fitout progressed and in August 1995 Sailor's Thai Restaurant made a licence restaurant application to Council.⁹⁶

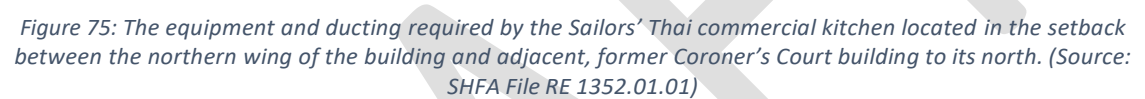
⁹² SHFA File No. Re 1010.01.07.

⁹³ SHFA File No. RE 1010.01.14.

⁹⁴ SHFA File, RE1010.01.04, Undated article, “The Rocks Heritage Centre Sharing a living history”.

⁹⁵ SHFA, File No. RE 1352.01.01.

⁹⁶ City of Sydney Archives, 11 27 0173.



⁹⁷ SHFA, File No. RE 1352.01.01.

SCA architects also worked with BKH regarding the proposed signage for the Restaurant and Noodle Bar to be located on the ground floor level of the northern, 1920s wing. It was finally resolved that two signs were to be located on the ground floor façade to George Street, one over the door opening on the curve at the north western corner of the building and one between the two ground floor windows. Another sign relating to the Sailors Thai Restaurant was to be suspended from the steel bracket of the balcony over the entry and new steel landing on the southern façade of the building.⁹⁸

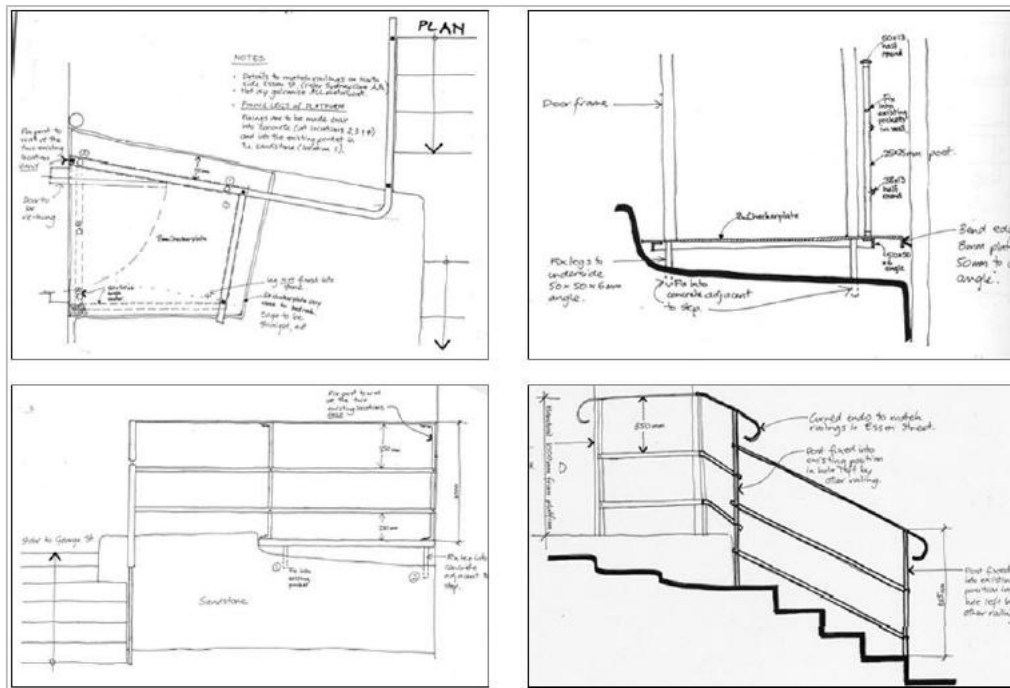


Figure 77: Sketch plans of the proposed platform on the stone landing on the southern façade of the original, 1860s wing, prepared by SHFA for the Sailors' Thai Restaurant entry. (Source: SHFA File No. RE 1352.01.01)

2.7.5 Alterations for the Sydney Visitors Centre (1997)

By 1995 it would appear that the Rocks Heritage and Information Centre had opened. In October 1995, architects Trevor and Esther Hayter Pty Ltd were engaged to undertake design, documentation and supervision of the entrance of The Rocks Visitor's Centre. Sketch proposals for the entry were prepared in November 1995 and included the retention of the original wall and ceiling finishes and addition of a number of signs and display cabinets. A continuous carpet runner was also proposed, to draw visitors to the main space.⁹⁹

In early 1997 the Sydney Cove Authority signed a joint agreement with Tourism NSW to convert The Rocks Visitors Centre into The Sydney Visitors Centre. This resulted in some "small structural changes affecting the look of the VC" in addition to changes of management and responsibilities.¹⁰⁰ It would appear that the "structural changes" related to the fitout and provision of services, service counters and displays to the ground floor of the original 1860s wing of the building. The scheme, also designed by Trevor and Esther Hayter Pty Ltd, also included painted signage to the George Street awning and to the southern parapet, which remains today.

⁹⁸ SHFA, File No. RE 1352.01.01.

⁹⁹ SHFA Dile, No. RE 1129.02.07.

¹⁰⁰ SHFA File, No. RE 1129.02.07, Staff Memo from Jane Turner, dated 16/4/97.

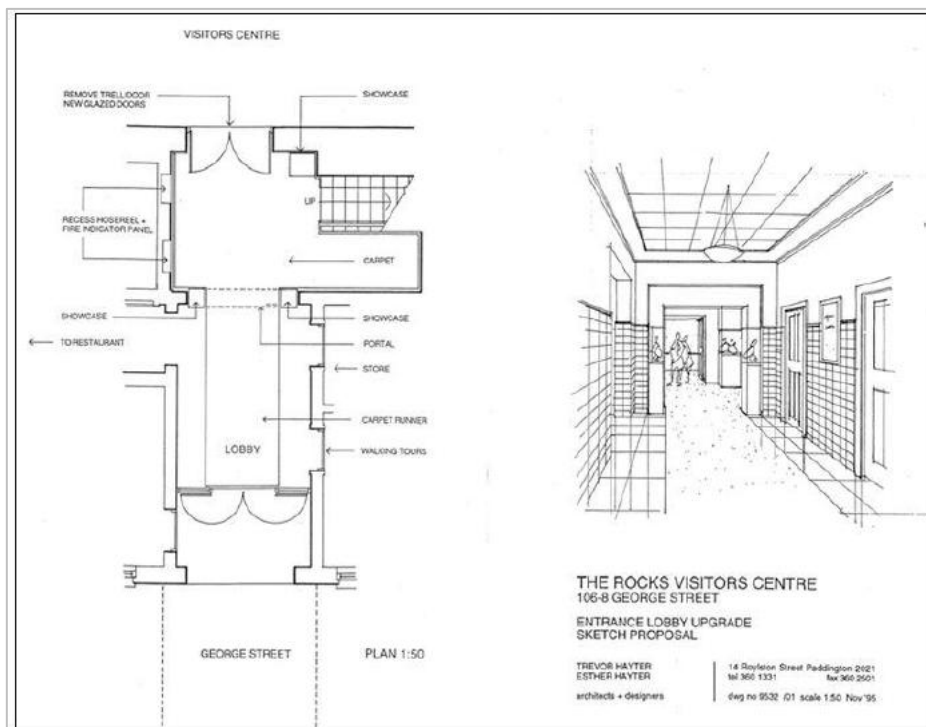


Figure 78: 1995 drawing showing the proposed works to the foyer and entry of the Visitors Centre. (Source: SHFA File No. RE 1129.02.07)

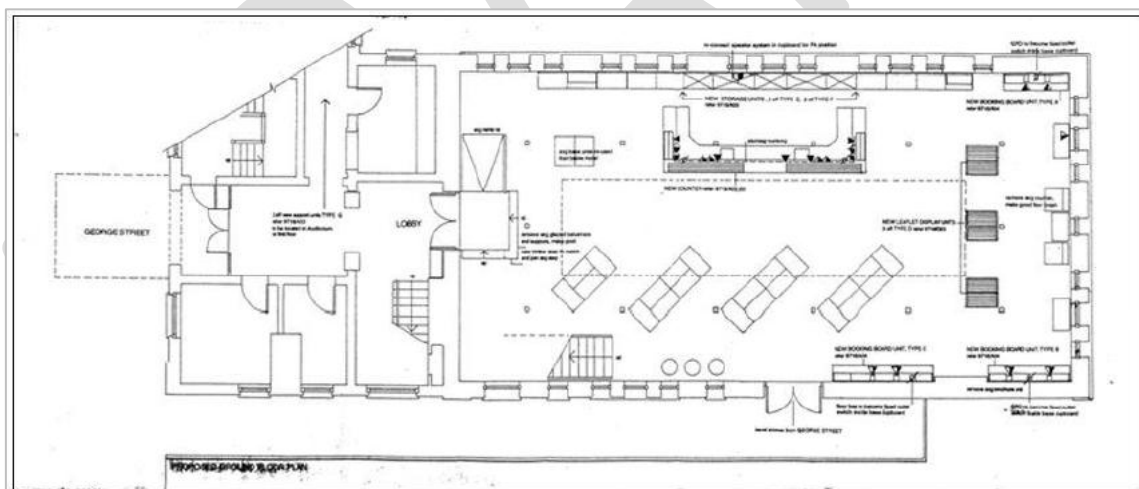


Figure 79: 1997 drawing showing proposed layout of the SVC. (Source: SHFA File No. RE 1129.02.07)

In 1999 Sydney Harbour Foreshore Authority (SHFA) became the registered proprietor of the site.¹⁰¹ Since that time SHFA have continued to lease and maintain the building. The Sydney Visitors Centre (SVC) also continued to provide information services and retail area on the ground floor, (directly accessible from George Street), with exhibition spaces on the first and second floor galleries of the original wing and Seminar Room, storage, amenities and offices in the remainder of the building. However, after just over ten years in the building, the SVC vacated in December 2005, as the spaces no longer fulfilled their requirements.

¹⁰¹ Department of Lands, Land Grant, Volume 3434 Folio 203.

2.7.6 Alterations for Billich Art Gallery (from 2006)

On 1 May 2006, Billich Management Pty Ltd signed a lease for the ground, first and second floors for a period of five years.¹⁰² The company was and is owned by Charles Billich (born in Lovran, Croatia) who is one of "Australia's best-known contemporary surrealist art exports."¹⁰³ Billich has won various awards and has worked on a wide range of media forms and subject matters, specialising in ballet, sport, architecture, portraiture and stage. His wife Christa Billich, originally from Germany, has been the general manager of the Billich Gallery for over 30 years, first in Melbourne and subsequently in Sydney, selling jewellery as well as artworks.¹⁰⁴

The 2006 lease agreement noted that the Sydney Harbour Foreshore Authority (SHFA) would install an air-conditioning system in the building and a disabled toilet in the ground floor lobby, replacing an existing storage cupboard, as well as sealing the existing timber floor boards on ground floor level prior to commencement of the lease. It also noted that existing partitions and display cabinets left in the building by the previous occupants would be removed prior to commencement. Also in May 2006, SHFA prepared a detailed photographic report.

A development application had been submitted to SHFA by Billich Gallery International a month earlier, on 3 April 2006, for "adaptive reuse of the premises as an art gallery, with minor alterations to the interior of the ground floor level."¹⁰⁵ An assessment of the heritage impacts of the proposed works, dated 30 March 2006 and prepared by John Graham & Associates, contained a summary of the minor works, including the following:

Externally

- Dismantling of steel bars on the southern façade and one window on the west façade
- Replacement of the patterned glass in the southwest window to George Street with clear glass
- Demolition of the trellidor at the George Street entrance
- Polishing of the terrazzo floor at the George Street entrance
- Replacement of the existing signage with new signage of the same size and extent

Internally

- Demolition of the strong room in the old office in the southwestern corner of the building and reconstruction of the general arrangement of the 1925 wall
- Enlargement of the opening between the foyer and gallery
- Fitting of a new showcase around/into the lower portion of the existing southern stair
- Covering of two sections of the tiling in the foyer with painted plywood screens supported on split battens.
- Replacement of existing steps and ramp between the foyer and gallery with a new arrangement
- Construction of a new bar at the level of the foyer, connected to the services within the adjacent disabled toilet

However, the works appear to have largely not been carried out due to financial constraints, and land-owner's consent for the DA was withdrawn by SHFA on 23 October 2007, with the works put on hold.

Subsequent works for the Billich Art Gallery included:

¹⁰² SHFA, Lease Agreement dated 1 May 2006

¹⁰³ Billich Website, 'About Charles Billich', <https://www.billich.com/pages/about-charles-billich> (accessed 30 March 2021)

¹⁰⁴ Billich Website, 'About Christa Billich', <https://www.billich.com/pages/about-christa-billich> (accessed 30 March 2021)

¹⁰⁵ Supplied by PMNSW

- ### 2.7.7 Alterations for Sailors Thai Restaurant (2013) and Wild Ginger Dining (2016)

In 2013, Alexandra Kidd Design prepared plans for alterations to the Sailors Thai Restaurant, which were approved by the Delegated Authority on 13 May 2013. The accompanying Statement of Heritage Impact by NBRSPartners, dated March 2013, noted the following minor interior upgrade works as part of the proposal, as included verbatim below (refer Figure xx):

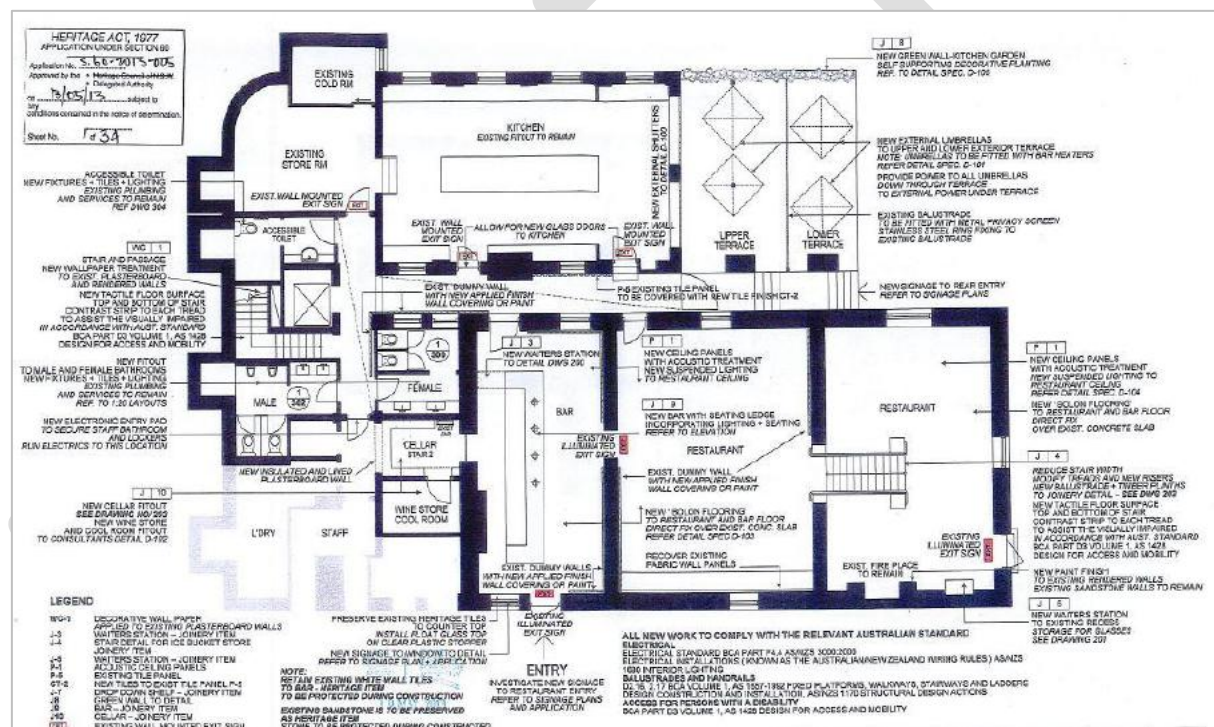


Figure 80: Proposed building works on Level 1, shown on drawing prepared by Alexandra Kidd Design dated 22 March 2013, submitted as part of Section 60 application, approved on 13 May 2013. (Source: PMNSW File No. 2013-A722828)

Bar, restaurant and back of house facilities – remove existing fixtures, finishes, light fittings and joinery items to suit new works proposed, new infill wall to opening between passage and rear of proposed cellar, fitouts to create a cellar with shelving, wine store - cool room with an integrated condensing unit fixed to existing tiled concrete floor draining to the waste water

¹⁰⁶ PMNSW, Land Owners Consent Final Sign Off Sheet, Loc No. 10319, dated 27 September 2018; Access & Heritage Urban Health Consultants, *Heritage Assessment and Impact Statement*, dated 15 August 2018; SJA Project Management, *Make Good Scope of Works Rev 2*, dated 20 June 2018.

¹⁰⁷ PMNSW, Lintel Inspection Report by Shreji Consultant, dated 20 April 2018

¹⁰⁸ PMNSW, *Short Form Heritage Impact Statement*, (S.57 Exemption), approved 28 July 2020

¹⁰⁹ PMNSW, *Short Form Heritage Impact Statement*, (S.57 Exemption), approved 30 November 2020

service, new fitout to bar and side entry with new bar joinery with seating ledge, waiters station and lighting integrated, new acoustic ceiling panels, downlights to ceiling and LED strip lighting to bar with decorative ceiling lights over bar and cellar, "Bolon" flooring to bar and entry to be direct fix to existing concrete slab, new fitout to restaurant rooms (upper and lower) with acoustic ceiling panels and suspended lighting, new applied finish wall covering or paint treatment to existing dummy walls in all bar and restaurant areas, "Bolon" flooring to all restaurant and bar floors to be direct fix to existing concrete slab, install waiters station to existing recess with storage for glassware, cutlery and linen, glass pivot door opening out to rear entry/exit to Circular Quay West frontages, modifications to existing stair – open risers infilled and new balustrade installed to both sides, dummy partition wall next to stair removed with floor and ceiling made good, recover existing fabric wall panels to upper restaurant and new paint finish to existing rendered walls to dado height.

Internal public/staff circulation and toilet facilities - central corridor and hallway to have "Bolon" flooring directly fixed to existing concrete slab and replacement of the chequer plate walkway with removable plywood panels covered with "Bolon" tiles permitting access to services under. New applied finish wall covering or paint treatment to existing dummy walls in central corridor and hallway, drop down shelf fixed to wall in central corridor for drink placement, new tile finish to replace existing tiled panel to corridor wall, new wallpaper treatment to existing plasterboard and rendered walls in access stair and passages, male and female toilets to have new plumbing fixtures, tiles and lighting installed, install electronic entry pad to door between staff and public areas with new electrical circuit as required.

External upper and lower terrace off central corridor – install external traditional louvred timber shutters to existing kitchen windows overlooking terraces, existing balustrade located along the split level to the terrace to be fitted with a metal mesh privacy screen located along the split level to the terrace and will match existing heritage colours of the balustrade, four external umbrellas installed securely to both terraces with bar heaters fitted and a "green wall – kitchen garden" 2100mm high self-supporting decorative planting screen located adjoining the northern balustrade of terrace above bin storage area. Refer to figure 13 previous. This screen is to be fixed inside the existing balustrade railing to the deck framing and will be illuminated by LED uplighting, located in the deck in front of planting screen wall. The new electrical lighting circuit will be concealed under the decking and have a switch located adjacent existing switches.

Proposed alterations to Level 2 (George Street entrance, canteen dining and bar):

Remove existing fixtures, finishes and joinery items to suit new works proposed, repair and make good existing timber floorboards displaying evidence of damage and refinish as required, remove central row of existing downlights to ceiling and patch repair to match existing but retain electrical circuit and downlights to ceiling over bar area. Repaint or apply new wall covering finish to existing walls, ceiling and internal joinery items (doors, windows, skirtings, architraves) – colour to be confirmed, reconfigure existing cabinet store next to entry for improved utility and to accommodate wine storage, install new tile face to existing kitchen bar, new glass storage suspended above existing bar, decorative mirror to northern wall at rear of bar, custom built bottle storage behind bar with suspended glass shelving, new timber slatted blinds installed to existing southern windows (4 no.) fix off window joinery and broken glass window pane replaced, new ceiling mounted LED spotlight adjacent entry with electrical circuit and switch, new bottle storage to rear of bar to have LED strip lighting installed, decorative lights suspended from ceiling located above existing communal tables and connected to existing retained downlight circuit, install LED strip lights to southern window reveals (2no. per window) behind timber blinds with an electrical circuit and switch adjacent existing switches - run via conduit existing on face of sandstone wall (no new fixings required),

Note 1: An internal paint schedule accompanies the development application comprised of a colour scheme for all proposed painted surfaces. It is noted that no changes are proposed in this application to the external building fabric finishes or the external colour scheme to the tenancy including the rear terraces, apart from the signage changes.

Note 2: Some of the existing services to both levels of the tenancy are to be upgraded, repaired or extended as described in the documents including the following: most lighting in the restaurant, bars and canteen will be replaced with decorative lighting and additional lighting has been designed for new and modified joinery items, cellar and the LED uplights to green feature wall on rear terraces. All new downlights will be LED low energy consumption globes. Extension to the power service will be required for cool room and exterior umbrellas to the rear terrace decks. Water and sewer service - no changes proposed. Fire services will be dropped down to the new ceiling height in the restaurant areas but no changes proposed for other areas. Air conditioning and ventilation – no changes.

Note 3: refer to Signage Plans AKD 109 - 119, Revision C issued 22nd March 2013 by Alexandra Kidd Design submitted for scope of proposed new external signage to the existing two principal entries and two secondary entries to restaurant, canteen and terraces. These Signage Plans include, details of the George Street entry, two eastern entries off the Circular Quay West frontage and southern entry off intermediate landing to public stairway connecting Circular Quay West and George Street.

Sailors Thai Restaurant and Noodle Bar continued to successfully operate from the basement of the building and ground floor of the 1920s, northern wing until August 2016, when it closed after 20 years of operation.¹¹⁰ Its successor was Wild Ginger Bar + Dining which submitted a development application for refurbishment in September 2016.

The Statement of Heritage Impact for the works, prepared by Inset Group in September 2016, noted the following relevant alterations which were generally said to be “minor and cosmetic”:¹¹¹

Level 2 – Informal Dining Space (entry via George Street)

- Replacement of existing painted signage on George Street façade
- Replacement of maitre'd station and changes to mirrored panel
- New non-structural storage shelving over bar and kitchen
- Replacement of down-lights with pendants
- Making good of existing timber floor finish, matching existing
- Level 2 to Level 1 – Informal Space (stairs/passageway/sanitary facilities)
- Making good of existing checker plate floor finish, matching existing
- Repainting of painted surfaces in stairs passageways in new colour scheme
- Repainting of painted surfaces in sanitary facilities in matching colours
- Bathrooms cleaned, repaired and made good, matching existing or updated

Level 1 – Main Dining Space (entry via Cadman's Cottage)

- Replacement of signage at Cadman's Cottage entrance and on internal glass door
- Refreshing and making good of bar finish and new feature pendants
- Making good of existing lighting in main dining area and new feature pendants
- Making good of existing concrete and epoxy floor finish at bar and dining area, matching existing
- Cleaning and making good of ceramic tiling finish to bar and dining area
- Repainting of painted surfaces, including walls (new colour scheme) and internal timber window frames (matching existing)
- Removal of pink internal panel adjacent to feature wall and exposing of finished wall behind

Level 1 Main Dining Space Lower Level

- Making good of existing timber floor finish, matching existing

¹¹⁰ Good Food Website, 'Sailors Thai to set sail from the Rocks', <https://www.goodfood.com.au/eat-out/news/sailors-thai-to-set-sail-from-the-rocks-20160624-gpqxul> (accessed 29 March 2021)

¹¹¹ Inset Group (Australia) Pty Ltd, *Statement of Heritage Impact for Refurbishment of an existing food retail shop at 106 George Street, The Rocks, Sydney*, September 2016

- Repainting of internal timber window framing, matching existing

The plans submitted with the proposal (refer Figure 81) further noted that SHFA would be responsible for resurfacing and painting of the external outdoor seating areas (verandahs). SHFA was in mid-2016 consolidated with Government Property NSW, under the new name of Property NSW. Wild Ginger Dining traded at the site until 2020, when the restaurant had to close due the effects of the Covid-19 pandemic.¹¹² Billich Gallery subsequently opened a champagne bar within its premises in early 2021 to entice domestic visitors to The Rocks.

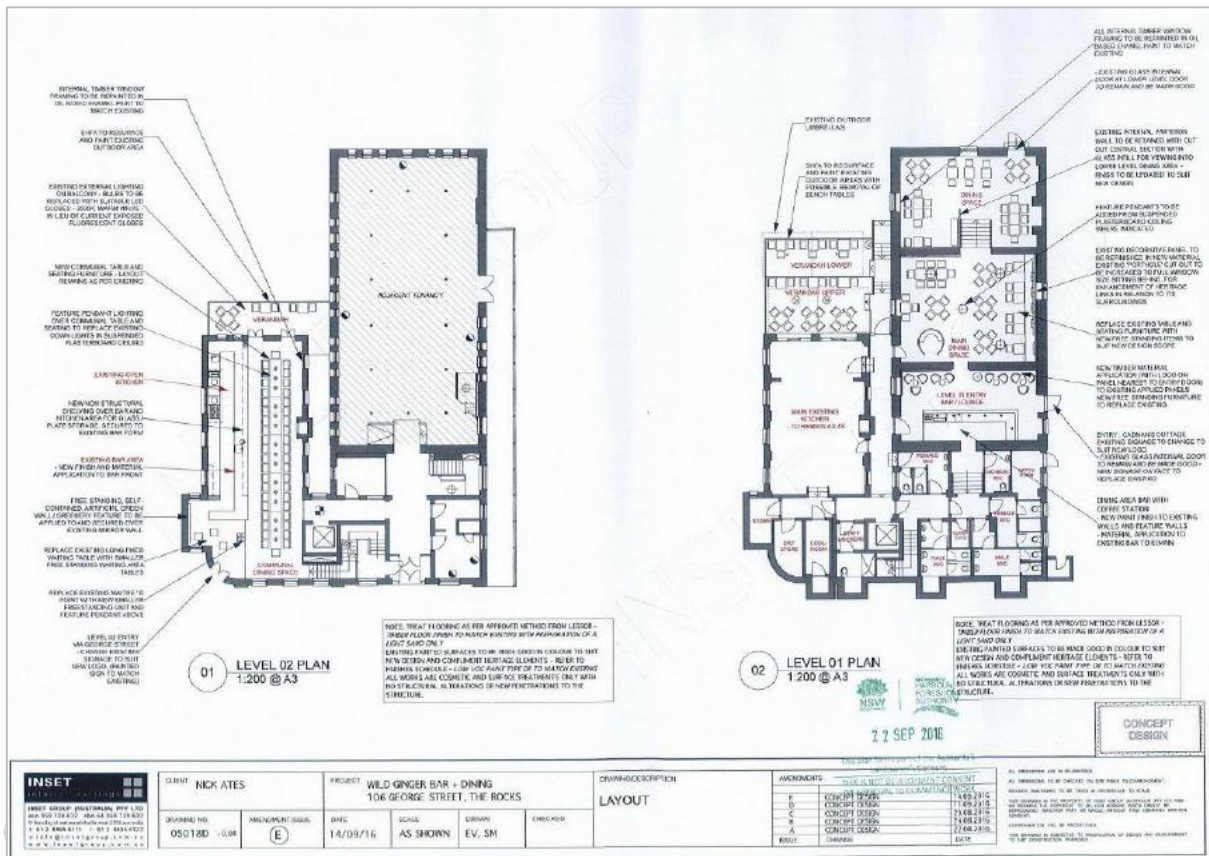


Figure 81: Proposed layout of Levels 1 and 2, shown on drawing prepared by Inset Group, dated 14 September 2016, submitted as part of Section 60 application by Wild Ginger Bar + Dining. (Source: PMNSW File No. 2016-A1412836)

¹¹² Good Food Website, 'Art gallery opens champagne bar to entice visitors to The Rocks', <https://www.goodfood.com.au/eat-out/news/art-gallery-opens-champagne-bar-to-entice-visitors-to-the-rocks-20210212-h1txzt> (accessed 29 March 2021)

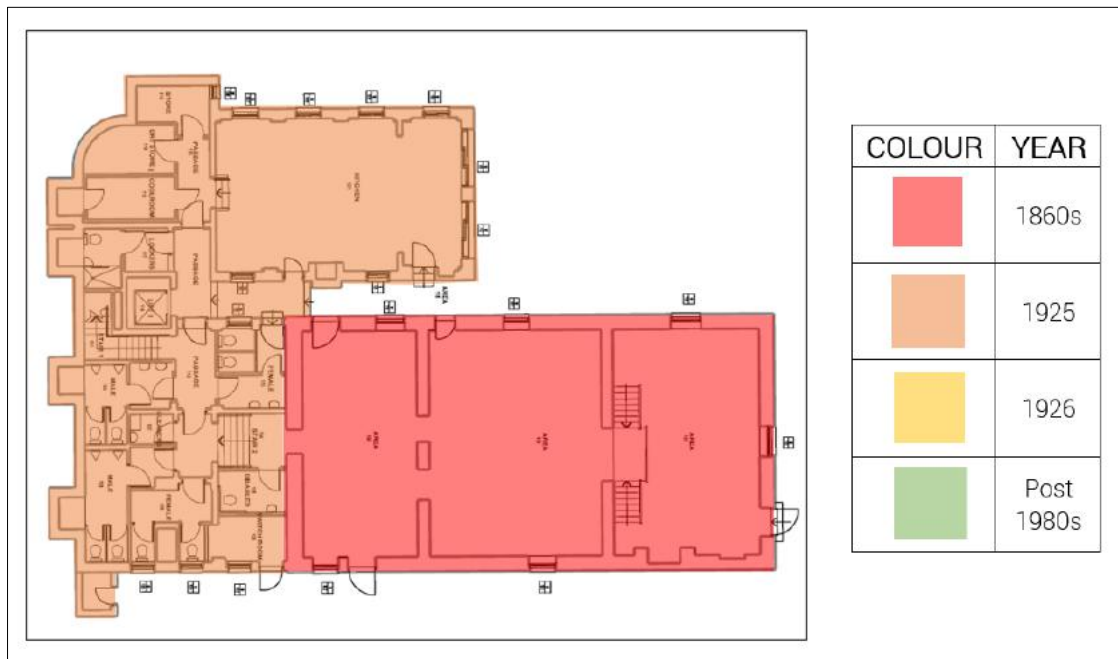
2.8 Photographic Record of the Sailor's Home (former)

		
<p>Figure 82: c1870s, west and north elevations (Source: SLNSW, DL PXX 81/44)</p>	<p>Figure 83: c1880s-90s, west and north elevations (NSW State Archives & Records, NRS-4481-2-[4/8636]-855)</p>	<p>Figure 84: 1890s, east elevation (Museum of Applied Arts & Sciences, Object 85/1285-928)</p>
		
<p>Figure 85: 1926, south and west elevations (Mariners Welfare Society Website, marinerswelfare.com/history.html)</p>	<p>Figure 86: 1932, south and east elevations (National Library of Australia, PIC/15611/17350)</p>	<p>Figure 87: 1958, east elevation (SLNSW, ON 388/Box 043/Item 122)</p>
		
<p>Figure 88: 1970, west elevation (SHFA, A742-178)</p>	<p>Figure 89: 1970s, east elevation (SHFA, CQW 20)</p>	<p>Figure 90: 1991, west elevation (SHFA, 95-2323B)</p>
		
<p>Figure 91: 2006, west elevation (Perumal Murphy Alessi Pty, 2006 CMP, Fig. 3.39)</p>	<p>Figure 92: 2006, east and south elevations (Perumal Murphy Alessi Pty, 2006 CMP, Fig. 3.45)</p>	<p>Figure 93: 2010, west elevation (SHFA, 95-2343B)</p>

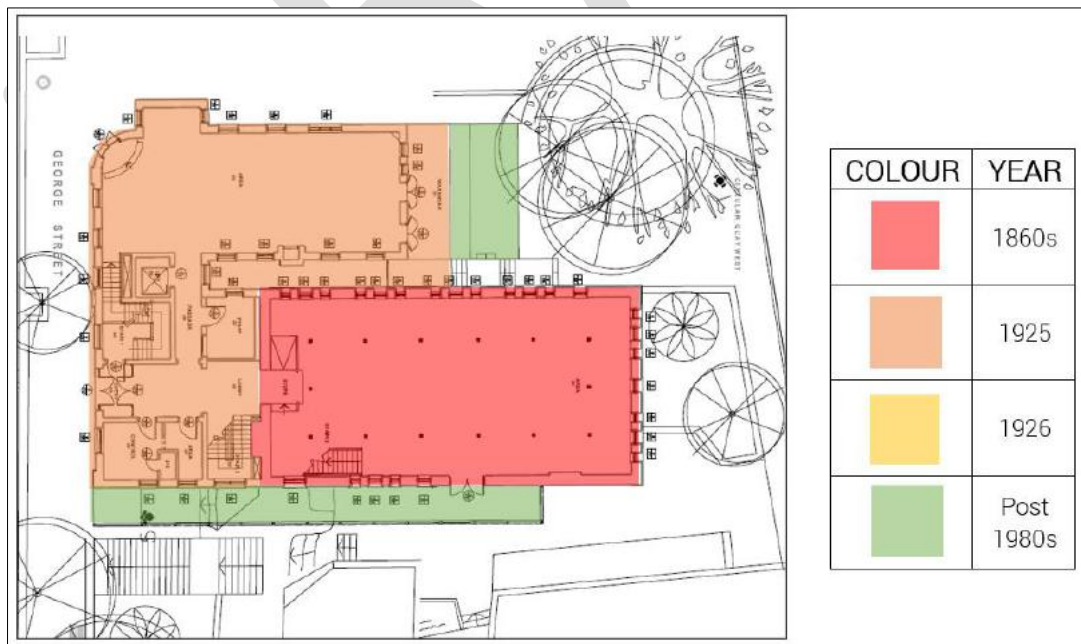
2.9 Building Development Diagrams

The following diagrams illustrate the development history of the Sailor's Home from 1860s to 2021, based on existing plans provided by Property NSW by Planning and Infrastructure Sydney Harbour Foreshore Authority, dated 2012. They only show main areas of change, and do not include specific information on internal alterations and changes to room configuration. All internal spaces within the Sailor's Home, on all floor levels, contain multiple layers of change added over the years, from construction to today.

