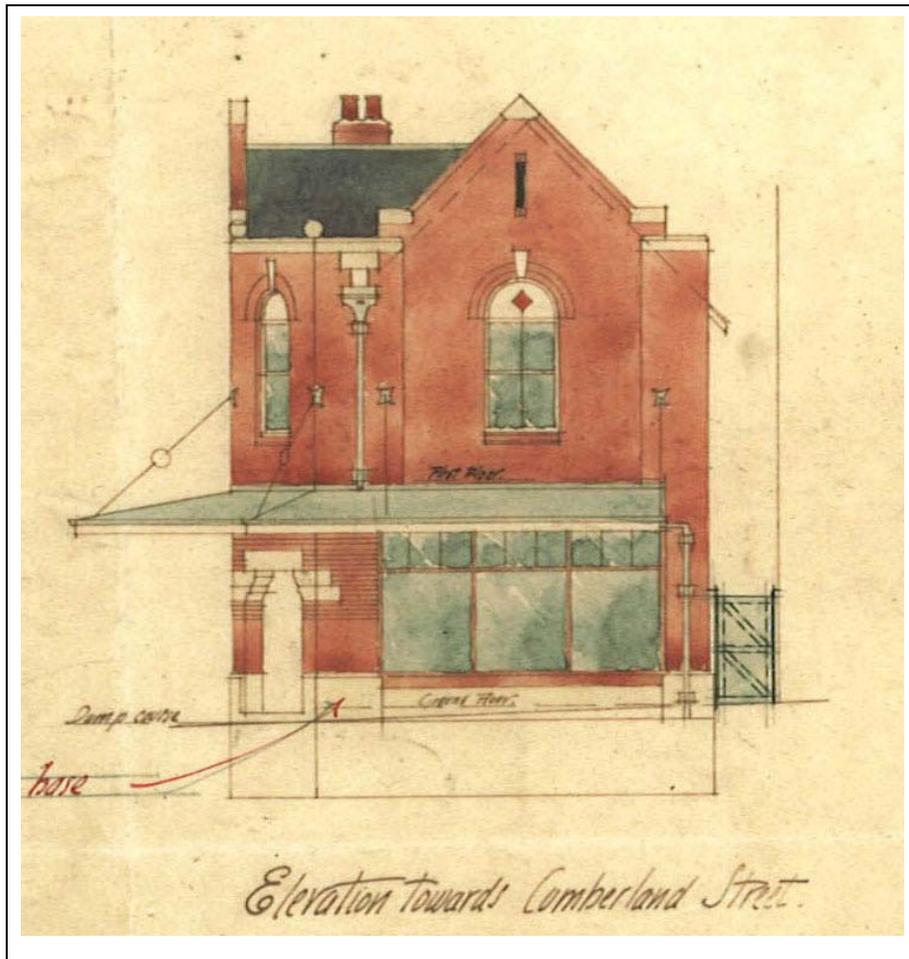


SYDNEY HARBOUR FORESHORE AUTHORITY

CONSERVATION MANAGEMENT PLAN

182 CUMBERLAND STREET

THE ROCKS



ORWELL & PETER PHILLIPS

JUNE 2011

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Cover: Extract from working drawing for 182 Cumberland Street, The Rocks

Source: *Plan 3154 State Records NSW*

Executive Summary

This Conservation Management Plan (CMP) updates a previous conservation plan for the site by Robertson and Hindmarsh Pty Ltd.

The site at 182 Cumberland Street has been occupied by a corner shop since 1851, and by a shop possibly even earlier. The present building was constructed as a shop and residence in 1912 to designs by the Government Architect's office under W L Vernon. It remained largely unaltered until the 1960s, when the corner shop entrance was blocked up and the building was altered internally to suit its use entirely for commercial purposes. The awning was removed about the 1970s. Reconstruction and conservation works were undertaken in the 1990s by the Sydney Cove Authority that largely restored the external appearance of the building.

The shop and former residence at 182 Cumberland Street has historical significance as an early commercial site in The Rocks area, still operating with a commercial use, and one of the few remaining corner shops and residences in The Rocks. It is also significant as an example of the work of the Government Architect's office in the government's redevelopment of The Rocks area in the early years of the 20th century, and is associated with the then Government Architect W L Vernon. The building has aesthetic significance as a good and well preserved representative example of the Federation Arts and Crafts style, skilfully adapted to its steep site and corner location. The ability of the building to demonstrate the principal characteristics of its type has been enhanced by recent conservation works

The conservation policies generally recommend conserving the place in its current configuration and use, with some additional interpretation to explain significance. The use of the place at least partly for residential purposes is encouraged, if appropriate at some time in the future.

The assistance in the preparation of this report of staff of the Sydney Harbour Foreshore Authority, Scott Robertson of Robertson and Hindmarsh Pty Ltd, and Mr David Mannix and the staff of Aurora expeditions, is gratefully acknowledged.

1. Introduction

1.1 Context of the Report

This report is based on a brief outlined in a letter from the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Foreshore Authority.

The Conservation Management Plan (CMP) for 182 Cumberland Street has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February 2002). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for adoption by the Foreshore Authority.

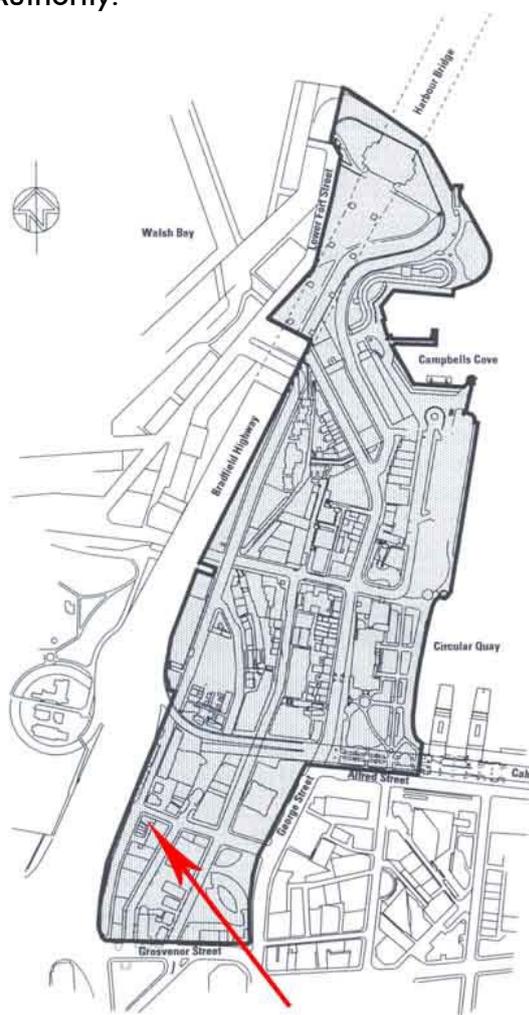


Figure 1

Location of 182 Cumberland Street within the context of The Rocks¹

¹ Base plan from Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2000), p.6. *The Rocks Heritage Management Plan*, adopted February, 2002, is in three volumes, Vol. 1, Vol. 2, *Background Papers*, and Vol. 3, *Supporting Documentation*. *The Rocks Heritage Management Plan* (2000) may be accessed at www.shfa.nsw.gov.au

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of the building and site at 182 Cumberland Street to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

1.3 Site Identification

182 Cumberland Street is located between on the corner of Essex and Cumberland Streets (Lot 3, DP 778140).

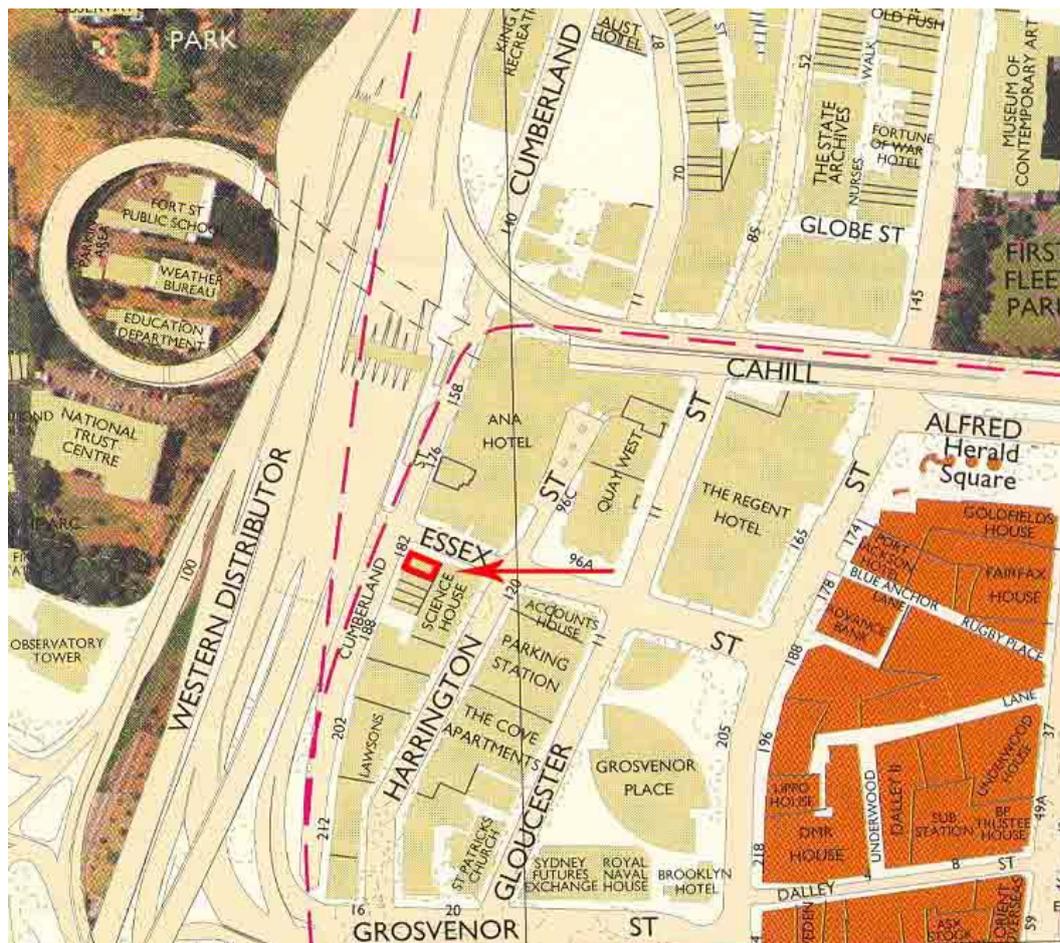


Figure 2

Site plan showing location of 182 Cumberland Street

Source: (base plan) Central Sydney, Pyrmont and Ultimo Map Edition 1. City of Sydney June 2001

1.4 Listings

1.4.1 Statutory Listings

The place is listed on the State Heritage Register as Shop and Residence (SHR No. 01581), gazetted on 10 May 2002.² The property is also listed in the Sydney Harbour Foreshore Authority's S170 Register.³

² Information from State Heritage Register web site

³ Information from Sydney Harbour Foreshore Authority Heritage Register web site



Figure 3

182 Cumberland Street from north-west, 2008

Source: Orwell & Peter Phillips

1.4.2 Non Statutory Listings

The property does not appear to have been classified by the National Trust of Australia (NSW) or individually listed on the Register of the National Estate. It is within The Rocks Conservation Area listed in the Register of the National Estate on 21 October 1980 (item No 2255), and also within The Rocks Urban Conservation Area classified by the National Trust of Australia (NSW).

1.5 Building Description

The building at 182 Cumberland Street has an L-shaped plan with two storey frontages to both Cumberland Street and Essex Street, although the Essex Street wing is half a floor below the Harrington Street wing because of the steep slope of the site. The building has face brick walls with sandstone dressings, timber framed doors and windows and a slate roof. It has a suspended steel framed and sheeted awning to the corner shop, and a rear two-storey timber verandah. Internally, the building has timber floors, clear finished in the upper ground floor and mostly carpeted elsewhere (the bathroom floor is tiled, and the laundry and WC floors are concrete), cement rendered and painted brick walls (with some timber framed walls sheeted in plasterboard) and plasterboard ceilings. Refer to Figure 4.

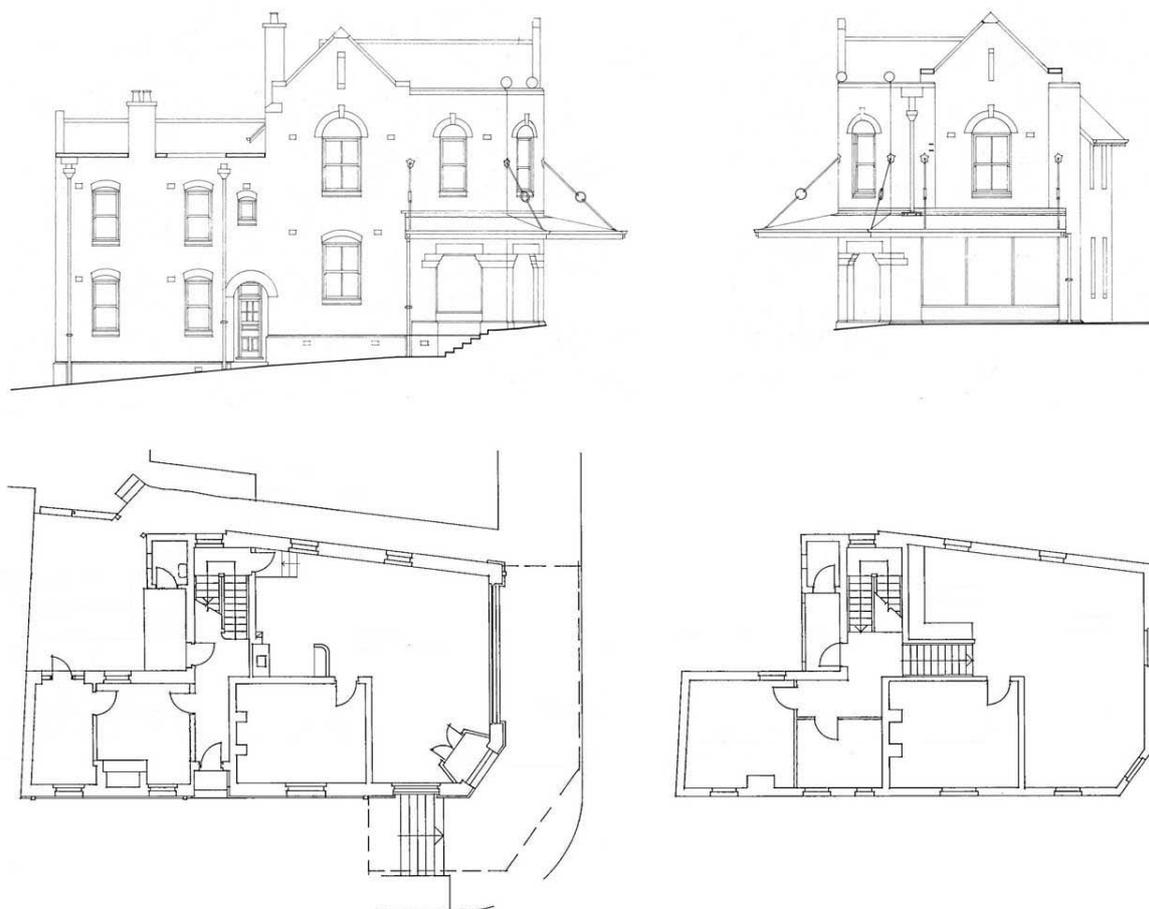


Figure 4

Plans and elevations of 182 Cumberland Street

Source: Sydney Harbour Foreshore Authority Plans Nos. ROX-263-AR-0003-DR, ROX-263-AR-0004-DR, and Report 32094, original drawings by Robertson & Hindmarsh Pty Ltd 1994 and 1995, modified Orwell & Peter Phillips 2008

1.6 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999*, known as *The Burra Charter*; the NSW Heritage Branch's *Guidelines on Conservation Management Documents*, and James Semple Kerr's *The Conservation Plan* (sixth edition) 2004.