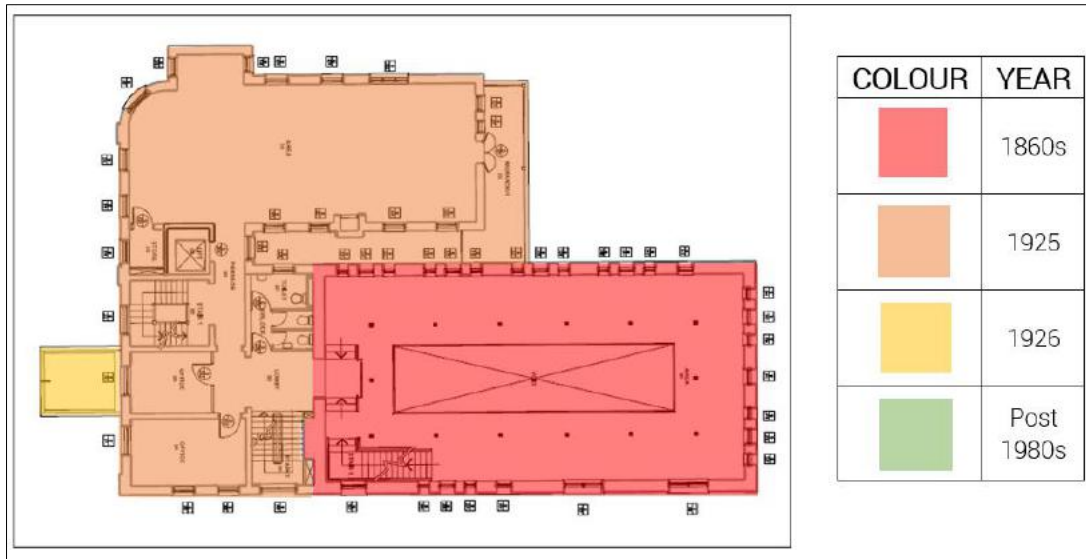
2.9.1 Basement Level



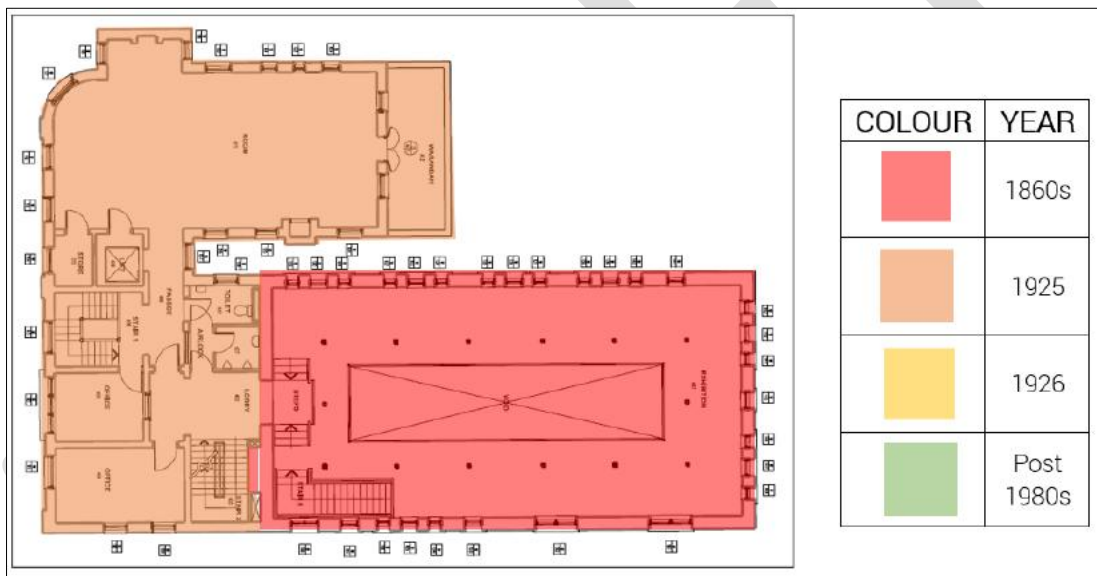
2.9.2 Ground Floor



2.9.3 First Floor



2.9.4 Second Level



2.10 Historic Themes

The Sailor's Home (former) was built in 1864 as accommodation for transiting seaman of all nationalities. It was ideally located near the port, at the former site of the Water Police and in the vicinity of several early structures such as Cadman's Cottage and the former Mariner's Church, with which the site was intrinsically linked. The Sailor's Home (former) had its origins in a movement dedicated to improving the condition of Sailors and was seen as an essential part of a port. Extended in 1926, the building continued to be used for the purpose of Sailors' accommodation for over 100 years.

It was the outbreak of the plague in January 1900 that necessitated an effort to improve the sanitary conditions in affected areas such as The Rocks. A house to house recording was undertaken and notices were issued to buildings that were to be "cleansed". The cleansing involved lime washing all ceilings, whitening walls previously whitened, lime washing all cellar, basement and outhouse walls, scrubbing all timberwork, floor boards and floor cloths with a carbolic solution. All sanitary fixtures were flushed with hot water, then carbolic solution and

then dressed with solid disinfectant, lime chloride. All makeshift buildings were condemned, and garbage, ashes and stable bedding removed and destroyed.¹¹³

The Sydney Harbour Trust and later Maritime Service Board (MSB) were responsible for shipping, wharves and maritime activities. They also assumed responsibility for a number of residential properties including the subject buildings. The maritime activities diminished during the 1960s and 1970s and led to a decline in the traditional population and reputation of the area as a slum.¹¹⁴

In 1970 the newly formed Sydney Cove Redevelopment Authority started to consider the total redevelopment of The Rocks area. Strong local opposition resulted in the formation of The Rocks Residents Group. The local residents also enlisted the support of the NSW Builder's Labourers Federation who imposed a "Green Ban" on all demolitions in the area.

In 1973 The Rocks Resident Groups with a group of interested professionals and academics produced "The People's Plan" which advocated alternative developments for the area and sought to conserve the historic character and nature of The Rocks.¹¹⁵ The primary aim was to protect the rights of the residents but also promotion of the area as a historic precinct.

In 1988 SCRA changed its name to the Sydney Cove Authority, signifying its change of attitude and philosophy.¹¹⁶ The main aim now was to adapt buildings worthy of retention, generally for commercial use, so that they would remain as viable components of the area. Development sites were identified for associated commercial and leisure uses, such as hotels, bars and restaurants. The subject buildings were located in such an area deemed appropriate for development. Since that time The Rocks has experienced a mix of conservation and re-development with a range of uses with emphasis on promoting the area as a tourist destination. The building has continued to contribute to the historic character and leisure in the precinct as a visitors' centre, restaurant and art gallery, and through its association and use with the adjacent buildings.

2.11 Ability to Represent Historic Themes

The following table identifies the relevant Australian and New South Wales historic themes represented at the site.

<i>Australian Historical Themes</i>	<i>NSW Historic Themes</i>	<i>Representation of Historic Themes at the Sailor's Home (former)</i>
<i>2 Peopling Australia</i>	Ethnic Influences and migration	The Sailor's Home (former) was used as accommodation for sailors from all over the world for over 100 years and is located in an area that has historically been the first point of contact for arrivals in Sydney
<i>3 Developing local, regional and national economies</i>	Industry	The Sailor's Home (former) provides evidence of the importance of Circular Quay as a major port frequented by international shipping and sailing companies
<i>3 Developing local, regional and national economies</i>	Commerce	The Sailor's Home (former) provides evidence of the changing commercial uses and character of The Rocks area from a thriving shipping port to a major leisure and tourism area, with the various uses of the building

¹¹³ Ibid, p133

¹¹⁴ Tropman & Tropman Architects, *Argyle Terrace Conservation Plan*, (August 1993), p22.

¹¹⁵ Historic Houses Trust, *Susannah Place 1844, A Museum in the Making*, (1993).

¹¹⁶ Robert Moore Pty Ltd in association with the Historic Houses Trust, *Conservation Analysis & Guidelines*, (1989), p14

		reflecting the changing commercial activities within the wider precinct
<i>4 Building settlements, towns and cities</i>	Towns, suburbs and villages	The Sailor's Home (former) provides evidence of the development of the Circular Quay and The Rocks areas, including the successive and extensive land reclamation that has resulted in the western shoreline being moved eastward over time
<i>4 Building settlements, towns and cities</i>	Accommodation	The Sailor's Home (former) provides evidence of the original purpose as accommodation for visiting and transiting seamen, a purpose it served for over 100 years
<i>8 Developing Australia's cultural life</i>	Creative endeavour	The Sailor's Home (former) provides evidence of the design ideas developed by the architects responsible for its two major construction stages, and retains elements of the Victorian Romanesque Revival style of architecture in its 1860s wing and of the Inter-War Colonial Revival style of architecture in the 1920 addition
<i>9 Marking the phases of life</i>	Persons	The Sailor's Home (former) is strongly associated with the former Sydney Sailor's Home (former) Trust (now the Australian Mariners' Welfare Society) and the architects of the building, William E. Kemp and Spain & Cosh, and more recently, with the Marionette Theatre of Australia and Charles Billich

3.0 Physical Evidence

The aim of this chapter is to describe the Sailor's Home (former) in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the changes that have been carried out during its lifetime. The method used in the fabric investigation has been non-intrusive observation.

This chapter builds on the evidence outlined in the previous section in order to understand why, when and how these alterations were made.

3.1 The Rocks Conservation Area

The site is located within The Rocks Conservation Area. The Rocks is sited on a rocky promontory extending into Sydney Harbour and generally bounded by Sydney Cove/ Circular Quay to the east and the southern approach of the Sydney Harbour Bridge to the west. It covers some 21 hectares in area and falls steeply to the east, in a series of sandstone escarpments, giving the important harbour views that enhances the area.

The topography which gave the area its name, and provided the early building materials, influenced the street pattern which is now overlaid and traversed by steps and pedestrian walkways and lanes. The conservation of The Rocks from the 1970s has reinforced these diverse streetscapes, laneways and pedestrian links.

Today the built context is characterised by a mix of residential and commercial buildings ranging from important buildings by significant architects, to more humble shops, cottages and terraces, mostly dating from the 19th and 20th centuries. The area has a strong maritime character with warehouses and bond stores remaining, in addition to philanthropic buildings and accommodation for seamen. The area also retains a large amount of public open space including Dawes Point Park, with its early fortifications and archaeological remains, Foundation Park, West Circular Quay, First Fleet Park, the public domain around the Museum of Contemporary Art, Overseas Passenger Terminal, Campbells Cove, Park Hyatt and the Hickson Road Reserve.

The Rocks also contains some late 20th commercial and residential infill development. It is the overall character and diversity which contributes to the significance of the area.

3.2 Street and Streetscape Description

The Sailor's Home (former) is located on the eastern side of George Street, on a block bounded by the junction of Argyle Street and Circular Quay West to the south, and the junction of George Street and Hickson Road to the north. The former Coroner's Court Building is located to the immediate north, Cadman's Cottage and associated curtilage is located to the immediate south, and the Overseas Passenger Terminal is located to the immediate east. Note that Cadman's Cottage, the Overseas Passenger Terminal and surrounding Circular Quay foreshore area are set below the George Street level.

The primary address and frontage of the building is along George Street, which is an active vehicular and pedestrian thoroughfare with stone and concrete curbing, car parking and plantings interspersed along the streetscape. The buildings located on the eastern side of the street are enhanced by a number of mature street trees and later, reproduction streetlamps and furniture complement the surrounding historic building stock.

This section of George Street is characterised by a diverse built environment containing a number of building typologies which flank both sides of the dual carriageway. This includes the colonial Cadman's Cottage complex, to the south of the building, and the Federation Coroner's Court Building, to the immediate north. Other notable buildings include the Mariner's Church and ASN Building to the north of the site.

The western side of George Street, opposite the site, features predominantly two and three storey Victorian and Federation commercial buildings, including the Observer Hotel. They read as a consistent series of buildings with minimal setback from the street, characterised by high

parapeted facades that generally retain original details and features above the posted and suspended awnings. The street level shopfronts below also retain a sense of their traditional appearance and detail.

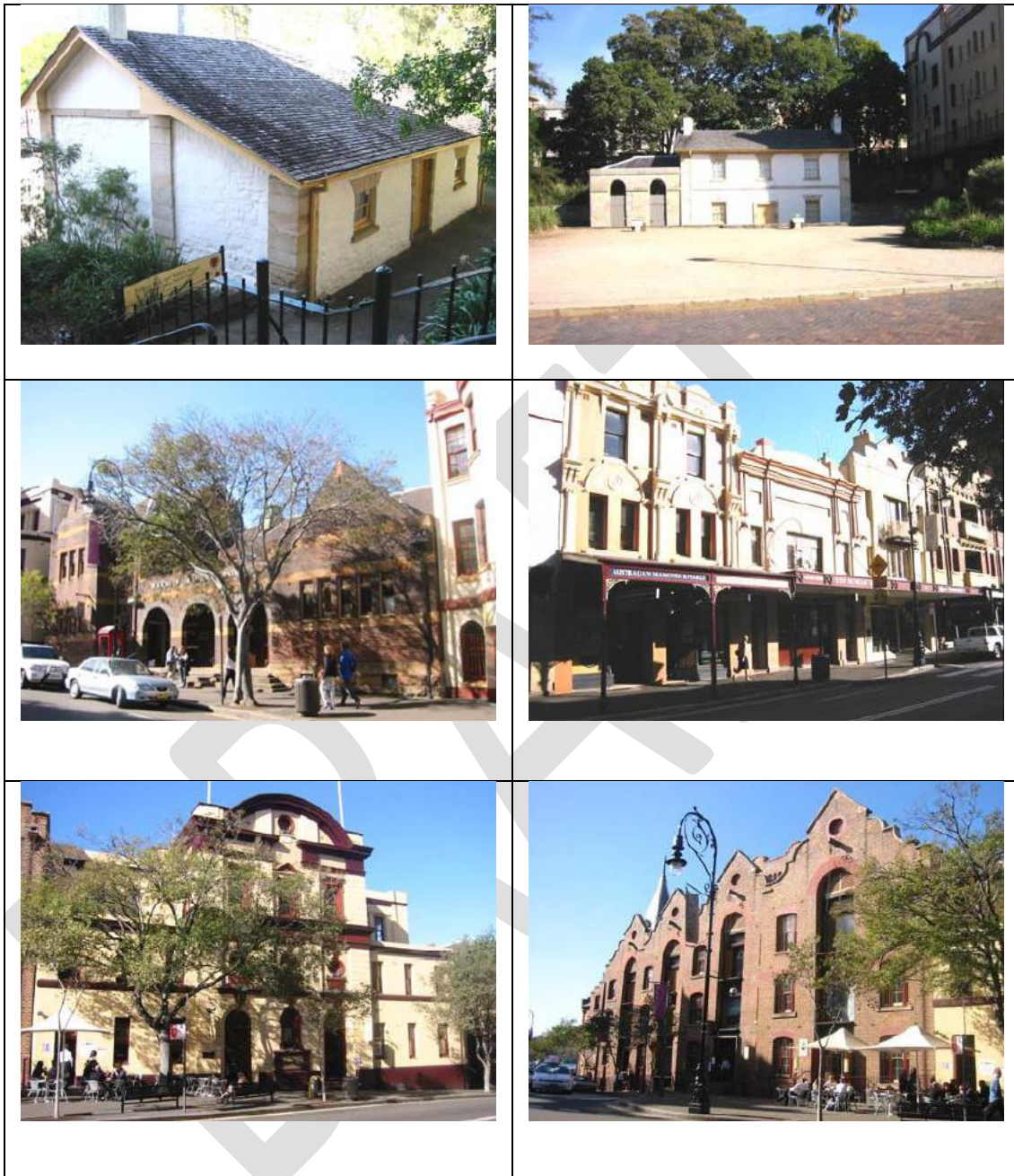


Figure 94: Cadman's Cottage and surrounding curtilage (top); the former Coroner's Court Building and commercial buildings along the western side of George Street (middle); and the former Mariner's Church and ASN Building (bottom) (Source: Perumal Murphy Alessi Pty Ltd, Conservation Management Plan, May 2006)

Views and Vistas

The Burra Charter states that conservation requires the retention of an appropriate visual setting that contributes to the cultural significance of the place. This section analyses the setting and establishes key views to and from the Sailor's Home (former).

The building has two primary street frontages. This includes views to and from the main façade along George Street, and views to and from the building from Circular Quay West, which is an

open forecourt and roadway which separates the subject site from the Overseas Passenger Terminal (OPT) and waterfront to the east.

Key Views

1. Looking east from George Street towards the west portion (main façade) of the building. Note that the exterior walls of the basement level are obscured from this view.
2. Looking north along George Street towards the southern portion of the building.
3. Looking north from the Cadman's Cottage Complex towards the southern portion of the building. The open garden and forecourt to Cadman's Cottage contributes to the high visibility and visual prominence of the building from this position.
4. Looking north and west towards the building from the open forecourt directly in front of the OPT and the Circular Quay waterfront, located to the east of the site, and extending north and south beyond the subject building. Note that the original wing of the building is highly visible from this location and partially visible from the waterfront.
5. Views of the southern portion of the building, particularly the basement level, is visible from the stairs which connect George Street down to Circular Quay and the forecourt directly in front of the OPT.
6. Note that views of the northern portion of the building are obscured from both George Street and Circular Quay, due to the location of the Coroner's Court Building abutting the building along its northern boundary.

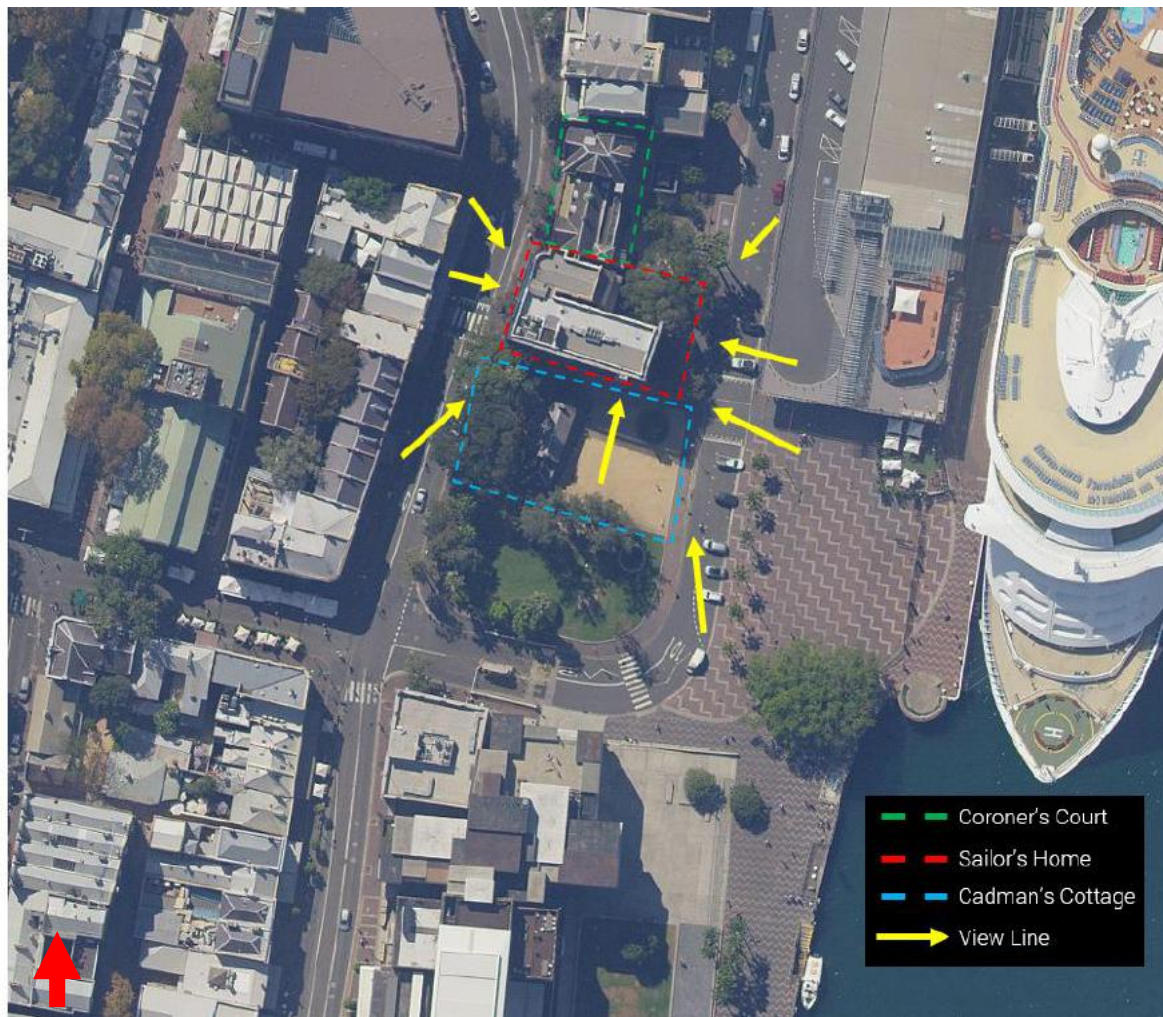


Figure 95: The Sailor's Home (former), key views. (Source: SIX Maps, with NBRs overlay)



Figure 96: (top-bottom, left-right) (1) View looking southeast along George Street towards the front façade; (2) view of the front façade from George Street, looking east; (3) view looking east from George Street towards the southern façade; (4) view looking west from Circular Quay with the Cadman's Cottage curtilage to the left and the Sailor's Home to the right; (5) view of the basement portion of the southern façade looking east towards Circular Quay; and (6) View of the eastern façade looking west from Circular Quay)

3.3 Building Description – External

Generally

The Sailor's Home (former) is a four storey (three storey plus basement) stone and rendered masonry, U-shaped building, comprising two wings joined along the George Street frontage. Although constructed in two major phases, the two distinct forms are tied together by a high, continuous parapet around most of the perimeter of the building, which conceals the roof. The building presents three storeys to George Street, and four storeys to Circular Quay, due to the fall of the site down to the east towards Circular Quay.

The form of the original 1860s portion of the building is located towards the southeast corner of the site. It is legible along the eastern section of the southern façade, and along the southern portion of the eastern façade. This wing was altered in the 1920s by the addition of a number of regular shaped openings (in contrast to the earlier arched head openings), replacement of the original gabled roof and the addition of the parapet. The 1920s portion of the building is legible along the George Street façade, as well as along the northern façade. Later alterations are also visible, including the 1980s addition of an open balcony along the southern façade of the 1920s wing.

Exterior

Front Façade

The George Street façade comprises part of the 1920s wing of the site. It is constructed to the George Street alignment with minimal setback from the street. It sits forward of the adjacent former Coroner's Court building located to the immediate north. The northwest corner features a curved wall and northern alcove to bridge the difference in street alignment.

Generally, the main façade comprises two main bays delineated by banded pilasters which extend up to a continuous profiled cornice that runs along the base of the parapet and arches over a pediment detail comprising a ship's wheel motif centrally located on the main bay. Copper downpipes run down the façade.

The George Street façade features a distinctive base and middle section, with the ground floor portion of the façade featuring a rendered base/plinth and arched headed multi-paned timber casement windows and two regular shaped door openings. A rendered string course separates the ground from the upper façade which features a number of regular openings with multi-paned, double-hung, timber-framed windows with rendered sills. Many of the window openings, particularly those along the ground level, feature steel security grilles, however, it is not clear when these were added to the building. Four pavement lights are located along the George Street alignment which provide light to the basement level. The wrought iron framed lights are framed by trachyte edging.

Entry into the building along this facade is located directly beneath the pediment detail with timber ships wheel. The entry is defined by a rendered moulding with "106" painted over the centre of the opening. A suspended awning is located above the entry, and is supported by two wrought iron, suspension rods. It features sheet cladding and studded trim to the fascia and what appears to be pressed metal (possibly fibre glass) and open mesh to the soffit. The signage to the awning was added as part of the later fitout for the Billich Gallery in the early 2000s. The pavement to the entry of the building features a bluestone ramp that abuts the original terrazzo flooring.



Figure 97: Western (front) Elevation (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)



Figure 98: (top to bottom, left to right) (1) View of the front façade looking southeast from George Street; (2) View of the awning over the main, George Street entry; (3) View looking north along the bottom half of the front façade; and (4) View looking south looking up at the junction between the Coroner's Court building.

Southern façade

The side (southern) façade comprises two distinct sections, defined by the two wings of the building. In particular, the rendered façade of the 1920s addition is clearly visible and is in contrast to the face stonework of the original 1860s wing of the building. The western, 1920s wing located towards the western portion of the façade is bounded by two rusticated pilasters which extend the height of the façade to the parapet. The parapet steps down at the junction between the 1920s addition and original 1860s wing, which sits on a face, sandstone base. The parapet atop the 1860s portion of the building contains, "SAILORS HOME" in large relief lettering.

The southern façade features windows associated with the three phases of the building's development. The western, 1920s portion of the southern façade features regular shaped window openings with double-hung timber-framed windows and rendered sills. The bracketed balcony, added as part of the 1980s works, extends along most of the façade at George Street level and forms a demarcation line between the face stone façade of the basement and rendered planes of the upper façade. The three, regular shaped windows at the junction of the 1860s and 1920s sections were added as part of the 1920s works to the building to provide addition light and ventilation to the new cubicles. The original, 1860s windows towards the eastern portion of the southern façade are smaller, arched headed windows. They feature rendered, bracketed sills and double-hung timber-framed windows. The larger arched headed windows at the very eastern end of the façade were added sometime prior to the 1890s. The basement also features a number of openings. The very eastern end of the southern façade retains an original 'keyed' detail, which suggests that it was left to allow additions to the southern end of the building sometime in the future. Building records indicate that over time most of the windows have been successively repaired and, in some cases, replaced.

The steel and timber bracketed balcony and double doors were added as part of the 1980s works to allow egress from the then Marionette Theatre which occupied the internal spaces of the building. The design of the balcony was to reflect the 1920s details of the existing building. The construction of the balcony and egress also necessitated the removal of the ground floor private porch/annex located at the southwest corner of the building. The location of the former annex is indicated by the patching at the ground floor level of the western portion of the façade. However, the basement annex remains and the floor slab/roof over the basement annex also remains at the southwest corner of the building.



Figure 99: Southern (side) façade (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)



Figure 100: Features of the southern façade.

Eastern façade

The eastern façade, which faces onto Circular Quay, also comprises two distinct sections defined the 1860s and 1920s wings of the building, with the 1920s portion setback from the 1860s portion.

The 1860s portion of the building is surmounted by a rendered parapet bearing “SAILORS HOME” in relief lettering. The rendered ground, first and second storeys of the northern, 1860s portion of the façade features original arched headed windows with rendered label moulds, connecting to continuous string courses and bracketed sills. The original wing along the eastern façade also features a single door opening with timber-boarded door with glazed fanlight over and single window openings at basement level. The façade sits on the sandstone base of the building. A planter box, bounded by low brick edging extends between the building and the eastern boundary line.

The 1920s wing, which comprises the northern half of the eastern façade, contains a number of open balconies reinstated and added as part of the 1990s works to the building. The balconies overlook a landscaped open area with large circular planter box containing mature trees and a number of plants and shrubs.

The timber stair and platform which connect the 1920s portion of the building to Circular Quay were added during the 1990s and provides access to an outdoor deck. The deck features concrete floor slab with timber decking over. It is bounded by simple wrought iron balustrades fixed to the concrete slab and brick base.

A lightwell is located between the two wings of the building. The arched openings of the original 1860s wing are evident and are in contrast to the regular openings of the 1920s wing.



Figure 101: Eastern (rear) façade (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)



Figure 102: Northern façade (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)



Figure 103: Views of the eastern façade.

Interiors

The interior of the Sailor's Home (former) can be understood as two distinct spaces, comprising the internal spaces of the 1860s wing and the internal spaces of the 1920s wing.

1860s wing

All four floors of the 1860s wing are currently occupied by the Billich Gallery, including a publicly accessible gallery space. The 1920s entry into the 1860s portion of the building is accessible along George Street. A expandable folding trellis-door encloses the porch space which features original 1920s finishes including terrazzo flooring, ceramic tiles, render finish to the walls, and pressed metal ceiling and cornice. Marble cladding, which is believed to be a later addition, has been fixed to the door reveal to a height to match the ceramic tile and trim. Access to the internal spaces and internal entry vestibule is via a porch space off the George Street alignment, which contains bevelled glass and timber-framed double doors with sidelights.



Figure 104: The main entry to the building along George Street.

The entry vestibule features a timber-panelled and glass door into a separate lobby and a stairwell. (The entry and door originally provided separate access to the Superintendent's Quarters on the second floor). The entry vestibule also contains a passage which extends from the northern side of the vestibule and connects to the 1920s, northern portion of the 1920s wing. The space has been refurbished and is simply finished with vinyl flooring, rendered walls and plasterboard ceiling, all added during the 1990s works to the building. A later lift was also added in the 1990s and is located on the western side of this passage. It features contemporary linings including timber veneer cladding to the walls and timber handrail. The eastern side of the corridor features a small storeroom and former 'cubicle.'

To the south of the entry vestibule is a concrete access stair which was added during the 1920s. It is simply detailed and remains unpainted, featuring a simple pipe rail handrail. It continues up to the roof level and is bounded by rendered walls with a painted dado. The southern wall of the entry vestibule also features two original door openings to former office spaces which feature vinyl flooring and pressed metal ceilings.

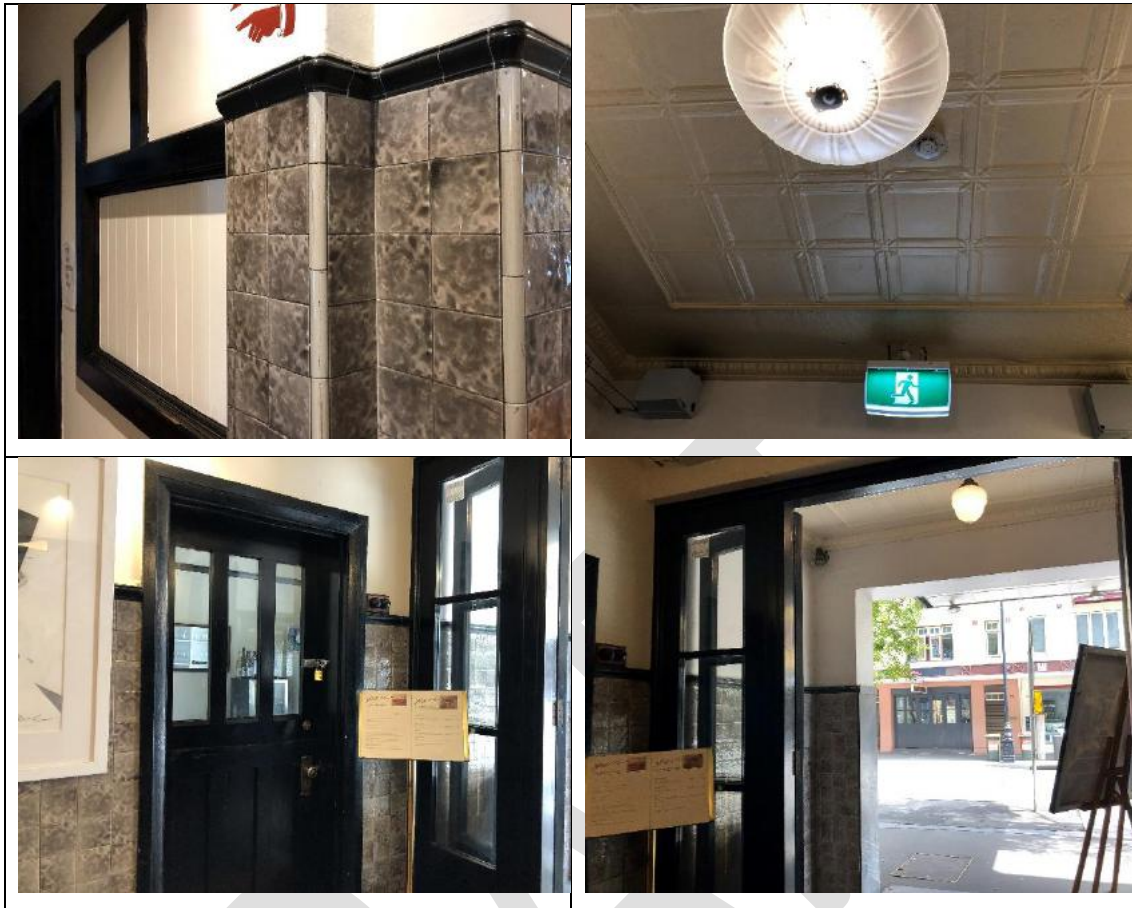


Figure 105: Features of the entry vestibule

An opening connects the entry vestibule to the former 'Main Hall' space which occupies the ground floor of the 1860s wing. It currently contains the publicly accessible art exhibition space for the Billich Gallery. This original 1860s opening was enlarged when the 1920s addition was constructed. The timber post and beam structure and pressed metal ceiling were reconstructed as part of the 1990s conservation works to the building.