This Conservation Management Plan revises and updates the original plan prepared for the Sydney Cove Authority by Robertson & Hindmarsh Pty Ltd in 1994⁴.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides

⁴ Conservation Plan of and Reuse Options for 182 Cumberland Street, The Rocks, for the Sydney Cove Authority, by Robertson & Hindmarsh Pty Ltd, Architects. October 1994.

guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of 182 Cumberland Street.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and Photographic Sources

The majority of the material used in this report has been taken from the archives of the Sydney Harbour Foreshore Authority. Other repositories of information include the Mitchell Library, State Archives NSW and the City of Sydney Archives. Recent photographs unless otherwise credited have been taken by Orwell & Peter Phillips.

1.8 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions⁵ -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

⁵ Australia ICOMOS Burra Charter 1999, p. 2.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a *place*, as well as the activities and practices that may occur at the *place*.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a *place* that contributes to the *cultural significance* of another *place*.

1.9 Authorship

This Conservation Management Plan has been prepared using a standard template provided by the Sydney Harbour Foreshore Authority, which includes a history of The Rocks area. The principal author of the plan is Peter Phillips of Orwell & Peter Phillips, who is also responsible for the investigation of physical evidence. Documentary research and preparation of the history of the precinct and site were undertaken by Dr Rosemary Annable. Advice and preparation of policies on historical archaeology have been provided by Tony Lowe of Casey & Lowe Pty Ltd.

Sustainability policies have been authored by Lucy Burke-Smith of the Sydney Harbour Foreshore Authority as an addendum to this document. These policies and minor text associated with the recent change in use and occupation have been reviewed by Peter Phillips.

2. Documentary evidence

2.1 Thematic History

In order better to understand how the building at 182 Cumberland Street developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Branch has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.⁶ The organising principle for the thematic framework is the dynamism of human activity.

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁷

The State historical themes of Accommodation and Commerce are used in this history to guide research questions, interpret the history, and structure the narrative of the development of 182 Cumberland Street within the context of the development of The Rocks.

2.1.1 Development of The Rocks

Indigenous Sydney- The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the *Eora*, or coastal *Darug*. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a "clan" (subgroup) known as the *Cadigal*. Their word for The Rocks, or more specifically the shore where the hospital stood on George Street between Globe Street and Argyle Street, was "*Tallawolodah*". The peninsula of land now called Dawes Point was "*Tarra*", and Sydney Cove itself was "*Warrang*" or "*Warrane*".

Owing to the rugged outcrops of rock which later gave the "The Rocks" its name, it is unlikely there was any "permanent" occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal cooking fish.

From archaeological evidence, a campfire was excavated in 1989 on the site of the ANA Hotel, indicating that a small group of Cadigal had, some 500 years ago, stopped on the site and cooked a meal of rock oysters, bream, schnapper and other shell fish, no doubt taking in the views over the harbour. In the 1870s it was recorded that a carving of a whale could be seen on the rock at Dawes Point, although this appears to have been buried in c. 1880 when the seawall was constructed.

⁶ Both the Australian Heritage Council (National) and the NSW Heritage Office (State) have identified themes for research relating to places of heritage significance. Refer to www.heritage.nsw.gov.au.

⁷ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

The Convict Settlement (1788-1820)

After the arrival of the Europeans in 1788 the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. Along George Street the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory, and, in 1791, a fort (Dawes Point Battery) were constructed.

In 1810 the streets of The Rocks were formalised and generally given the names they bear today.

As the colony grew the rough convict huts were replaced by modest houses, and also a few mansions. From the archaeological excavations that have been carried out over the past 10 years it has become evident that the lives of the convicts were very different from what is commonly assumed. These convicts were often tradespeople from Britain's cities and many were political prisoners exiled after the Irish rebellion in the 1790s. They appear to have had a far better lifestyle in Sydney than they would have expected in Europe. They ate well off fine china and expensive oriental porcelain, and furnished their houses with fine figurines and exotic curios. Many made substantial fortunes from investing in ships trading with Asia and the Pacific.

As Sydney expanded in the 1790s the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area were forced to register the land they occupied and pay a fee to the Colonial Secretary.

The Port Town (1800-1900)

Following the opening up of Sydney to free settlement after 1822 the government surveyors surveyed and issued titles to the land in The Rocks and other parts of Sydney. Long-term occupants were granted title of ownership to their land. As Sydney underwent a population boom after the assisted immigration and then the gold rushes between 1839 and the 1850s, many old-time occupants subdivided their lands, either selling off portions or else retaining them as landlords.

From c. 1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets. By the late 19th century The Rocks had become run down and overcrowded, the dozens of pubs being seen as meeting places for criminal gangs, and the back streets the haunts of prostitutes. In short, it was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean the area up. Of the 103 deaths attributed to the plague, only three occurred in The Rocks. The entire area was bought up ("resumed") by the Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) which then demolished hundreds of houses considered to be uninhabitable.

Redevelopment (1900-current)

The newly formed State Government Housing Board designed and built "workers" housing in 1911-13 in a move to keep tighter control on the area. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of "terrace" housing as being unhealthy, this being the period of suburban expansion and the development of the "Garden Suburb" ideal. The First World War halted much of the Government's redevelopment plans for the area and effectively stopped further demolition.

In the inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War & Glenmore), and some NSW Government offices (Housing Board, Dept of Labour & Industry, State Clothing Factory). Some private factories were also built at The Rocks in this period (Playfair's butchers, Bushell's, Cadbury's). All relied on locally-based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953 and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932 saw the demolition of some 400 houses in Princes Street, Upper Fort Street and the western side of Cumberland Street. Princes Street itself disappeared from the map.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c. 1932 to 1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex Street (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as the post-war immigration gateway to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development. Between 1971 and 1973 the Government gave in to their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable. Local residents were re-housed in the area, and the former Victorian residential terraces of George, Playfair, Gloucester and Harrington Streets were converted to commercial uses. The area south of the Cahill Expressway, known as the "sacrificial zone", was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

2.1.2 Development of the Precinct

By the late 1790s a rudimentary street pattern was emerging on the west side of Sydney Cove where a number of tracks traversed The Rocks, the ridge line that defined the western extent of the small settlement. Here, above the government buildings that were grouped around the waterfront, a number of patches of ground had been cleared and levelled to provide sites for the houses and gardens of the Colony's earliest European settlers. Running from Dawes Point, past the windmills and south towards the church, these tracks provided the main means of communication along the ridge, intersected here and there by narrow lanes and steps leading down the steep slope towards the main route through the settlement (first known as High Street and then named George Street). The earliest names for these tracks and lanes, like most in the settlement, were descriptive, indicating where they came from or led to, who lived there, or prominent features that distinguished them.⁸

The occupation of the western ridge of the town was not however confined to windmills, huts and gardens: the defence of the Colony was also a consideration. In September 1788 some of the ships' guns from the *Sirius* had been off loaded and placed on Dawes Point and three years later a rudimentary stone fort was built on the site. By 1801 the

⁸ The existing streets were renamed and new streets defined in 1810 by Governor Macquarie, *Sydney Gazette* 6 October 1810, pp 1-2 & 27 October 1810, p 2.

need for defence was focused not on the harbour and the need to repel invasion from beyond the settlement, but on the possibility of insurrection within the Colony by Irish convicts. In March Governor King informed the British government of his intention to build a fort on Windmill Hill where Governor Hunter had first established guns in 1794. Work on the new fortification began in 1804 and, in the process, at least one resident of Windmill Row (later Prince Street) had to relinquish his lease so that his house could be demolished to make way for the site of the new battery, Fort Phillip. The occupant was Thomas Boulton, a free settler who was promised another lease in compensation for his loss.⁹

2.2 Historic Themes

The following themes have been identified as being applicable to the site and history of 182 Cumberland Street:

182 Cumberland Street		
Historic Themes		
NSW State theme	Australian theme	Application
Commerce	Developing local, regional and national economies	Potential archaeological remains of 19 th century bakery and corner shop
Commerce	Developing local, regional and national economies	Early 20 th century corner shop and residence, later offices of customs agent
Accommodation (Housing)	Building settlements, towns and cities	Potential archaeological remains of early 19 th century house and of corner shop
Accommodation (Housing)	Building settlements, towns and cities	Early 20 th century shop and residence
Labour	Working	ALP hostel for unemployed women during the Depression (documentary evidence)
Domestic life	Developing Australia's cultural life	Potential archaeological remains of 19 th century domestic use of the site
Creative endeavour	Developing Australia's cultural life	Exemplar of small scale combined domestic / commercial building designed by the Government Architect's office of the period
Towns, suburbs and villages	Building settlements, towns and cities	Site a remnant of early 19 th century street plan of Sydney still reflecting early topography of The Rocks

⁹ Memorial of Thomas Boulton Senr 29 January 1810, Colonial Secretary's Correspondence, Letters Received, NRS 899, 4/1821 No. 30, Fiche 3001 (State Records NSW)

2.3 Initial Development of the Site

2.3.1 A site in Cumberland Street for Thomas Boulton Senior

Thomas Boulton's choice of an alternative lease was further to the south on The Rocks, on the east side of Church Row (Cumberland Street). This allotment would eventually form the south-east corner of Essex Street and Cumberland Street but it is probable that when Boulton first took up occupation, the line of what would become Essex Street had not yet been formed.¹⁰

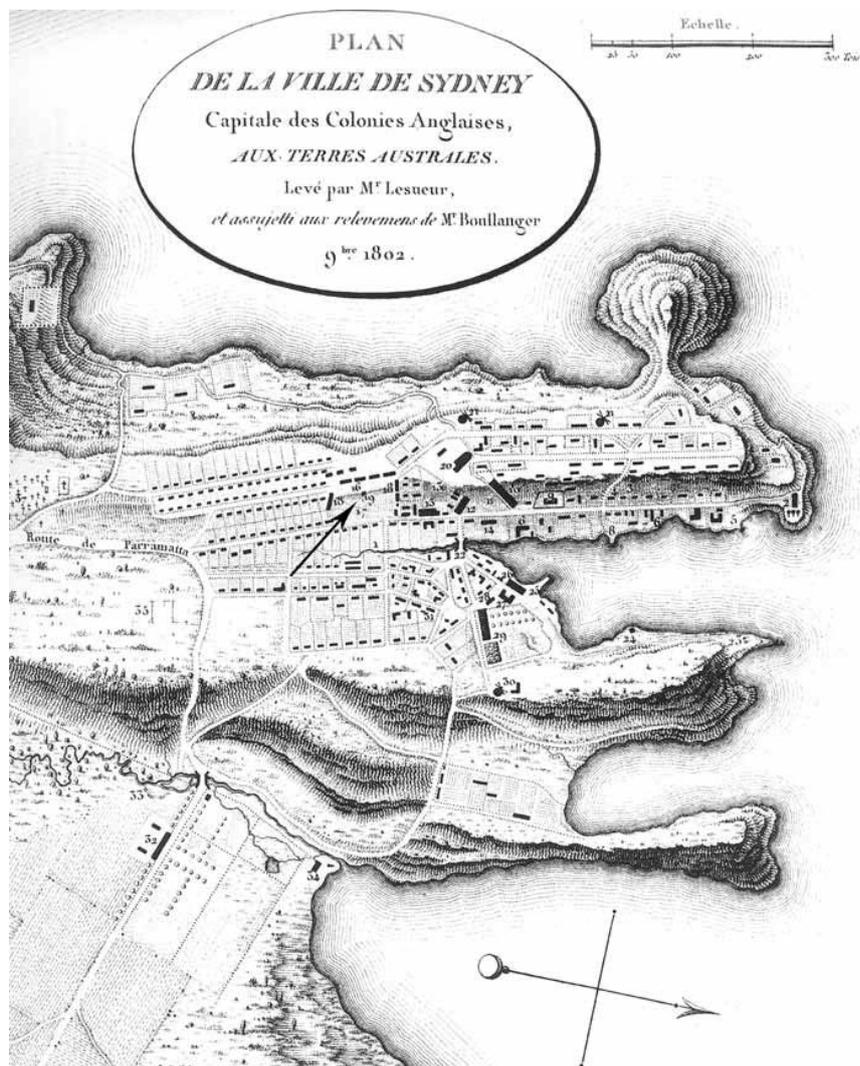


Figure 5

Lesueur's plan shows the basic elements of the town of Sydney in 1802 with a very neat (perhaps unrealistic) layout of streets on The Rocks. There is no indication at this date of a street along the south side of the gaol, (Building 9) where Essex Street was eventually formed.

Source: Max Kelly & Ruth Crocker; *Sydney takes shape. A collection of contemporary maps from Foundation to Federation, 2nd ed.*, Doak Press in association with The Macleay Museum, The University of Sydney, 1978, p 10

¹⁰ Lesueur's plan of 1802 (which shows an extremely neat street layout) and Meehan's perhaps more realistic plan of 1807 do not give any indication of a street in the location of Essex Street other than along the south wall of the gaol, see Max Kelly & Ruth Crocker; *Sydney takes shape. A collection of contemporary maps from Foundation to Federation, 2nd ed.*, Doak Press in association with The Macleay Museum, The University of Sydney, 1978, pp 10 & 12.