The main space contains an atrium which rises to the very top of the 1860s wing. The ground floor level retains timber flooring throughout. However, the 1990s conversion works saw the reconstruction of the first floor mezzanine above, including the reinstatement of the timber post and beam supports and pressed metal ceiling lining with reproduction light fittings to the underside of the mezzanine above. The original perimeter brick walls have been retained, but have been painted.

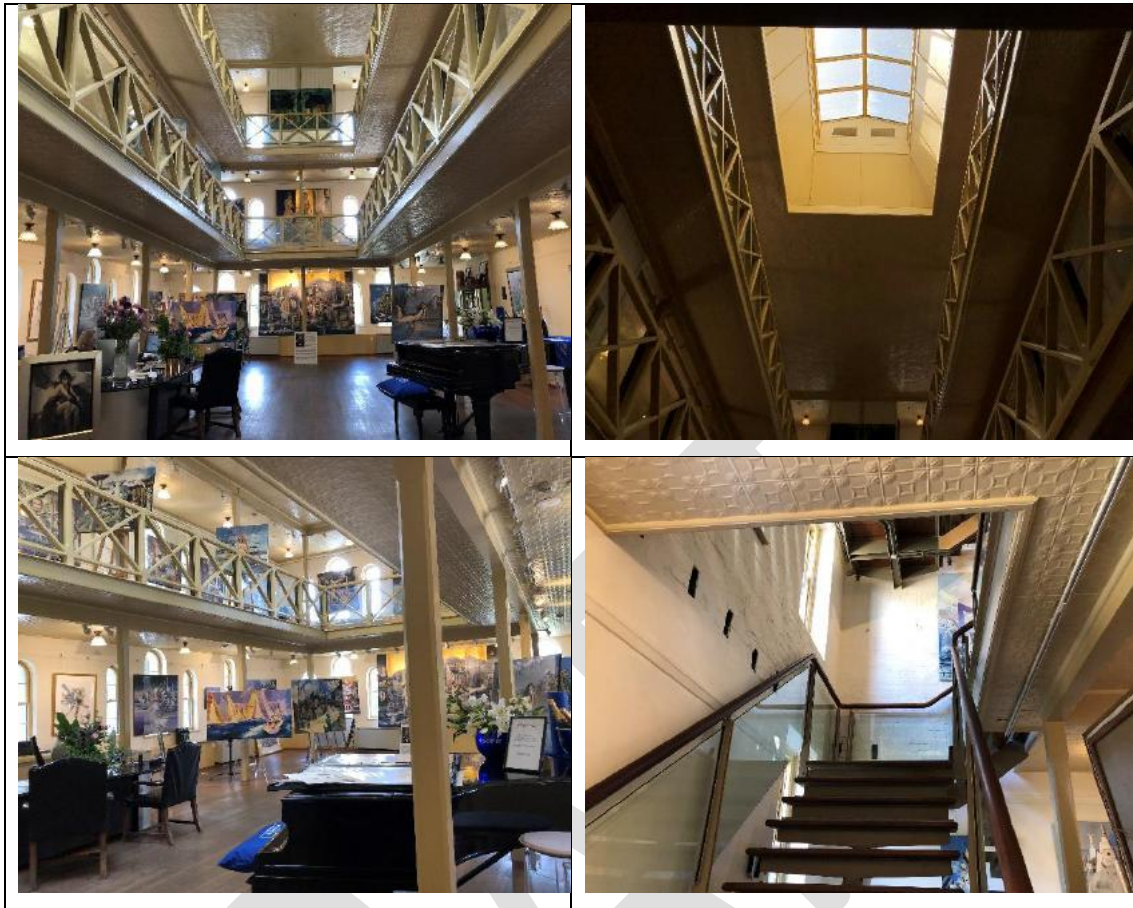


Figure 106: Features of the ground level of the 1860s wing.

The upper galleries overlook the ground floor and are bounded by simple timber balustrades, which have been supplemented by later steel and glass balustrades added as part of the 1990s works. These upper galleries are accessed via a later stair located in the southwest corner of the main hall space, which was also added as part of the 1990s works to the building. This stair interprets the location of the original 1860s stair. It is constructed of steel and features open risers with timber treads and glass balustrade with timber handrail. The stairwell features joist holes at the first and second gallery level.

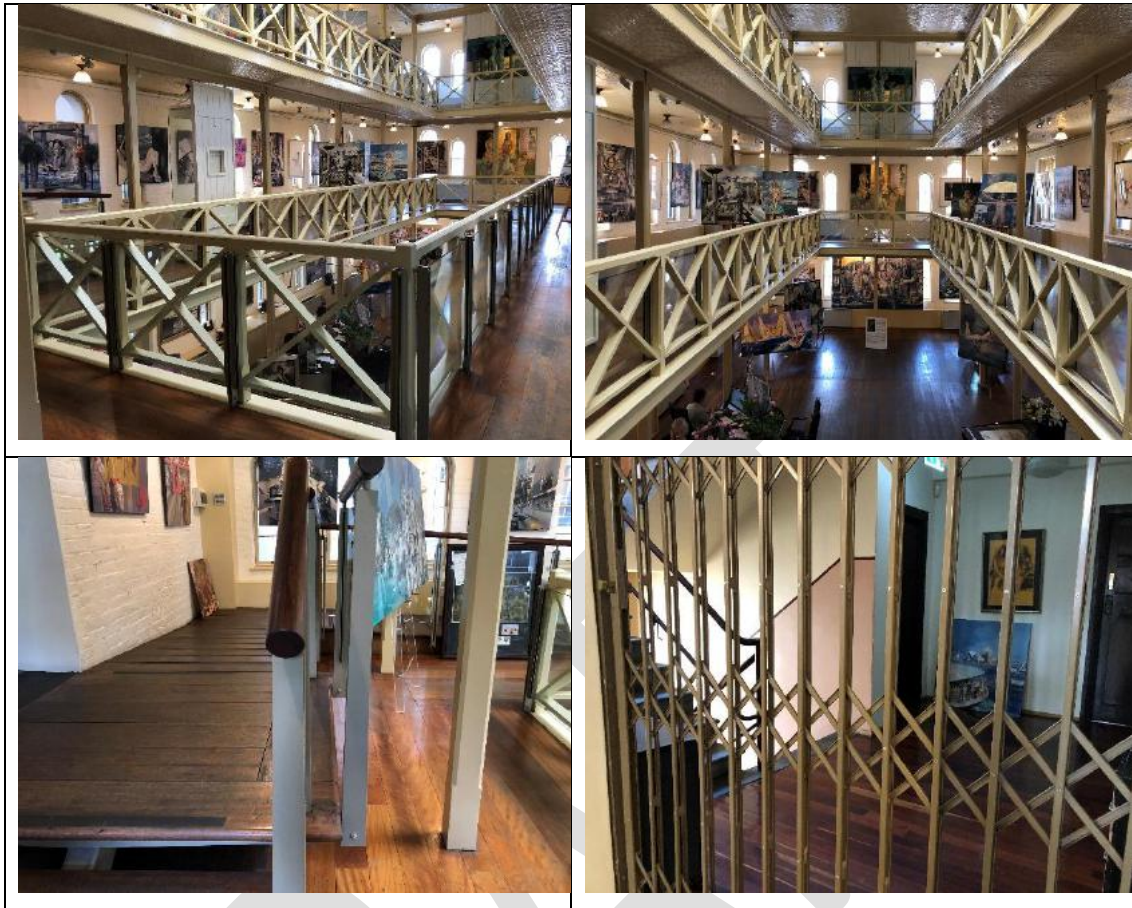


Figure 107: Features of the first level of the 1860s wing.

The first floor junction between the original 1860s wing and 1920s wing contains a trellis door separating access between the two spaces, set above the height of the 1860s wing. A steel framed and timber landing with stair was added as part of the 1990s works and provides access between the original and later spaces. A wheelchair lift and ramp has also been added as part of the 1990s works on the first and second floor landing to enable access.

The second floor mezzanine balcony, (unlike the first floor mezzanine balcony), retains, sections of early timber flooring and original timber joinery and details. Along the eastern wall of the second floor mezzanine balcony space is a small storage space which was added as part of the 1990s works to the building. It interprets the original layout and configuration of 'cubicle' accommodation which would have been located throughout the gallery levels. The early flooring on the second level retains evidence of the size and configuration of the 'cubicle' accommodation. In particular, the flooring indicates that five cubicles would have existed along the eastern wall and eight down each length.

A central clerestory skylight provides natural light to the spaces below. It is believed to have been reconfigured during the 1920s additions to the site. It was refurbished as part of the 1990s works to the building.

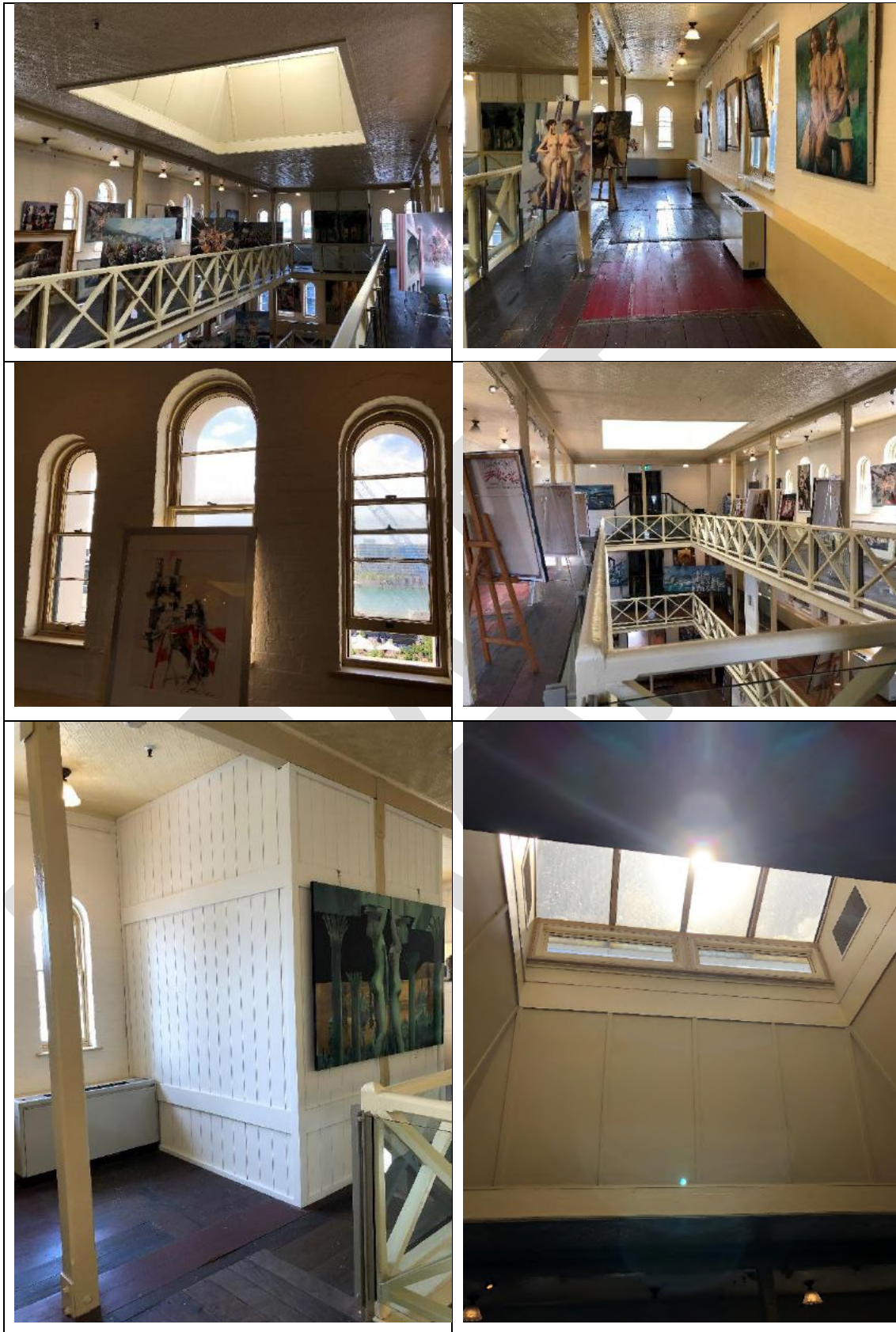


Figure 108: Features of the second level of the 1860s wing.

The basement level of the original 1860s wing is currently vacant but contains later kitchen and bathroom fitouts associated with the former use of the space as a restaurant. The basement level generally retains evidence of the original three primary spaces and evidence of the various phases of development.

The central room, which is currently vacant, contains a later kitchen and bar fitout with a polished concrete floor, rendered walls and plasterboard ceiling with contemporary and surface mounted services. The floor level of the central basement space was raised as part of the 1920s works. The southern wall also features a separate entry from the sandstone stair and landing south of the building. The opening contains both a timber panelled and a contemporary glass door. This central space retains the original stone hearth and breast along the southwest wall and remnant ceramic wall tiles which relate to its later use as a kitchen. The bar dates from the 1990s fitout.

Passages from the main space lead through to a portion of the 1920s building and contain finishes and fittings, including bathroom fitouts, dating from the 1990s fitout. The sandstone walls and fireplace, are original features which have been retained.



Figure 109: Features of the basement level of the 1860s wing.

The former 'Native's Dorm' is vacant but is believed to have been last used as a restaurant dining area. It is set below the level of the central basement rooms and is accessed via a later stair. This space features polished timber floorboards, face stone walls and plasterboard ceiling. A rendered dado has been added to the base of the wall at a later stage. The southeast section of the basement features a stone hearth and chimney breast and blind recess on the southern wall. An arched door opening featuring a tall, timber panelled door and fanlight is located along the eastern wall.



Figure 110: Features of the basement level, former 'Native's Dorm' of the 1860s wing.

1920s wing

A passage containing a steel 'checker plate' floor finish and light well separates the two wings at basement level. The sandstone façade and openings of the original 1860s portion of the building remain. A later steel-framed glass roof connects the original portion of the building to the northern section of the 1920s wing. Another passage runs perpendicular to this space and connects the various storerooms, amenities and office space occupying the western end of the basement level, which contain later finishes and fixtures associated with the 1990s restaurant fitout.

A simple later timber stair and rail wraps around the later lift well and connects the basement level to the ground level of the northern portion of the 1920s wing. The ground level can also be accessed via a door along the curved portion of the George Street façade, close to the northwest corner of the building. The internal ground floor space generally features polished timber floors, rendered walls and plasterboard ceiling. A later kitchen/bar fitout occupies the northern wall and contains later fixtures and fittings. Two pairs of French doors at the eastern end of the space provide access to an outdoor area and timber verandah reinstated as part of the 1990s works to the building.

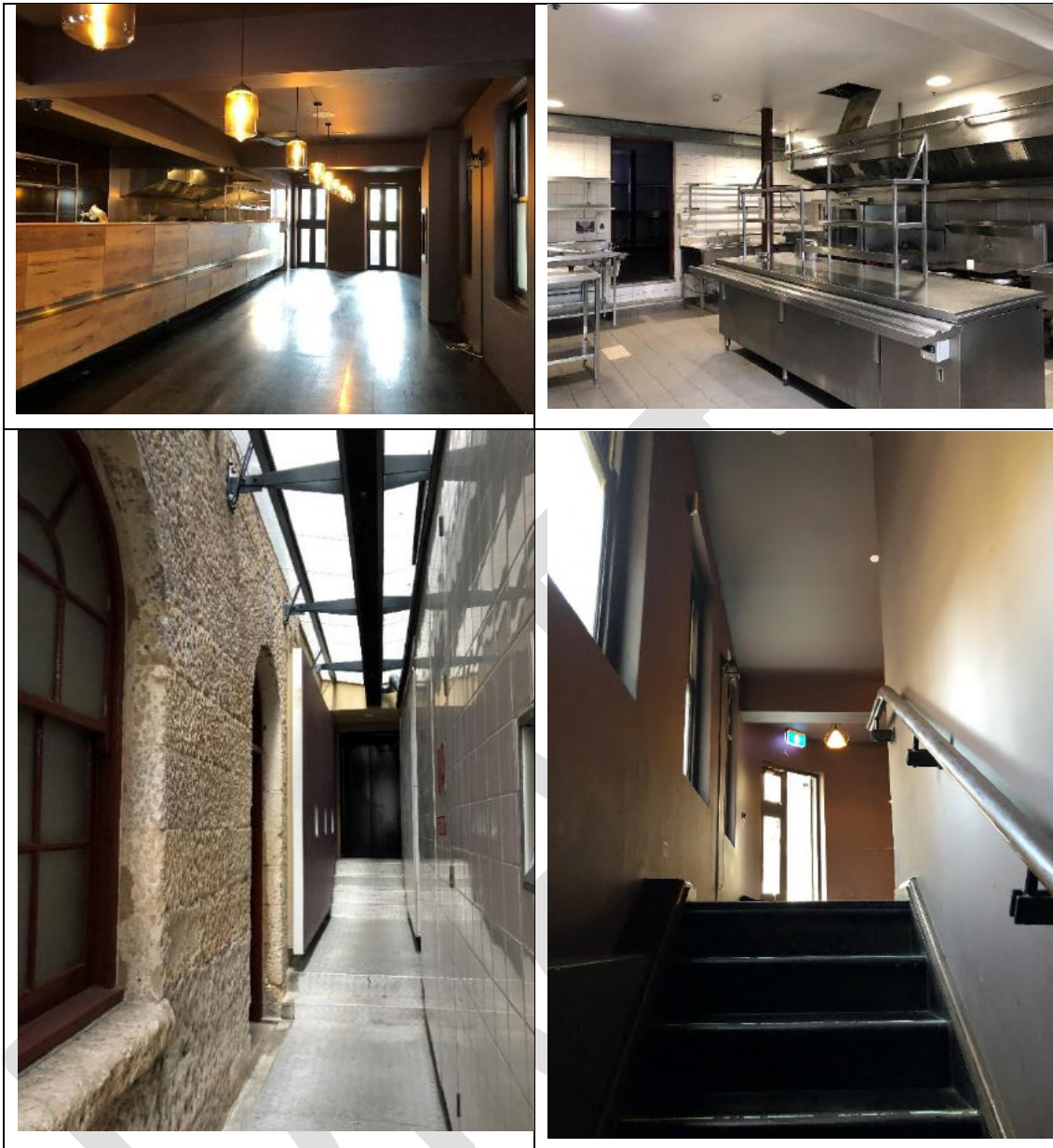


Figure 111: Features of the basement level of the 1920s wing.

The ground level is connected to the upper floors of the 1926 wing via two stairwells which connect to a shared landing at each of the upper floor levels. The first stairwell is located along the western side of the building. It features a terrazzo floor finish, rendered walls, timber joinery, pressed metal ceilings and a timber stair which features a timber balustrade and newel posts and pressed metal soffit. The second stairwell, primary used as a fire stair, is located along the southern side of the building. It also extends up through to the upper levels of the building, and is in contrast to the more elaborate timber stair, comprising concrete treads and risers.

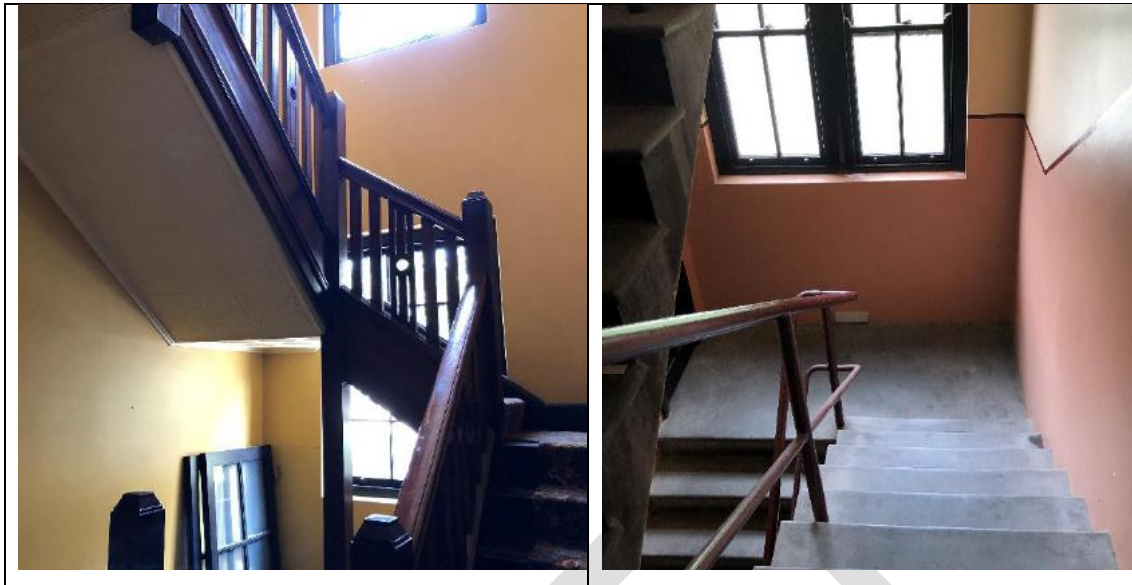


Figure 112: Features of the timber (left) and concrete (right) stairs.

The first floor comprises the private spaces, offices and storage areas associated with the Billich Gallery. A former, single cubicle to the north of the stair landing was converted to bathrooms as part of the 1990s works. Another former single cubicle is located west of the first floor landing and is now used as a storage room. It contains an earlier pressed metal ceiling, rendered walls, timber joinery and later carpeted floor. The landing leads through to a passageway which opens onto a large open room along the northern portion of the wing. The space generally features rendered walls, pressed metal ceilings and vinyl floor finish. No original joinery remains in this space, apart from the windows. This space leads through to a timber verandah along the eastern elevation, which was reconstructed as part of the 1990s works. The verandah structure comprises timber framing, timber flooring and a timber balustrade, with boarded soffit to the roof.



Figure 113: Features of the first floor of the 1920s wing.

The second floor landing features painted concrete and carpeted floor, rendered walls and timber joinery, including skirtings and architraves. A former cubicle located north of the landing has been converted to a male bathroom at a later date, containing contemporary fixtures and fittings. Like the first floor, the main second floor space has also been kept relatively open, apart from a few later partitions. This open space, like the first floor, contains later floor finishes, rendered walls and plasterboard ceiling. A later kitchenette is located towards the northeast corner of the room. The second floor verandah is located at the eastern end of the 1926 wing and features timber floor and a timber framed roof supported by simple timber posts and a solid, rendered balustrade.

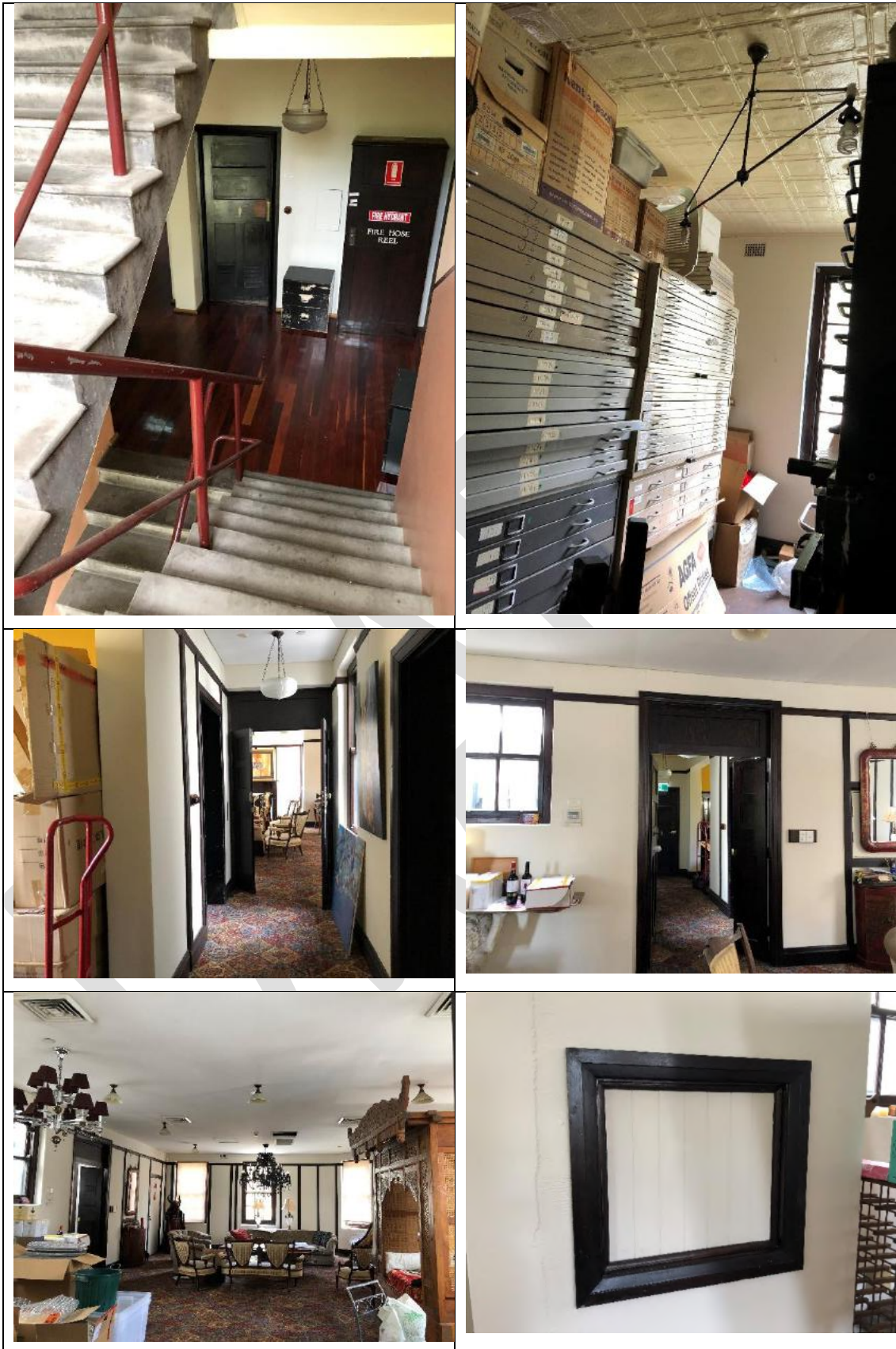




Figure 114: Features of the second floor of the 1920s wing.

From the second floor landing, the secondary fire stair extends to the roof level, which can be accessed from the stairwell via a set of timber doors. The roof sheeting was added as part of the 1990s works to the building. The skylight over the 1860s portion of the building is visible from this location. Distant views of the Sydney Harbour Bridge and Sydney Opera House can be seen from this location.



Figure 115: Features of the the roof level.

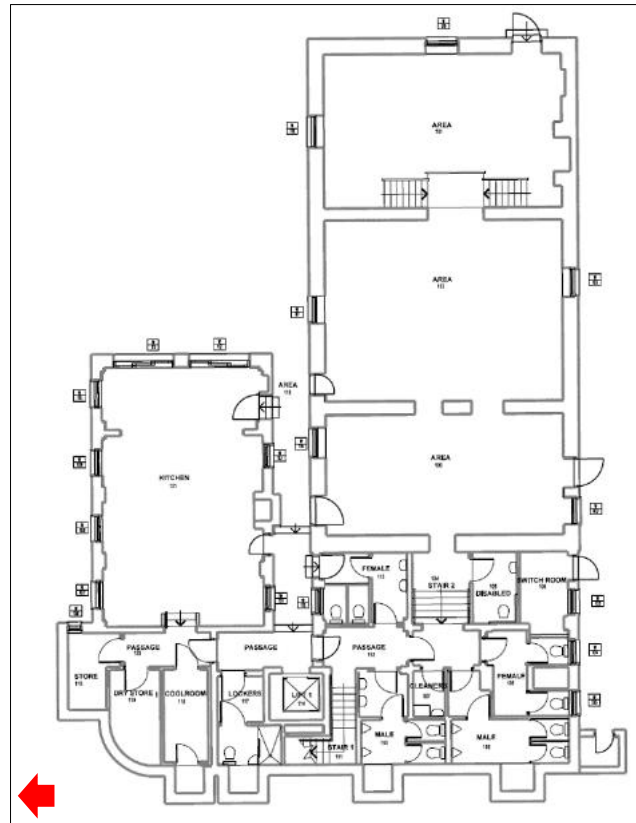


Figure 116: Basement Level Plan (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)

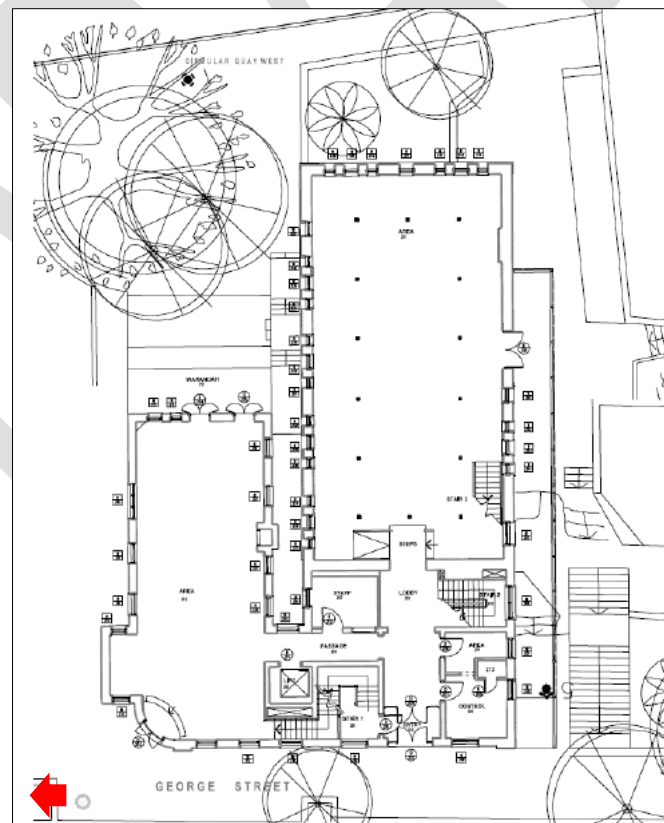


Figure 117: Ground Level Plan (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)

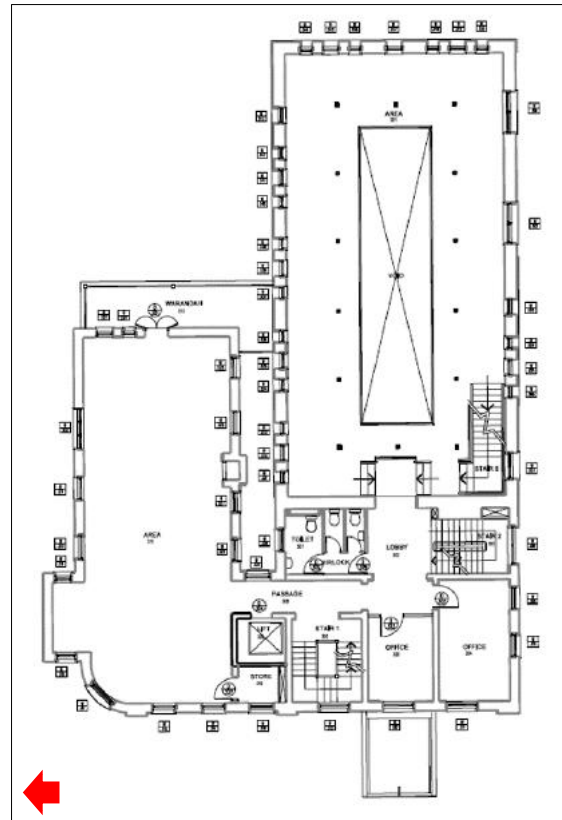


Figure 118: First Level Plan (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)

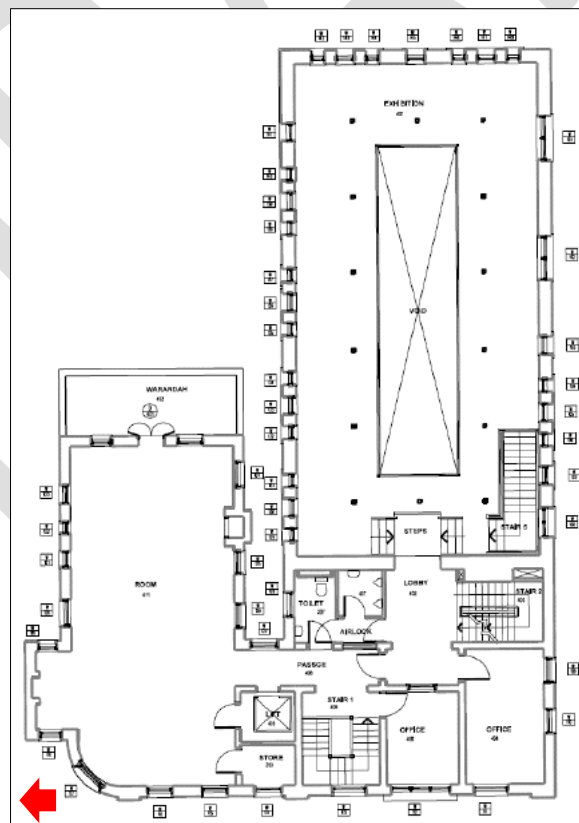


Figure 119: Second Level Plan (Source: Planning & Infrastructure Sydney Harbour Foreshore Authority, 2012)

3.4 Assessment of Archaeological Potential

The site of 106-108 George Street is identified in the Map of Archaeological Resources in The Rocks (in Appendix C of The Rocks Heritage Management Plan, 2010) as an area of archaeological sensitivity.