In December 1809 the lease of this allotment in Church Row was officially granted to Thomas Boulton, one of several leases in The Rocks that were confirmed by Colonel William Paterson at the end of the interregnum caused by the deposition of Governor Bligh.¹¹ Like all other leases and grants made by the illegal regime, it was immediately deemed to be invalid on the arrival of Governor Macquarie in January 1810 and ordered to be surrendered. Boulton complied with the government order and petitioned the Governor for the renewal of a land grant that he held at Toongabbie and for his Sydney lease.¹² After recounting the loss of his lease on Old Windmill Row for the construction of Fort Phillip and the grant of another in Church Row by Colonel Paterson in compensation, Thomas Boulton stated that he had been 'at much trouble and expense in the purchase of the ground and the erection of the house thereon'.¹³ It would appear, on the basis of this statement, that Thomas Boulton had built a house on his lease on Cumberland Street by 1810 and that his occupation of this site could date from about 1804 when he was forced to move from Old Windmill Row. No mention was made in Boulton's memorial of any other town leases and it seems likely that the Cumberland Street house was the family home.¹⁴

Boulton's petition was successful and, in accordance with the Royal instruction that 'all such Grants of Land, Tenements, Stock and Leases as are in other Respects legal, and are found to be made from Motives of Impartiality and Justice', the Cumberland Street lease was re-granted by Macquarie in August 1812 for a period of fourteen years.¹⁵

2.3.2 Thomas Boulton and Family

Thomas Boulton (Bolton) had arrived in Sydney with his wife and family on board the *Minorca* in December 1801 as part of a group of free settlers 'of various handicraft and agricultural occupations' who, Governor King was advised, were expected to prove 'of essential benefit in increasing the manufactures and produce of the settlements under your government'.¹⁶ These free settlers were to receive the 'usual rations and indulgences' and Thomas Boulton was granted 100 acres in the District of Toongabbie by Governor King in March 1802.¹⁷ Boulton and his wife Grace (formerly Moore) had both been married previously and their family on their arrival in New South Wales included their children Thomas junior, Thomas' son by an earlier marriage and John Michael Anthony and Mary Ann Anthony, Grace's children by her marriage to the late Thomas Anthony.¹⁸

Boulton was by trade a stonemason and it seems unlikely that agricultural pursuits enabled him to make any real contribution to the advancement of the Colony. After

¹¹ R J Ryan (ed.): *Land Grants 1788-1809*, Australian Documents Library, Sydney, 1981, p 278

¹² Boulton had been granted 100 acres at Toongabbie by Governor King in 1802 but for some unknown reason this appears to have been regranted by Paterson and so Boulton surrendered it in accordance with Macquarie's orders.

¹³ Memorial of Thomas Boulton Senr 29 January 1810, Colonial Secretary's Correspondence, Letters Received, NRS 899, 4/1821 No. 30, Fiche 3001 (State Records NSW)

¹⁴ Grace Boulton described herself in her will as 'of Cumberland Street'. Will dated 18 February 1817, Series 1 No. 4, Reel 3003 (Society of Australian Genealogists, Sydney).

¹⁵ Proclamations in *Sydney Gazette* 7 January 1810 p 1 and List of Town leases granted by Macquarie, *HRA* (Ser. 1) Vol. VII, p 654.

¹⁶ Under Secretary King to Acting-Governor King Despatch dated 19 June 1801, *Historical Records of Australia* (Ser. 1) Vol. III, pp 108-109.

¹⁷ R J Ryan (ed.): *Land Grants 1788-1809*, Australian Documents Library, Sydney, 1981, p 150

¹⁸ Memorial of Edward Edwards on behalf of his infant children 24 October 1817, Colonial Secretary's Correspondence, Letters Received, 4/1739 pp 270-272, Reel 6047 (State Records NSW)

initially settling on his grant at Toongabbie,¹⁹ Boulton moved within a few years to Sydney where he and his family were resident on The Rocks. The resumption of his house in Old Windmill Row for the construction of Fort Phillip would suggest that this had occurred by about 1804.²⁰ Thomas and his family remained on the stores until June 1805²¹ but by the time the 1805-1806 Muster was taken he was self employed as a stonemason and had two men working for him.²² His son, Thomas junior, was similarly employed, had found himself a wife at the Orphan School and had begun what was to be a very large family.²³

During the Macquarie period the skills of Thomas Boulton senior were clearly appreciated by the Governor. He was employed to build impressive stone walls at Government House, Parramatta and in the Government Gardens and around the Governor's Domain in Sydney,²⁴ and was also called upon to provide an expert valuation when Palmer's windmill and bakehouse were removed from the Domain. Francis Greenway, the Governor's Civil Architect, also employed Boulton when working for private clients.²⁵ As well as having what was obviously a good professional reputation, Boulton was clearly a well-respected and reliable member of his local community and served frequently on coronial juries.

On 13 January 1817 Thomas Boulton senior died, aged fifty-three. His will, written in 1812, provided for his property to be divided equally between his wife Grace and his son Thomas, with Grace's share to go on her death to her son John Michael Anthony.²⁶ Less than six weeks later, Grace, ten years her husband's senior, also died and in June the Boulton family property was divided between the two step-brothers. Thomas Boulton took as his share of the inheritance the Cumberland Street property while John Michael Anthony acquired a property in Cambridge Street.²⁷

2.3.3 Ownership of the Cumberland Street Allotment by Thomas Boulton Junior 1817-1830

Like his father, Thomas Boulton junior appears to have been a well-known and respected member of local The Rocks community. In December 1820 he was listed as

¹⁹ Carol J Baxter (ed.): *Musters and Lists New South Wales and Norfolk Island 1800-1802*, Australian Biographical and Genealogical Record in association with Society of Australian Genealogists, Sydney, 1988, p 76 AG103 and p 99 BA018.

²⁰ The foundation stone for the fort was laid in September 1804, *Sydney Gazette* 9 September 1804 p 2c.

²¹ King Papers Vol. 1 p 108, A1976 (Mitchell Library)

²² Carol J Baxter (ed.): *Musters of New South Wales and Norfolk Island 1805-1806*, Australian Biographical and Genealogical Record in association with Society of Australian Genealogists, Sydney, 1989, A0144 & workmen Patrick Doyle A1101 and Patrick Marmond A2767.

²³ *1805-1806 Muster*, A0147 & wife Elizabeth A0517 & child D0656 and Memorial of Thomas Boulton junior 29 January 1810, Colonial Secretary's Correspondence, Letters Received, NRS 899, 4/1821 No. 31, Fiche 3001 (State Records NSW).

²⁴ Heritage Design Services, NSW Department of Public Works and Services: 'Mrs Macquarie's Road & the Macquarie Wall', Report No. 99/69, February 2000, pp 12-14.

²⁵ At the time of his death in 1817 Thomas Boulton was building a house for Sir John Jamieson, the plans and specifications for which were with Francis Greenway, suggesting that Greenway was the architect, *Sydney Gazette* 28 November 1818 p 3a .

²⁶ Will of Thomas Boulton senior of NSW stonemason dated 16 December 1812, Series 1 No. 12 and Will of Grace Boulton of Cumberland Street widow dated 18 February 1817, Series 1 No. 4, Reel 3003 (Society of Australian Genealogists, Sydney).

²⁷ Copies of Old System Deeds Book 6 No. 126, page 325, NSW Judge Advocate General A3614 (Mitchell Library)

'residing and settled' on his own property in Cumberland Street,²⁸ which suggests that he and his family were probably living in the original Boulton family home that he had inherited in 1817.²⁹ The accommodation would however have become increasingly stretched. Between 1807 and 1830 Thomas and his wife Elizabeth had thirteen children, of whom all but one survived.³⁰ With a large family to support, Thomas diversified into an additional line of business, as a licensed victualler.³¹ It seems that money was frequently tight.

Thomas mortgaged the Toongabbie property for £25 in 1818³² and in 1824 petitioned Governor Brisbane for land, stressing the demands upon him with a large family.³³ The family continued to live in Cumberland Street, where their neighbours included other free settlers who had arrived on the *Minorca*.³⁴ In April 1829 Thomas gave the 'dwelling house in Cumberland Street Rocks Sydney known as No. 59' as security for a loan of £50 from Thomas Dunn.³⁵ In May the following year he sold his Cumberland Street house and premises to Isabella Moss for £165.³⁶

2.3.4 House Numbering in the 1820s

It is impossible to be certain from the available documentary evidence whether Thomas Boulton junior and his family lived in the house in Cumberland Street that had formerly belonged to his parents from 1817 when he inherited it until he sold it in 1830, but this seems very likely. The 1822 District Constables' notebooks do not include house numbers, but it is assumed that families were listed house by house along the street. In the listing for Cumberland Street the names of the Boulton family follow those of the Watson family who were established for many years on the west side of Cumberland Street near Essex Street. This would place the Boulton family home in the immediate vicinity of Thomas Boulton's allotment.³⁷ In 1824, when writing to the Governor, Thomas Boulton gave his address as No. 18 Cumberland Street³⁸ and in 1828 the family was still in Cumberland Street.³⁹ The house offered as security for the loan from Thomas Dunn

²⁸ Return of persons, free, above the age of 21 now residing and settled upon their own property, in the town of Sydney December 1820, Bigge Appendix Volume 130, Bonwick Transcripts BT Box 25, p 5311 (Mitchell Library)

²⁹ Return of persons, free, above the age of 21 now residing and settled upon their own property, in the town of Sydney December 1820, Bigge Appendix Volume 130, Bonwick Transcripts BT Box 25, p 5311 (Mitchell Library)

³⁰ Grace Karskens: *The Rocks. Life in Early Sydney*, Melbourne University Press, 1997, p 117.

³¹ Notices in the *Sydney Gazette* for wine and spirit licences, 1809-1815, see *Sydney Gazette Indexes*. Thomas junior described himself as a victualler when mortgaging the Toongabbie property in 1818 see Bk 7 No. 525 p 229 Judge Advocate General A 3616 (Mitchell Library)

³² Mortgage 4 November 1818 Bk 7 No. 525 p 229 Judge Advocate General A 3616 (Mitchell Library)

³³ Memorial of Thomas Boulton 2 September 1824, Colonial Secretary's Correspondence, Letters Received, 4/1836A No. 76A, p 409 Fiche 3078 (State Records NSW).

³⁴ Grace Karskens: *The Rocks. Life in Early Sydney*, Melbourne University Press, 1997, p 31. District Constables Notebooks 1822-1824, Sydney Vol. 1, 4/1218, Cumberland Street pp 27-33, Reel 1254 (State Records NSW).

³⁵ Book C216 dated 30 April 1829 (LTO)

³⁶ Commissioners of Court of Claims, Case No. 8, Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834, 2/1777, Reel 1234 (State Records NSW). The house is described in the memorial as 58 Cumberland Street.

³⁷ District Constables Notebooks 1822-1824, Sydney Vol. 1, 4/1218, Cumberland Street pp 27-33, Reel 1254 (State Records NSW).

³⁸ Memorial of Thomas Boulton 2 September 1824, Colonial Secretary's Correspondence, Letters Received, 4/1836A No. 76A, p 409 Fiche 3078 (State Records NSW).

³⁹ Malcolm R Sainty & Keith A Johnson (eds): *Census of New South Wales November 1828*, Library of Australian History, Sydney, 1980, p 55.

was No. 59 Cumberland Street, but it should be noted that these deed registers are typed copies and that the original deeds no longer survive. The house and premises sold to Isabella Moss are described in the original memorial as No. 58 Cumberland Street and this was the property at the corner of Cumberland Street and Essex Street. It seems most likely that the house given as security to Thomas Dunn and the house sold to Isabella Moss were the same property and that this was his family home.

2.3.5 Ownership by Isabella Moss and her Executors and Trustees 1830-1851

When Isabella Moss purchased Thomas Boulton's property in 1830 she was already resident in Cumberland Street and was, by trade, a publican, an occupation that she may well have taken up in order to support her family.⁴⁰ Isabella Byrne had arrived free in the Colony as a young child in 1803 and on 23 July 1825 had married James Moss. Their first child, Elizabeth, was born in 1826 but by the time their first son, James William, was born in 1829, Isabella was already a widow.⁴¹

Just a month after purchasing the Cumberland Street property Isabella Moss died at the age of twenty-nine, leaving two small children. Her father Aaron Byrne, a carpenter and Joseph Moss, a publican, were named as her executors and all of her property was to be held in trust for the benefit of her two children until they reached the age of twenty-one. In the meantime the estate was to provide for their education and maintenance.⁴² In accordance with her will, the house and premises in Cumberland Street were then rented out to provide an income for her children.⁴³

In 1834, when the Court of Claims provided a means for title to the land to be legally determined, Aaron Byrne and James Moss produced evidence for the Commissioners of Isabella's title to the land and of its previous ownership by Thomas Boulton junior, inherited from his parents.⁴⁴ Their evidence was accepted by the Commissioners and a grant of the land was formally issued in 1834 to Aaron Byrne and Joseph Moss as executors and trustees of the will of Isabella Moss.⁴⁵

2.4 History of the Occupation of the Site

2.4.1 Plans of the House and Land

The earliest detailed survey of the house and land first owned by Thomas Boulton senior is that undertaken by (William) Harper in his survey of Sydney that began in 1823.⁴⁶ Although the survey does not include contours, the irregular shapes and alignments of many of the allotments on The Rocks provide a clear indication of the influence of the topography on building construction. At this date the line of Essex Street (then named Middlesex Street) is interrupted between Gloucester Street and George Street by various

⁴⁰ Malcolm R Sainty & Keith A Johnson (eds): *Census of New South Wales November 1828*, Library of Australian History, Sydney, 1980, p 277.

⁴¹ Online Historical Indexes, Births, Marriages and Deaths, Registrar General's Department.

⁴² Will of Isabella Moss of Sydney widow dated 21 June 1830, Series 1 No. 432, Reel 3003 (Society of Australian Genealogists, Sydney).

⁴³ Aaron Byrne and Joseph Moss stated in their Memorial to the Commissioners of Claims that they had received the rents and profits of the premises since probate of Isabella Moss's will was granted, Case No. 8 Memorial dated 30 June 1834, 2/1777, Reel 1234 (State Records NSW).

⁴⁴ Commissioners of Court of Claims, Case No. 8, Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834, 2/1777, Reel 1234 (State Records NSW).

⁴⁵ Town Grants A Ser. 29 p 168 (LTO).

⁴⁶ Survey of Sydney SZ 434 (State Records NSW).

allotment boundaries and only the line of the south wall of the gaol provides a clear demarcation of the street corner on George Street.