The archaeological potential of the site was assessed in The Rocks and Millers Point Archaeological Management Plan in 1991 and management recommendations are included in the Authority's s170 Heritage and Conservation Register for this site.

The s170 listing states '[b]elow ground archaeological remains. An historical and archaeological assessment [should be undertaken] before an archaeological investigation is recommended'.

As the archaeological assessment contained in both documents was very brief, a more detailed assessment has been carried out as part of this update of the CMP, with the key findings being included below.

3.4.1 Baseline Archaeological Assessment

Below Ground

Cadman's Cottage was constructed between 1815-1816 as the "Coxwains Barracks" which was attached to Governor Macquarie's Government dockyards and stores (Perumal Murphy Alessi 2006, p.10). In 1846 this was transferred to the Water Police who renovated the cottage to be used as a court and clearing house, including jail cells on the lower floor. Based on plans for the site they appear to have constructed small stores building along with a retaining wall and steps on the study area during this time. The still surviving Cadmans Cottage was located to the north of the study area which had a small store building, retaining wall and set of steps positioned on it until 1860 when both the cottage and the land was granted to the Sydney Sailor's Home (former) Trust (Perumal Murphy Alessi 2006, p.11, Godden Mackay Pty Ltd 1992, p.2).

By April 1860, extensive plans of the site had been completed (Perumal Murphy Alessi 2006, p.14). The works on the building were started in 1861 however the building was not completed until 1864 after George Street was realigned and plans for the Sydney Sailor's Home (former) (SSH) needed to be modified. The home was first opened sometime in 1865 ('Sydney Sailor's Home (former)' 1866). Only the northern wing of the intended overall design was initially completed, with the western façade appearing simple and unadorned in contrast to the other sides of the building. This building was a simple four-storey building, featuring a basement with a kitchen and two dining rooms. Above this were the social hall on the ground floor and the first and second stories above this featured sleeping cubicles around a central void. The construction of the basement would have had the most impact subsurface.

Changes were made internally to the building in 1882, with an entrance porch and balcony being added on to the George Street side of the building, which would have had the potential to impact subsurface features in the vicinity (Perumal Murphy Alessi 2006, p.20).

An additional L-shaped wing was added between 1925 and 1926 which was located at the George Street end of the building (Godden Mackay Pty Ltd 1992, p.3). Construction of this extension is likely to have removed any archaeological remains from within the footprint of the extension, including any evidence of the 1882 entrance porch. Of note is that in 1922 and 1925, new external toilet blocks were also constructed (Perumal Murphy Alessi 2006, p.27). These are likely to have replaced earlier amenities, the location of which are unrecorded historically but may have been within the footprint of the 1925 extension. These buildings were likely demolished in the 1970s when the building became vacant.

In the early 1980s the Sailor's Home (former) building was converted into the MTA (Godden Mackay Pty Ltd 1992, p.2). Some subsurface works were required to modify the building to the required theatre layout. As a part of these modifications, a program of archaeological works including several test excavations and monitoring was undertaken. The following provides some detail on the results of the three test trenches that were hand excavated and the following six trenches which were mechanically dug and monitored.

This investigation included test trenching in three areas which were recorded as Test Trench 1, 2 and 3 (Figure 121). A brief overview of the purpose and results of each trench is described below.

- Test trench 1 was located within the 1926 wing in the former ground floor storeroom (Godden Mackay Pty Ltd 1992, p.8). The trench was intended to investigate the depth of deposits and the survivability of archaeology material. The results found in this trench was that concrete topped a 240 millimetre layer of building and demolition rubble which was made from crushed sandstone and handmade brick. Beneath this was a dark-grey sandy loam, at the base of which was a sandy loam-clay deposit that overlay bedrock. A small assemblage was found at the base of this which included black glass bottles, a tobacco pipe labelled "MURRAY/GLASGOW" and a second pipe that was labelled as "DIXON/SYDNEY". These were dated to the period of c. 1840 to 1865.
- Test trench 2 was positioned in the north room of the 1864 section of the Home (Godden Mackay Pty Ltd 1992, p.10). The focus of this was to look at earlier floor levels, ground surfaces, potential subfloor deposits and to investigate any remains that were associated with the original c. 1847-55 structure. The results of this identified bitumen over a concrete slab. This was topping a grey sandy loam that contained brick and sandstone rubble. This appeared to have been deposited as a single event and increased in thickness as the surface of the bedrock dropped from north to south. Beneath this was a silty loam that was layered over the bedrock. Two artefact deposits were located within this, one of which contained ceramics and tobacco pipes that dated to the early 1860s. The second artefact was a single Chinese canton pattern ceramic which is typical of deposits dating to the 1820s and 30s.
- Test trench 3 was positioned in the courtyard between the 1864 and 1926 wings (Godden Mackay Pty Ltd 1992, p.12). The purpose of this was to determine the nature of earlier ground surfaces and the form and survival of the pre-1925 ablutions blocks. The results of trench 3 showed recent gardening deposits overlay patchy brick and sandstone rubble deposits. Several concrete features that appeared to relate to an earlier structure cut through this. A single post hole was found cutting through this within the trench. The base deposit that was uncovered during this excavation consisted of demolition rubble that was mixed with loam. Three artefact-bearing deposits were found within this trench; a ceramic assemblage that contained mostly transferware that appears to date to post-1850, and a second deposit that included Chinese blue and white porcelain, locally made coarse earthenware and other items that related to the period between 1820 and 1840. The third assemblage was again dominated by transferware ceramics and likely dated to the 1850-1890 period.

Additional monitoring work was undertaken for six more trenches (figure below), labelled as trenches 4-9 (Godden Mackay Pty Ltd 1992, p.17). The results of this found evidence of six phases of development that stretched from pre-1788 – 1991 (the time of the work being completed) (Godden Mackay Pty Ltd 1992, p.35). The first two phases were represented by bedrock and early loam deposit. The third phase was related to the use of the site as a government dockyard (between 1804-1847). The fourth phase was from the Water Police era (1847-1863) and the fourth phase was from the earliest use of the site from the SSH (c.1863-1926). The fifth phase related to the use of the site by the SSH after the significant modifications (1925-1991) and the sixth and final recorded phase was the use of the site as the Marionette theatre, from 1991 onwards.

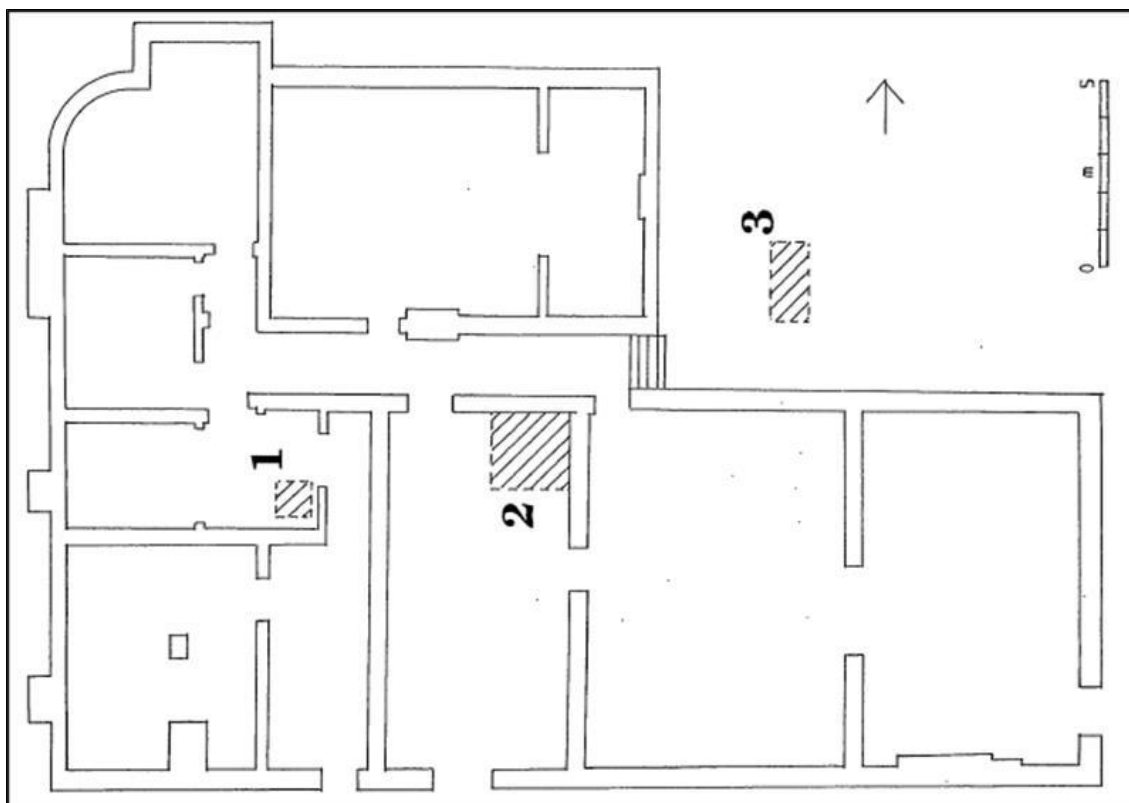


Figure 120: The location of the test trenches (Godden Mackay Pty Ltd, 1992, p. 7)

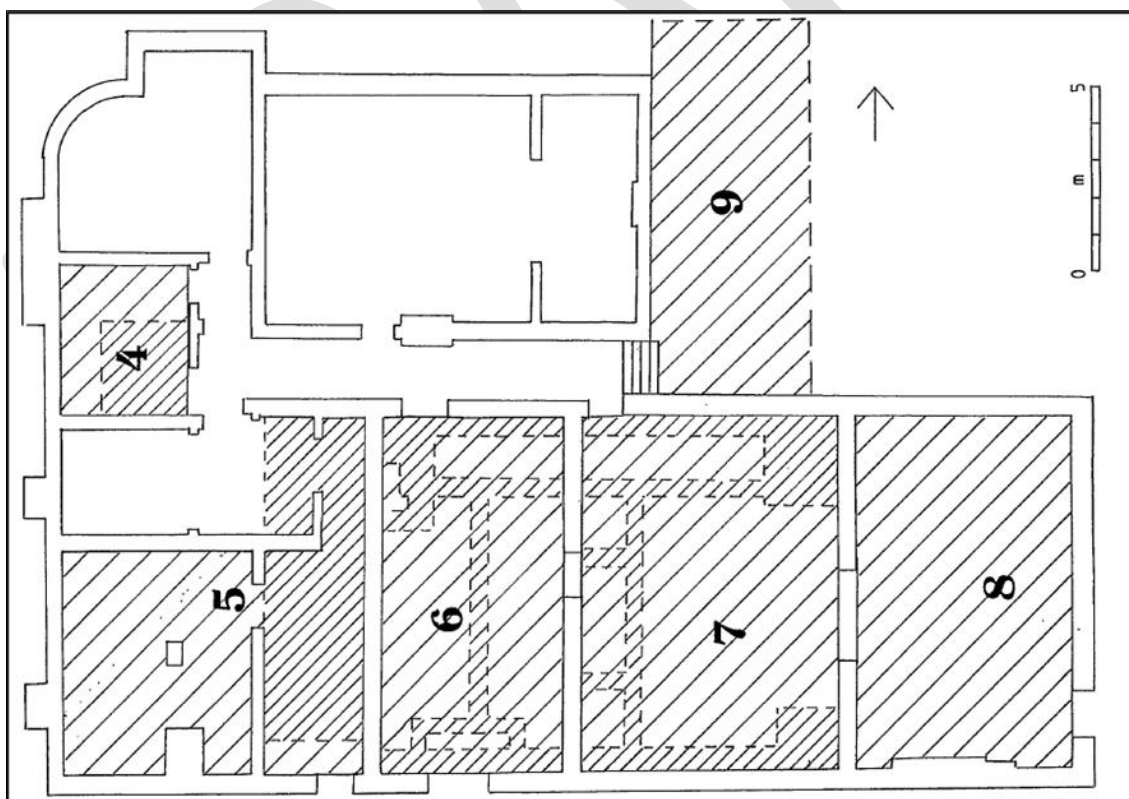


Figure 121: Monitored areas (Godden Mackay Pty Ltd, 1992, p. 34)

The long use of the study area since the early part of the 19th century suggests a moderate potential for subsurface archaeological remains to be present within the majority of the study area, moving to high where known structures were once present. Due to the study area originally being part of the rocky foreshore there subsequently being filled to its current level there are known fill layers present. These fill layers were recorded by Godden and Mackay during their 1980s excavation work (Godden Mackay Pty Ltd 1992, p.13) These may contain artefact scatter or other relics that were included in waste sediments, used as part of the reclamation process (CNC Project Management Pty Ltd 2008, p.348). Additionally, there is the potential for subsurface features and relics relating to the specific use and occupation of the site to still be present. This may include rubbish or refuse deposits, latrines, cesspits as means of getting rid of waste. Based on the use of part of the site as a garden during the 19th century, there is also potential for evidence this to be related, such as fence post cuts and gardening substrates that would be evidenced in the soil horizon.

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Figure 122: Extent of basement within the study area (Source: Austral Archaeology).

3.4.2 Summary of Archaeological Potential

Sailor's Home (former) (former) and its site are identified as an area of archaeological sensitivity. The s170 Heritage and Conservation Register listing for the Sailor's Home (former) (former) sets out recommendations for managing archaeological resources on site.

Due to the manipulation of the landscape, it is not known if subsurface deposits exist that relate to the pre-European Aboriginal occupation of the area, or subsurface deposits from the period before the construction of the property.

There is potential for the following archaeological evidence to be located on the site is summarised on the Archaeological Zoning Plan below:

- The majority of the site is considered to have at least moderate archaeological potential for deposits of State significance. The site should be subject to further testing and monitored by a qualified archaeologist who meets the Heritage NSW Excavation Director Requirements to disturb relics on an SHR listed site during any ground disturbance following the NSW Heritage Act 1977 archaeological provisions;
- There is a high potential for the remains of the retaining wall of the Water Police compound and the associated wharf to be located on the site.
- There is a high potential for evidence of either of the two 1920s ablutions block to be located on the site. There is moderate potential for deposits and other subsurface features to be located in the area surrounding the site.

- There is low archaeological potential for the area below the original wing of the Sailor's Home (former) due to the presence of basements and the disturbance that the construction of the building would have caused for the site.



Figure 123: Archaeological potential evident within the study area

3.5 Movable Heritage

There are no movable heritage items associated with the Sailor's Home.

4.0 Assessment of Cultural Significance

4.1 Assessment of Significance

4.1.1 Comparative Analysis

A comparative analysis of the Sailor's Home (former) demonstrates its architectural and historical context, such that its specific contribution, may be understood. The comparative examples below are not intended to constitute an exhaustive list, but rather have been selected in order to provide an overview of similar purpose-built Sailor's Home across Australia, as well as internationally.

The following examples provide a useful comparison in terms of their historical function, period and architectural style. The comparative analysis examples below are not intended to be an exhaustive list, but rather, have been selected in order to provide an overview of purpose built Homes for accommodating seamen. These examples have been chosen based on their purpose, and their ability to demonstrate the history of Sailor's Homes in Sydney as well as the Greater New South Wales Region. Additionally, other Australian and International examples of Sailor's Homes have been investigated, in order to provide an overview of shared characteristics between Sailor's Homes.

All the examples listed below are examples of purpose built Sailor's Homes. This investigation indicates that the subject site was the earliest building constructed in Sydney specifically for the purpose of accommodating seamen. It is one of two early "Homes" constructed in NSW – the other example, referred to as the Coutts Sailor's Home (former) (as discussed below), is located in Newcastle. Other examples, such as Adelaide and Melbourne have now been demolished. The Sydney Sailor's Home displays some characteristics shared with other Victorian era Sailor's Homes, such as building form and fenestration pattern. These details can be found on the Port Adelaide Home (now demolished) and interior of the London Sailor's Home but is the only one of its type in Sydney and in the NSW context.

For these reasons, it can be concluded that the Sydney Sailor's Home is a rare example as it is the only building of its type and style in NSW specifically built to accommodate transiting seamen of all nationalities which continued to function in this role for over 100 years.

The following text and images have been copied from the 2006 Conservation Management Plan prepared for the site, by Perumal Murphy Alessi Pty Ltd (formerly trading as Perumal Murphy Wu Pty Ltd) Heritage Consultants.

The ideal and design of the Sydney Sailor's Home (former) was based on an English model. The intent, and resulting building, was to provide low cost and clean accommodation for sailors. The Brunswick Maritime Establishment has been noted as being the model and prototype for the building, but the interior of the building may also be attributed to the London Sailor's Home (former) and Red Ensign Club in Wells Street, which was opened in 1835.

The interior of the London Sailor's Home (former) also comprises of gallery spaces about a central void. Each gallery containing a number of "berths."



Figure 124: Photograph of the original wing of the Sydney Sailor's Home (former) c. 1892. The original nature and form followed English models. (Source: SHFA CQ23)



Figure 125: The London Sailor's Home (former) in Wells Street opened in 1835 may have also been a model for the Sydney Sailor's Home. The building interior exhibits the same form with gabled roof and layout with galleries about a central void and a number "berths" or cabins on each floor. (Source: www.portcities.org.uk)

The most "similar" to the SSH in terms of form was the Home constructed in Port Adelaide. An image of the building dating c.1878, (figure below, assumed to have been taken on completion of the building) shows the building with its prominent gabled roof form. The overall style resembles Kemp's original scheme for the Sydney Home, although is a much smaller in scale. Constructed of stone the building was subsequently altered and possibly enlarged. A photograph taken in October 1932 (shown below), on the eve of its demolition, shows that a roof had been added to the second storey verandah.

The Melbourne Sailor's Home (former), Spencer Street, was a larger, Neo-Classical building. The three storey building features shallow pitched, hipped roof form over its symmetrical facades. An etching of the building dated 1868 shows two towers were proposed, however do not seem to be constructed. The facades featured a number of hooded and pedimented window openings which it is assumed served individual rooms or dormitories. The building was also apparently demolished in 1932.



Figure 126: The Prince Alfred Sailor's Home (former), c. 1878 with two gable end wings framing the central bay and storey verandah. (Source: Picture Australia: SLISA: Mortlock Pictorial Collection B 10737)



Figure 127: The Prince Alfred Sailor's Home (former), Port Adelaide, on the eve of its demolition in 1932. (Source: Picture Australia: SLISA: Mortlock Pictorial Collection B 8328)



Figure 128: The Melbourne Spencer Street Sailor's Home (former) (date of photo unknown). (Source: Picture Australia: Museum Victoria MM007574)

The Coutts Sailor's Home (former), Newcastle, was completed in 1883 and remains one of the largest examples of the Victorian Italianate style in east Newcastle. The building has undergone some alteration and additions including the construction of a front verandah, however much of

the internal layout remains. 106 The building has been listed on the Register of the National Estate and is also recognised by Newcastle City Council.



Figure 129: Coult's Sailor's Home (former) in Newcastle c. 1885 (Source: Picture Australia: Museum Victoria MM007574)

From the limited available information, it would appear that the Sydney Sailor's Home (former) was one of the earliest such institutions constructed. The later Homes constructed differed in style and scale.

Surviving Residential Sites and Buildings in The Rocks with Potential Archaeological Resources

The Sailor's Home (former) building and its site are identified in the Map of Archaeological Resources in The Rocks (in Appendix C of The Rocks Heritage Management Plan, 2010) as an area of archaeological sensitivity. This resource is of local significance due to the rarity of such sites on a state-wide basis.

The Rocks contains numerous sites which contain archaeological potential, as is evident in The Rocks Heritage Management Plan. As the headland of The Rocks formed a focal point for occupation for both the convict colony and subsequent town, many of the sites in the vicinity contain evidence of European occupation relating to the earliest years of the settlement. The study area was a little slower than the surrounding area to be utilised for any purpose as it originally was a rock foreshore and reclamation was necessary to make the site viable.

The earliest evidence of the site uses is known to consist of relatively ephemeral or shallow remains which are likely to have been substantially removed by the subsequent construction and excavation works across the study area. However, this later occupation is of significance in itself, as it will form part of the overall tapestry of occupation of the Rocks from the mid- to late 19th century through to the resumption works and ongoing gentrification of The Rocks during the mid-20th century.

4.1.2 Assessment of Significance

This assessment of heritage significance has been prepared using the current evaluation criteria established by the NSW Heritage Council

Historical Significance

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

The Historical Significance of the Sailor's Home (former) is demonstrated by:

- The *associations* of the place with a *significant historical phase*, that of the development of Circular Quay and to an extent The Rocks area. It is partly the product of extensive and successive land reclamation that has seen the western shoreline move eastward approximately 100 metres (although not all of the building is constructed on reclaimed land).
- The *associations* of the place with a *significant historical phase*, as a good and intact example of an institutional building type of the Victorian period. The Sailor's Home survives as evidence

of the first purpose built home for seamen in NSW and provides a record of the changing attitudes to social welfare in the 19th and 20th centuries

- The *maintaining of a continuing historical activity*, where the building significantly continued its original functions for over 100 years.
- The *evidence* in the place of a *significant human activity*, that of the original operation of the building and its simple, if minimal, land base for transiting sailors of all nationalities and subsequent phases of use.
- The *associations* of the place with a *significant historical phase*, as an example of a benevolent institution of the time, which was founded by public subscription and reflected a new interest in the working class.
- The *associations* of the place with a *significant historical phase*, that of an awareness of the growing importance of Sydney as a major port and city and emphasises the continuing link with the "mother country" by following a British model.
- The *associations* of the place and its location with a *significant historical phase*, that of the development of Cadman's Cottage, Water Police, the former Mariner's Church, Circular Quay and the general fabric and development of The Rocks area in general. With the former Mariner's Church, the building remains as a reminder of the thriving port activities in Sydney in the late 19th century. Together with buildings such as Campbell's Store and the ASN Building, the building is part of a significant group of buildings, located in this section of George Street and which played an important role in the early maritime role of west Circular Quay and reflects the evolution of maritime buildings in The Rocks area at the development of Cadman's Cottage.
- The *associations* of the place with a *significant historical phase*, with the physical fabric of the building retaining evidence of the meagre expectations of the working class through the 19th and 20th centuries, and records the changing social values of the 20th century with the construction and subsequent removal of racially segregated facilities and with the eventual lapse in the interest in the Home, following the reassessment of seaman's wages and work conditions of the 1970s.
- *Historical archaeological evidence* from the study area mainly relates to the use of the site for the Sailor's Home (former), although potential archaeological remains may be present relating to the Water Police compound. This reflects the importance of water and nautical enterprise to the port of Sydney from the earliest days of the Colony through to relatively modern times. Archaeological remains located on the site are known to be present through previous excavation of the area. Any future excavations in the area the archaeological record is expected to continue to demonstrate the use of the site for this purpose.

The item meets this criterion at **STATE** level.

Historical Association

Criterion (b) - An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

The associational significance of the Sailor's Home (former) is demonstrated by:

- *Showing evidence of a significant human occupation*, in this instance the building was constructed as a Sailor's Home (former), for a benevolent society that was formed by prominent businessmen and land owners.
- The *association* of the 1860s wing *with significant persons* including prominent architect William E Kemp, who worked in the Colonial Architect's office under Edmund Blacket, Alexander Dawson and William Weaver and after a time in private practice later became architect for the Department of Public Instruction. Although altered, the wing remains as an example of his early work undertaken whilst in private practice.
- The *association* of the 1920s wing with architectural firm Spain and Cosh, who were responsible for a number of prominent Sydney buildings which are representative of the evolution of

architecture in Sydney over a span of some sixty years. The association and use of prominent architects indicates the importance of the Sailor's Home (former) and recognition of its role in Sydney.

This item meets this criterion at **STATE** level.

Aesthetic Values

Criterion (c) - An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area) or the local natural history (or the cultural or natural history of the local area).

The aesthetic significance of the Sailor's Home (former) is demonstrated by:

- The building significantly retains fabric from its initial construction, major additions in the 1920s and development stages since. The building retains a sense of its original configuration which *exemplifies a particular style*, that of the Victorian Romanesque Revival features of the original wing of the building and the Inter-war Colonial Revival style of the 1920s addition.
- The original wing of the building *exemplifies a particular taste, style or technology* and is significant as it retains a sense of its original form and style which followed a British model, and illustrates an early dependence on British architectural trends. The interior of the original wing in particular features galleries about a central void and upper storey interprets the original "berths" or cabins which appear to have been modelled on the London Sailor's Home (former) and Red Ensign Club.
- The place *exemplifies a particular style*, as one of the earliest Sydney examples of the Romanesque Revival style, which was to gain popularity in Sydney in the 1880s and continue into the 1900s as the prevalent warehouse style.
- The 1920s addition *exemplifies a particular style*, as a good example of an Inter-war Colonial Revival style building.
- The Sailor's Home (former) *has landmark qualities*, as the building occupies a prominent position on George Street North, highlighted by the open character of the Cadman's Cottage site and low nature of the Cottage, and the face brick façade of the adjacent former Coroner's Court building. The scale, form, materials and detailing make a positive contribution to the area and is in contrast to the contemporary commercial development located in the western side of George Street. The building forms part of an eclectic and rich grouping located in this section of the eastern side of George Street.
- The building *exemplifies a particular taste and style*, as the ship's wheel on the parapet is a good example of a function related to decorative motifs added to buildings in the early decades of the 20th century.
- The site and building provide accessible interpretation opportunities for the general public and tourists in the heart of The Rocks. Its four storey façade as presents to the western shore of the Quay proudly bears "Sailor's Home (former)", and due to its strong form and height *has landmark qualities* from the Quay. The interior of the building retains the original spaces and the galleries in the original wing. An original sailors' cubicle has also been interpreted in the interior of the building.
- Any archaeological fabric that may be found is likely to consist of structural material such as footings or individual artefacts. Both types of features have their own aesthetic value and may be aesthetically pleasing.

This item meets the criterion at **STATE** level.

Social Values

Criterion (d) - An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.

The social significance of the Sailor's Home (former) is demonstrated by:

- *Its associations with an identifiable group*, that of the former Sydney Sailor's Home (former), now the Australian Mariners' Welfare Society, being their base from the 1860s to the 1970s. During this period the building was occupied by a number of individuals and longer term residents.
- *Its importance to a community's sense of place*, as the building continued to accommodate sailors for over 100 years and is associated with the naval community and world wide network of Sailor's Home (former)s and seamen's missions which were established to provide clean and comfortable accommodation for seamen of all nationalities.
- *Its associations with an identifiable group*, as the building is associated with the Marionette Theatre who occupied the building during the 1980s and has been the focus for cultural tourism and tourist groups associated with The Rocks Heritage Information Centre and Sydney Visitors Centre who occupied the building from the mid 1990s to December 2005.
- *Its associations with an identifiable group*, as the building continues to be recognised for its associations with the well-known Billich Art Gallery, since 2006.

This item meets this criterion at a **STATE** level.

Research Values

Criterion (e) - An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

The research significance of the Sailor's Home (former) is demonstrated by:

- The area between Cadman's Cottage and the building is of high archaeological significance as it retains evidence of the original shoreline and wharf that dates back to the use of the place by the Government Coxswain, Water Police and other structures predating 1840.
- The north western section of the building is constructed over a sandstone ledge that indicates the location of the original waterline of the western side of Sydney Cove. Some evidence of former structures remains, however, construction of the two wings of the building would have disturbed most surface deposits relating to the former uses of the site (Godden Mackay 1991 & 1992).
- The building retains evidence of its various phases of construction and development which provide information relating to both the welfare and living standards of the late Victorian and subsequent periods and construction techniques and materials. The buildings demonstrate changes in technology, materials and construction techniques spanning from the 1860s, with building elements remaining from the two distinct construction periods (1860s and 1920s) and refurbishment and conservation works since (1980s and 1990s, and more recent minor works).
- Archaeological evidence relating to the occupation of the site from the 1840s. This evidence is in the form of known archaeological material associated with the form of the toilet blocks, retaining walls, steps, and various areas of archaeological potential located throughout the study area. While much of the information relating to the site can be derived from other sources, both historical and research-based, the archaeological evidence is able to provide information relating to means of construction of the building, alterations to the structure over time, and is potentially a means to further examine the lives of those who lived at the site both short term as sailors passing through and long term as those running the home.

This item meets this criterion at a **STATE** level.

Rarity

Criterion (f) - An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).

The rarity of the Sailor's Home (former) is demonstrated by:

- The building is a rare example of a building specifically built to accommodate visiting seamen. It was the earliest building built in Sydney specifically for this purpose and one of two early "Homes" constructed in NSW – the other example is located in Newcastle. Other examples, such as Adelaide and Melbourne have now been demolished.

The item meets this criterion at the **STATE** level.

Representativeness

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places; or cultural or natural environments; or a class of the local area's cultural or natural places; or cultural or natural environments).

The representativeness of the Sailor's Home (former) is demonstrated by:

- The first, purpose built Home for the accommodation of seamen of all nationalities in Sydney. It is representative of an institutional building type and displays some characteristics shared with other Victorian era Sailor's Homes, such as the building form and fenestration pattern. These details can be found on the Port Adelaide Home (now demolished) and interior of the London Sailor's Home, but is the only one of its type in Sydney and in the NSW context.

The item meets this criterion at a **STATE** Level.

4.2 Statement of Significance

Note: the following Statement of Significance is an updated Statement of the gazette statement.

The Sydney Sailor's Home (former) and site are of State heritage significance for their historic, social and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks Conservation Area which is of State Heritage significance in its own right.

The building is of State significance as a rare example of a building specifically built to accommodate transiting seaman of all nationalities which continued to function in this role for over 100 years. The former Sailor's Home (former) is significant as it provides a record of changing attitudes to social welfare in the 19th and 20th centuries. The building fabric significantly retains evidence of its early use and configuration, demonstrating simple accommodation layout which reflect the meagre expectations of the working class, during the 19th century and acceptance of these standards well into the 20th century.

The fabric and history of the Sailor's Home (former) further demonstrates changing social values of the 20th century, with the construction and subsequent removal of segregated facilities and with the eventual lapse of interest in the home in the 1970s.

The history and significance of the building is intrinsically linked with its location. The changes to the site and the building also reflect growth and development of the Quay, and its shift from the focus of port activities.

The building has a long association with Cadman's Cottage and the former Mariners' Church, and along with other buildings in this section of George Street remains as a reminder of the workings of the Quay as a port. The original 1860s wing of the building significantly retains a visual relationship with the waterfront and due to its four storey facade and high parapet, has landmark qualities from this aspect.

The building is associated with prominent architects William E Kemp (1860s wing) and Spain and Cosh (1920s wing) and with organisations such as the Marionette Theatre of Australia and has played an important role in the interpretation and cultural tourism of Sydney and The Rocks as the base for the Sydney Visitors Centre until 2005, and since then as the location of the well-known Billich Art Gallery.

4.3 Curtilage

4.3.1 Heritage Curtilage

The heritage curtilage which applies to the Sailor's Home (former) is its lot boundary curtilage, noting that this is the gazette curtilage and has not been changed as part of the 2021 CMP update.



Figure 130: The State Heritage Register listing boundary plan. (Source: Heritage Council of NSW, SHR Plan Number 2904)

4.3.2 Visual Curtilage

- The Sailor's Home continues to play an important role as part of the historic George Street streetscape, and more broadly, The Rocks Conservation Area.
- The site retains a visual relationship to and from other buildings within The Rocks Heritage Conservation Area, particularly those facing onto George Street.
- The site retains historic views to and from Circular Quay and continues to make a positive contribution to the visual edge of the Quay. In particular, the original 1860s wing of the building retains a visual relationship with the waterfront, due to its four storey facade and high parapet. It has landmark qualities from this aspect.

5.0 Grading of Significance

5.1 Basis of Assessment

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. Sailor's Home (former) has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness and general condition
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been modified to assess individual elements of the Sailor's Home. This is a valuable planning tool and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of spaces and elements as set out here.

Exceptional Significance

This includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved in situ. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by The Burra Charter.

High Significance

This includes elements and features that make an important contribution to the recognition of the item's significance, albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction, and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved in situ subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by The Burra Charter is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

Moderate Significance

This includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

Little Significance

This includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

Intrusive

This includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of the Sailor's Home (former) and its elements. Good conservation practice encourages the focusing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

Fabric Condition Assessments

This CMP uses the following condition ratings:

Condition	Description
Excellent	Building or fabric element has no defects. Condition and appearance are as new.
Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, and a significant number of major defects exist.
Very poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

5.2 Grading of Significant Elements

This section should be read in conjunction with Section 5.1 – Basis for Assessment. The coloured diagrams in Section 5.2 should be read in conjunction with the tables of significant elements in Section 5.3, as the tables provide greater detail. Should there be any question as to the significance of an element, Section 5.3 should be consulted.



Figure 131: West (front) Elevation.



Figure 132: South Elevation.

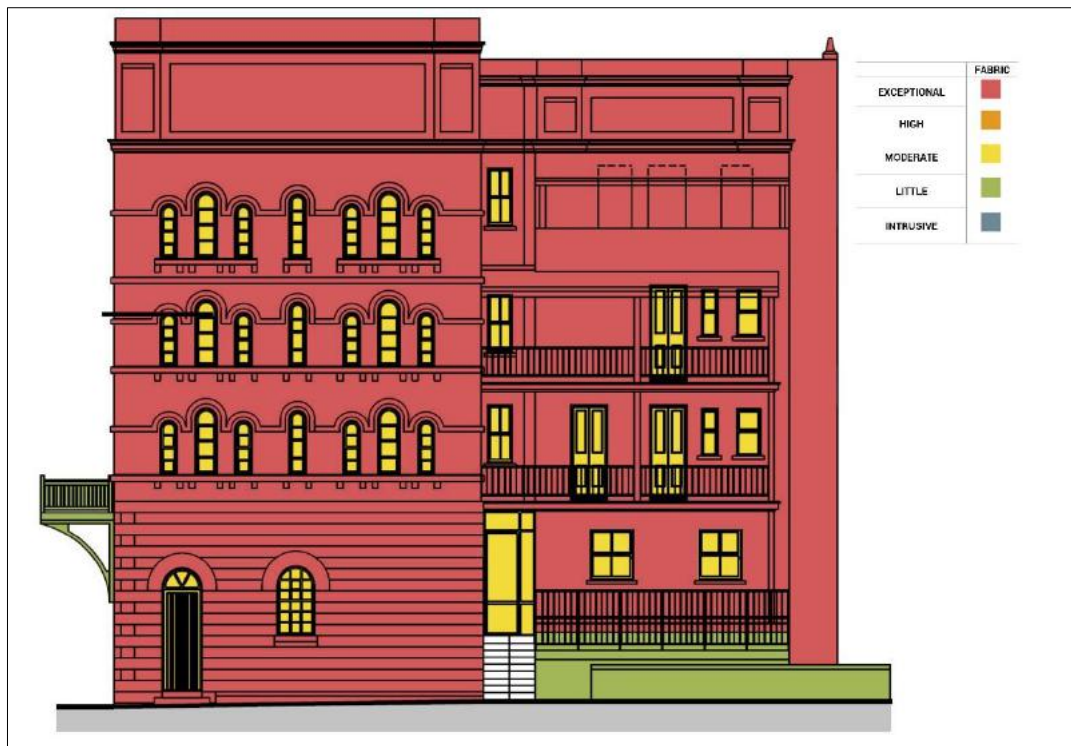


Figure 133: East Elevation.



Figure 134: North Elevation.



Figure 135: Basement Floor Plan.

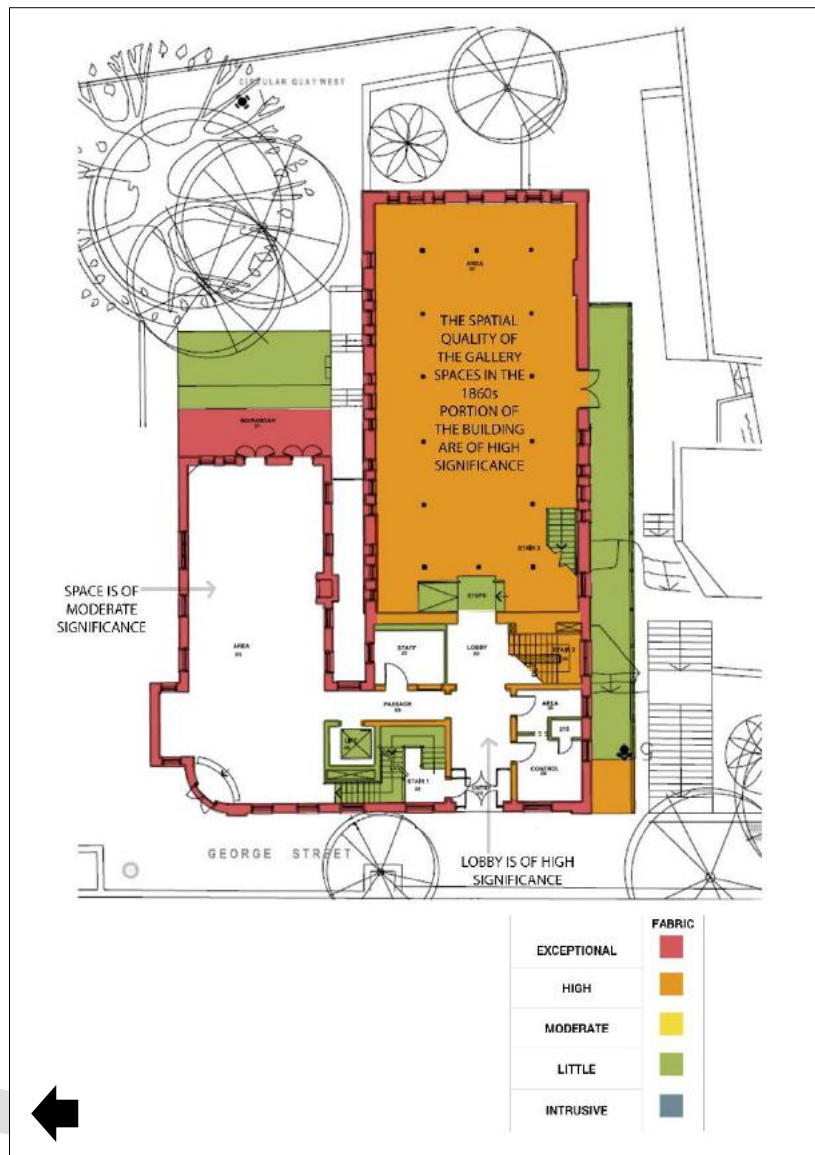


Figure 136: Ground Floor Plan.

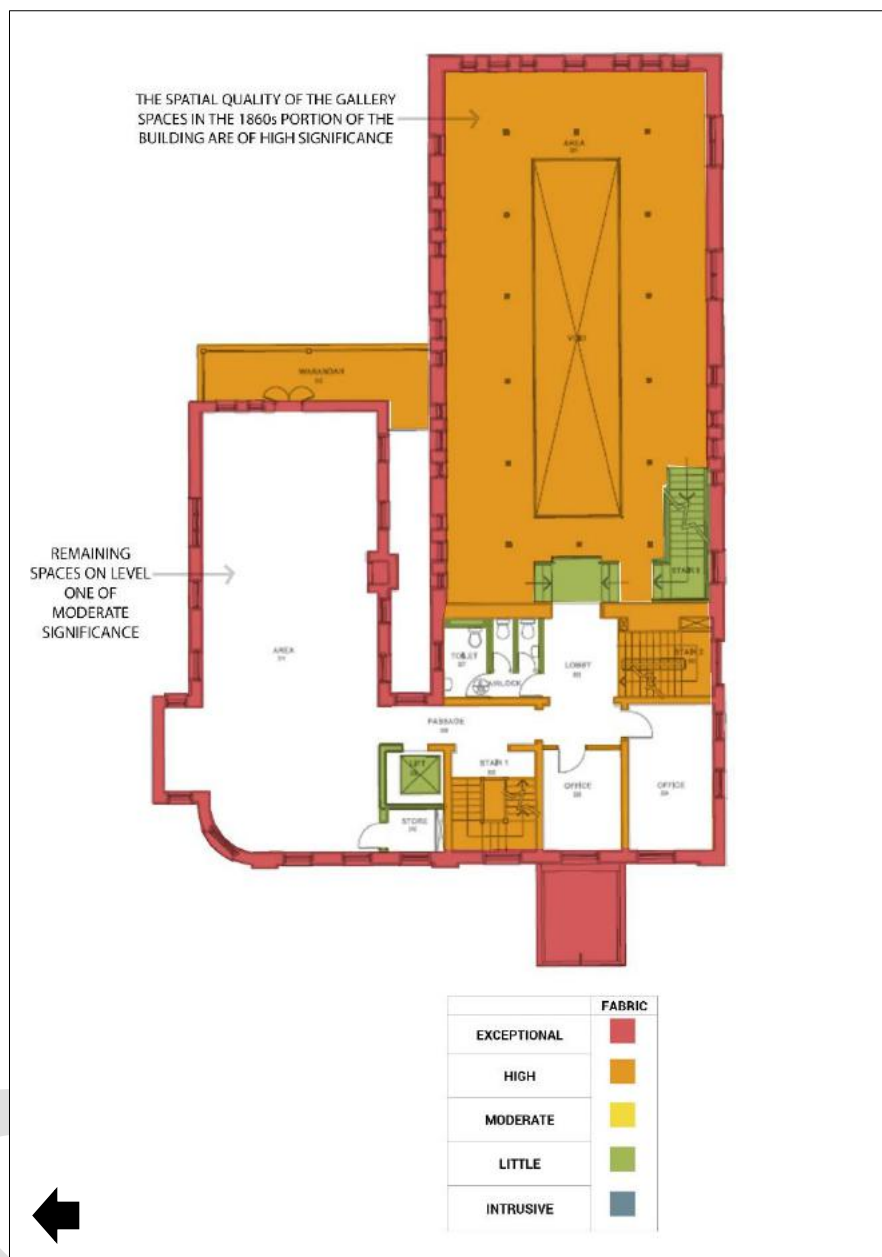


Figure 137: First Floor Plan.

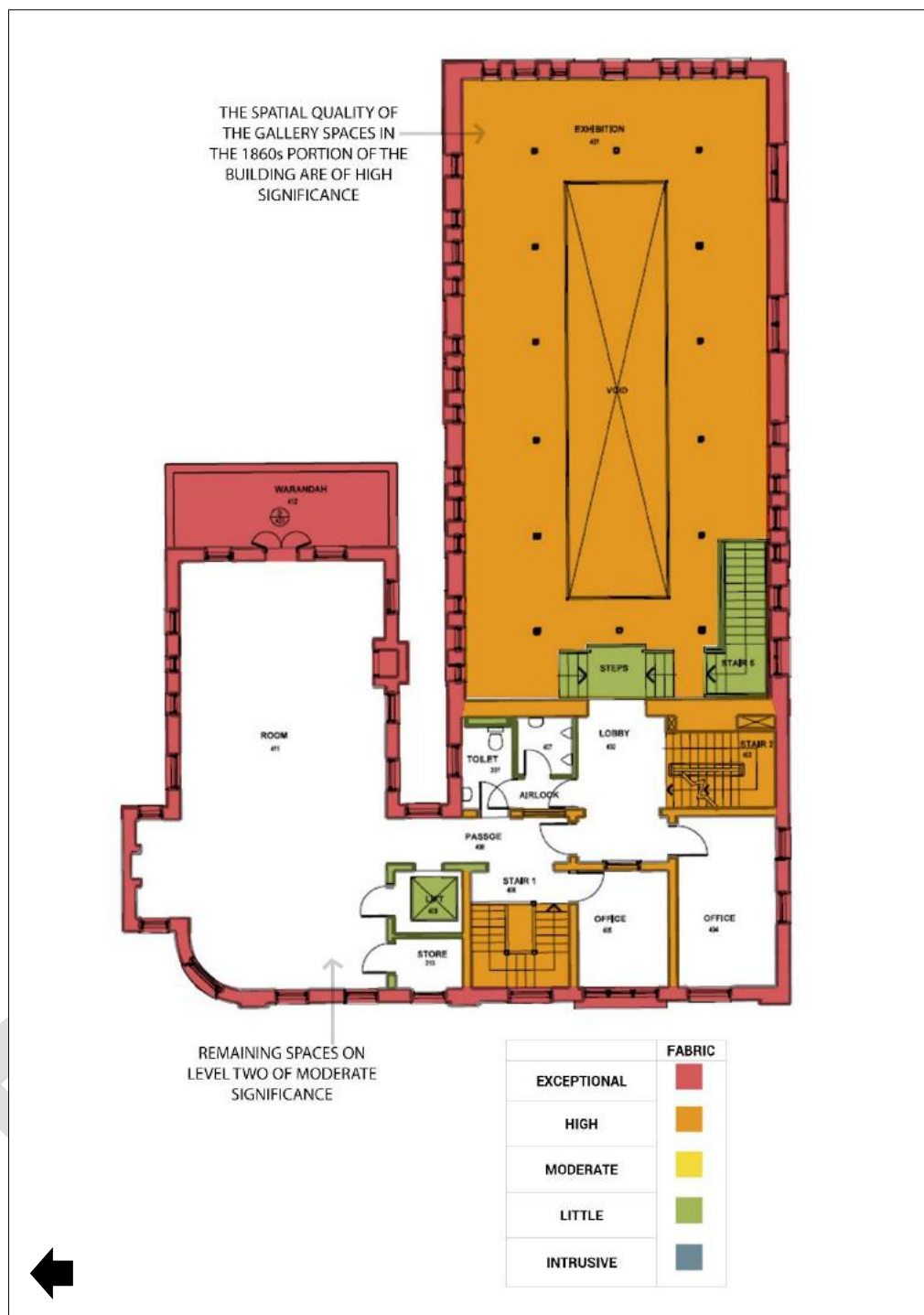


Figure 138: Second Floor Plan.

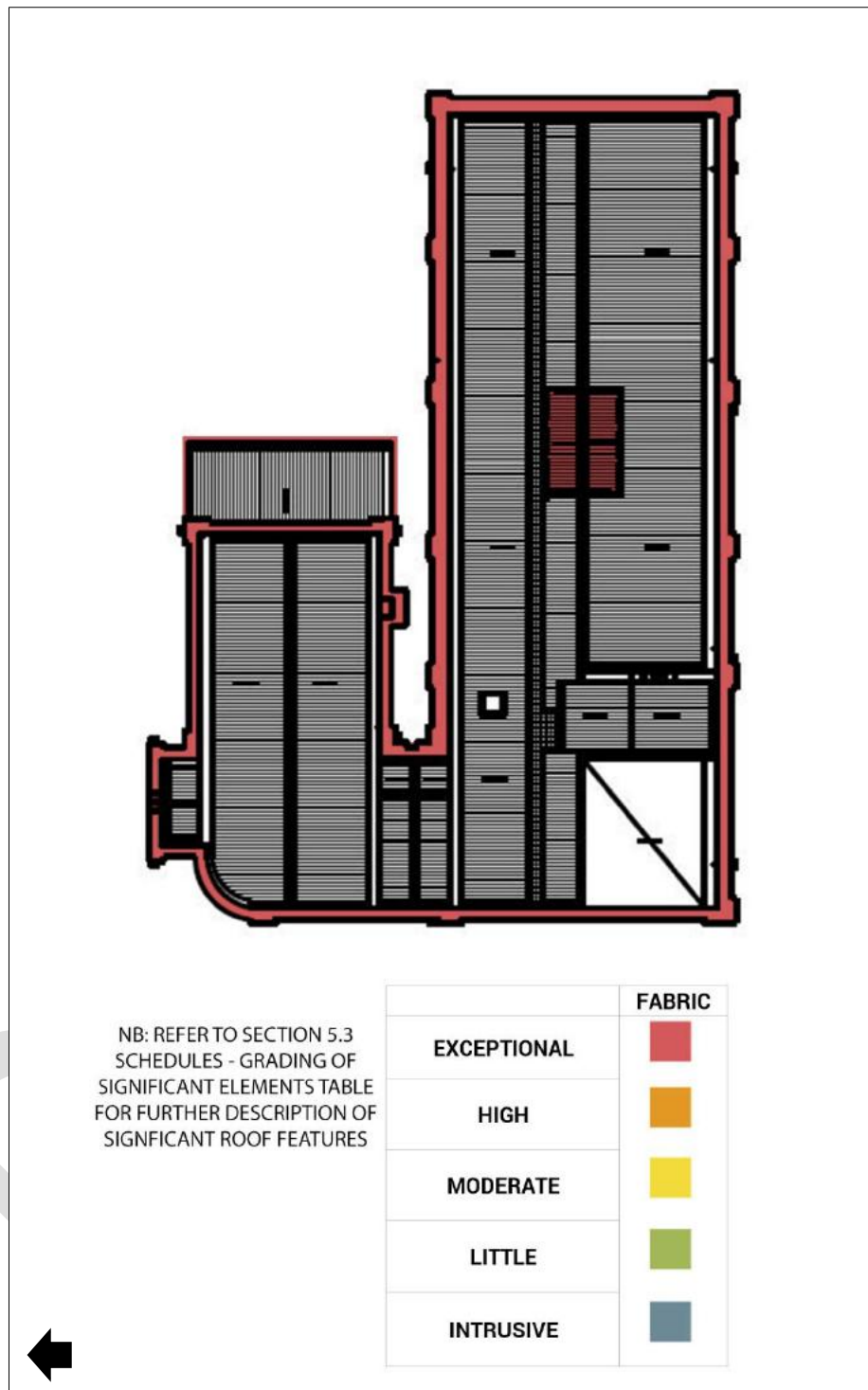


Figure 139: Roof Plan.

5.3 Schedules – Grading of Significant Elements

Grading of Significant Elements Sailor's Home (former)		
Element	Significance	Comments
EXTERIOR		
ATTRIBUTES & ARCHITECTURAL STYLE		
The overall form and scale of the 1860s wing which represents the growth and development of the Home and area in general.	Exceptional	The overall form and scale of the place, particularly how the 1860s wing and 1920s wing are read as a whole, provides evidence of its former use as a Sailor's Home, which is of particular historic value and makes the greatest direct contribution to the place's significance. Remains intact.
The overall form and scale of the L shaped 1920s wing which represents the growth and development of the Home and area in general.	Exceptional	
SITE		
The remains of the former wharf and archaeological resources located <i>below</i> the sandstone ledge and flagging adjacent to the south eastern corner of the building, but not the sandstone ledge or paving.	Exceptional	As defined and classified by the previous, 2006 Conservation Management Plan.
The natural stone landing and steps to the south of the building and associated stone wall that continues south across the Cadman's Cottage complex.	Exceptional	
The natural stone "footing" visible below the north western corner of the building.	Exceptional	
The dressed stone stair located adjacent to and skirting the south western section of the building.	High	
The stone piers and wrought iron palisade handrail to the sandstone stair adjacent to the south western section of the building.	High	
The sandstone flagging adjacent to the southern façade of the original wing of the building.	Little	
The brick paving, planter boxes and associated planting, including high palm tree (assume c.1980s), located at the eastern part of the site and bounding the eastern facades of the building.	Little	
The checkerplate platform and associated pipe handrail located on the natural stone landing at the southern basement entry to the former Sailors Thai Restaurant.	Little	

Exterior of the 1860s wing		
The sandstone basement and external wall to parapet height including the arched headed openings and associated stone arches and moldings.	Exceptional	Original features which remain intact.
The render finish to the upper façade and parapet including the "SAILORS HOME" relief on the eastern parapet.	Exceptional	Makes an important contribution to the recognition of the item's significance, and former use as a Sailor's Home.
The rectangular shaped window openings to the southern façade.	Exceptional	Original and intact.
The roof skylight.	Exceptional	Original feature which contributes to the spatial qualities of the internal spaces.
The flat roof form.	Moderate	Supportive of the overall significance of the place, but cladding has been replaced and refurbished
The timber window and door frames and sashes which have been successively repaired, refurbished and replaced.	Moderate	Window size, proportions and materiality are in keeping with the size and proportions of the original design of the windows, but the fabric is not original, having been repaired, refurbished and replaced in recent times.
The roof framing to the flat roof form and roof framing and cladding to the roof skylight.	Little	Not original fabric, and of neutral impact on the place's significance.
The roof framing and cladding which has been successively repaired, altered and replaced.	Little	
The skylight finishes and cladding which has been successively altered and refurbished.	Little	
The steel frame and timber deck spanning across the southern façade at ground level, and associated signs and fixtures.	Little	
The later box gutters and downpipes.	Little	
Exterior of the 1920s wing		
The render finish and details to the facades and parapet including the ship's wheel motif on the western parapet, ground floor details and overall mouldings and banded piers.	Exceptional	Makes an important contribution to the architectural character of the building, and as such, to the item's significance as a Sailor's Home (former).
The curved wall at the north western corner of the building and asymmetrical, bayed articulation of the façade.	Exceptional	Original fabric which remains intact.
The pattern of openings and fenestration details.	Exceptional	

The roof access structure and chimney which remains from the original construction but was refurbished as part of the 1920s addition.	Exceptional	
The suspended awning over the entry of the building, but not the cladding which has been refurbished.	Exceptional	
The reconstructed balconies and verandah at the eastern end of the northern wing.	Exceptional	Although reconstructed features, they provide evidence of the original design intent of the place, which make an important contribution to the significance of the item.
The small store attached to the south western corner of the building and located below the southern balcony.	High	Original fabric which remains intact.
The four wrought iron pavement lights and surrounding trachyte trim at the base of the George Street façade	High	
The terrazzo floor finish at the entry porch.	High	
The flat roof form.	Moderate	Part of the early design of the place, but has been refurbished over time.
The timber window and door frames and sashes which have been repaired and refurbished as required.	Moderate	Window size, proportions and materiality are in keeping with the size and proportions of the original design of the place, but many of the windows and doors are not original, having been repaired, refurbished and replaced in recent times.
The trellis door that encloses the entry porch.	Moderate	In keeping with the original design intent of the place, but not original fabric.
The timber and glass entry doors and sidelites.	Moderate	
The roof framing.	Moderate	Has been modified, refurbished and replaced over time.
The vertical marble cladding to the entry opening reveal to the entry porch.	Little	Not original fabric.
The roof cladding.	Little	Has been replaced and refurbished.
The roof cladding which has been replaced.	Little	Has been replaced and refurbished.
The box gutters and downpipes	Little	Have been progressively replaced, refurbished and repaired.
The two levelled terrace at the basement level and eastern end of the northern wing, including the masonry base, concrete slab and timber deck, timber steps and wrought iron handrails.	Little	Later fabric which does not contribute to an understanding of the significance of the place.
The ducting located in the north western recess between the building and former Coroner's Court building.	Little	

The flagpole fixed to the internal face of the western parapet.	Little	
The air conditioning platforms and equipment located on the roof.	Little	
Information signs fixed to the ground floor façade.	Little	
Interior of the 1860s wing		
The sandstone cross walls in the basement and three major basement spaces.	High	Original and intact fabric.
The stone hearths and chimney breasts located on the south eastern and western wall.	High	
The spatial quality of the ground floor and gallery spaces with central void lit by the central skylight.	High	Makes an important contribution to the significance place.
The arched window openings.	High	Original features of the place.
The second floor gallery level, including remnant floor cladding showing the earlier cubicle layout.	High	Original and intact, making an important contribution to an understanding of the significance of the place.
The internal unrendered finish of the main external walls.	High	Original and intact features.
The timber joinery and framing of the second floor gallery including cross timber balustrade	High	Original and intact features.
The form and special quality of the first floor gallery level space.	High	Although the fabric of the first floor gallery is not original, its form and detailing is original to the overall design of the place. It makes an important contribution to the spatial quality of the internal space, and makes an important contribution to an understanding of the significance of the item.
The pressed metal finish to the ceilings and soffits.	Moderate	Have been replaced/modified.
Remnant ceramic tiling to the wall in the south western wall of the basement.	Moderate	Fabric which was original of higher significance, but has been compromised by later, less significant modifications or elements that cannot be reconstructed in a technologically feasible manner.

Timber and concrete floor and finishes in the basement which have successively been altered and repaired.	Moderate	Have been altered and repaired.
Window sashes and door leaves which have successively been repaired and replaced.	Moderate	Window size, proportions and materiality are in keeping with the size and proportions of the original design of the place, but the fabric is not original, having been repaired, refurbished and replaced in recent times.
Existing timber screens and cabinets and interpretive cubicle at the eastern end of the second floor gallery.	Little	Later additions.
Additional steel framed and glass balustrade to second floor gallery.	Little	
Lightweight screens and partitions and fixtures associated with later fitouts.	Little	
Existing floor and finishes to the ground and first floor gallery levels.	Little	
The door opening at ground level on the southern wall, accessing the external, southern balcony.	Little	
The steel, timber and glass stair located in the south western corner connecting the three levels of the main space.	Little	
The steel and timber landings and wheelchair lifts located on the west wall at first and second floor gallery level.	Little	
The steel and glass balustrades supplementing the first and second floor gallery balustrades.	Little	
The timber and glass service counters, shop fittings and fixtures including freestanding wall displays and cabinets.	Little	
The various light fixtures and fittings including reproduction fittings and lamps and more contemporary fixtures.	Little	
The flagpole fixed to the internal face of the eastern parapet.	Little	
The timber service walkway on the roof.	Little	
Interior of the 1920s wing		
The ceramic wall tiling to the porch and ground floor vestibule.	High	Original and intact.

The separate entry, including terrazzo floor finish and timber joinery and finishes of the ground floor of the former Superintendent's entry and associated timber stair, landings and stairwell up to the second floor.	High	
The concrete stair, landings and associated iron pipe railing located in the south eastern corner of the wing extending from the ground floor to the roof.	High	
The former chimney on the western wall of the original wing converted to duct and cupboards on the concrete stair landings.	High	
The pressed metal ceiling finishes.	High	
The timber framing located on the ground, first and second floor hallway wall associated with former "shoot" and "lift".	High	
The dumb waiter shaft and evidence of former openings on the southern wall of the eastern arm of the wing.	High	
The basement pavement lights and associated spaces.	High	
The general internal configuration.	Moderate	Although the general internal configuration of the internal spaces is supportive of the overall significance of the place, it does not make a key or important contribution to understanding the significance of the place, nor the original use of the place. The current layout of the space contains a number of later partitions and fitouts which are evidence of phases of later development since the original use of the place as a Sailor's Home.
The concrete floor slabs.	Moderate	Supportive of the overall significance of the place.
The timber joinery including skirting boards, picture rails, windows frames and sashes and window architraves.	Moderate	Supportive of the overall significance of the place. Some later features, as well as some original features which have been modified, repaired or replaced over time.

The internal timber panelled doors to the first and second floors and the reconstructed French doors to the eastern verandah spaces.	Moderate	Features which are in keeping with the original design intent of the place and/or reconstructed features.
The fireplace in the northern north western alcove of the second floor.	Moderate	It's overall form and size is original, but it has been heavily modified, with features missing or in need of repair.
The ceramic wall and floor tiling, stainless steel fixtures and fitting and equipment in the basement kitchen.	Little	Later features which do not contribute to an understanding of the place, or its overall significance.
The associated exhausts and ducting (extending up the north western recess).	Little	
The vinyl floor and carpet finishes throughout the wing.	Little	
The battened wall finish in the main, northern room on the second floor.	Little	
The later lift	Little	
Later internal fitouts, particularly within the ground floor level	Little	
The timber stair that wraps around the lift and provides access to the basement amenities.	Little	
Lightweight screens and partitions fixed to the basement walls facing the light well.	Little	
The steel and glass roof over the passage between the wings of the building.	Little	
Ceramic tile finishes, fixtures and finishes in the basement WCs and toilets on the first and second floor.	Little	
Ceramic tile floor finish to the various basement stores and office spaces.	Little	
Checkerplate floor finish in the basement passages.	Little	

6.0 Constraints and Opportunities

This section outlines various major issues involved in the preparation of the conservation guidelines for the site. It takes into consideration matters arising from the statement of significance, procedural constraints imposed by cultural conservation methodology such as that of the Australia ICOMOS Burra Charter. It identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from the Statement of Significance

The Sailor's Home (former) is of State heritage significance for their historic, social and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks Conservation Area which is of State Heritage significance in its own right.

The Statement of Significance for the place should inform the preparation of any proposal for changes to the site, such that decisions regarding the nature and extent of change should ensure that the established significance is maintained. Schemes for the development of the site should respond to aspects of the cultural significance of the site, identified in the Statement of Significance.

Decisions about works to the place, or more extensive adaptation works, must take into account the impact on the significance of the place, both as a whole and on individual components. New works to the place should not diminish any aspect of its cultural significance. The approach and recommendations set out in the Conservation Policies section of this document should be used as a guide for future work.

In particular, the original building fabric significantly retains evidence of its early use and configuration, and as a rare example of a building specifically built to accommodate transiting seamen, which continued to function in this role for over 100 years.

As such, any future uses that may be considered for the building must ensure that fabric and interior spaces of exceptional and high significance which provide evidence of the building's early use and configuration, are protected, retained and conserved. This means that any use which requires a high level of intervention to upgrade services or provide access are unlikely to be suitable. The current use of the building for a commercial and retail use, specifically food and beverage facilities, is successful in ensuring the significant fabric and spaces of the building are retained. These uses should continue as part of the ongoing management of the site to ensure there is the least amount of impact as possible on significant fabric and spaces.

The 1860s wing of the building retains a significant visual relationship with the waterfront, this aspect of the site and its setting should be retained and protected. This significance is supported by views of the four-storey façade and parapet from afar, this aspect of these landmark qualities should be protected and not be allowed to be obscured or built out. As such, works to the site and its setting must ensure that views of the original portions of the building from across the Quay are retained.

6.2 Issues Arising from Physical Condition of the Place

The condition and integrity of the place gives rise to a number of issues for the conservation of the place's significance. In particular, the building is generally in good condition, however, there a number of elements showing signs of deterioration from age and weather. Specifically, damp rising through the walls should be addressed by PMNSW. Damaged elements should be repaired and / or replaced in accordance with the Conservation Policies in this document.

6.3 Place Making NSW

The Rocks area is currently managed by Place Making NSW (PMNSW).

http://www.austlii.edu.au/au/legis/nsw/consol_act/shfaa1998411/

As a State Government Agency, PMNSW to maintain a register of heritage assets under Section 170 of the NSW Heritage Act 1977. The places subject of this report are included on this list. PMNSW is required to review and update the [s170 register](#) (available online).

The principal functions of PMNSW, as stated in its Act, are to:

- to protect and enhance the natural and cultural heritage of the foreshore area;
- to promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- to promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (updated in April 2010) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks

6.3.1 Place Making NSW's Requirements

PMNSW has continued to manage the Sailor's Home as a tenanted property. It envisaged that the ongoing use of the place and its facilities for retail and commercial purposes will continue, which is highly compatible with PMNSW's requirements and objectives for retaining significance, minimal intervention and visitation and interpretation of the place.

"Loose fit"

Continued use as a gallery space or retail/commercial use will have the least impact on the Sailor's Home (former).

Any changes to the Sailor's Home (former), however, should adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration, rather than making wholesale changes. All new work is to be designed to be reversible (that is, it can be removed, and the original features reinstated) and is subject to approval.

6.3.2 Place Making NSW Strategies and Policies for The Rocks

PMNSW has developed strategies and policies to guide the management of places in The Rocks precinct. These strategies need to be considered in developing conservation policies, managing risks and managing the place.

The strategies and policies include:

- The Rocks Place Experience Framework 2020;
- The Rocks Retail Leasing Strategy 2018;
- The Rocks Heritage Management Plan 2010;
- The Rocks Place Manual 2020.

The Rocks Place Experience Framework 2020 (not adopted)

Although not adopted as a management document, the Rocks Place Experience Framework 2020 provides a framework for managing the visitor experience and unique character of The Rocks and aims to provide a bespoke experience for visitors. It identifies zones and takes a human-centric approach with guiding principles and key ingredients to inform future decision making for each identified zone. This strategy identifies that the Sailor's Home (former) (former) is located in the Iconic Waterfront Zone.

Principles for the Iconic Waterfront Zone are:

- Inviting and beautiful front door to the precinct and contributes to making George Street a world class high street
- Iconic mixed use or flagship concepts that become Sydney's must sees and put Sydney on the map
- Strong connection to the passenger terminal and Circular Quay
- Optimise unique nature of multi-storey buildings and capitalize on location and harbour views

- Celebrate the unique beauty and charm of individual buildings and jaw dropping fitouts befitting iconic location
- Highly activated and visually appealing frontages that address both George Street and harbour

Key Ingredients for Iconic Waterfront are:

- International flagship by global operators
- Declinational waterfront dining
- Beautiful design to complement heritage buildings and celebrate location
- Activation to all frontages and maximise link to outdoors
- Food, theatre and dining areas that spill into the street

The Rocks Retail Leasing Strategy 2018

The Rocks Retail Leasing Strategy 2018 has the core objective of attracting more customers with an unique and ever-changing retail offering in the precinct that will be carefully curated to become a leader in the retail experience internationally.

The strategy outlines the overall precinct approach, customer choices, preferred retail categories and identifies five distinct retail zones and approaches, with individual topography, buildings, natural travel pathways and public spaces. The strategy will guide leasing decisions to fit within one or multiple zones and to complement adjacent with existing retail and hospitality offers. The Sailor's Home (former) is located in the Heart of The Rocks Zone and The Waterfront.