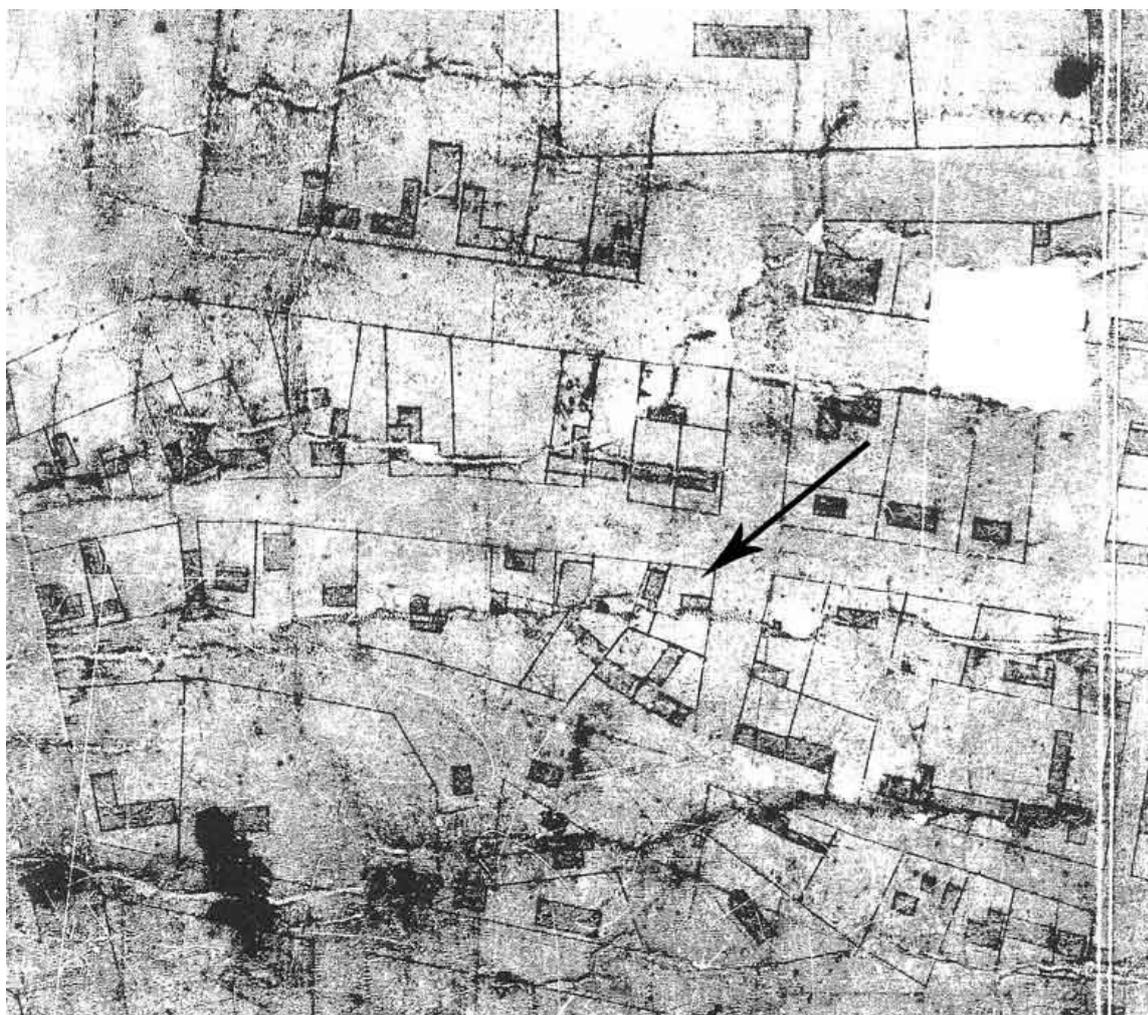


Figure 6

The earliest detailed survey of Thomas Boulton's allotment and house on Cumberland Street, c. 1823

Source: *Harper's map of Sydney SZ 434, State Records NSW*

On either side of Essex Street, between Cumberland Street and Gloucester Street, the alignment of the allotment boundaries (including the Boulton property) suggests that these may once have been all of a piece, but had subsequently been cut through by the line of Essex Street. On Thomas Boulton's allotment, the house had a frontage to Cumberland Street but was set back from it. It seems curious that the house was not central to the allotment but instead the north wall was very close to the allotment boundary. In 1806 Thomas Boulton sold a garden on The Rocks to John Brooks for £25 but there is no indication as to where this was;⁴⁷ nor are there any other registered deeds for properties in The Rocks in Boulton's name. It remains a matter of surmise as to whether the allotment might originally have been somewhat larger, extending across what is now Essex Street.

⁴⁷ Bk 1 No. 1363 p 163, Judge Advocate General A3609 (Mitchell Library)

It is notable in Harper's survey, and in later surveys, that almost no properties used their frontage to (or address in) Essex Street, but were aligned instead along the streets running from north to south along The Rocks. Part of the reason for this was undoubtedly the very steep slope from George Street up to Prince Street that made it inaccessible for horse drawn traffic and rather a struggle for those on foot. The presence of the gaol may also have been a deterrent to an Essex Street address. The site on George Street (at the corner of what would become Essex Street) was first used in 1797 for a thatched log prison, the Colony's first gaol, which was destroyed by fire two years later. It was replaced in 1801 by a stone building that remained in use for the next forty years.

The elements of Harper's survey are confirmed in a survey of the property drawn for the Commissioners of the Court of Claims in 1834.⁴⁸ This provides a little more detail showing the chimney at the south end of the house and also showing that the irregular eastern boundary of the allotment was determined by an existing building.

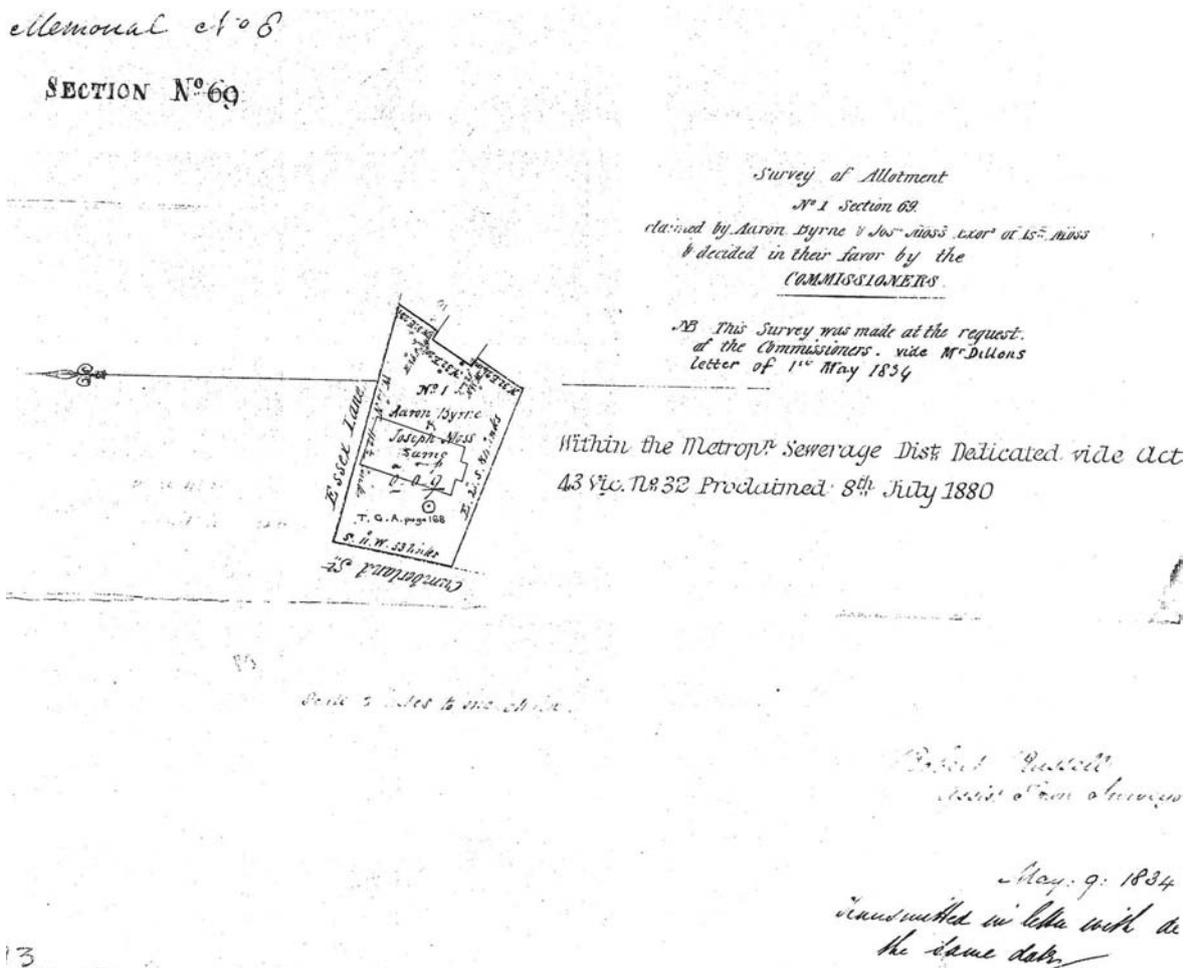


Figure 7

The survey of the late Isabella Moss's property drawn for the Commissioners of Claims in 1834 by Robert Russell
Source: Survey of Allotment No. 1 Section 69, S.1.858 Map 5493 State Records NSW

⁴⁸ Survey of Allotment No. 1 Section 69, by Robert Russell, May 1834, Map No. 5493 (State Records NSW).

By the early 1830s the street plan of The Rocks, established more than twenty years earlier, had been fixed and would retain its irregular lines of streets and lanes for the next seventy years.

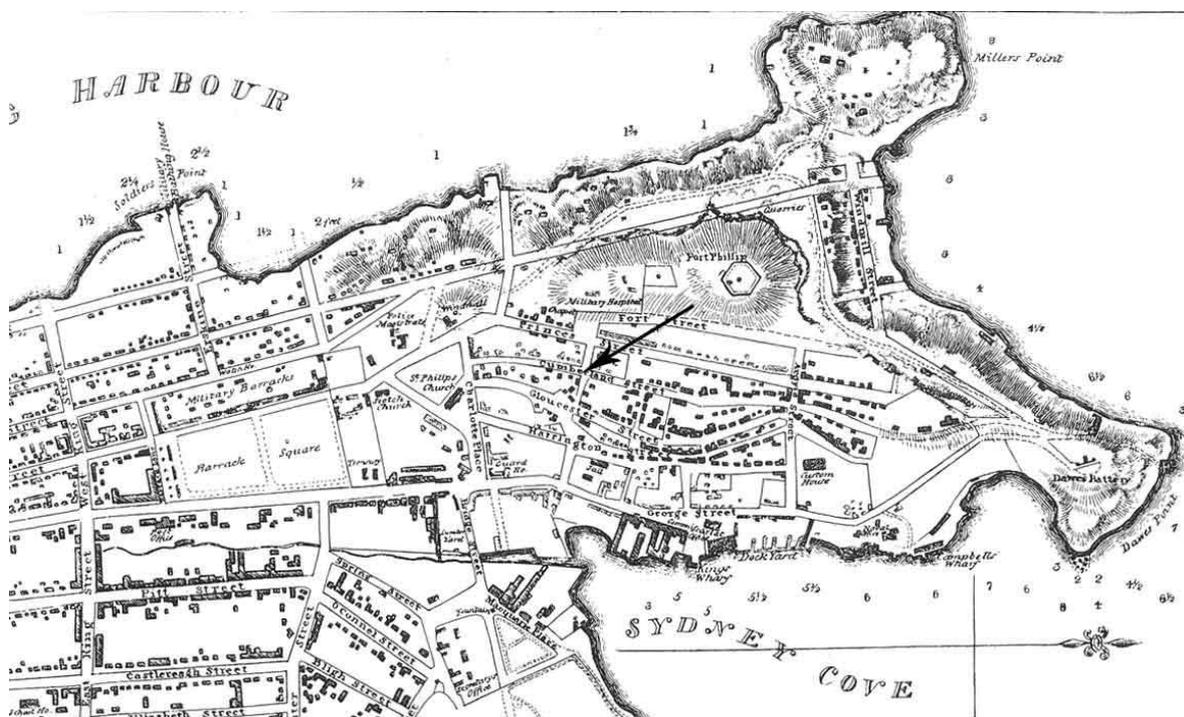


Figure 8

The Rocks in 1832. Essex Street exists, in sections, but it was a steep climb from George Street to Princes Street

Source: *The New South Wales Calendar and General Post Office Directory 1832, Facsimile edition, Trustees of the Public Library of New South Wales, 1966*

2.4.2 A change of Use in the 1830s-1840s

From 1830 until 1851, when Isabella Moss's children had both reached the age of twenty-one, the Cumberland Street property remained in the hands of her executors and was apparently let. The occupants of the premises from 1830 until 1845 are unknown but during this period the house became a corner shop. The Rate Assessment Book of 1845 describes the premises as a shop in 'middling repair with new bakehouse' and, with a few brief exceptions, the buildings on the site served as a shop (or perhaps a combined shop and residence) until they were demolished in about 1911.

It is quite possible that the original house, as built by Thomas Boulton senior, could have functioned as a shop without any alteration. In the early years of settlement on The Rocks, small-scale trading was carried out from private houses and there was no immediate necessity to have purpose-built premises when setting up in business.⁴⁹

The 1823 and 1834 surveys show a simple rectangular building, but by 1851 a corner shop, in effect a single room, had been built on the west side of the original building. This single room addition maximised the use of the location and street frontage, giving it

⁴⁹ Grace Karskens: *The Rocks. Life in Early Sydney*, Melbourne University Press, 1997, pp 220-221.

a traditional corner shop entrance at the south-east corner of Cumberland Street and Essex Street.

It is probable that the corner shop addition had been made by 1845 as the premises are consistently described in the rate books from that date as single storey with three rooms. This would suggest that the corner shop was constructed between 1834 and 1845. The reference to a 'new bakehouse' in the 1845 rate assessment strongly suggest that this was a bakery. Given the growth of the population of Sydney in the 1830s, a corner shop may have been a very sound investment for Isabella Moss's trustees.



Figure 9

The shop at 182 Cumberland Street in 1865. A detached building has been added at the back of the shop and a small porch at the north-east corner of the old house

Source: *Trigonometric Survey of Sydney Section B2/1, State Records NSW*

In December 1848 Isabella Moss's daughter Elizabeth reached the age of twenty-one, to be followed by her son James William in January 1850. In November 1851 the Cumberland Street premises, a baker's shop comprising a corner shop and bakehouse, went up for sale.⁵⁰ As James William Moss was a baker in Sydney at the time, it is possible that he may have had some involvement in the family premises, but this is not reflected in the rate assessment records. The new owner was Samuel Watson, a grocer,

⁵⁰ *Sydney Morning Herald* 29 November 1851 p 8d.

who paid £325 for the premises.⁵¹ Samuel must have known the place well. The Watson family lived almost opposite the Boultons in the 1820s⁵² and in the 1840s Robert Watson, a grocer, was at the corner of Cumberland Street and Essex Street.⁵³ In 1858 Robert and Samuel Watson, grocers, were on the same site, so it would seem that the baker's shop on the opposite corner was bought by a local from The Rocks.⁵⁴

For Samuel Watson, as for Isabella Moss's executors, the Cumberland Street shop was an investment property and was rented out. By 1865 another building had been added at the back of the original house and shop, along the eastern boundary of the property, presumably an improvement to add to the value of the premises.⁵⁵ The shop was mainly used as a baker's and confectioner's with a brief, and presumably less fragrant, period as a butcher's shop in the 1860s. It must have been a good location, with the other businesses on the corner of Essex Street; the Coach and Horses and the grocers on the west side of Cumberland Street and a butchers on the east side.⁵⁶

When Samuel Watson died in December 1870 he instructed his executors to sell his unproductive properties and left the rents and profits from his 'productive real estate' for the benefit of his wife Mary Ann Sarah Watson until their youngest child (there were nine of them) reached the age of twenty-one.⁵⁷ The shop in Cumberland Street was in this category as it was retained by Watson's executors.

In June 1891 shortly after Samuel Watson's youngest child, his daughter Jane, reached her twenty-first birthday, his mixed investment portfolio – the shop in Cumberland Street, two cottages in Upper Fort Street, three houses in Crown Street, a house in Burton Street, two shops in North Sydney and land at Coogee – was put up for sale. The purchaser of the Cumberland Street shop, which was then bringing in a yearly rental of £71.10s, was Adolphus Rogalsky who paid £825.⁵⁸ Rogalsky was still the owner when the property was resumed by the government in 1900 as part of the Observatory Hill Resumption Area.

A comparison of the two detailed surveys drawn in the 1880s and the Fire Underwriters Plan c. 1901 shows that the building along the eastern boundary of the site had been removed and a new structure built along the Essex Street frontage before the site was redeveloped in 1911. It seems unlikely that this work was carried out under government ownership when The Rocks was due to be redeveloped, so this change may date to Rogalsky's ownership in the 1890s. Throughout the 19th century the shop and its outbuildings defied the attempts of surveyors to regularise the city streets and projected into the footpath of Essex Street.

⁵¹ Bk 22 No. 365 Conveyance dated 13 February 1852 (LTO).

⁵² District Constables Notebooks 1822-1824, Sydney Vol. 1, 4/1218, Cumberland Street pp 27-33, Reel 1254 (State Records NSW).

⁵³ Francis Low (compiler): *The City of Sydney Directory for MDCCCXLIV-V*, Sydney, 1844 (Facsimile edition, 1978) and also the original 1847 edition.

⁵⁴ *Sand's Directory* 1858

⁵⁵ Shown in the 1865 Trigonometric Survey of Sydney Section C1 Sheet 1 Frame 2 and Sheet B2/1 Frame 1 (State Records NSW).

⁵⁶ *Sands Directories* 1858-1895.

⁵⁷ Will of Samuel Watson of Cumberland Street grocer dated 26 August 1870, Ser. 1 No. 8829 Reel 3003 (Society of Australian Genealogists, Sydney).

⁵⁸ Bk 469 No. 880 Conveyance dated 28 August 1891 (LTO) and sale notice *Sydney Morning Herald* 24 June 1891 p 3g.

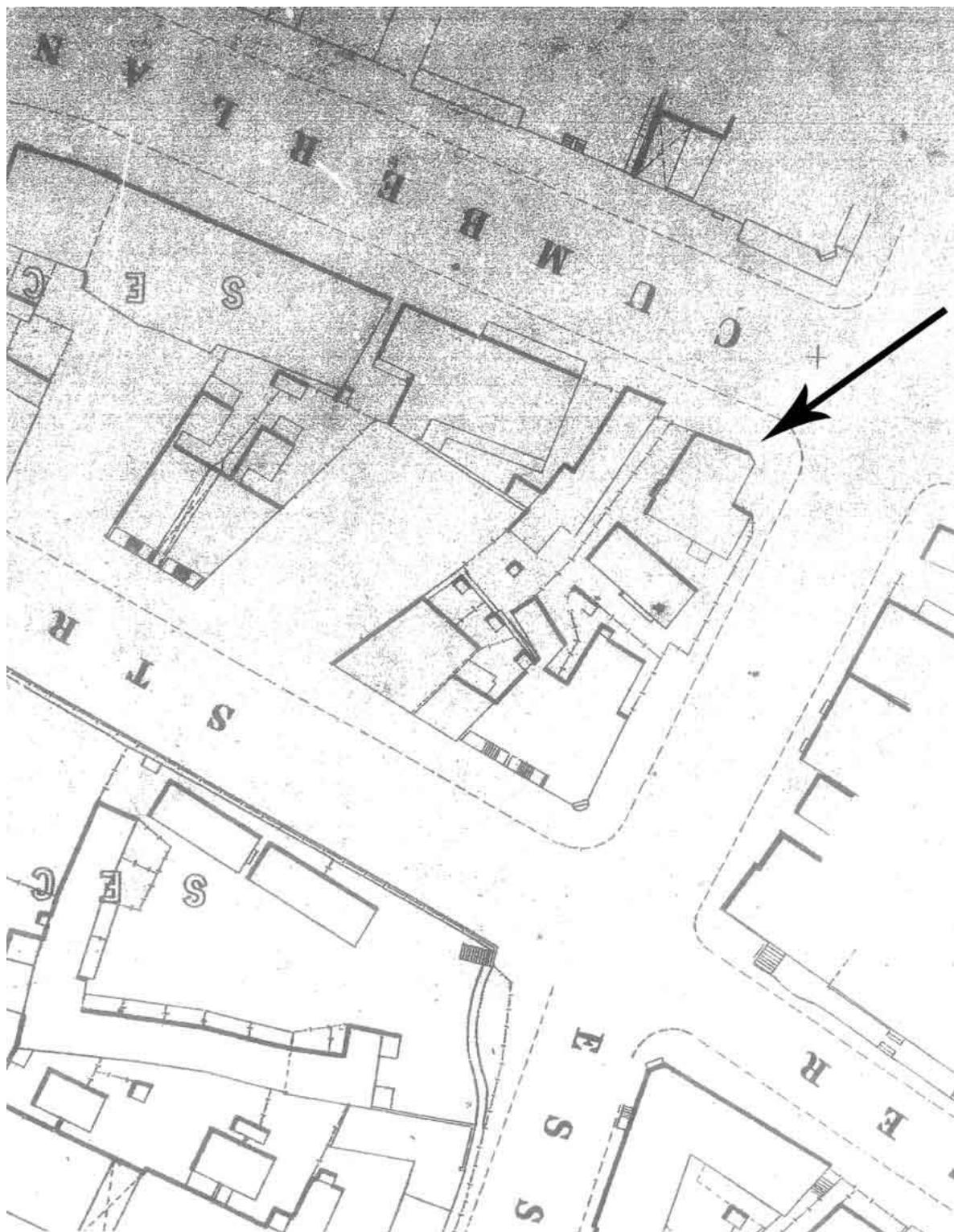


Figure 11

The site in 1888

Source: Metropolitan Detail Survey, Sydney Section 60, Z M Ser 4 811.17/1 Mitchell Library

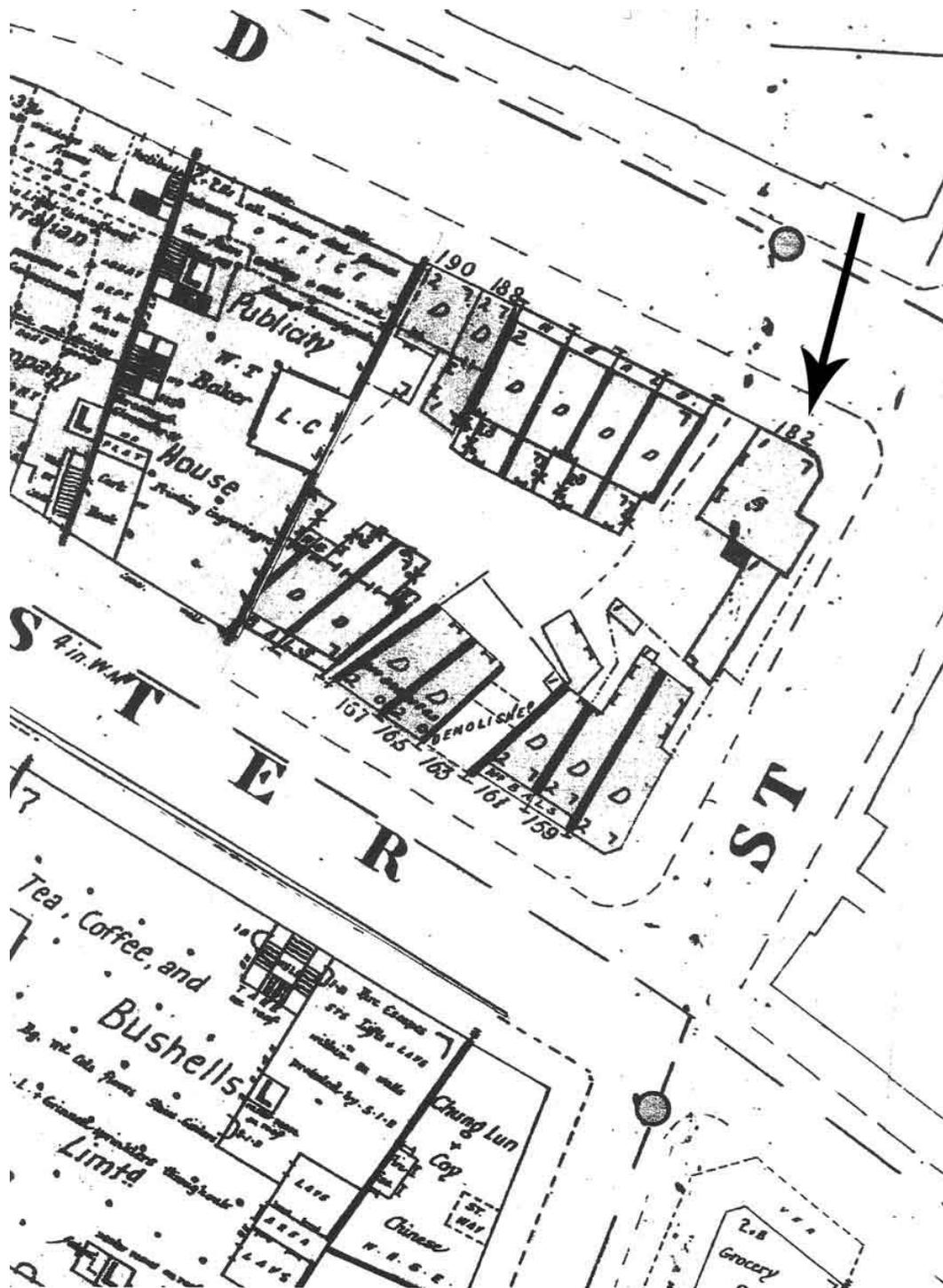


Figure 12

In the early 1900s the original house and shop were apparently unaltered but a new building along the Essex Street frontage had replaced earlier outbuildings

Source: *Fire Underwriters Plans of Sydney, Ignis et Aqua Series, Sheet 34 Volume 1, p 36 Reel FM4/10537, Mitchell Library*

2.4.3 Resumption and Replanning 1900-1912

While The Rocks resumption provided the opportunity for replanning the oldest part of Sydney on a large scale, the most grandiose (and devastating) scheme of the new City Improvement Board – ‘the complete sweeping away of the streets in the area from Grosvenor Street northwards’ – was ‘not favoured by government’ and failed to occur. Instead, as a beginning, a scheme was submitted in November 1903 for rearrangement

of the streets.⁵⁹ Street widening and some realignments were undertaken, taking into account the need to connect the new wharves at Walsh Bay directly to Wynyard Square and York Street and, at some time in the future, to build the approaches for a harbour crossing. The definition of Grosvenor Street as the natural boundary of The Rocks was altered when it was realised that the extensive properties belonging to the Catholic Church between Essex Street and Grosvenor Street had not been resumed; instead Essex Street became the southern boundary of the major works.⁶⁰

The major impact in Cumberland Street was road widening and straightening, particularly at the northern end, which involved a considerable amount of demolition. In preparation for the work the Department of Public Works photographed much of the area, including the old shop at 182 Cumberland Street. This photograph, taken on 16 August 1901, shows the shop as it probably had looked for almost fifty years. A view of the other side of the street, also taken in August 1901, shows its 19th century context, including the Coach and Horses opposite.⁶¹



Figure 13

The corner shop, Cumberland Street and Essex Street, complete with local children, photographed in August 1901

Source: NSW Public Works Department, *The Old Rocks*, PXE 921 Volume 3 p 24, Mitchell Library

⁵⁹ Dacey Garden Suburbs and Observatory Hill ('The Rocks') Resumed Area (Report of the Housing Board on, together with statement of receipts and expenditure for the year ended 30th June 1914, with photographs and plans), *NSW Parliamentary Papers Session 1914-1915 Vol. 2 Pt 2* pp 965-970. See 'Plan of the proposed rearrangement of streets in The Rocks resumed Area Sydney 1903', Map 672 (State Records NSW).

⁶⁰ Kate Blackmore: 'A Good Idea at the Time: The Redevelopment of The Rocks', in G P Webber (ed.): *The Design of Sydney. Three Decades of Change in the City Centre*, Law Book Company Limited, 1988, pp 125-127.

⁶¹ Public Works Photographs 1901 PXE 921 Volume 3, page 24 Corner shop Cumberland Street (cnr Essex Street) and page 45 Cumberland Street looking south from Essex Street Aug. 1901 (Mitchell Library).



Figure 14

Cumberland Street looking south from Essex Street in August 1901. The Coach and Horses was replaced soon after by the Grand Hotel

Source: NSW Public Works Department, *The Old Rocks*, PXE 921 Volume 3 p 45, Mitchell Library

The demise of the old The Rocks area also attracted the attention of many artists and Lionel Lindsay's etching 'The lolly shop' captures both its 'old world charm' and what would undoubtedly have been its attraction for the local children.⁶²

In the course of improving the area, new terraced houses, flats, corner shops and hotels designed by the Government Architect's office replaced their 19th century counterparts, on a much more modest scale than the large tenements that had been proposed by the City Improvement Board. In 1905 attempts were made to sell 99-year leaseholds of a number of commercial and residential properties in the area bounded by Grosvenor, Harrington, Essex and Princes Street, including the shop at 182 Cumberland Street, but there was a 'disinclination on the part of the public for the leasehold form of tenure, and no sales were effected'. Four lots were eventually sold as freehold but after that no further attempts were made to sell.⁶³

⁶² Lionel Lindsay; 'The lolly shop, Essex Street, The Rocks' Acc. No. 83.539, National Gallery of Australia, on the website Picture Australia.