Strategic choices for The Heart of The Rocks Zone and The Waterfront are:

- Appealing to main customer groups – Sydneysiders, CBD Workers, Domestic Tourists and International Tourists
- Food and Beverage is the priority category
- Zones focus visitors travel paths and encourage a sense of 'wander' through the precinct

Zoning definition – The Heart of The Rocks are:

- Where visitors can enjoy the full Rocks retail experience
- Arts and Creativity
- Homewares and Gifts
- Fashion, Jewellery and Accessories
- Tourist Focused Retail
- Complemented by Public Domain Initiatives – Laneways and Courtyard project, tree lighting project

Zoning definition – The Waterfront are:

- World class – skirts the stunning foreshore of Sydney Harbour
- A place for visitors to soak up the relaxed atmosphere of The Rocks and enjoy world-class views from a selection of luxury hotels and premium restaurants
- Anchored in Food and Beverage

The Rocks Heritage Management Plan 2010

The Rocks Heritage Management sets out the overall management direction and expectations for The Rocks precinct. PMNSW seeks to retain the “authenticity” of the largely intact building fabric of the buildings, both internally and externally as well as the underground archaeological resources that makes this property special. PMNSW also oversees the preparation of a conservation management plan (CMP) for each property which sets out the specific principles and policies to guide and inform potential lessees of the building's ongoing care and maintenance.

The potential for site and building development is limited, however, any works to the buildings will require the adherence to the above-mentioned documents and the PMNSW's, as landowner, consent on all development applications. As part of this process some consultation with PMNSW and external advice is expected and recommended.

The Rocks Place Manual 2020

PMNSW also has a range of landowner management policies that are updated from time to time and can be accessed its website:

http://www.shfa.nsw.gov.au/sydney-Resource_centre-Policies_manuals_and_guides.htm

6.1.1 PMNSW Stakeholder Engagement for CMP update

As part of the 2020 CMP update the PMNSW Strategic Planning and Heritage team conducted internal and external stakeholder engagement to identify and consider the constraints and opportunities to inform the CMP policy development for the Sailor's Home (former). Heritage maintenance requirements were also reviewed and discussed as part of this stakeholder engagement.

Identified opportunities for the Sailor's Home (former):

- Currently operates successfully as a gallery space, contributes to art and creativity offer in The Rocks.
- Rare and unusual, large light filled 3 storey space with a central void suitable for a gallery or open plan single retail /commercial use.
- Iconic mixed use or flagship concepts that become Sydney's must see and put Sydney on the map
- Strong presence in the George Street streetscape and onto Circular Quay West with direct connections to the OPT passenger terminal and Circular Quay
- Large, open and relatively adaptable floor plan.
- Utilise and upgrade existing kitchen facilities to service extended food and beverage offer.
- Investigate opportunities to extend the food and beverage use in the building to include the current gallery space, as well as the established restaurant and bar with outdoor dining facing onto Circular Quay West.
- BCA Class 9 Theatre use has potential however will require Change in use Heritage Act s60 and DA.

Identified constraints for the Sailor's Home (former):

- Limited views in through direct windows onto George Street and Circular Quay West limits ability to advertise and market retail merchandise so not a preferred use.

Identified heritage specific maintenance requirements

The building is generally in GOOD condition and in need of urgent backlog maintenance and repair works.

The following urgent heritage specific maintenance have been identified for the Billich Gallery:

- Eastern rear deck and steps – unsafe condition due to dampness and timber damage.

- Deteriorated stonework around doorways along the eastern lower ground floor.
- Infrastructure upgrades to electrical systems which are non-conforming or non-compliant.
- Electrical heating units installed on the gallery walls require replacement.
- The lift controls and safety gear require a major overhaul.
- Dampness is evident along the external south elevation, which requires rectification.

The following urgent heritage specific maintenance have been identified for the former Wild Ginger Restaurant space:

- Ground floor rising damp in exposed sandstone walls needs specialist advice and ongoing monitoring. Sandstone repointing required and needs cleaning.
- Southern outside deck and access requires maintenance (currently programmed for 2021).
- Eastern downpipe and glazed roofing box gutter is also clogging and requires attention.
- Fire service upgrades required.

6.4 Heritage Management Framework

The principal statutory controls against which potential impacts on the significance of the Sailor's Home (former) will be assessed include the following:

- Environmental Planning and Assessment Act, 1979 and associated planning instruments, policies, plans and guidelines;
- The Heritage Act 1977; and,
- The policies contained in this CMP, which will gain statutory status on adoption by the Authority and endorsement by the Heritage Council.

Other controls, including the National Parks and Wildlife Act (NPW) Act 1979 and the NSW Government Capital Planning Process (CPP) guidelines are considered in this Section.

It is essential that PMNSW and the approval authority are consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act (EP&A Act) 1979 and the NSW Heritage Act 1977. All statutory applications require the signature and consent of the landowner to enable lodgement. For the Sailor's Home (former), the landowner is PMNSW; therefore, all applications are to be forwarded to PMNSW for endorsement prior to submission for development approval. Further information about the granting of landowner's consent can be sourced from PMNSW.

6.4.1 Environmental Planning and Assessment Act

In November 2008, the NSW Government announced widespread reforms to the State's planning portfolio effective from 1 December 2008. As part of the reforms, all development applications (DAs) previously assessed by the Authority are assessed by the Minister of Planning or under delegation by The City of Sydney Council (the consent authority). The Minister for Planning is the consent authority for 'deemed' development with a capital investment value of more than \$10 million dollars.

Under the EP&A Act, there are a number of Environmental Planning Instruments (EPIs), including the Sydney Cove Redevelopment Authority (SCRA) Scheme, as well as State and Regional Plans and Policies, Development Control Plans and Guidelines that require reference for the Sailor's Home (former), which are identified and discussed further in the following sections.

6.4.2 New South Wales Heritage Act, 1977

Architectural Works

The Sailor's Home (former) is listed on the NSW State Heritage Register, as SHR item #01576. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act, 1977.

Under Section 57(1) of the NSW Heritage Act, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of a SHR item is prohibited under the NSW Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). Authority has been delegated to the PMNSW to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council.

Historic Archaeological Management

The NSW Heritage Act provides statutory protection to relics, archaeological artefacts, features or deposits.

Part 4 of the Act refers to items and places listed on the SHR, or which are the subject of an Interim Heritage Order (IHO). Section 60 also requires an application for an excavation permit for historical archaeological resources identified as having state significance issued by the Heritage Council, or in accordance with a gazetted Exemption under Section 57(2) of the Act.

The NSW Heritage Act defines an archaeological relic as being any deposit, artefact, object or material evidence that

- a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and
- b) is of State or local heritage significance.

An Archaeological Assessment & Research Design (AA&RD) is to be prepared in accordance with the requirements of the Heritage Council. The AA&RD for the Sailor's Home (former) would be a valuable resource for understanding and managing the archaeological resources associated with the history of the site.

Under Section 57(1) of the Heritage Act, Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed.

A Section 60 application is required to be prepared by an historical archaeologist who meets the Heritage Council Excavation Directors Criteria for works on State significant sites to disturb relics on an SHR listed site. The Authority has delegation to approve minor Section 60 applications that extend to archaeological works within the curtilage of the item.

Standard Exemptions for works to State Heritage Register items

Under Section 57(2) of the NSW Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) should be completed, with enough detail provided to determine whether the proposed works meet the standard exemption guidelines. The Authority has delegation from the Heritage Council to approve standard exemption applications.

Applicants need to confirm with PMNSW whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item and can only be for works which have no potential to materially affect the significance of the

item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a CMS endorsed under delegation by the Executive Director, Place Making NSW. Reference can be made to the NSW Department of Environment and Heritage Standard Exemptions for Works Requiring Heritage Council Approval.¹¹⁷

Minimum Standards of Maintenance and Repair

Section 118 of the NSW Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover various areas, including for example, weatherproofing, fire protection, security and essential maintenance.

An inspection to ensure that the item is being managed in accordance with the minimum standards should be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards).

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

Refer to the Minimum Standards for Maintenance and Repair.¹¹⁸

6.4.3 National Parks & Wildlife Act 1974¹¹⁹

Under Section 89A of the National Parks and Wildlife Act 1974 (NPW Act), it is an offence for a person to destroy, deface, damage or desecrate an Aboriginal Object or Aboriginal Place without the prior issue of an Aboriginal Heritage Impact Permit (AHIP). The Act requires a person to take reasonable precautions and due diligence to avoid impacts on Aboriginal Objects. AHIPs may only be obtained from the Office of Premier and Cabinet. It is also an offence under Section 90A of the NPW Act to disturb or excavate land for the purpose of discovering an Aboriginal Object, or to disturb or move an Aboriginal Object on any land, without first obtaining a permit under Section 90A of the NPW Act.

6.4.4 Capital Planning Process (CPP), Asset Management and CMP

The Capital Planning Process (CPP) is a cyclical process that takes place annually alongside the annual State Budget process. Capital Planning (formerly known as Total Asset Management) is a strategic approach to physical asset planning as required by the NSW Treasury.

This approach involves PMNSW aligning its 10-year asset planning with its service delivery priorities and strategies, all in the limits of available resources and the NSW Treasury's Asset Management Policy. This approach enables better planning and management of physical assets, and the preparation of an overall Strategic Asset Management Plan framework with individual Asset Management Plans prepared in line with NSW Treasury Policy and Guidelines Paper TPP 19-07 *Asset Management Policy for the NSW Public Sector* and the PMNSW.

The NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values should be treated by an agency as part of its core business". Similarly, CPP Guidelines for Government Agencies prepared by NSW Treasury require "planning use of heritage assets to maximise their service delivery while protecting their cultural values".

Protection and management of built heritage and heritage and cultural collections under the care and management of PMNSW including The Rocks precinct, is part of the core business of PMNSW, the CPP can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount,

¹¹⁷ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/StandardExemptions.pdf>

¹¹⁸ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

¹¹⁹ <http://www.legislation.nsw.gov.au/inforcepdf/1974-80.pdf?id=cb5ba894-2a75-4a36-f576-df69950c59f8>

and in an event where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given priority.

Refer to the NSW Government's Asset Management Policy.¹²⁰

6.5 Environmental Planning Instruments (EPIs)

There are three principle EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks.

6.5.1 State Environmental Planning Policy (SEPP) (State and Regional Development) 2011¹²¹ and State Environmental Planning Policy (Major Development) 2005¹²²

Under the SEPPs, the Sailor's Home (former) is an environmentally sensitive area of State significance, being on land in The Rocks and as a place and building listed on the State Heritage Register under the NSW Heritage Act.

Pursuant to the EPA Act, the SEPP (Major Development) applies to capital works over \$10 million. Development under \$10 million requires approval under Part 4 of the Environmental Planning and Assessment Act.

The NSW Planning Minister is the consent authority for state significant development and major development, as described in the State Environmental Planning Policy (State and Regional Development) 2011 and the State Environmental Planning Policy (Major Development) 2005.

6.5.2 Sydney Regional Environmental Plan (SREP) (Sydney Harbour Catchment) 2005¹²³

The Rocks is included in the "Foreshores and Waterways Area" defined in the SREP. Accordingly, any development must be considered in terms of the criteria set out in Division 2 of SREP. The SREP has limited application to the Sailor's Home (former) as The Heritage Provisions in Part 5 of the SREP are not applicable to sites that are not listed as a heritage item. Particular provisions of the plan apply to the Foreshores and Waterways areas, which encompass the subject site.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a "Strategic Foreshore site" on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However, this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The NSW Planning Minister is the consent authority for the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. The City of Sydney or the Central Sydney Planning Committee is the consent authority for development not covered by the Planning Minister.

6.5.3 Sydney Cove Redevelopment Authority (SCRA Scheme)

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the EP&A Act. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

The SCRA Building Site Control Drawing 'XLVI' (refer Figures below) shows site and context. The RL of the parapet heights of the Sailor's Home (former) are not indicated.

It is recommended that the SCRA Building Site Control Drawing 'XLVI' be updated to include the RL of the parapet heights of the original building and 1920s extensions, as historic structures.

¹²⁰ <https://www.treasury.nsw.gov.au/sites/default/files/2019-11/TTIP19-07%20NSW%20Asset%20Management%20Policy%20-%20Master%20Approved%2031%20October%202019.pdf>

¹²¹ <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+511+2011+cd+0+N>

¹²² <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+194+2005+cd+0+N>

¹²³ http://www5.austlii.edu.au/au/legis/nsw/consol_reg/srephc2005587/

The City of Sydney or the Central Sydney Planning Committee is the consent authority for development, unless development that has a capital investment value of more than \$10 million, in which case The NSW Planning Minister is the consent authority.

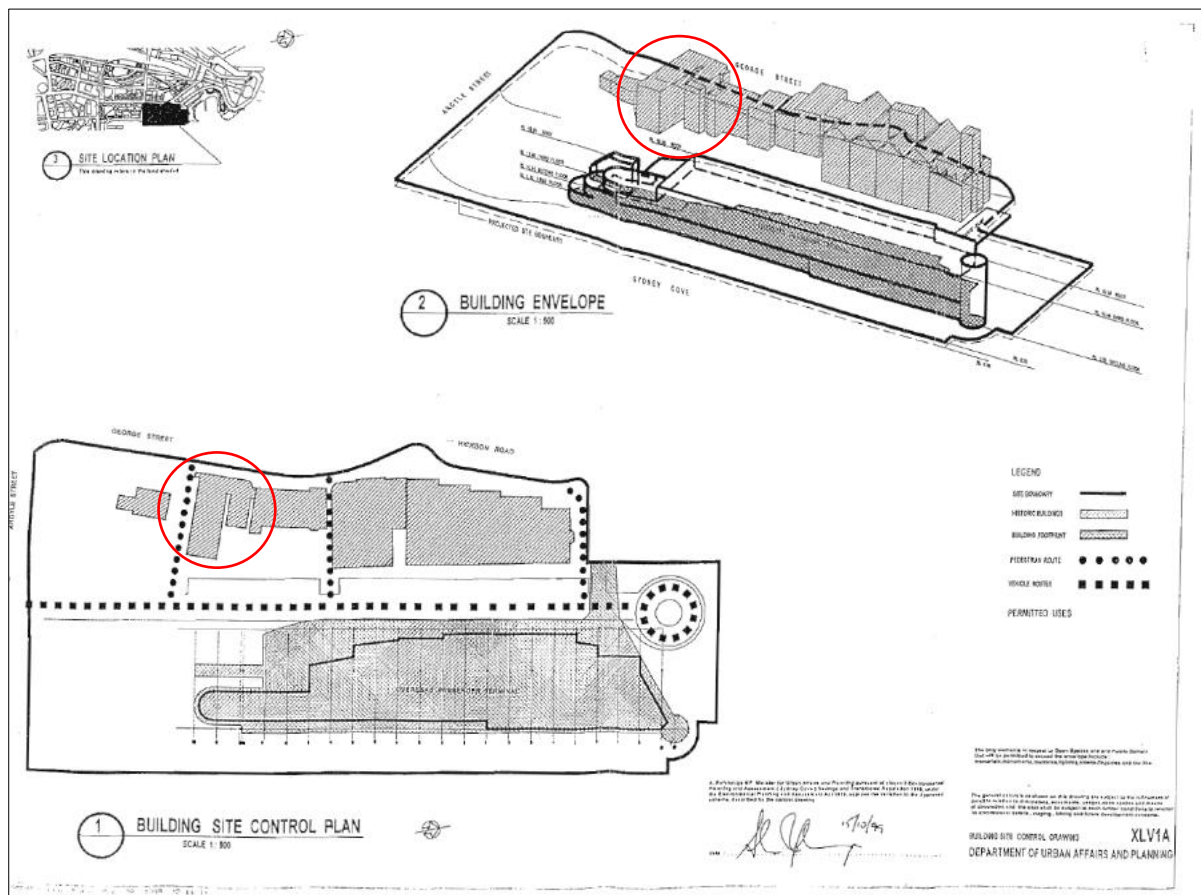


Figure 140: SCRA Building Site Control Drawing 'XLV1A' showing the building envelope circled in red. (Source: City of Sydney)

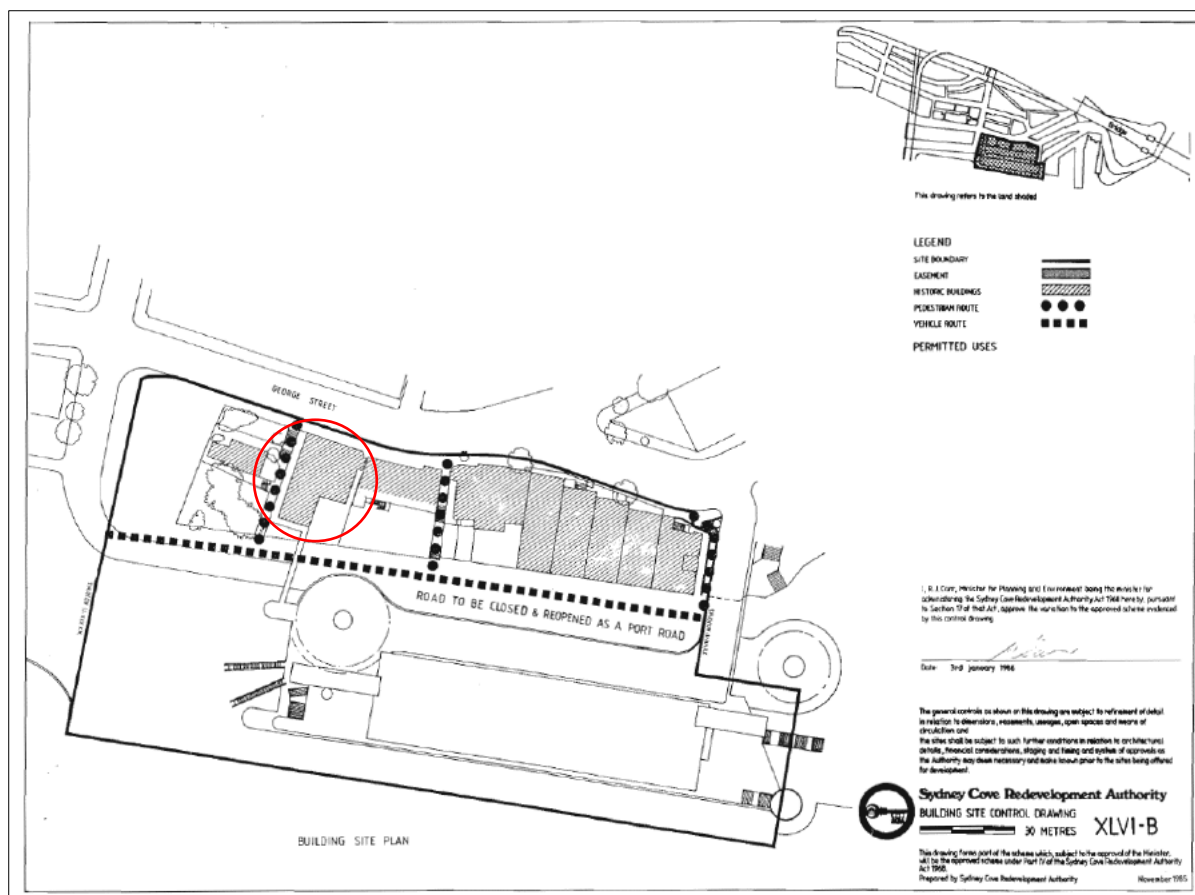


Figure 141: SCRA Building Site Control Drawing 'XLVI-B' showing the building envelope circled in red. (Source: City of Sydney)

6.6 Development Control Plans and Guidelines

6.6.1 Sydney Harbour Foreshore and Waterways Area DCP 2005¹²⁴

Sydney Harbour Foreshores and Waterways Area DCP 2005 has been prepared to support the SREP (Sydney Harbour Catchment) 2005. The DCP provides detailed design guidelines for development and criteria for natural resource protection for the area identified as Foreshores and Waterways area. The DCP applies to all development proposals within the Foreshores and Waterways Area identified in SREP (Sydney Harbour Catchment 2005).

6.6.2 The Rocks Heritage Management Plan (RHMP)¹²⁵ and Heritage Policy¹²⁶

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002, updated 2010) has been prepared to provide a basis for understanding and conserving the heritage values of The Rocks, and to assist in preparing individual CMPs for heritage buildings within The Rocks. The Rocks Heritage Policy articulates PMNSW's vision for The Rocks.

6.6.3 The City of Sydney Development Control Plan (DCP) 2012¹²⁷

The City of Sydney DCP 2012 applies to all land as designated on the DCP map, which includes The Rocks. Currently, The Rocks is not identified as a Locality, Specific site or Specific area in the DCP. However, the General Provisions, including Heritage, Development Types and certain Schedules apply.

¹²⁴ <http://www.planning.nsw.gov.au/harbour/pdf/dcp.pdf>

¹²⁵ <http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>

¹²⁶ <http://www.shfa.nsw.gov.au/content/library/documents/0B97AE99-BE6D-D5A2-2DB9A05719183F85.pdf>

¹²⁷ <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>

6.6.4 NSW Heritage Council – Design in Context¹²⁸

The guideline is published by the NSW Heritage Council of NSW and the RAI. The guideline establishes six criteria for assessing new development in a heritage conservation area or adjacent to a heritage item; character; scale; form; siting; materials; and, detailing. The criteria and guidelines are relevant to minor works, such as potential change to the rear wings which is to be designed to respect the significance and setting of the heritage item.

6.6.5 NSW Heritage Council – New Uses for Heritage Places

The guideline is published by the NSW Heritage Council of NSW and the RAI. It contains principles that encourage careful and sympathetic designs and interpretation in the adaptation of historic places and sites.

See: www.environment.nsw.gov.au/resources/heritagebranch/heritage/infocarryoutwork.pdf

www.environment.nsw.gov.au/.../heritagebranch/heritage/NewUsesforHeritagePlaces

6.7 Approvals

6.7.1 Landowners Consent

Before any application is submitted to a consent authority, the consent of Place Making NSW, as landowner, must be obtained first. Obtaining consent from PMNSW is not an approval for the works, only consent to submit an application. A consent authority will not be able to consider an application unless it has the landowner's consent.

6.7.2 Consent Authority

There are a range of consent authorities to which applications for work will need to be submitted. These are described in the preceding sections, and are summarised as follows:

Consent Authority	Works or Activities Consent Authority is Responsible
Minister for Planning	<ul style="list-style-type: none"> Variation to SCRA Scheme Works with a capital investment value above \$10 million May direct preparation of a master plan (a deemed DCP) for a Strategic Foreshore Site (which includes most of The Rocks)
Minister for Ports and Maritime Administration	<ul style="list-style-type: none"> Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks), if so specified in an EPI.
Place Making NSW	<ul style="list-style-type: none"> Landowner's Consent (to lodge an application) Minor works to an SHR item, under a Heritage Council delegation Additions/removals/revisions to its s170 Register listings Notifying the Heritage Council of the transfer, ceasing to occupy, or demolition of any item in its s170 Register Implementing CPP Guidelines for assets in the PMNSW portfolio
Heritage Council	<ul style="list-style-type: none"> Works other than minor works to any SHR or IHO item Standard and site-specific exemptions from approvals for SHR items

¹²⁸ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

	<ul style="list-style-type: none"> • Listings/de-listings/revisions to SHR items • Approval to disturb, move, damage or destroy relics • Minimum Standards of Maintenance
City of Sydney	<ul style="list-style-type: none"> • Works with a capital investment below \$10 million • Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks) unless the Minister is specified as the consent authority in an EPI. • Principal Certifying Authority for accredited private certifiers
Accredited Private Certifiers	<ul style="list-style-type: none"> • Issue of Construction Certificates and/or Occupation Certificates

6.8 Non-Statutory Listings and Community Groups

6.8.1 National Trust of Australia (NSW)

The Sailor's Home (former) is included on the Register of the **National Trust of Australia (NSW)**, (classified 1976).

The Sailor's Home (former) is included in the listing for The Rocks Conservation Area on the Register of the **National Trust of Australia (NSW)**. The Rocks Conservation Area encompasses the area generally bounded by Circular Quay to the east, all of Walsh Bay and Millers Point to Sussex Street to the north and west and extends to Grosvenor Street to the south.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.8.2 Australian Heritage Commission – Register of the National Estate

The Sailor's Home (former) is included on the **Register of the National Estate**, Ref No. 1/12/036/0537 in 1980.

Sailor's Home (former) is included in the listing for The Rocks Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government however, it is indicative of the high cultural values of the place.

6.8.3 National Construction Code (NCC) and Building Code of Australia (BCA)

The National Construction Code incorporating the Building Code of Australia (BCA) is national set of building regulations with some state-specific variations. The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works.

The performance requirements of the BCA are mandatory, although the introductory sections of the Code make clear that not all requirements will apply to a given case. The Code also includes 'deemed-to-satisfy' requirements which are accepted as meeting the performance requirements. However, the Code also makes provision for alternative solutions to meet the performance requirements, subject to satisfactory verification.

Under the Environmental Planning and Assessment (EP&A Act) Regulation 2000, all new building work must be carried out in accordance with the Building Code of Australia. In the case of an existing building, there is generally no requirement to comply with the BCA unless works are being carried out. However, where works (in particular alterations or additions) are proposed to the place, the building will need to comply on completion with the relevant [performance] requirements of the Building Code of Australia (EP&A Act Regulation Clause 145). In addition, where an existing building has a change of use, the structural capacity and fire safety of the building must be appropriate for the new use, while for a building which undergoes alterations without a change of use, the structural capacity and fire safety of the building must not be reduced by the work (EP&A Act Regulation Clause 143).

An assessment of compliance for the Sailor's Home (former) with the NCC has not been carried out for this report. It should be noted, however, that any DA/CC application would need to comply or be deemed to comply with the NCC. In general, when considering the NCC in heritage buildings, proposals are to ensure that significant fabric and spatial qualities are not compromised while full NCC compliance is achieved and public safety is assured.

6.8.4 The Disability Discrimination Act (DDA)

Access to premises for people with disabilities, as well as being covered by the BCA, is also controlled by the Commonwealth Disability Discrimination Act (DDA) 1992. Compliance with the BCA does not necessarily signify compliance with the DDA. Compliance with the DDA can be triggered by a complaint lodged with the Australian Human Rights Commission. In 2010 the Commonwealth published the Disability (Access to Premises – Buildings) Standards. Compliance with these standards ensures that the requirements of the DDA are met.

The DDA makes it illegal to discriminate on the basis of a person's disability. The DDA does not apply to private dwellings but does apply to buildings which are expected to be used by the general public.

Heritage buildings are not exempt from meeting the requirements of the DDA. The preparation of an access action plan assists in preventing or defending a complaint under DDA. The defence of unjustifiable hardship is also available, and the Australian Human Rights Commission has ruled that heritage significance may be considered in this regard.

The NSW Building Professionals Board has also established an Access Advisory Committee to consider referred applications for exemptions to the Premises Code on the basis of unjustifiable hardship.

Due to the requirements of the DDA, the implications are that the public use of the Sailor's Home (former) is possible but limited, and that any limited commercial, tourist or retail use of spaces within the Sailor's Home (former) would need to obtain exemptions from this Act in order to operate.

6.8.5 NSW Work Health & Safety Act 2011

The New South Wales Work Health and Safety Act, 2011 (WH&S Act) aims to secure the health, safety and welfare of people at work. It lays down general requirements that must be met at work places in New South Wales. The provisions of the Act cover every place of work in New South Wales. The Act covers self-employed people as well as employees, employers, students, contractors and other visitors.

The Sailor's Home (former) must comply with the WH&S Act or seek alternative solutions. In the event that any part of the Sailor's Home (former) changes from residential accommodation to use as a workplace (office or retail use for example), the requirements of this Act will need to be complied with.

Application of the Burra Charter

The *Australia ICOMOS Burra Charter 2013* known as *The Burra Charter* is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national or state heritage significance are undertaken.

As the Sailor's Home (former) is of demonstrated State significance, procedures for managing changes and activities in the properties must be in accordance with the recognised conservation methodology of the *Burra Charter*. <http://australia.icomos.org/publications/charters/>

Cautious Approach (Article 3)

All conservation work must be based on a respect for the original fabric, must involve the minimum interference to the existing fabric and must not distort the evidence provided by the fabric.

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance.

New work should be readily identifiable as such on close inspection.

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained, and a place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7.0 Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is important in the built environment within a process of change and development. One of the functions of this document is to establish criteria, policies and recommendations for the conservation and on-going use of the buildings and site. In this way the occupants and managers of the place will be able to formulate proposals within a known framework of acceptable directions, and planning authorities will be able to assess those proposals against the criteria.

The following section identifies Policies and Guidelines as the two basic mechanisms with which to achieve the conservation and on-going use of the Sailor's Home (former) in the context of the adaptive re-use and necessary upgrade of the various building components. A brief Background provides the context for each of the policies. The Policies identify basic conservation guidelines, which are required to be met. They are supported by Guidelines and in places they should be clearly identified by the proponent and discussed in any Development Application submission.

The policies and guidelines draw upon the work and input of all consultants and their investigations – documentary and physical.

7.1 Best Practice Heritage Management

Background

The Sailor's Home (former) has been assessed as being of State heritage significance as a building that makes a strong contribution to the streetscape of 106-108 George Street, The Rocks and also a landmark in The Rocks setting and highly visible from East Circular Quay. Additionally, the Sailor's Home (former) building and site are of significance for their historic, social and scientific values.

The management of the Sailor's Home (former) is to have a principal aim to protect its heritage significance and setting. All work is to accord with statutory procedures and current best practice in the conservation and management of heritage places.

The Rocks Heritage Management Plan (adopted in February 2002, updated 2010) has been adopted by PMNSW as the overall framework for understanding and conserving the heritage values of The Rocks. The CMP for the Sailor's Home (former) sits within this management framework and is the site specific guide for the management of the place.

The Australia ICOMOS Burra Charter 2013, known as The Burra Charter, is widely accepted in Australia as a key reference by which all works to places identified as having national or state significance are undertaken. Other resources, such as those available from the Heritage Division, Office of Environment and Heritage, will assist to achieve best practice for specific works and management issues.

Policy 1

The statement of significance must be adopted as the basis for heritage management. All decisions must seek to retain the values identified in this CMP.

Policy 2

In recognition of the state significance, the Sailor's Home (former) must be managed to ensure best practice long term conservation outcomes in accordance with statutory procedures and recognised planning and heritage principles, guidelines and methodologies.

Policy 3

The Sailor's Home (former) was specifically built to accommodate transiting seamen, (now used for retail / commercial purposes) must continue to be managed to ensure consistent and appropriate long-term management of the whole building, its heritage fabric and presentation including the external form and materials.

Guidelines

- The conservation management of the Sailor's Home (former) is to be consistent with the overall management framework for The Rocks contained in The Rocks Heritage Management Plan.

<http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>

- The basis for all heritage management of the Sailor's Home (former) is the assessment, grading and Statement of Heritage Significance and the policies contained in this CMP.
- The principles of The Burra Charter 2013 are to guide the heritage management of the Sailor's Home (former).
- Refer to the guidelines prepared by NSW Heritage and Environment, including the NSW Heritage Manual and the guidelines referred to in this CMP.

7.2 Asset Management

7.2.1 Place Making NSW Management Responsibilities

Background

The Sailor's Home (former), as part of The Rocks is owned by the Crown vested in Place Making NSW (PMNSW). PMNSW has overall responsibility for the management of the place. Additional responsibilities derived from the NSW Capital Planning Process (CPP) Guidelines are also recognised.

Policy 4

PMNSW shall continue to manage the Sailor's Home (former) within the overall context of The Rocks precinct.

Guidelines

- Conserve and manage the Sailor's Home (former) as an integrated whole, including the site and setting, the property itself, its planning, its original features as well as its spatial and functional relationships and archaeology.
- The intention, aims and policies of this CMP shall be disseminated through and implemented by, relevant key staff of PMNSW.
- PMNSW shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of landowner's consent.
- A program of regular monitoring is to be undertaken (either by PMNSW or future long-term lessees/owners), covering both the physical changes within the property and issues raised by occupants of the building. Findings of the monitoring are to be incorporated, where relevant, into management decisions.

Policy 5

If there is a change in ownership and/or management, the Sailor's Home (former) must continue to be managed within the overall context of The Rocks precinct.

The external building form and fabric should continue to be managed, including its ongoing maintenance and any changes to the building fabric that affects the whole and subject to approval.

Guidelines

- A strata plan subdivision and the management for the building as 'common property', under the Strata Schemes Management Act with ownership of the entire building by an Owner's Corporation, would be advantageous for the management of heritage features. This would ensure that management outcomes support the heritage values of the whole property and the individual dwellings as part of a strata scheme.
- All future leasing or ownership arrangements are to be legally binding any future long-term lessees/owners to ongoing asset management that:
 - Complies with the NSW Heritage Act requirements for works approvals and minimum maintenance requirements,

- Sets aside appropriate funding and implements an on-going maintenance regime,
- Requires that maintenance to be overseen and/or undertaken by heritage conservation professionals with qualifications acceptable to PMNSW (to be approved by the PMNSW).

7.2.2 Capital Planning Process (CPP), Asset Management and CMPs

Background

This CMP will be one of the documents used by the asset owners, managers and tenants of the neighbouring buildings for management and maintenance of the Sailor's Home (former) and need to be fully compatible with other relevant documents addressing the same properties, including Asset Management Plans prepared under the NSW Treasury Capital Planning Process (CPP).

Policy 6

Use this Conservation Management Plan as a basis for the future management of the building and site. This CMP must be applied within the broader context of other heritage management and asset management documents including statutory requirements.

Policy 7

This Conservation Management Plan must be used to provide feedback to all future Management Plans for the Sailor's Home (former) and its site.

Policy 8

The SCRA scheme Building Site Control Drawing 'XLVI' that includes the Sailor's Home (former), must be updated to show the RL of the parapet heights of the original building and 1920s extensions, as historic structures.