⁶³ Dacey Garden Suburbs and Observatory Hill ('The Rocks') Resumed Area (Report of the Housing Board on, together with statement of receipts and expenditure for the year ended 30th June 1914, with photographs and plans), *NSW Parliamentary Papers Session 1914-1915 Vol. 2 Pt 2* pp 965-970.



Figure 15

The Lolly shop, Essex Street, The Rocks by Lionel Lindsay
Source: Acc. No. 83.539, National Gallery of Australia

With a focus on new housing and local facilities such as shops and hotels, the Government Architect's office included the replacement of corner shops in its plan of works. Housing was not however the only priority in The Rocks. Much larger and more dramatic changes were being made to the workplace of The Rocks residents, many of whom were waterside workers, as the old and once privately owned wharves were swept away and replaced by the Walsh Bay wharves.

2.4.4 A New Shop at the Corner of Cumberland Street and Essex Street

In March 1911 plans were drawn for a new shop and dwelling at 182 Cumberland Street. Tenders were called in March 1911 and the successful tenderer was C McCarthy of Mosman.⁶⁴ The building was of two storeys and was stepped down the slope of Essex Street.

⁶⁴ NSW Government Gazette Tender notice 5 April 1911 p 1937 & acceptance of tender No. 92, 19 July 1911 p 3871

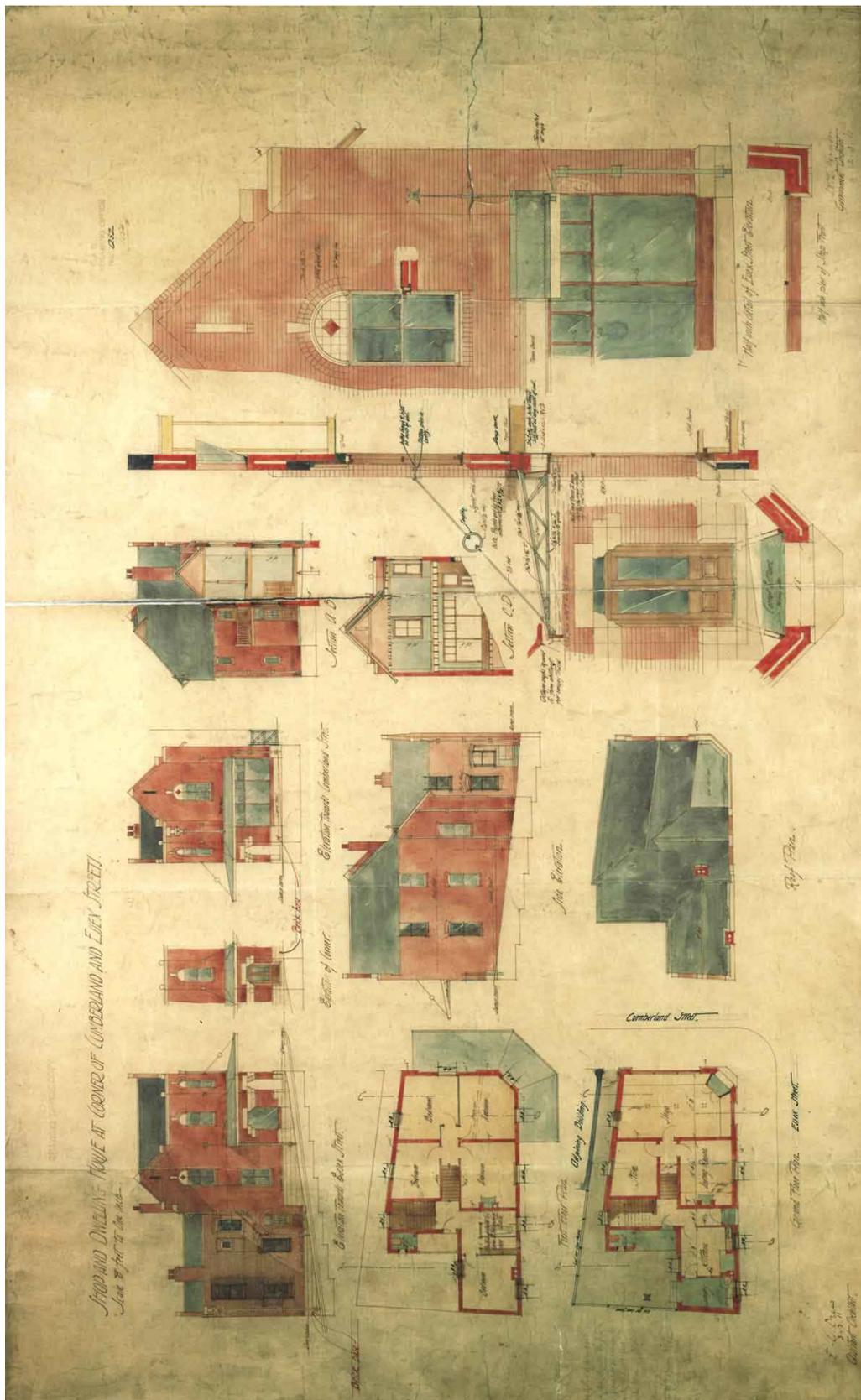


Figure 16

Plan of shop and residence (the existing building) by the Government Architect's branch 1911
Source: Plan 3154 State Records NSW, copied by Robertson & Hindmarsh Pty Ltd

The style of architecture was repeated elsewhere in The Rocks where new buildings replaced earlier shops and residences. The property was completed before the new Housing Board came into existence in May 1912 but was mentioned in the Board's first annual report for the year ended 30 June 1914. The total cost was £1,804. 15. 8d.⁶⁵ A photograph, probably taken for the Housing Board, shows the shop in 1914 when comparatively new.⁶⁶

Associated with the street widening and realignment was a new name. Cumberland Street was now York Street North. In this new arrangement there was pedestrian access only along Essex Street from Princes Street to Gloucester Street, with a flight of steps in the pavement on the south side of Essex Street immediately next to the shop. In place of the road there were raised flower beds and along the new line of streets, concrete fencing.⁶⁷ A photograph taken for the Housing Board shows the shop and these street improvements.⁶⁸ While demolition, road widening and the construction of new homes, shops and hotels were undoubtedly disruptive, there was, at this stage, little large scale change to the immediate environs at the south end of York Street North. The next stage of development in the area would change all of this.



Figure 17

The new combined shop and residence at the corner of York Street North and Essex Street (now 182 Cumberland Street), built in 1911-1912 and photographed in July 1914

Source: *Photographs of The Rocks Area, PXE 686 No. 7, Mitchell Library*

⁶⁵ Dacey Garden Suburbs and Observatory Hill ('The Rocks') Resumed Area (Report of the Housing Board ... for the year ended 30th June 1914, with photographs and plans), *NSW Parliamentary Papers Session 1914-1915 Vol. 2 Pt 2* pp 965-970.

⁶⁶ Photographs of The Rocks PXE 686 No. 7. This collection includes other shops and houses built at this time. The photograph is also held in the Government Printer Collection GPO 1-32243 where it is dated 7/1914 (Mitchell Library).

⁶⁷ Small Picture File Sydney – The Rocks – Streets – Cumberland Street and Small Picture File – Sydney - Streets – Essex Street.

⁶⁸ Essex Street and York Streets, GPO1-30604 (Mitchell Library). A print of this photograph in the Small Picture File Sydney – The Rocks – Streets – Cumberland Street is stamped 'Housing Board' on the back (Mitchell Library).



Figure 18

Essex Street from York Street North by the corner shop. Essex Street is closed to vehicular traffic and the roadway improved with plantings

Source: *Housing Board photograph, Essex Street and York Street, GPO1-30604, Mitchell Library*



Figure 19

Looking down Essex Street from Princes Street. The Grand Hotel has replaced the Coach and Horses opposite the corner shop. All of this would be swept away in the 1920s to build the southern approaches for the Sydney Harbour Bridge

Source: *Small Picture File – Streets – Essex Street, Mitchell Library*

2.4.5 The Sydney Harbour Bridge

The major priority of the first stage of redevelopment in The Rocks and Millers Point in the early 20th century was the construction of new wharfage; the second was the much larger task of building the Sydney Harbour bridge. A harbour crossing that would include the extension of the city railway to North Sydney had been under discussion since the 1890s; but it was not until 1922 that the necessary Act was passed for the construction of a design that had been under development by Dr J J C Bradfield for over a decade. Combining a roadway, train and tram tracks the new bridge required long and wide approaches for both the above ground traffic and excavation for the railway tunnels as they emerged from the underground City Railway. On the south side of the bridge these approaches extended back to Grosvenor Street. All of the properties on east side of Upper Fort Street, both sides of Princes Street and the west side of York Street North were resumed or purchased in the mid-1920s and were demolished.⁶⁹

The old Rocks was now divided by a vast swathe of roadway, isolating the east side of York Street North from its old connections that once stretched up to Observatory Hill. On the west side of York Street North, the King George V Memorial Park, opened in 1937, was created on the levelled area between the street and the edge of the Bradfield Highway.



Figure 20

The Bradfield Highway, the southern approaches to the new Sydney Harbour Bridge, c. mid-1930s. Only the east side of York Street North remains. The King George V Memorial Park on the west side of the street adjacent to the Highway has not yet been completed
Source: *Small Picture File Sydney – Streets – Bradfield Highway*, Mitchell Library

⁶⁹ Caroline Mackaness (ed.): *Bridging Sydney*, Historic Houses Trust of New South Wales, 2006, pp 130 & 139.

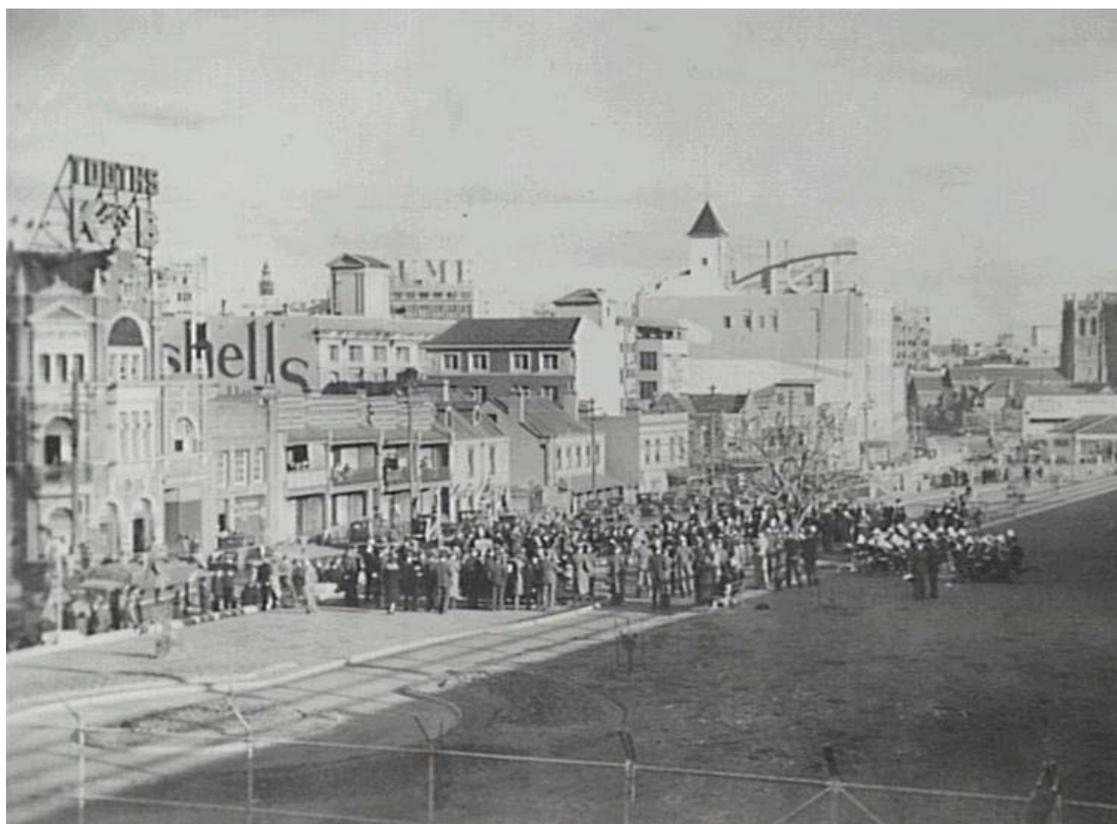


Figure 21

The opening ceremony for the King George V Memorial Park on 3 June 1937. The crowd is assembled on York Street North near the corner of Essex Street.

Source: *City Engineer's Department Photographs of Council Works SRC 11255, File 037/037625 City of Sydney Archives*

2.4.6 Use of the Property 1912-1993

According to the record of occupancy provided by the *Sands Directories* A P Johnson, confectioner, was the tenant of both the old shop at 182 Cumberland Street and of its replacement at 182 York Street North. In 1918 Ernest T Johnson took over and remained in the business until early in 1930. But by 1929 the business was failing; Johnson was in arrears, out of work and unable to pay anything off his debts.⁷⁰ The general economic climate may have had much to do with this failure, but the construction of the Harbour Bridge approaches must also have had a major impact on businesses in the area, as much local housing was lost in demolitions for the bridge and the construction work took years. A new tenant, Patrick Halloran, took over in 1930 but was soon asking his landlord, the Sydney Harbour Trust, to take the shop off him and to reduce the rent.⁷¹

It seems that he left soon afterwards and in August 1931 the Australian Labor Party applied to use the premises as a hostel for unemployed young women. The arrangement lasted for just over a year, although the ALP too fell into arrears and final payments appear to have been made by the Department of Labour & Industry.

As economic conditions improved, more regular tenancy agreements recommenced, but it is unclear whether this included the reopening of the shop. Requests to partition the shop suggest that the space was being used for other purposes and it is possible that the

⁷⁰ MSB Tenancy Cards (Sydney Harbour Foreshore Authority Archives).

⁷¹ May 1931, see MSB Tenancy Cards (Sydney Harbour Foreshore Authority Archives).

shop ceased to trade in the depression, after which the premises were used purely for residential purposes. The last residential tenant was (Mrs) E Ludvigsen. According to the tenancy records she was given permission to transfer her tenancy to J N Campbell Customs Agents in January 1958. However when J N Campbell applied to undertake alterations to the premises some years later they indicated that the use of the premises as a residence and office had commenced in June 1951.⁷² It is possible that Mrs Ludvigsen sub-let part of the building as offices from 1951-1957 while continuing to live there. From 1958 until c. 1975 J N Campbell used the building as the offices of their customs and shipping agency.

2.4.7 Roads and Redevelopment

By the 1950s the King George V Memorial Park had matured into a recreational area and park and a welcome barrier between the east side of York Street North and the Bradfield Highway. Traffic over the Harbour Bridge was now much greater than it had been in the 1930s creating a constantly growing problem of how to channel the flow of vehicles through the city. The Cahill Expressway provided a route to the eastern suburbs in the early 1960s, again at great cost to what remained of The Rocks. The next problem was that of traffic to and from the west, the main direction in which residential development around Sydney was expanding.



Figure 22

The southern approaches to the Sydney Harbour Bridge in the early 1950s. The King George V Memorial Park is well developed and the park and York Street North both look well cared for. *The Australian Encyclopaedia*, Angus and Robertson, 1958, Volume VIII, p 396C

The solution to this problem, the construction of the Western Distributor along the east side of Darling Harbour required considerable widening of the southern approaches to the Harbour Bridge to provide more traffic lanes. In the process the southern part of the

⁷² Building Application File No. 680/1966 (City of Sydney Archives)

King George V Memorial Park, south of the Cahill Expressway was taken over to provide more traffic lanes and the west side of York Street North now consisted of retaining walls for the new roadways.

As well as the problem of traffic, the question of the future of The Rocks was once again on the agenda. Plans in the 1960s for high-rise redevelopment in The Rocks were tempered by somewhat different thinking when they were reviewed in 1974 and heritage was now an important element of the revivification of the area. The construction of the Cahill Expressway had, however, seriously compromised The Rocks, by more demolitions and by creating an artificial concrete barrier and an enormous visual block on George Street. Faced with this impediment, the area to the south of the Cahill Expressway was 'sacrificed' to high-rise while more modest proposals were developed for the retention of existing buildings to the north.

By 1979 plans were beginning to take shape for the development of the area bounded by George Street, Grosvenor Street, Harrington Street and Essex Street including high-rise, while approval had already been granted for the demolition of buildings on George Street for the site of the new Regent Hotel.⁷³

With redevelopment on the cards, many existing properties to the south of the Cahill Expressway suffered a prolonged period of uncertainty. As it was assumed that they would eventually be demolished, they were untenanted and fell into decay. One such building was the shop at the corner of Essex Street and Cumberland Street. When J N Campbell left in 1975, the premises remained untenanted until c.1993. The building fell into a bad state of repair and was occupied by squatters. The future of the area may have been uncertain but at least the street had retrieved its old name, Cumberland Street, which was officially gazetted in 1974.

2.4.8 Changes to the Building 1912-1975

There is little evidence of any major change to the shop and residence from its construction in 1911-1912 until 1966 when alterations were made for J N Campbell by the architect George Rae. The back verandah had been enclosed some time after 1929, while a number of minor changes had probably been made in about 1958 when the building was adapted for office rather than residential use. In the 1966 alterations, designed to rearrange the office accommodation, the main change to the external appearance of the building was the removal of the recessed corner door of the shop, while internally a number of walls were removed to open up the office space. Reinforcing was inserted to provide additional support for this more open plan.⁷⁴ A proposed extension at the rear of the building over the yard was not approved by the City Council and was not pursued further. Amended plans were approved in February 1967 and the work was completed by mid-year.⁷⁵ The City Council had written to the Maritime Services Board in February 1958 asking the Board to cut the awning off the building but this was still in place when the alterations were undertaken in 1967 and is visible in photographs taken in 1970 when Essex Street was being reconstructed.⁷⁶

⁷³ Kate Blackmore: 'A Good Idea at the Time; The redevelopment of The Rocks', in G P Webber (editor): *The design of Sydney. Three decades of change in the city centre*, 1988, pp 121-138.

⁷⁴ Plan BA 1776/66 (Sydney City Council Archives).

⁷⁵ BA File No. 680/1966 (Sydney City Council Archives).

⁷⁶ MSB Tenancy Cards (Sydney Harbour Foreshore Authority Archives) and City Engineer's photographs of Essex Street and York Street NSCA CRS 871/59 (r) 1 & 2 dated 13 January 1970 (City of Sydney Archives).

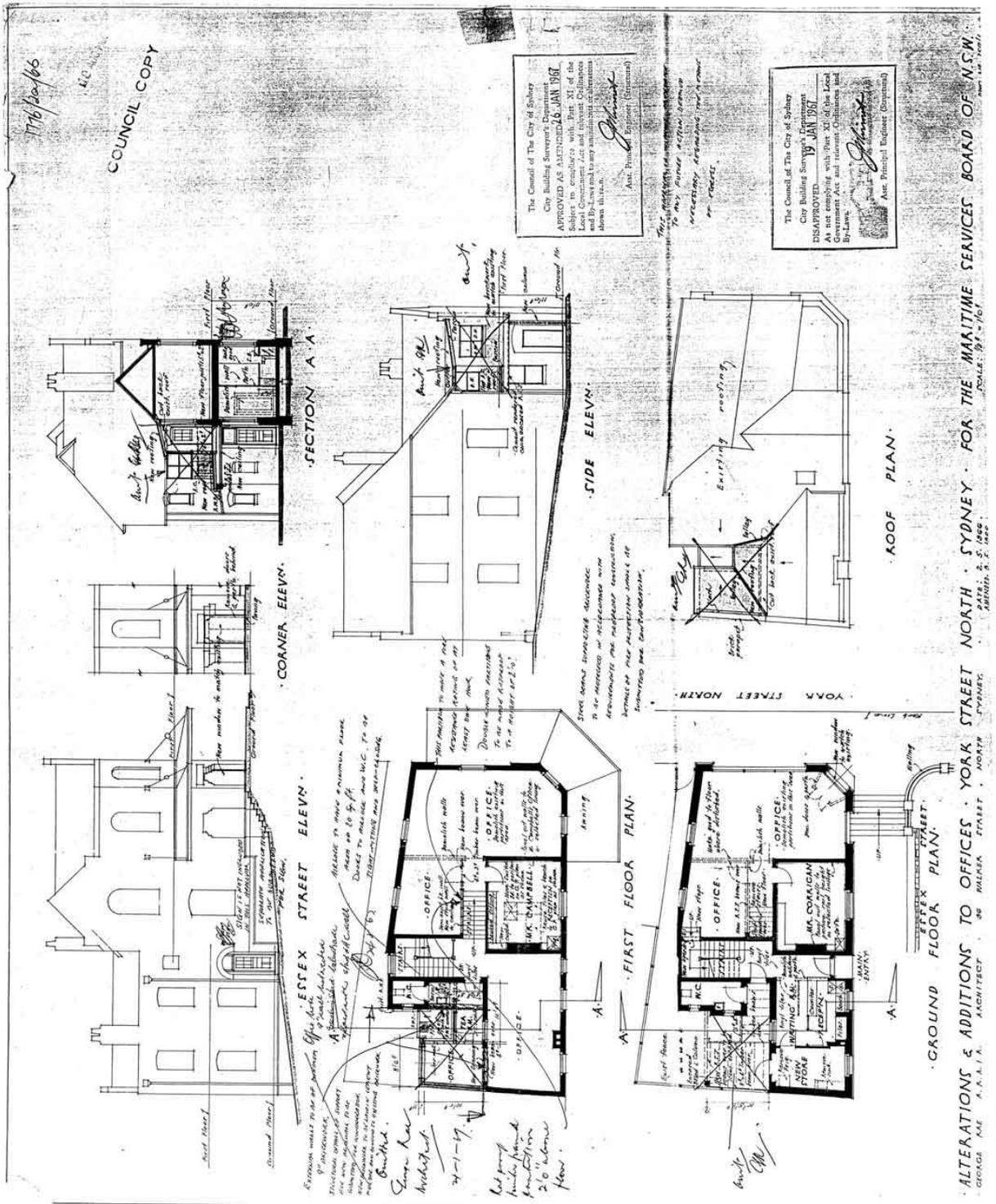


Figure 23

Plans for alterations and additions to 182 Cumberland Street in 1966, with amendments
Source: BA plan 1776/2a/66 City of Sydney Archives

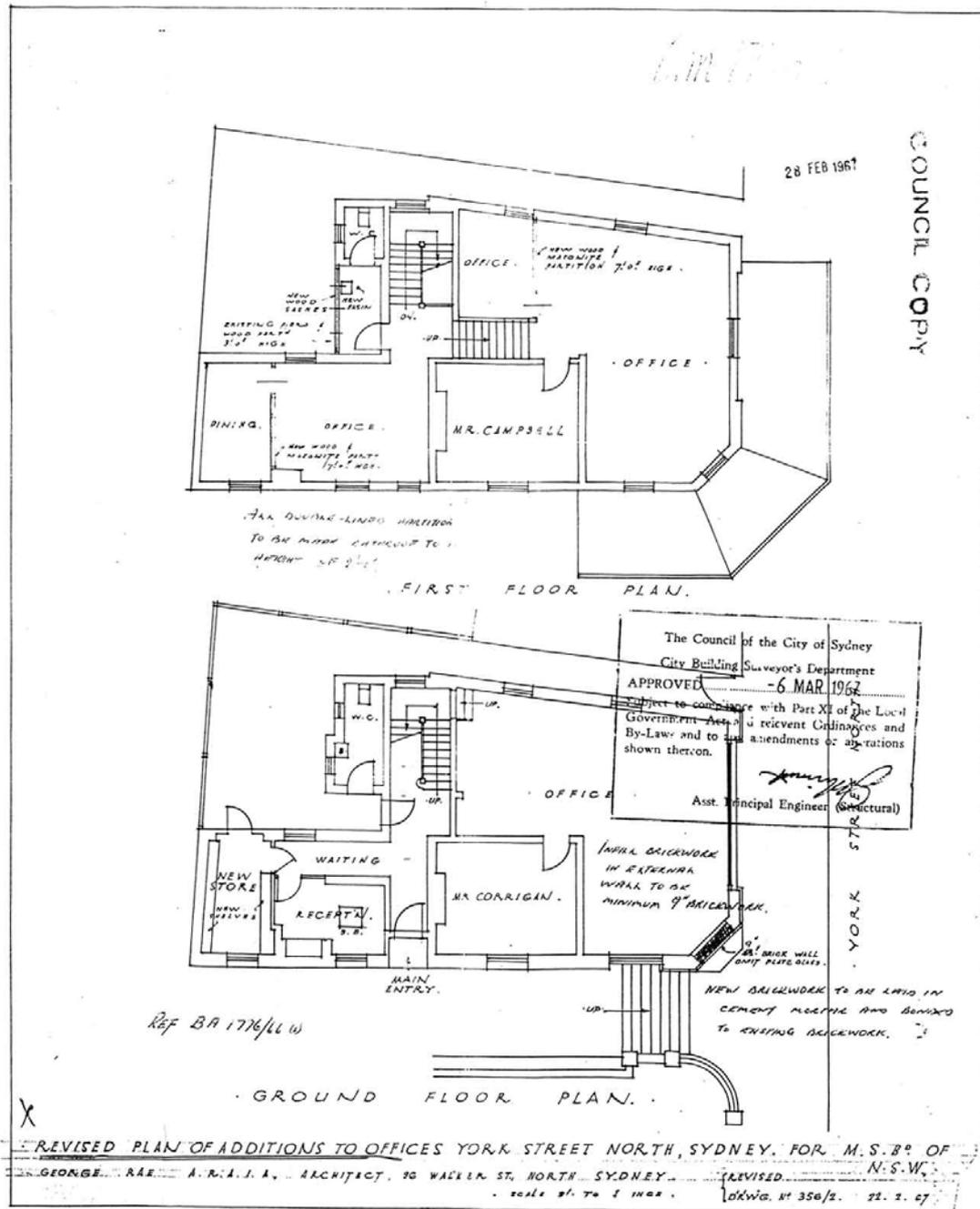


Figure 24

Revised plan for alterations and additions at 182 Cumberland Street in 1966, with amendments
Source: BA plan 1776/2a/66 City of Sydney Archives.

2.4.9 Restoration in the 1990s

In the early 1990s, after almost twenty years of neglect, the building was derelict and work began to repair the damage. In 1993 the building was re-roofed by Dynamic Roofing Pty Ltd using 'Spanish cupa' slate, chosen because it was the same colour as the original Welsh slate, which was not then available.



Figure 25

The roof of the building in 1993, after a long period of neglect in the 1970s and 1980s.
Source: Photograph by Rod Howard in Sydney Harbour Foreshore Authority File for 182 Cumberland Street RE 1216.03.01

Photographs taken during the work show the extent of the replacement of battens, vents, barge boards and cornice mouldings required because of dry rot.⁷⁷

⁷⁷ 182 Cumberland Street File RE 1216.01.01 with photographs (Sydney Harbour Foreshore Authority Archives)

When the roofing was completed all of the rubbish in the building was removed and the rooms cleaned, with appropriate archaeological monitoring in the process. Most of the rubbish consisted of plaster from the ceilings and debris left by squatters. Much of the original fabric had, it seemed, been removed while the building was vacant. The building was then secured and termite treatment was carried out.⁷⁸ The following year a Conservation Plan was commissioned and a report, including re-use options for the building, was completed by Robertson & Hindmarsh Pty Ltd Architects in October 1994.⁷⁹

With some \$335,000 of funding approved for the building in the next financial year, tenders were called for a programme of repairs and conservation to enable the building to be reused. In March 1995 the tender of R E Charles Constructions Pty Ltd was accepted and the work was carried out under the supervision of Scott Robertson of Robertson and Hindmarsh Pty Ltd.⁸⁰ Aurora Expeditions vacated the building in 2008 during construction works on the adjacent Reynell Building and Cumberland Street South Public Domain upgrade. The Australian Youth Orchestra currently occupy the building.

2.5 Development of Building Components

The evidence of the original drawing of the present building (Figure 16), early photographs (such as Figure 17) and physical evidence indicate that the building was constructed much as documented. Robertson & Hindmarsh noted in 1994 that:

The coloured print in the Archives Office collection has a block of very feint (sic) pencil notes (made by Vernon to the project architect?). The pencil notes are (dots represent indecipherable words):

Figure widths of openings as shown on plans
Increase height of linen window to about 4 feet⁸¹
Splay brick base ... stone
Yard facing ...
Show damp course ...
Parapet awning ...
Method of fixing awning, rafters, etc ...

Ink amendments on the same print show the amendments suggested by the pencilled notes were made (ie the fixing for the awning is more fully detailed, the stone base is noted as being brick, the bathroom and linen store are noted as being swapped (with the corresponding alteration to the location of the windows) and the window openings are dimensioned.⁸²

The Rae drawings of May 1966 (Figure 23) indicate that there had been little change to the building since its construction. Robertson and Hindmarsh noted in 1994:

Rae's drawings do indicate that, by 1966, the first floor bathroom and linen room were no longer in existence (indicating that it was not used as a residence by that

⁷⁸ Report on archaeological monitoring by Tony Lowe June 1993 with photographs of the rooms before and after clearance, 182 Cumberland Street – Conservation Stage Two - File RE 1216.02.01 (Sydney Harbour Foreshore Authority Archives)

⁷⁹ 182 Cumberland Street File RE 1216.03.01 (Sydney Harbour Foreshore Authority Archives)

⁸⁰ 182 Cumberland Street File RE 1216.04.01, RE 1216.04.02 & RE 1216.04.03 (Sydney Harbour Foreshore Authority Archives)

⁸¹ This requirement was made unnecessary by the relocation of the downpipe adjacent to the east of the Essex Street entry, as the downpipe no longer had to bend to avoid the linen room window or the arch of the Essex Street entry.