Guidelines

- PMNSW is to include findings of this CMP in PMNSW asset management systems and plans, particularly CPP Plans, Maintenance Plans and lease/tenancy agreements for the Sailor's Home (former).
- Ensure that compliance with this Conservation Management Plan is included in any lease over the place, and consider non-compliance as a material breach.
- Refer to and manage in accordance with the following documents:
 - The Rocks Heritage Management Plan (April 2010)
<http://www.shfa.nsw.gov.au/content/library/documents/7A93098E-C368-9BBB-34657CE1392DF8B9.pdf>
 - State-Owned Heritage Management Principles
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/stateagencyheritageguide.pdf>
 - Minimum Standards of Maintenance and Repair
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

7.2.3 Adoption and Review of the CMP

Background

The CMP for the Sailor's Home (former) sets out a conservation management framework to ensure that the identified significance of the site is retained and conserved for the long term.

Circumstances will change over the years as various recommendations are implemented and new requirements for the use of the building emerge. Conservation policies that ensure the long-term

conservation of the place will need to be progressively updated to respond to changing situations, so they remain relevant.

Policy 9

All parties responsible for management of the Sailor's Home (former) must have access to this Conservation Management Plan and associated documents.

Guidelines

- PMNSW is to make parts of this Conservation Management Plan (e.g., the statement of significance, policies, and implementation sections) a publicly accessible document, while respecting the right to privacy of the buildings' residents.
- The CMP is to be made available and distributed to:
 - PMNSW, in particular those staff responsible for day to day management and planning for the place. Make this CMP publicly available on PMNSW's website.
 - Form part of and inform any Leasehold agreements; including any updates to CMPs from time to time
 - Tenants
 - City of Sydney Library
 - Heritage Division, Office of Environment and Heritage

Policy 10

The CMP must be reviewed every five to ten years, taking into account changes in legislation, proposed changes in use or management, or proposed alteration works.

Guidelines

- Reviews of the CMP are to be based on *The Burra Charter* and other guidelines by the NSW Heritage Division, Office of Environment and Heritage.
- Reviews are to also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews are to be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Procedures for review of the CMP and for inspecting the condition of the houses are to be specifically included in future lease terms for the properties.
- Irrespective of the recommendation to review the document every five to 10 years, the currently adopted CMP is to remain as a valid basis for on-going heritage management until such reviews are completed.

7.2.4 Tenancy

Background

The tenancy arrangements appear to be successful in conservation terms, and the properties are reasonably well looked after. Property managers and tenants are to be made aware of the guidelines below in order to prevent any loss of significance through accidental damage or inadvertent actions.

Policy 11

All property managers and tenants or occupants of the Sailor's Home (former) must be made aware of the cultural significance of the building.

Policy 12

Tenancy agreements must clearly set out the tenant's responsibilities and time frames if applicable with regards to caring for the building fabric.

Policy 13

Processes for reporting maintenance issues or necessary repairs for the building must be established and made clear in writing to each tenant and the property manager.

Policy 14

Any sub-tenancy agreement must be subject to a tenancy agreement similar to that for the head tenant.

Guidelines

Due to the significance of the Sailor's Home (former), care is to be taken to ensure that all property managers and occupants of the building agree to abide by the following guidelines:

- Telecommunications and data services are to be surface run in locations carefully selected to minimise visual impacts and eliminate physical impacts on the fabric of the place.
- Door leaves are to be left in situ. Tenants are not to paint or polish any surfaces without first seeking specific approvals and are to reference all proposed works to the Property Manager.
- Tenants are to refer to and implement the policies contained in the CMP for the long-term conservation of the external and internal building fabric and spaces of the Sailor's Home (former).
- Plantings should be kept away from walls and planter boxes should not be placed on window sills.
- The existing picture pins are to be used for hanging decoration. Additional picture pins to match the existing should be requested if needed. Nails, picture rails, blue-tac, hooks, or other proprietary fixings are not to be used.
- Appliances such as satellite dishes, television aerials, and window-box air conditioners are only to be installed in strict compliance with the policies in the CMP.
- Roof gutters are to be regularly maintained and kept clear.
- The rooms are to be ventilated by opening the windows on a regular basis. Particularly, the top sash is to be opened, which will keep the pulley in workable order.

7.3 Documenting Change

Background

Archival records as well as the systematic recording of work at the site are valuable resources to support and ensure the proper overall management of heritage sites. They record the environment, aesthetics, technical skills and customs associated with the creation and use of heritage items before they are altered, removed or lost either by development, incremental change or deterioration.

Well-managed records enhance the understanding of the heritage item, its significance and the impact of change as part of the conservation and management process. The reasoning behind the selection of a particular conservation approach and the methodology, and the scope of each major conservation project are to be recorded and archived. This recording of the methodology, and the scope of works, is to be undertaken by a heritage professional, and forms the basis of future documentation for repair and maintenance works. These records, including copies of all consultant reports are to be retained by PMNSW.

Policy 15

PMNSW as land owner or lessee is to continue to acquire, collate, maintain and archive the drawings, schedule of works, photos and specifications from the 1970s and 1990s work and any future works

including the reasoning for particular works. These records must be placed in the PMNSW archival storage repository.

Guidelines

- PMNSW as land owner or the lessee is to continue PMNSW's policy of photographic recording, before, during and after changes to the fabric.
- All changes to significant fabric are to be recorded in accordance with recording guidelines issued by the Heritage Division, Office of Environment and Heritage – How to prepare Archival Records of Heritage Items 1998.
- <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infoarchivalrecords.pdf> and the Photographic Recording of Heritage Items Using Film or Digital Capture 2006 <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf> prepared by the NSW Heritage Division.
- As-built records on completion of future works is to be provided to the PMNSW by those undertaking the works

7.4 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required, and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 16

Appropriate conservation skills and experience must be employed for documentation and supervision within project teams and the undertaking of works for any programs of conservation and upgrading of the building components of the Sailor's Home (former).

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building will include, as appropriate, historians, researchers, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced and have worked on historic buildings are to be selected to work on any building or other projects required ensuring the long-term conservation of the building.

7.5 Ownership, Participation and Approvals

Background

The Sailor's Home (former) came under Government ownership as part of the resumptions in The Rocks and Millers Point following the plague outbreak in 1901. The site has remained in Government ownership and is now owned and managed by Place Making NSW.

The condition of the Sailor's Home (former) is evidence of the benefits of its long-term government ownership and management. Under single government ownership there has been a continued and consistent holistic approach to conservation of the fabric and built form.

Notwithstanding the discussion above, this CMP recognises that there may be future pressure for change of ownership as the needs of public institutions change over time, as some sites are made surplus to government requirements. These changes can threaten conservation of significance by bringing about unsuitable changes to the site. Where public ownership is no longer feasible, responsibility for caring for the heritage values of the site should be passed to the new owner/s.

A range of statutory controls will be needed to ensure the long-term conservation of the site and building should it be leased or sold into private ownership. This is required to ensure the integrity of the cultural significance of the building and site. Section 7.1 Best practice heritage management and section 7.2, Asset management discusses this issue and includes Policies and related guidelines that recommend strata plan subdivision in addition to heritage requirements, as the best means of ensuring that the property is managed as a single entity.

Policy 17

In any future ownership or long-term lease arrangements, there must be common commitment to this CMP and its recommendations from key agencies, including PMNSW, Department of Planning and Environment, the Heritage Council of New South Wales and the City of Sydney Council.

Policy 18

If private lease, or ownership, or use proposed alternative uses of the Sailor's Home (former) occurs, the management principles set out in this Conservation Management Plan, must guide the ongoing conservation and management of the Sailor's Home (former) as a single entity to ensure its long-term conservation. Reference should be made to Policies 3 and 5 and related guidelines in this CMP.

Policy 19

All proposed work to the Sailor's Home (former) must comply with statutory requirements and conservation principles and may be subject to statutory approvals. Any proposal for change to the Sailor's Home (former) must be discussed with and agreed to by the PMNSW.

Any changes or amendments to statutory heritage listing (SHR listing) and relevant planning instruments (including the SCRA scheme) must follow statutory processes set out under the relevant legislation and may require gazettal by the relevant Minister.

Guidelines

- Effective implementation of this plan requires agreement of objectives, processes and actions by the relevant authorities including the site owners, the PMNSW, Department of Planning and Environment and the Heritage Division of the Office of Environment and Heritage and Heritage Council of NSW.
- Under current legislation (2015) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of the following consents and approvals:
 - Consent from the landowner, PMNSW.
 - Under the NSW Heritage Act, Approval under delegation from the PMNSW for minor works.
 - For other than minor works, approval from the Heritage Council of NSW by means of a s60 application.
 - Development approval from the City of Sydney for projects with a capital value under \$10 million.
 - Development consent from the Minister of Planning for projects with a capital value of over \$10 million, or which exceed the building envelope limits in the Sydney Cove Redevelopment Authority Scheme (SCRA)
 - Appointment of a Principal Certifying Authority (PCA).
 - Construction Certificates approval
 - Occupation Certificate approval

PMNSW is the owner of the land and building in The Rocks, and the consent of PMNSW is required prior to lodging an application for works.

Landowners' consent is a separate process from approving the works, and the landowners' consent to lodge an application is not the approval to actually undertake the works. Prior to granting owner's consent for a proposal, PMNSW in its capacity as landowner and manager, is to be satisfied that there are no adverse heritage impacts associated with the proposal. Where necessary a Heritage Impact Assessment and adequate documentation of the proposed works will be required to assist in the assessment of owner's consent applications.

There are provisions for exemptions under s57(2) of the NSW Heritage Act which enables certain works to be carried out without the requirement of the Heritage NSW. These exemptions include minor repair and maintenance works and painting to an approved colour scheme. If proposed works are covered by a standard exemption, an Exemption Notification Form is to be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. PMNSW has delegation from the Heritage Council to approve standard exemption applications. For details of the standard exemptions, refer to the Heritage Division, the former NSW Heritage Office's publication *Standard Exemptions for Works Requiring Heritage Council Approval*, 2009.

Policy 20

Works must only be undertaken to the Sailor's Home (former) site and building with consent from the landowner and the required statutory approvals.

Policy 21

Works to the Sailor's Home (former) will fully comply with all the relevant PMNSW Policies applicable to development in The Rocks.

Guidelines

- Refer to the PMNSW Landowners Consent Supplementary Guide <http://www.shfa.nsw.gov.au/content/library/documents/A8D06A3F-0D3B-E978-A5AE5CA6EC529C01.pdf>
- All new work will comply with the PMNSW Policies including: Lighting, Signage, Disabled Access, Telecommunications, Commercial Outdoor Seating, and Building Ventilation Installation.
- Prior to the lodgement of applications and the commencement of works, the proponent is to liaise with PMNSW's heritage architect and obtain the consent of the PMNSW as landowner.
- PMNSW shall not give landowner's consent unless it is satisfied that an application is consistent with the applicable Policies and will not result in adverse impact on the significance of the place within the overall context of The Rocks precinct.
- Undertake initial pre-application discussions with other consent authorities to determine requirements and nature of approvals.
- Refer to the City of Sydney's Sydney Development Control Plan 2012 <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>
- Refer to the NSW Heritage Council's Standard Exemptions for Works Requiring Heritage Council Approval <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/standardexemptions.pdf>

7.6 Current and Future Use

Background

The future of the Sailor's Home (former) is linked to an appropriate use or uses, for the building and site that allows it to be:

- Seen as a purpose-built home for the accommodation of seamen within an historic setting that provides an understanding of the development of The Rocks generally, and George Street and Circular Quay precincts in particular.

- Retains and conserves the significant fabric and elements of the place.
- The building was originally built and used for the purpose of accommodating seamen, but is no longer used for this purpose. The Sailor's Home (former) is currently used as an art gallery studio and gallery, and was recently used for food and beverage sales. Both of these uses should ideally continue, but other retail and commercial uses may be considered.

Policy 22

The Sailor's Home (former) should continue to be used for commercial uses such as a gallery and art studio and compatible retail uses including food and beverage. The site may be able to be used for other compatible commercial and retail uses, subject to approval from PMNSW.

Guidelines

- The retention of the heritage building fabric is to take precedence over the requirements of occupants and tenants. A preferred approach is rather than adapting the building to suit the occupants, it is important to find occupants, tenants and accommodation uses, that are appropriate and that fit the special circumstances provided by the Sailor's Home (former).
- The introduction of new services and associated fittings in order to continue the viable use of the building as a gallery / art studio and food and beverage sales or as part of an approved new compatible use, are to be carried out with minimum disruption to the fabric and spaces.
- Any new uses selected for the existing buildings shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration of the building, so as to avoid adversely impact on significant heritage fabric or spaces.
- Any commercial use can only be introduced where the exceptional significance of the building fabric is retained, and compliance requirements for accessible access and building codes can be met without adverse heritage impacts.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance are not permissible.
- Off-street parking for the Sailor's Home (former) is not possible at this location.

7.7 Management of Significance

7.7.1 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that the significant original fabric of the building or place is to be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim - consistent with responsible re-use or management aims, is to minimise or eliminate the work and changes necessary.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and involves the least possible physical intervention in order not to distort the evidence provided by the fabric. Article 4 of *The Burra Charter* requires appropriate knowledge; skill and disciplines are applied to the care of the place.

The Sailor's Home (former) is of recognised State heritage significance linked to the historic development of the site, construction, former use as a Sailor's home, its location, form, character, architectural fabric and details. It is a rare example of a building specifically built to accommodate transiting seaman. It remains intact and is significant as it provides a record of changing attitudes to social welfare in the 19th and 20th centuries. The building fabric significantly retains evidence of its early use and configuration, demonstrating simple accommodation layout which reflect the meagre expectations of the working class, during the 19th century and acceptance of these standards well into the 20th century. The fabric and history of the Sailor's Home (former) further demonstrates changing social values of the 20th century, with the construction and subsequent removal of segregated facilities and with the eventual lapse of interest in the home in the 1970s. The history and significance of the

building is intrinsically linked with its location. The changes to the site and the building also reflect growth and development of the Quay, and its shift from the focus of port activities.

The exceptional and highly significant fabric is to be conserved in accordance with recognised conservation principles and procedures included in the Australia ICOMOS Burra Charter 2013. Such conservation actions include maintenance, preservation and interpretation including restoration and reconstruction.

Policy 23

All original fabric and reconstructed fabric rated as exceptional and high significance must be preserved, conserved and maintained.

Policy 24

Features and fixtures associated with the site's historic use must be retained and preserved. New fittings should be sympathetic to the place.

Policy 25

Fabric must be preserved and conserved in accordance with Section 5 and element specific policies in section 7.7.3 of this CMP.

Guidelines

- The significant form, fabric and spaces that comprise the architectural character of the Sailor's Home (former) along with the site, setting and archaeological resources are to be retained and conserved.
- Considering the relative significance of building elements listed in Section 5, the following policy for treatment of the fabric is considered appropriate:
 - The conservation, adaptation and maintenance of the Sailor's Home (former) should be approached with the general Burra Charter principle of changing *as much as necessary but as little as possible*.
 - Structural alteration to the building components, which impact on the integrity or significance of the Sailor's Home (former), are not to occur.
 - Adaptation of the building's interior is to ensure that the original fabric or significant architectural and spatial features are retained and interpreted.
 - The detailed requirements of any ongoing or new uses should not generate unacceptable impacts or changes to the existing fabric and is to respect and work within the existing architectural framework.
 - Introduced fabric rated of moderate or little significance can be replaced, such as the periodic need to update kitchen and bathroom fit outs. Refer to Section 5, Section 7.7 and Section 7.8 of this CMP for further policies and guidance.
 - Fittings and fixtures should be reinstated where evidence of the original exists. The retention and conservation of these features and fixtures should be considered as part of the design work for future adaptive re-use programs.

7.7.2 Conservation of Significant Spaces

Background

The significance of the Sailor's Home (former) retains fabric from its initial construction and major additions in the 1920s. The building retains a sense of its initial configuration, particularly the interior of the original wing, which features a central void extending through the first and second floors with a roof skylight. Other components provide evidence of the building's early use and configuration.

Policy 26

The internal layout and spatial character of the Sailor's Home (former), particularly the spatial quality of the ground floor and central void of floors directly above, with void lit by the central skylight, as well as the ground floor lobby providing access to George Street and the verandah spaces along the eastern portion of the building, contribute to the significance of the Sailor's Home (former) and should be retained.

Guidelines

- The overall form and exterior walls of the Sailor's Home (former) building should be retained and conserved. There should be no new door or window openings to the external walls, particularly along the ground floor fronting George Street. Removal of some internal walls within the 1920s portion of the building may be considered provided no original or significant fabric is removed, all exterior walls and openings are retained, and the legibility of the early layout is retained.
- The existing internal layout of the 1860s portion of the building, particularly the spatial character of the ground floor and open floors above, should be retained and conserved.
- The central void lit by central skylight should be retained and conserved. Fabric associated with the lightwell may be replaced like-for-like, but the central skylight should continue to remain glazed to ensure light is provided to the spaces below. No roof additions should be placed over the skylight, or be visible through the skylight from inside the space.
- The existing layout of the ground floor lobby, providing access to George Street, should be retained and conserved.
- The form of the balconies along the eastern façade of the 1920s portion of the building should be retained and conserved. Fabric associated with the eastern façade balconies may be replaced like-for-like, but the form and spatial quality of the balcony spaces should remain. The balconies along the eastern façade of the 1920s addition are not to be built-in or enclosed.
- The two early stair voids should be retained and conserved. They should remain visible from the adjoining spaces.

7.7.3 Element Specific Policies

Background

In addition to the general policies set out in 7.7.1 and 7.7.2, conservation policies for significant elements are set out in this section.

Policy 27

Surviving historic built fabric and other site elements are to be retained and conserved in accordance with the levels of significance identified in Section 5 of this CMP and managed in accordance with the Schedule below and in Section 8.0 of this report.

Guidelines

- The following schedule sets out recommended conservation policies for significant elements of the Sailor's Home (former).

Conservation Policies for Significant Elements Sailor's Home (former)		
Element	Significance	Policies
EXTERIOR		
ATTRIBUTES & ARCHITECTURAL STYLE		
The overall form and scale of the 1860s wing which represents the growth and	Exceptional	Retain and conserve. No further storeys to be added to the building. No

development of the Home and area in general.		additions, including decks or Service walkways may be constructed to support the ongoing maintenance of the building, however they should not be visible above the parapet. terraces, should be added to the roof level. The building should retain its overall form and external works should be restricted to preservation, restoration and reconstruction.
The overall form and scale of the L shaped 1920s wing which represents the growth and development of the Home and area in general.	Exceptional	
SITE		
The remains of the former wharf and archaeological resources located <i>below</i> the sandstone ledge and flagging adjacent to the south eastern corner of the building, but not the sandstone ledge or paving.	Exceptional	Retain and conserve.
The natural stone landing and steps to the south of the building and associated stone wall that continues south across the Cadman's Cottage complex.	Exceptional	Retain and conserve.
The natural stone "footing" visible below the north western corner of the building.	Exceptional	Retain and conserve.
The dressed stone stair located adjacent to and skirting the south western section of the building.	High	Retain and conserve.
The stone piers and wrought iron palisade handrail to the sandstone stair adjacent to the south western section of the building.	High	Retain and conserve.
The sandstone flagging adjacent to the southern façade of the original wing of the building.	Little	Seek advice from a qualified archaeologist before making any changes.
The brick paving, planter boxes and associated planting, including high palm tree (assume c.1980s), located at the eastern part of the site and bounding the eastern facades of the building.	Little	Seek advice from a qualified archaeologist before making any changes.
The checkerplate platform and associated pipe handrail located on the natural stone landing at the southern basement entry to the former Sailors Thai Restaurant.	Little	Seek advice from a qualified archaeologist before making any changes.
Exterior of the 1860s wing		
The sandstone basement and external wall to parapet height including the arched headed openings and associated stone arches and moldings.	Exceptional	Retain and conserve. All unpainted surfaces should remain unpainted.
The render finish to the upper façade and parapet including the "SAILORS HOME" relief on the eastern parapet.	Exceptional	Retain and conserve. May be repainted in an approved colour scheme.

The central skylight.	Exceptional	Retain and conserve. Repair and replace elements in a like-for-like manner to match the existing, as required. Glazing to remain clear.
The rectangular shaped window openings to the southern façade.	Exceptional	Retain and conserve.
The flat roof form.	Moderate	Retain and conserve. Repair and replace elements in a like-for-like manner, to match the existing, as required.
The timber window and door frames and sashes which have been successively repaired, refurbished and replaced.	Moderate	Retain and conserve original windows and doors. Repair and replace later windows and doors in a like-for-like manner to match the existing, as required, provided that no adverse effect is created to more significant fabric.
The roof framing to the flat roof form and roof framing and cladding to the roof skylight.	Little	Continue to repair and replace in a like-for-like manner where required.
The roof framing and cladding which has been successively repaired, altered and replaced.	Little	Continue to repair and replace in a like-for-like manner where required.
The skylight finishes and cladding which has been successively altered and refurbished.	Little	Repair and replace in a like-for-like manner, provided that no adverse effect is created to more significant fabric.
The steel frame and timber deck spanning across the southern façade at ground level, and associated signs and fixtures.	Little	Retain or remove as necessary, provided that no adverse effect is created to more significant fabric.
The later box gutters and downpipes.	Little	Repair or replace in a like-for-like manner. Changes to the material type and colour of the box gutters and downpipes may be supportable from a heritage perspective, but specialist heritage advice should be sought before any changes are made.
Exterior of the 1920s wing		
The render finish and details to the facades and parapet including the ship's wheel motif on the western parapet, ground floor details and overall mouldings and banded piers.	Exceptional	Retain and conserve.
The curved wall at the north western corner of the building and asymmetrical, bayed articulation of the façade.	Exceptional	Retain and conserve.
The pattern of openings and fenestration details.	Exceptional	Retain and conserve.

The roof access structure and chimney which remains from the original construction but was refurbished as part of the 1920s addition.	Exceptional	Retain and conserve.
The suspended awning over the entry of the building, but not the cladding which has been refurbished.	Exceptional	Retain and conserve.
The reconstructed balconies and verandah at the eastern end of the northern wing.	Exceptional	Retain and conserve.
The small store attached to the south western corner of the building and located below the southern balcony.	High	Retain and conserve.
The four cast iron pavement lights and surrounding trachyte trim at the base of the George Street façade	High	Retain and conserve. To remain visible.
The terrazzo floor finish at the entry porch.	High	Retain and conserve.
The flat roof form.	High	Retain and conserve the form of the flat roof.
The timber window and door frames and sashes which have been repaired and refurbished as required.	Moderate	Retain and conserve original windows and doors. Repair and replace later windows and doors in a like-for-like manner to match the existing, as required, provided that no adverse effect is created to more significant fabric.
The metal trellis security gate that encloses the entry porch.	Moderate	Retain and conserve. Repair as required, or replace in a like-for-like manner to match the existing where necessary, provided that no adverse effect is created to more significant fabric.
The timber and glass entry doors and sidelites.	Moderate	Retain and conserve. Repair as required, or replace in a like-for-like manner to match the existing where necessary, provided that no adverse effect is created to more significant fabric.
The roof framing.	Moderate	Retain and conserve. Repair as required, or replace in a like-for-like manner to match the existing where necessary, provided that no adverse effect is created to more significant fabric.
The vertical marble cladding to the entry opening reveal to the entry porch.	Little	Repair or remove as required, provided that no adverse effect is created to more significant fabric.
The roof cladding.	Little	Repair or replace in a like-for-like manner. Changes to the material type and colour of the roof cladding may be supportable from a heritage perspective, but specialist heritage

		advice should be sought before any changes are made.
The box gutters and downpipes	Little	Repair or replace in a like-for-like manner. Changes to the material type and colour of the box gutters and downpipes may be supportable from a heritage perspective, but specialist heritage advice should be sought before any changes are made.
The two levelled terrace at the basement level and eastern end of the northern wing, including the masonry base, concrete slab and timber deck, timber steps and wrought iron handrails.	Little	Upgrade and repair where necessary. Heritage advice should be sought before any major changes to the layout of the two levelled terrace are made.
The ducting located in the north western recess between the building and former Coroner's Court building.	Little	Upgrade where necessary, provided that no adverse effect is created to more significant fabric. No new service routes are to be made through significant fabric.
The later flagpole fixed to the internal face of the western parapet.	Little	Upgrade or remove where necessary.
The air conditioning platforms and equipment located on the roof.	Little	Upgrade or remove where necessary, but retain and conserve the open rooftop areas and access. Seek heritage advice before any changes are made to the layout of equipment located on the roof, or before any new roof structures and elements are added, to reduce any potential visual or physical impacts on the site. Any new roof additions should be setback from the parapets, and should not detract from the overall form and features of the place.
Information signs fixed to the ground floor façade.	Little	Repair, replace or upgrade as required. Heritage advice should be sought in relation to signage location and fixing methods before any changes are proposed to the size or design of signage.
INTERIOR		
Interior of the 1860s wing		
The sandstone cross walls in the basement and three major basement spaces.	High	Retain and conserve. Not to be painted.
The stone hearths and chimney breasts located on the south eastern and western wall.	High	Retain and conserve. Not to be painted or rendered.
The spatial quality of the ground floor and gallery spaces with central void lit by the central skylight.	High	Retain and conserve.

The arched window openings.	High	Retain and conserve.
The second floor gallery level, including remnant floor linings showing the earlier cubicle layout.	High	Retain and conserve.
The internal unrendered finish of the main external walls.	High	Retain and conserve.
The timber joinery and framing of the second floor gallery including cross timber balustrade	High	Retain and conserve.
The form and spatial quality of the first floor gallery level space.	High	Retain and conserve.
The pressed metal finish to the ceilings and soffits.	Moderate	May be preserved, restored, reconstructed, adapted or partially removed to assist in ensuring the continual use and security of the building, provided that no adverse effect is created to more significant fabric. Partial or full removal of the pressed metal ceilings may be acceptable, where it is necessary for the proper function of the place and does not reduce the overall significance of the place. The advice of a heritage specialist should be sought before any changes are made to the pressed metal ceilings.
Remnant ceramic tiling to the wall in the south western wall of the basement.	Moderate	Retain and conserve. Seek the advice of a heritage specialist before any changes are made or any ceramic tiling is removed from the basement walls.
Timber and concrete floor and finishes in the basement which have successively been altered and repaired.	Moderate	May be preserved, restored, reconstructed, adapted or partially removed to assist in ensuring the continual use and security of the building, provided that no adverse effect is created to more significant fabric. Partial or full removal of the floors may be acceptable, where it is necessary for the proper function of the place and does not reduce the overall significance of the place. The advice of a heritage specialist should be sought before any changes are made to the floors or floor finishes.
Window sashes and door leaves which have successively been repaired and replaced.	Moderate	Retain and conserve original windows and doors. Repair and replace later windows and doors in a like-for-like manner to match the existing, as required, provided that no adverse

		effect is created to more significant fabric.
Existing timber screens and cabinets and interpretive cubicle at the eastern end of the second floor.	Little	Retain, remove or replace as necessary.
Additional steel framed and glass balustrade to second floor.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Lightweight screens and partitions and fixtures associated with later fitouts.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The door opening at ground level on the southern wall accessing the external, southern balcony.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The steel, timber and glass stair located in the south western corner connecting the three levels of the main space.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The steel and timber landings and wheelchair lifts located on the west wall at first and second floor.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The steel and glass balustrades supplementing the first and second floor balustrades.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The timber and glass service counters, shop fittings and fixtures including freestanding wall displays and cabinets.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The various light fixtures and fittings including reproduction fittings and lamps and more contemporary fixtures.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The flagpole fixed to the internal face of the eastern parapet.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The timber service walkway on the roof.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Interior of the 1920s wing		
The ceramic wall tiling to the porch and ground floor vestibule.	High	Retain and conserve.

The separate entry, including terrazzo floor finish and timber joinery and finishes of the ground floor of the former Superintendent's entry and associated timber stair, landings and stairwell up to the second floor.	High	Retain and conserve.
The concrete stair, landings and associated iron pipe railing located in the south eastern corner of the wing extending from the ground floor to the roof.	High	Retain and conserve.
The former chimney on the western wall of the original wing converted to duct and cupboards on the concrete stair landings.	High	Retain and conserve.
The pressed metal ceiling finishes.	High	Retain and conserve.
The timber framing located on the ground, first and second floor hallway wall associated with former "chute" and "lift".	High	Retain and conserve.
The dumb waiter shaft and evidence of former openings on the southern wall of the eastern arm of the wing.	High	Retain and conserve.
The basement pavement lights and associated spaces.	High	Retain and conserve.
The general internal configuration.	Moderate	Changes may be acceptable, where it is necessary for the proper function of the place and does not reduce the overall significance of the place. The advice of a heritage specialist should be sought before any changes are made the general internal configuration of the 1920s wing. The pendant lights are not to be covered over.
The concrete floor slabs.	Moderate	May be preserved, restored, reconstructed, adapted or partially removed to assist in ensuring the continual use and security of the building, provided that no adverse effect is created to more significant fabric. The advice of a heritage specialist should be sought before any changes are made to the concrete floor slabs.
The timber joinery including skirting boards, picture rails, windows frames and sashes and window architraves.	Moderate	Retain and conserve original joinery. Repair and replace later joinery in a like-for-like manner to match the existing as required, provided that no adverse effect is created to more significant fabric. Seek the advice of a

		heritage specialist before making any changes to the existing joinery.
The internal timber panelled doors to the first and second floors and the reconstructed French doors to the eastern verandah spaces.	Moderate	Retain and conserve. Seek the advice of a heritage specialist before any changes are made.
The fireplace in the northern north western alcove of the second floor.	Moderate	Retain and conserve. Seek the advice of a heritage specialist before any changes are made.
The ceramic wall and floor tiling, stainless steel fixtures and fitting and equipment in the basement kitchen.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The associated exhausts and ducting (extending up the north western recess).	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric. The location of any existing penetrations for ducting or services generally should be retained at the location of future, new or upgraded services.
The vinyl floor and carpet finishes throughout the wing.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The battened wall finish in the main, northern room on the second floor.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The later lift, including equipment.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Later internal fitouts, particularly within the ground floor level	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The timber stair that wraps around the lift and provides access to the basement amenities.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Lightweight screens and partitions fixed to the basement walls facing the light well.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
The steel and glass roof over the passage between the wings of the building.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.

Ceramic tile finishes, fixtures and finishes in the basement WCs and toilets on the first and second floor.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Ceramic tile floor finish to the various basement stores and office spaces.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.
Checker plate floor finish in the basement passages.	Little	Retain, remove or replace as necessary, provided that no adverse effect is created to more significant fabric.

7.8 New Works Policies

7.8.1 Integration of New Works

Background

Because of the State significance of the Sailor's Home (former) and its external and internal level of intactness, scope for new external and internal works is limited. The building currently occupies most of the site and as such, alterations to the building's external footprint are not possible.

Within the general principles outlined in this Conservation Management Plan, some minor internal alterations may occur in spaces of moderate or little significance, where change has already occurred.

Policy 28

The introduction of new fabric must be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. All new work must be removable or capable of being removed without damage, or adverse impact to significant fabric or spaces, and be subject to approval.

Policy 29

Where internal additions and alterations are proposed, these should be fixed in such a way as not to damage significant fabric. Where possible, additions should be designed so as to facilitate their future removal without damage to adjacent fabric. The preferred design approach to significant areas should comprise a 'pod' construction, or loose fit or capsule designed fitouts, which involve the addition of isolated spaces with new walls and ceilings to ensure any new associated fixtures, fittings or linings associated with these spaces will be attached to new construction and not directly fix into early or original significant fabric.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- All fabric rated as being of exceptional or high significance should be retained and conserved.
- Any new work is to be carried out within the existing building footprint. No external extensions, alterations or additions to the building or roof are to be added. The height, overall form, external facades, the awning over the George Street entry, as well as window and door openings, are to be retained and conserved.
- Retain and conserve the open rooftop areas and access. Seek heritage advice before any changes are made to the layout of equipment located on the roof, or before any new roof maintenance or servicing structures and elements are added, to reduce any potential visual or physical impacts on the site. Any new roof additions should be setback from the parapets, not be visible through the roof light and should not detract from the overall form and features of the place.
- No dormer windows can be added.

- No decks, verandahs or balconies can be introduced.
- Internal alterations are permissible provided that the highly significant spaces and fabric are protected, retained and conserved.
- Security grilles, of an approved design, can be fitted to the windows and doors and should be fixed to the inside of the openings.
- Period detailing is to be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- Existing ceiling heights should be retained.
- Careful detailing is to ensure significant fabric is not damaged and allows for reversibility.
- New work should be identifiable as new work and not visually dominate over existing elements. New work is to be reversible and removable without damaging heritage fabric.
- Contemporary materials and design may be used for new work, and designed in a manner in which its location, form, scale, grain, colour and texture respond to the original fabric and spaces.
- The Heritage Council's publication *Design in Context* should be consulted. It provides guidelines for the design of infill and additions to heritage buildings.
- <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

7.8.2 Integration of Services

Background

It is recognised that service and safety features need to be updated in heritage buildings and that future upgrades may be necessary. Limited minor changes to existing fabric for practical reasons such as the installation of new services, sustainability upgrades, and the need to meet statutory requirements, may be required in order to continue the viable use of the building.

The preferred approach is rather than adapting the building to suit the occupants, it is important to find occupants who are willing to use the heritage building and circumstances provided by the Sailor's Home (former) building.

New services are to be designed to be unobtrusive, and to have no or minimum impact upon heritage fabric. Reverse cycle air conditioning, for example will be difficult to install without some impact upon the building fabric and should be minimised.

Consultation with the BCA for suggestions about the latest performance-based solutions is recommended to minimise heritage impacts. The approach to the work undertaken in the 1990s is an appropriate guide to new work.

Policy 30

The extension or alteration of existing services in the property must not have a detrimental impact on the significance of the building components, or as a whole and are subject to approval.

Policy 31

Remove redundant or intrusive service runs where possible. To minimise impact and loss of original fabric, the replacement of services, such as wiring and plumbing, must use existing service routes/ducts, or replace existing surface mounted services without damaging or removing fabric. Services must not discharge liquids (such as condensate) or gases that will cause damage to significant fabric.

Policy 32

New services must be installed inconspicuously without further damage to significant fabric and must be grouped together to minimise impacts. Any penetrations through heritage fabric for supply and waste pipes and mechanical ducts must be minimised, subject to approval.

Policy 33

Proposed locations for services must be clearly identified on all proposal drawings for new works.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- Limited intervention for exploratory or research purposes should generally be restricted to approved programs of re-use or upgrading of service areas and facilities.
- Existing service routes should be used where possible to ensure there is minimal intervention into existing, original or significant fabric.
- Intervention into fabric of exceptional or high significance for the addition of new services is to be avoided. Existing service routes should be used. New services for food and beverage facilities, if required, should be made through later fabric of little significance. Upgrading of existing kitchen and preparation areas is preferred. Service areas should be kept and reused and isolated to their current location on the lower floor levels.
- Any proposed upgrading of services is to be carefully planned. The preparation of schematic layouts is not sufficient: service routes are to be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to a proper approval process and will need an assessment of the impact of new services in a Heritage Impact Statement.
- Services are to be surface-run as a general principle, as the chasing of walls or other significant fabric for service runs is not acceptable. This includes avoiding excavation of potential archaeological deposits below floors.
- Areas previously modified for services are to be re-used, in preference to modifying intact or significant original fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters, television aerials, satellite dishes, or service components are to be fixed to the building or visible from the street frontage.
- Brackets or fixings for services are not to damage significant fabric.
- Ceiling fans may be installed in the central light fittings with surface-run conduits or conduits through the ceiling spaces.
- Additional power points can be added to later skirting boards, provided that adjacent significant original or early fabric is protected and retained.
- Light fittings and switches are not significant and can be changed using existing outlets.
- The advice of a heritage specialist should be sought before the addition of any false ceilings, new service routes, or new lighting.

7.9 Building Code Compliance

Background

The National Construction Code (NCC), incorporating the Building Code of Australia (BCA) has been adopted in NSW planning and building legislation as the technical standard for design, construction and operation of buildings. The NCC also includes the National Plumbing Code and is planned to incorporate other similar codes and Australian Standards by reference. The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of their disability.

The preferred long-term use for the Sailor's Home (former) is to remain as a space tenanted for commercial / retail purposes. In particular, the building should remain as a gallery and art studio and for food and beverage sales, as this will not require intervention for current code compliance.

As parts of the Sailor's Home are publicly accessible, key issues of BCA compliance such as fire resistance, egress provisions, and disabled access and facilities are to be addressed in ways that do not adversely impact on the significance of the building fabric, spaces and overall setting. It is essential that the cultural values of the building are not degraded by inappropriate responses to meet ordinance requirements.

Given the siting and nature of the building, upgrading to meet code compliance does not appear to be readily achievable without unacceptable impact on significant fabric. Therefore, alternative solutions need to be sought.

The approach to introducing services in spaces or to fabric of moderate or little significance is an appropriate response to introducing new work.

Policy 34

Approaches to compliance with building codes for the upgrading and re-use programs for the Sailor's Home (former) must focus on responding to the spirit and intent of the ordinances if strict compliance would adversely impact on heritage significance. The building should not be used for any purpose for which upgrading requirements for building code compliance will result in an unacceptable adverse impact on the building.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Conservation and on-going use programs are not to place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.

Fire resistance

- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rated material, which may obscure extant finishes.
- Future upgrades of the buildings are to take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric (through fire engineering analysis or the judicious use of intumescent paint finishes, for example).

7.10 Accessibility

Background

The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the Act requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA may require equitable access to be provided to the building. It is likely that heritage places are not exempt from DDA requirements, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship.

Parts of the Sailor's Home (former) are publicly accessible, and as such, key issues for the provision of accessible access and facilities may need to be addressed. It is essential that the state significance values of the building fabric, spaces and overall setting are not degraded by inappropriate responses to meet ordinance requirements.

Policy 35

An equitable access solution to the main entries of the Sailor's Home (former) must be achieved with an acceptable intervention that does not adversely impact on the significant building fabric and setting, subject to approval.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- An accessible access strategy should be developed by professionals experienced in this field for the entire building. This will avoid piecemeal and incremental improvements and provide solutions that are appropriate to the heritage values and that are also reversible.
- Reference should be made to the Heritage Council publication *Improving Access to Heritage Places* and *Access for All to Heritage Places* produced by the Heritage Council of Victoria.
- Any solution must not require major interventions into highly significant building fabric or any unacceptable and adverse impacts on the streetscape setting for the Sailor's Home (former).

7.11 Setting, Views and Adjacent Sites

Background

The Sailor's Home (former) has landmark qualities, as the building occupies a prominent position on George Street North, highlighted by the open character of the Cadman's Cottage site and low nature of the Cottage, and the face brick façade of the adjacent former Coroner's Court building. The scale, form, materials and detailing make a positive contribution to the area and is in contrast to the contemporary commercial development located in the western side of George Street. The building forms part of an eclectic and rich grouping located in this section of the eastern side of George Street. Additionally, its four storey façade presents to the western shore of the Quay, and due to its strong form and height, has landmark qualities from the Quay.

Policy 36

The setting and curtilage of the building contributes to its landmark qualities, and as such, should be retained and conserved.

Policy 37

Any future works to the Sailor's Home (former) should not impact on the streetscape setting or character of the surrounding Rocks Precinct, particularly the setting of Cadman's Cottage. No further storeys or rooftop additions should be added to the Sailor's Home (former) which obstruct views to and from the site.

Policy 38

Development in the vicinity of the site should ensure that views are retained to and from the building, particularly along George Street and to and from the Quay.

Guidelines

- The pedestrian footpaths surrounding the site, particularly along George Street, as well as the stair along the eastern boundary of the site, should be retained and remain open. Further additions along the open areas and pedestrian access routes surrounding the building, including furniture or mechanical services, should be avoided.
- No new elements should be added externally, and no new storeys should be added to the Sailor's Home (former). The building parapet and roof heights should be retained and should continue to be visually prominent elements within the streetscape, particularly from George Street and from the Quay. If new mechanical systems are required to be added to the existing roof, these should be grouped together, setback from the parapet and of a low scale to ensure views are retained to and from the site, and the setting and aesthetic significance of the building continues to be understood and appreciated.

7.12 Sustainability

7.12.1 Thermal Comfort in Heritage Buildings

Background

PMNSW aims to reduce the carbon footprint of its precincts by 80% compared to 2001 levels and:

- reduce potable water consumption by 80 per cent compared to 2001 levels
- recycle or compost 80 per cent of all waste generated in its precincts
- procure 80 per cent of all products from recycled or sustainable sources.

In its aim for a socially inclusive and sustainable community PMNSW:

- Acknowledges its responsibility to protect heritage buildings and their cultural significance on behalf of the people of NSW.
- Aims to provide improved tenant amenity through improved air quality, comfort levels and natural light, in ways that support heritage considerations.

In line with this Policy PMNSW has adopted a Sustainable Development Fit-out Guide which aims to reduce the environmental impact of new construction and building fit-outs. It has been shown that the implementation of the measures outlined in the Fit-out Guide reduce operational costs and improve indoor environmental quality (IEQ) and occupant satisfaction.

Policy 39

All applications for building modifications and fit-outs are to demonstrate measures which work toward the objectives of the PMNSW's Sustainability Policy and are subject to approval.

Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Solar panels can be introduced to buildings and are to be mounted on the rear wing roofs, or behind parapets, so as not to be visible from the Street frontages.
- The factors contributing to discomfort are to be identified and quantified before the development of any solutions.
- Building occupants and managers should identify the additional thermal loadings of potential 'uses' on the existing building. If the proposed use increases the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use is not to be supported.

- Sustainable and passive solutions are to be investigated and implemented and their effectiveness measured, before the need for mechanical ventilation to supplement existing passive measures, is considered.
- Proposals are to address the sustainability and conservation objectives of PMNSW's Authority Policies.

7.12.2 Passive Design Solutions

Background

The Sailor's Home is constructed of stone and rendered masonry, with a large number of operable, double-hung windows, which can provide light and ventilation to the internal spaces of the building.

Policy 40

Full and mixed mode mechanical ventilation systems in heritage buildings will not be considered by PMNSW, unless it can be demonstrated that passive solutions and the inherent properties of the building envelope cannot provide comfortable thermal environments, throughout the majority of the seasonal calendar and are subject to approval.

Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Ensure that ceiling fans do not adversely impact, visually and/or materially, on significant fabric such as ceiling roses, pressed metal, light fittings, etc.
- Select energy efficient products.
- Seek advice to ensure that the placement of fans does not result in chaotic air movement, low ceiling pressure zones against the ceiling and undifferentiated air pressure in other parts of the building.
- The acoustic performance of all windows in the building can be upgraded in the following ways:
 - For windows not of exceptional significance, install thicker glass and adjust the counterweight on the mechanism within the window frame to allow for the increased weight of the new glass.
 - On the inside of the window, install an inner sheet of glass set in a timber or metal frame OR a sheet of plastic fixed with magnetic strips. Either option should be reversible and not be visible from the exterior.
- Insulation of the roof space can be placed at the level of the ceiling joists. When the roof is re-sheeted, insulation could be added to the level of the rafters using a breathable product.
- All proposed environmental upgrade measures are to be assessed by a suitably qualified heritage consultant.

7.12.3 Mechanical Solutions to Supplement Passive Design

Policy 41

Mechanical solutions, following the implementation and analysis of passive solutions, must be designed and selected in consideration of the heritage significance of the place, and the objectives of the Sustainability Policy. The design of mechanical solutions must be supported by an options analysis demonstrating that the proposal presents the least impact to the significant fabric of the place, and accounts for ongoing energy consumption and are subject to approval.

Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Gas and electrical fittings can be used in individual rooms including within the fireplaces.
- Ceiling fans may be installed in the central light fittings and in the rear wings.
- Mechanical systems should be designed to supplement existing passive measures. This will ensure that any necessary mechanical systems are not overloaded, operate efficiently and in turn reduce energy consumption.
- Careful system selection and implementation is integral to the success of any mechanical heating, cooling and ventilation (HVAC) system. This is even more critical with heritage buildings, where the impact of mechanical systems coupled with passive systems should be minimised for their visual and physical impact on the building.
- External reverse cycle air conditioning units for heating and cooling could be placed on the roof, so long as they are discrete, not visible outside the property, do not cover or can be viewed through the skylight over the 1860s wing, and do not have a detrimental impact on significant fabric.
- Refer to PMNSW Sustainable Development Fit-out Guide and the Green Building User Guide for criteria relating to the installation and alteration of mechanical ventilation systems.
- Where new mechanical systems or services are found to be essential, develop their design with a clear understanding of the buildings' significance, in order to avoid or minimise impact on significant spaces, elements and building fabric. Refer to the CMP policies, the RHMP, PMNSW Sustainability Policy and The Burra Charter.
- Consult PMNSW Sustainable Development Fitout Guide:
<http://www.shfa.nsw.gov.au/content/library/documents/973F4FD6-EAA9-CE3D-C298269C0B87BF80.pdf>

7.13 Archaeological Resources

Background

Archaeological relics are protected under the NSW Heritage Act.1977

The study area is identified in the Map of Archaeological Resources in The Rocks (in Appendix C of The Rocks Heritage Management Plan, 2010) as an area of archaeological sensitivity.

The s170 Heritage and Conservation Register listing for the site sets out recommendations for managing archaeological resources on this site, as does The Rocks and Millers Point Archaeological Management Plan and the Godden & Mackay excavation report (1992).

All SHR listed items require a Section 60 application for any excavation where relics maybe disturbed.

Policy 42

The study area has been identified as having the potential to contain archaeological remains. Subsurface disturbance must be restricted where possible to reduce the impact on archaeological remains at this site.

As the site is on the SHR, archaeological remains are addressed under Section 57 of the Heritage Act, which states that a person must not "excavate any land for the purpose" without having an approval under Section 60 of the Heritage Act.

Relics are defined by the Heritage Act to be:

any deposit, artefact, object or material evidence that:

- (a) relates to the settlement of the area that comprises NSW, not being Aboriginal settlement, and*
- (b) is of State or local heritage significance.*

Policy 43

Where works are proposed to be carried out in close proximity to probable archaeological relics, strategies should be put in place to ensure that further archaeological investigations are carried out prior to any construction works in the vicinity. In particular, the site is considered to have at least moderate archaeological potential for deposits of State significance and as such, the site should be subject to further testing and monitored by a qualified archaeologist who meets the Heritage NSW Excavation Director Requirements to disturb relics on an SHR listed site during any ground disturbance following the NSW Heritage Act 1977 archaeological provisions.

Policy 44

An Archaeological assessment by a suitably qualified and experienced archaeologist should be carried out for the site prior to the commencement of any works. The aim of this archaeological assessment is to document the previous layouts and character of the site, to inform future conservation, interpretation and upgrading work, and to determine if any archaeological approvals are likely to be required. The Archaeological assessment must be prepared in accordance with the Heritage Council's relevant guidelines, including Historical Archaeological Sites and the Historical Archaeology Code of Practice.

Policy 45

An appropriate on-site investigation strategy (an archaeological methodology and Research Design) must be prepared and submitted to the NSW Heritage Council as supporting documentation for any excavation permit applications. The Research Design outlines the method proposed to mitigate the impact of the development (such as monitoring, test excavation, sampling, or open area excavation). The Research Design also provides research questions which the archaeological resource has the potential to answer.

Policy 46

An application for an excavation permit must be made under Section 60 of the NSW Heritage Act 1977 for any proposed excavation works within the boundary of the study area. To obtain an excavation permit, the Section 60 application must include an archaeological assessment and Research Design.

Policy 47

All ground disturbance associated with future development of the site in areas previously not investigated through archaeological excavation must be undertaken in accordance with a Section 60 permit, or an endorsed exemption issued by the NSW Heritage Council and are subject to approval. The work must be, consistent with the proposed archaeological methodology and any conditions of the archaeological approval which may include archaeological monitoring or salvage excavation. The progress of such excavation work should be appropriately documented and undertaken by a qualified historical archaeologist who meets the Heritage Council Excavation Directors Criteria for works on State significant sites (in written and photographic form).

Policy 48

Suitable clauses should be included in all contractor and subcontractor contracts to ensure that onsite personnel are aware of their obligations and requirements in relation to the archaeological provisions of the NSW Heritage Act and obligations which need to be met under the National Parks and Wildlife Act 1974 relating to Aboriginal "objects" or relics.

Policy 49

For above and below ground archaeological remains, an archaeological watching brief, with further testing before any disturbance or monitoring program. If historical archaeological relics are exposed on the site, they should be appropriately documented according to the procedures outlined in the archaeological methodology accompanying the application for an Excavation Permit. Should any unexpected archaeology be uncovered during the excavation works the NSW Heritage Council must be notified in accordance with Section 146 of the NSW Heritage Act. Works must stop and a suitably

qualified archaeologist will be required to assess the finds. Depending on the results of the assessment, additional approvals may be required before works can recommence on the site.

Guidelines

- The archaeological resource of the site is of State significance due to the early and ongoing occupation of the site. The site is identified in the Map of Archaeological Resources in The Rocks (Appendix C of The Rocks Heritage Management Plan 2010) as an area of archaeological sensitivity.
- Based on the assessment of archaeological potential (Refer to section 3.4) in this CMP, it is recommended that an archaeological assessment be undertaken prior to any ground disturbance in the study area.
- In the instance that unexpected archaeological remains are identified then the NSW Heritage Council is to be notified immediately.

7.14 Painting and Finishes

Background

Regular painting forms an essential part of maintenance for a number of building materials, especially timberwork, and can extend their service life. Surfaces that were never intended to be painted are not to be painted.

The painted finishes to the rendered brickwork, limited decorative detailing and timber joinery all contribute to the exceptional significance of the property facade. Surfaces that have not been painted are to remain unpainted. For example, unpainted or exposed masonry and bagged brickworks should retain existing finishes and not be rendered or painted.

Regular repainting with acrylic paint should be undertaken to the interior walls and ceilings.

The existing external colour scheme which is based on historical evidence is to be retained. It can only be changed after further research into early colour schemes for this building, which in turn should inform future schemes.

Policy 50

Elements which are currently unpainted or were intended to be unpainted must not be painted.

Policy 51

Existing external finishes to joinery and walls must be maintained with the same paint type and finish in the existing colour scheme. The external colour scheme must only be changed based on research of early colour schemes and are subject to approval.

Policy 52

The finishes to the internal walls and ceilings must be retained and maintained. All joinery must continue to be painted in gloss enamel. The internal paint colour schemes may be changed, subject to approval.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The proponent for the paint colour change, either the land owner or lessee, should engage specialist heritage advice to research the original and subsequent colour schemes for the exterior and interiors.
- Continue the use of compatible exterior paint type and finish. Oil paint is to be used on the external joinery. Walls and joinery are not to be stripped prior to painting.
- On timber floors, a range of floor finishes are acceptable as long they do not require heavy re-sanding to be removed. Acceptable finishes include; natural Tung oil (not synthetic) and water-

based sealants. A black Japan stain can also be used. Not acceptable are 2 pack epoxy and polyurethane finishes and liming.

- The internal colour schemes may be changed; however, the existing paint types should be continued.
- Existing finishes including exposed masonry and timberwork should retain the existing finish and not be painted or rendered.

7.15 Landscaping/Planting

Background

The building covers most of the site, and as such there are no major gardens or plantings associated with the site. Brick paving, planter boxes and associated planting, including high palm tree (appear to be c.1980s), are located at the eastern part of the site and bounding the eastern facades of the building.

Generally, gardening work does not require approval. However, if landscaping works involve more than normal garden maintenance works (i.e. paving, garden beds and plantings), and excavation of 300 mm or deeper is required (e.g. for drainage works), then approval from the NSW Heritage Council is required, and an archaeologist may need to be involved with the works.

Policy 53

Landscaping is acceptable providing it is appropriate for the small planter boxes and does not damage building fabric (e.g. the activity of tree roots. New trees should not be planted outside of the existing planter boxes. Trees should not be planted close to the property as there is the potential for damage to foundations. Existing trees and plantings may be removed from the existing planter boxes. Removal of trees requires the approval of the NSW Heritage Council and the Council of the City of Sydney.

Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- Landscaping works involving more than normal garden work including paving, introduction of the garden beds, planting or removing trees and excavation of 300mm or deeper may require approval if the work is not covered under the Heritage Act's Standard Exemption for Excavation. Landscape maintenance is covered by a Standard Exemption. Approvals may be required from the City of Sydney Council and Heritage Council of NSW and an archaeologist may need to be involved with the works. Refer to archaeological policies in section 7.13 of this CMP.
- Landscape work needs to be preceded by an investigation of the substrate and any paving, early footings, drains, cisterns or other water storage features and cess pits identified. Any significant surviving features, including early paving, are to be retained, recorded and incorporated into the landscaping of the rear yards.
- Elements such as trellises mounted on the walls, BBQ structures, sun shades and the like will affect the significance of the building, and should be avoided.

7.16 External Signage and Lighting

Background

For any commercial use, changes to lighting and the introduction of external signage, are to meet heritage requirements, and requirements of the Authority, and City of Sydney. Additional signage or lighting may be added, so long as there is no adverse effect upon significant fabric or the overall appreciation of the character of the Sailor's Home (former).

Policy 54

All new external signage and lighting should be keeping with the character of the Sailor's Home (former). Signage and lighting should be added to fabric of moderate or little significance. The addition of signage to fabric of high significance should be avoided where possible.

Policy 55

All signage must be consistent with PMNSW's Signage and Lighting Policies.

Guidelines

- Under current legislation (2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- All new works are to comply with the Authority publication, *The Rocks Lighting Policy 2013*.
- Consult with the PMNSW for all proposed external and internal signage.
- External and internal lighting and service runs are to be achieved with minimum intervention in significant fabric. Refer to policies in section 7.8 of this CMP.
- Replacement fittings should be attached and use the existing power outlets.
- Recessed down lights are not permitted in areas of exceptional or high significance, as they are unsympathetic to the significant building characteristics and ambience.

7.17 Ongoing Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule is to be implemented, and should include regular inspections, and remedial actions where necessary, as outlined in Section 8.0.

Policy 56

As a necessary minimum, the ongoing maintenance must include works that will ensure that each element retains its current level of significance, and not allow the loss of significance due to neglect or the deterioration of fabric, as required under Section 118 of the NSW Heritage Act minimum standards for the maintenance and repair for State heritage Register listed properties.

Policy 57

Changes to the building must be photographically recorded in accordance with NSW Heritage Office's guidelines for photographic recording. The record is to be submitted to PMNSW for archiving.

Guidelines

- Any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of consents and approvals – refer to Section 7.5 Ownership, participation and approvals - policies and guidelines.
- The building fabric and services are subject to continuing care and maintenance by PMNSW, or any lessees under a lease agreement, or property owner, in accordance with the NSW Heritage Council minimum standards of maintenance and repair.
- In addition to regular maintenance activities, prompt preventative action and repair is to be undertaken as necessary as set out in section 8.0.
- The significant fabric of the Sailor's Home (former) is to be repaired in accordance with the recommendations outlined in Section 8.2.

- The significant fabric of the Sailor's Home (former) is to be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3.
- Prevention and regular ongoing maintenance of fabric is essential to prevent continuing deterioration and the need for future widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with heritage buildings and materials.
- All maintenance work and repairs are to be undertaken in using appropriate materials and skills to ensure that there is no negative impact on significant fabric.

7.18 Interpretation

Background

Interpretation of historic places can reveal long-term connections that underpin the cultural significance of a place. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life in order to increase the public's understanding, and, through this extended understanding, provide an enhanced perception of the significance of the place.

On the broadest level, the presentation of the Sailor's Home (former) and its original form and appearance, is a method of interpreting the building and its significance to the public. Due to its use as private residences, opportunities to interpret the history and the significance of the building to the general public are limited.

There is also an opportunity to interpret the Sailor's Home (former) off-site at The Rocks Visitor Centre, while still allowing tenants and occupants the right to privacy.

The Sailor's Home (former) could be included on The Rocks Self-Guided Walking Tour and on the Virtual Sydney Rocks Guidebook – it is important to update these online guides with new information.

The history, significance and setting of the Sailor's Home (former), can be highlighted in interpretive material, such as a walking guide, produced by the Authority and made available through The Rocks Visitor Centre. Additional opportunities to interpret the place and setting may be available at other local venues which are open to the public, such as the Susannah Place Museum.

Policy 58

The heritage significance of the Sailor's Home (former) can be interpreted by appropriate methods in a way which explains the building to the public, while respecting the privacy of the building's occupants through off-site interpretation.

Guidelines

- One aspect for the Conservation Management of the Sailor's Home (former) is to make the cultural significance accessible to the public.
- PMNSW should continue to explore opportunities for and continue to provide off-site interpretation for the Sailor's Home (former) and the neighbouring precinct at nearby publicly accessible places, such as Susannah Place, or The Rocks Visitor Centre.
- Online visitor guides to The Rocks including information on the Sailor's Home (former) should be appropriately updated with new information.
- Ongoing research should be carried out in order to enhance the understanding of the Sailor's Home (former). Such research should include actively collecting oral histories of people who lived in the buildings prior to conservation works.

8.0 Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of the Sailor's Home (former) and to ensure that the heritage value of the place is maintained and enhanced.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of the Sailor's Home (former) with the provisions are those for *Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security*.¹²⁹

To ensure compliance with the Minimum Standards of Maintenance and Repair for the Sailor's Home (former) the following works need to be undertaken:

Minimum Standards of Maintenance and Repair Sailor's Home (former)
All Areas Generally
Work or Activity Required for Compliance with the Standards for: INSPECTION (Minimum frequency: every year)
Gutters and downpipes should be regularly inspected monthly and cleaned as required. Inspections should be made for cracks, rust, drips, loose or missing brackets, moss and stains. The presence of moss, stains and other organic matter could indicate a blockage.
The structure including internal and external walls should be regularly checked for cracks, leaning or subsidence. Cracks in walls, ceilings and in the structure generally should be monitored. Advice should be sought from a structural engineer if they change.
Inspection by a qualified and approved contractor should be undertaken to ensure there is no termite infestation.
Inspections should be made to ensure that items in the outdoor areas (at the front and rear of the building) do not block wall vents and sub-floor vents, or bridge damp proof courses. Items and leaf litter in the outdoor areas should be kept clear of walls and fencing at all times.
The storm water drains should be checked for blockages. The joints between the downpipes and storm water system should be checked to ensure that they are sound.
The roof should be checked for rust, missing or loose flashing near the parapets. Loose fixings can be indicative of batten failure. Regularly remove rubbish and leaves from the roof.
Inspections should be made for paint deterioration including chalking, weathering, flaking, cracking, blistering, or staining.
Window and doorsills should be checked for damage and deterioration.
Inspection of holes and other areas around the roof should be made to prevent birds nesting.
Work or Activity Required for Compliance with Standards for: ESSENTIAL MAINTENANCE & REPAIRS (Minimum frequency: every year)
Broken glass in windows or doors should be removed and repaired as soon as practicable with glass of the same thickness and type.
The correct operation of windows and doors should be checked, and adjustments or repairs made as necessary. This includes identifying and repairing damage to moldings, architraves, sills and thresholds as well as window sash cords. The integrity of significant items should be ensured in the course of any repairs or maintenance. Intrusive elements should be replaced with sympathetic ones.

¹²⁹ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

Loose or missing screws in original locks, door handles, and other fixtures should be tightened or replaced with hardware of the same type and finish. Intrusive elements should be replaced with items that are sympathetic to the original structure.
Taps and other plumbing fixtures should be checked for drips and leaks and repaired promptly.
Electrical fittings and fixtures should be inspected for safety, including security systems. Intrusive elements should be replaced with ones more sympathetic or less intrusive to the original style of the building.
Regularly remove rubbish and leaves from the roof, gutters and outdoor areas.
Work or Activity Required for Compliance with the standards for: WEATHER PROTECTION (Minimum frequency: every year)
Windows and doors should be checked for water ingress to ensure water is not penetrating into the buildings.
Paving should be checked to ensure water drains away from the buildings and fences.
Metal flashings and roof capping should be inspected for loose or raised fixings or wind distortion.
Windows and doors should be inspected to determine if they operate properly. This would include identifying damaged moldings and architraves, and decaying sills, and thresholds that might allow water ingress or trapping of moisture. Stains should be noted as this is indicative of flashing failure.
All stormwater drains and gutters should be inspected and cleared on a regular basis to avoid flooding during wet weather.
Work or Activity Required for Compliance with the Standards for: FIRE PROTECTION (Minimum frequency: every year)
The property should be regularly checked for fire hazards such as rubbish, undergrowth and other combustible materials, and if found, should be removed from the site.
Overhanging trees and branches should be trimmed so as not to cause a fire hazard.
Smoke alarms compliant with Australian Standards (AS3786) should be installed and connected to the electricity supply. Legislation requires that all NSW residences have at least one working smoke alarm installed on each level of a residence. Batteries in smoke alarms that are not hard-wired should be replaced yearly.
Work or Activity Required for Compliance with the Standards for: ESSENTIAL MAINTENANCE AND REPAIR
Carry out essential maintenance and repair whenever necessary in order to prevent the serious or irreparable damage or deterioration. Essential maintenance and repair may extend to (but not be limited to): foundations, footings, supporting structure; structural elements such as walls, columns, beams, floors, roofs and roof structures; exterior and interior finishes, details, fixtures and fittings; and systems and components (such as ventilators or ventilation systems) intended to reduce or prevent damage due to dampness.
Inspect for and undertaken appropriate action to control pests such as termites, rodents, birds and other vermin.

8.2 Schedule of Conservation Works

The Sailor's Home (former) is generally in good condition.

Items requiring urgent rectification work to the existing Billich Gallery tenancy space include:

- Eastern Rear deck and steps - unsafe condition due to dampness and timber damage – current project;
- Eastern Lower Ground Floor - deteriorating stonework around doorways and in various locations;
- Infrastructure upgrades to electrical systems - non-conformance or non-compliance;
- Electrical heating units installed on gallery walls – replacement;
- Major overhaul of lift controls and safety gear; and
- External south elevation - dampness evident needs rectification.

Items requiring urgent rectification to the former Wild Ginger restaurant tenancy space, include:

- Ground floor rising damp in exposed sandstone walls needs specialist advice and ongoing monitoring. Sandstone Repointing required and needs cleaning;
- Southern outside deck and access requires maintenance – currently programmed for 2021;
- Eastern downpipe & glazed roofing box gutter also clogging – needs attention; and
- Fire service upgrades required.

In the short-term minor repair works listed in section 8.2 are required. In the longer term maintenance should be undertaken as set out in section 8.3.

8.3 On-Going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented as part of the process of on-going management of the Sailor's Home (former). Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

On-Going Maintenance Schedule			
Sailor's Home (former)			
Area/Item	Every Year	Every 2 Years	Every 5 Years
GENERALLY			
Overall	The property manager/tenant to identify, record and report any maintenance issues as they become apparent. Comprehensive timber pest inspection to be carried out yearly by a qualified technician and as specified in the Australian Standards.	Inspections to be carried out by an appropriately qualified representative of the Authority (with experience in the maintenance of heritage items)	
EXTERNAL			
WALLS			
Sandstone work		Inspect for loose, fretted, broken stonework or missing mortar in joints around windows, doors, along flashings and on	

		cornices or other projections. Inspect for signs of delamination that can affect the soundness of stone. Inspect for damp and its likely source e.g. Rising/falling.	
Brickwork		Inspect for loose, fretted, broken brickwork or missing mortar in joints. Check for crumbling brickwork or surface salts indicative of damp. Ensure walls are straight and true. Inspect surfaces for signs of cracking or subsidence.	
Plasterwork/render	Inspect all areas for deterioration and damage		
Paintwork	Check for damage or deterioration.		
EXTERNAL ELEMENTS			
Timber	Inspect for weathering and potential decay. Check paint coatings and finishes to ensure they are adequate.		
Windows	Inspect for loose, damaged or weathered timberwork including sashes, mouldings, architraves, stiles, sills. Check that move freely.	Check all windows for operability; ensure hardware is intact and operational. Check internal faces around windows for stains that can indicate failed flashing.	Inspect for paint deterioration, damage and weathering.
Doors	Check all doors for operability; ensure hardware is intact and operational. Check for signs of weathering, damage or decay.	Inspect for paint deterioration, failure or damage.	
STORMWATER			
Gutters, Rainwater Heads & Downpipes	Ensure birds are not nesting on or around downpipe offsets. Clear guttering and downpipes of any blockages. Ensure gutters are not sagging and fall to downpipes. Ensure leaf guards to outlets, rainwater heads	Ensure downpipes are not dented, damaged or restrict water flow. Ensure connection to storm water system is sound and clear of debris.	

	and sumps sit correctly and are clear of debris. Check for organic growth, moss or stains around downpipes. Investigate source of damp if moss or staining detected. Inspect gutters and downpipes for cracks and loose or missing brackets. Repair /replace to match existing as necessary.		
ROOFING			
Roof sheeting	Inspect all roofing. Remove and replace corroded or otherwise terminally damaged roof sheeting. Inspect underlying structure for damage and repair as necessary.		
Flashing	Investigate whether chemical incompatibility between the flashings and the roof sheeting has caused damage or discolouration of the roof sheeting. Check effectiveness of damp-proof courses and flashings and replace damaged sections.		
Parapets, capping	Inspect and repair/restore when necessary.		
INTERIOR			
GENERALLY			
Walls: Stone, brick and lightweight walls	Inspect for damp and water penetration. Investigate source and repair where necessary. Monitor all cracks.		
Windows & Doors including sashes and frames	Check all doors and windows for operability; ensure hardware is intact and operational.		
Paintwork	Inspect for deterioration or damage. Where necessary reapply paint avoiding build-up of paint on timberwork in particular on sashes and door leaves. Clean and apply top coat or remove paint and apply two top coats if required.		

Ceilings	Inspect for damp or water penetration, bowing or warping. Repair as necessary ensuring that significant elements are conserved.		
Cornices, and other ceiling trim	Inspect for damage, clean and repair as necessary.		
Plasterwork	Inspect for damage and deterioration. Any repairs should use material compatible with the original plasterwork and applied by a tradesman with experience in restoration.		
Timber floor and roof structure	All timber elements (including structural elements) are to be inspected individually for damage or deterioration where accessible. A heritage specialist should be consulted about the replacement or repair of any elements. Check for integrity of damp and termite barriers.		
Floorboards			
Joinery			
Timber staircase			
SERVICES			
Electrical	Ensure all internal wiring is in good condition and has been installed by a qualified electrician and in compliance with Australian Standards. Inspect for damage to electrical fittings and fixtures and ensure that they have been installed in compliance with Australian Standards.		
Plumbing and drainage	Inspect for deterioration and damage to pipework, fittings and fixtures.		

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