⁸² Robertson & Hindmarsh Pty Ltd. Conservation Plan and Reuse Options for 182 Cumberland Street, The Rocks, for the Sydney Cove Authority, October 1994, p 12.

time) and the partition wall separating the two western first floor bedrooms was no longer existing. Also, the ground floor WC had already been extended to create a larger area for the hand wash basin. These alterations were possibly made in 1957 when the J N Campbell tenancy commenced. His drawing also indicated that the awning still existed and was intended to remain in 1966 and also that the footpath level had been built up over the years since the completion of the building so that one had to step down from the footpath to enter the building.⁸³

The alterations undertaken following approval of the Rae drawings by Council included the demolition of the stairs between the hallway off the Essex Street entrance and the corner shop, and the removal of part of the wall between this hallway and the former kitchen to create a reception area. Two other walls on the upper ground floor were demolished and replaced by beams, creating a large open office area. Corresponding walls on the first floor were also demolished and replaced with partitions. The corner entrance to the former shop was bricked up, and the rear first floor balcony was enclosed with new timber framed windows above an existing 3' 0" (900 mm) high fibro partition. Alterations to the building between 1967 and 1994 included the removal of the awning (which Robertson and Hindmarsh deduce occurred between 1975 and 1980), and the replacement of the roof in 1993. The Sydney Cove Authority photographed the building during reroofing in 1993, and the same year Tony Lowe, archaeologist, photographed the building before and after removal of internal debris.

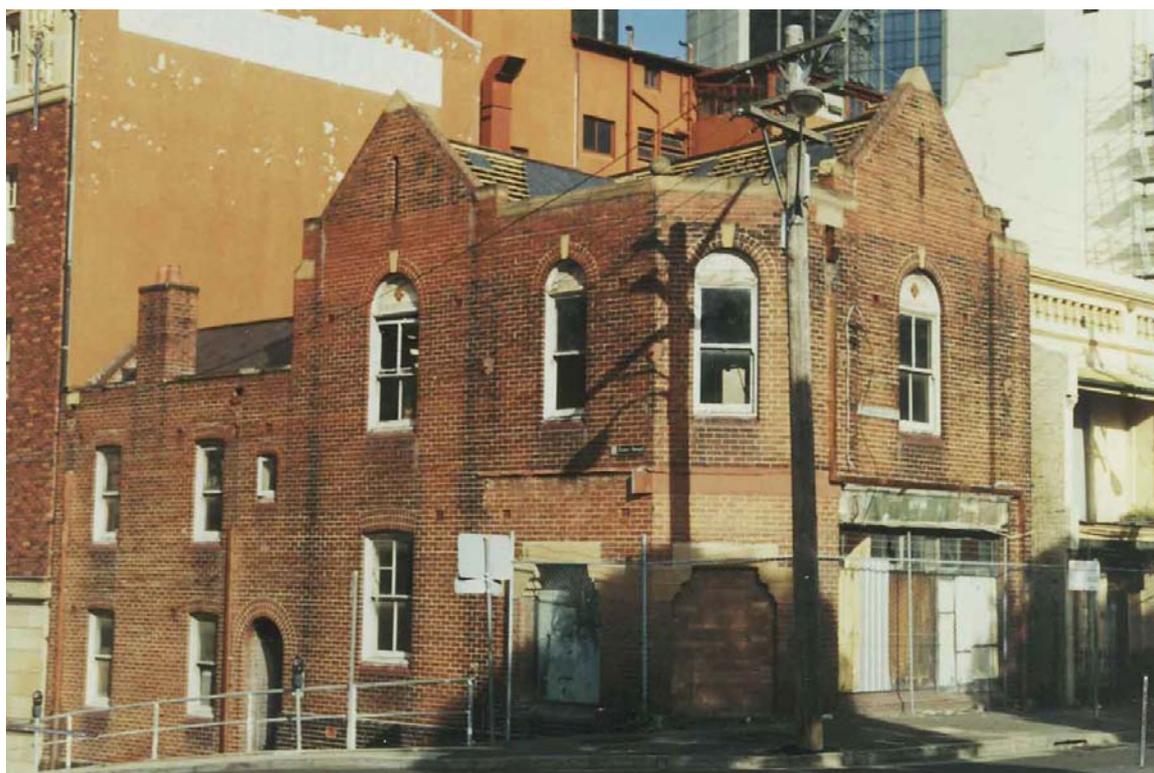


Figure 26

Exterior of 182 Cumberland Street during reroofing, 1993

Source: Sydney Harbour Foreshore Authority Archives, Report No RE 1216.01.01

⁸³ Robertson & Hindmarsh Pty Ltd. Conservation Plan and Reuse Options for 182 Cumberland Street, The Rocks, for the Sydney Cove Authority, October 1994, p 18.



Figure 27

Interior of 182 Cumberland Street during reroofing, 1993: looking up stairs to main front room, first floor (left) and looking towards fireplace in former bedroom, first floor (right)

Source: Sydney Harbour Foreshore Authority Archives Report No RE 1216.01.01



Figure 28

Interior of 182 Cumberland Street photographed by Tony Lowe, archaeologist, after removal of debris 1993: looking towards former entrance of corner shop, ground floor

Source: Sydney Harbour Foreshore Authority Archives Report No RE 1216.02.01

Following reroofing and removal of debris from the interior, the SCA undertook conservation works to the building, documented by Robertson & Hindmarsh Pty Ltd. These works removed some of the additions made in the 1960s and reinstated fabric that had been removed, including the awning and the corner entrance. However, one of the major alterations of the 1960s, the removal of the internal stair flight between the lower hall and the corner shop, was not reversed.



Figure 29

Interior of 182 Cumberland Street photographed by Tony Lowe, archaeologist, after removal of debris 1993: looking north at upper flight of stairs to first floor (above) and looking north-west towards corner of main room, first floor (below)

Source: Sydney Harbour Foreshore Authority Archives Report No RE 1216.02.01

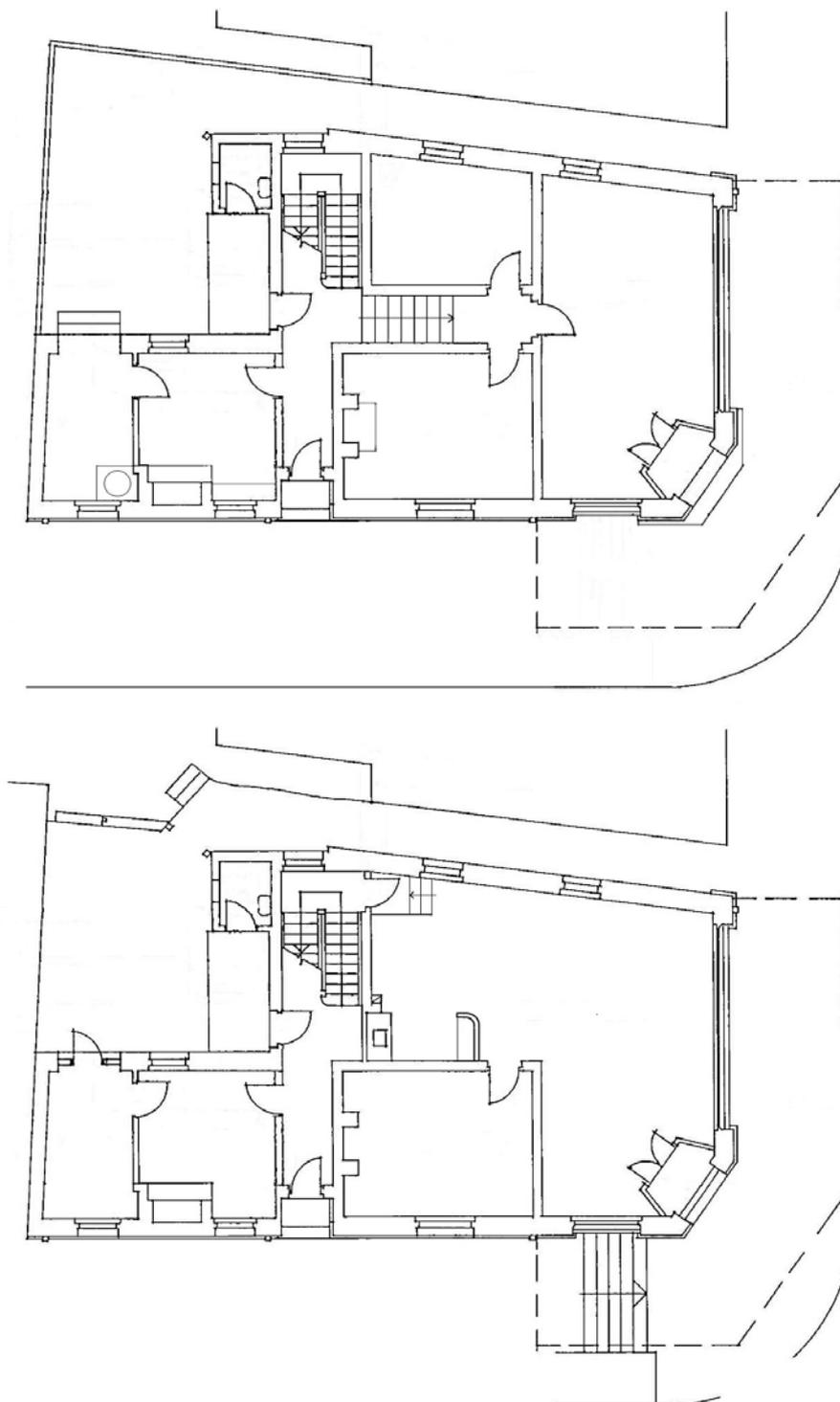


Figure 31

Comparative plans at ground floor level, 1911 (top) and 2008 (bottom). Main changes are the removal of the stair (and associated walls) from the entrance hall to the corner shop, the enclosure of the former laundry, and alterations to the configuration and levels of the footpath. A number of apparently unaltered walls and doors have been removed in the past and recently reconstructed (refer to Figure 30).

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

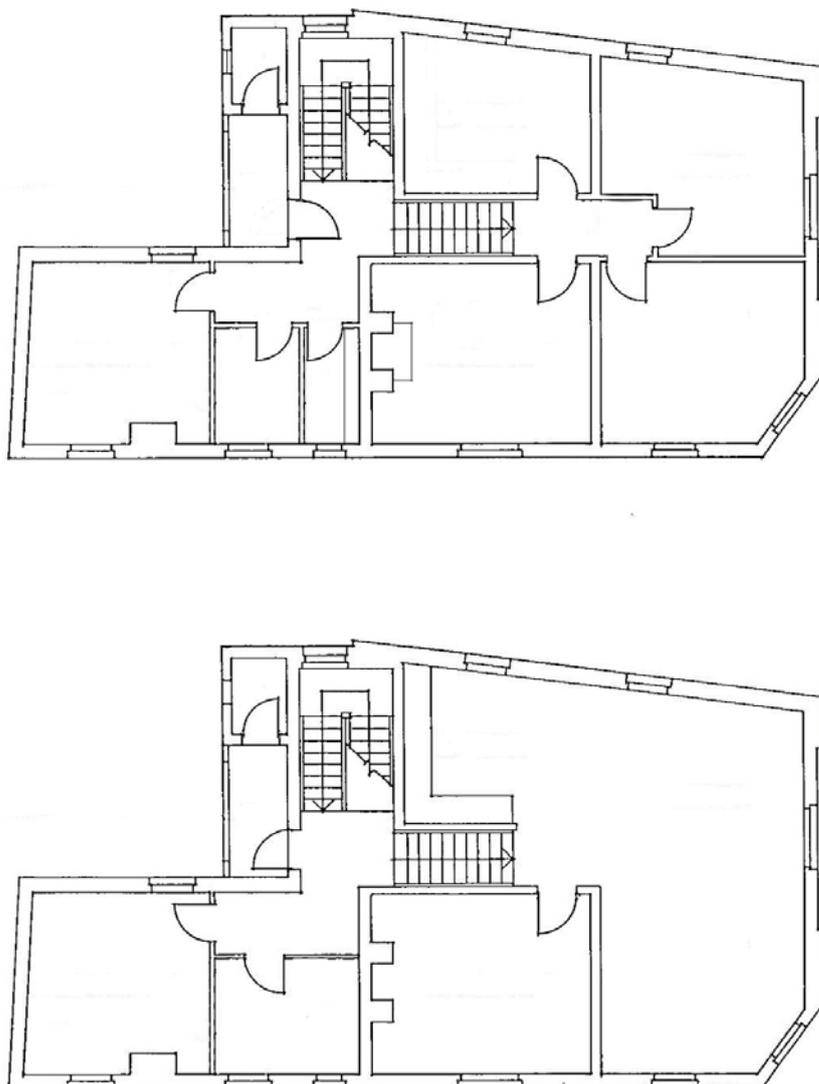


Figure 32

Comparative plans at first floor level, 1911 (top) and 2008 (bottom). Main changes to the original are the removal of the internal walls to bedrooms, and of the dividing wall between the original bathroom and linen room. A number of apparently unaltered walls and doors have been removed in the past and recently reconstructed (refer to Figure 30).

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

The conservation works appear to have been carried out largely as documented, except that the opening between the former corner shop and the landing of the main stair (spaces G01b and G03) was not closed up as documented, but instead fitted with a fire door, and a landing and new steps were built to replace the former set of steps. An additional screen wall has also been built that partially encloses the kitchenette in Room G01b.

2.6 Analysis of History in Context

The original building at 182 Cumberland Street was a typical single storey Victorian corner shop, with an attached single storey building at the rear and at a lower level, responding to the terrain. The buildings on the site prior to 1911 appear to have been used only for commercial purposes.

The redevelopment of the site following resumption by the government retained a commercial use on the corner of the site, but added a substantial residential component, with five bedrooms. The main use of the property then appears to have been residential (as evidenced by its transfer to the Housing Board soon after construction), until the 1950s when it reverted to an exclusively commercial use.

The building is similar in character to much of the redevelopment designed by the Government Architect for Millers Point in the early years of the 20th century. Although most of the new buildings were for housing, several (especially in corner locations) included a commercial use at ground level. A number of examples exist near the corner of Argyle Place and Kent Street.

3. Physical Evidence

The aim of this chapter is to describe the place at 182 Cumberland Street in detail, in order to facilitate the understanding of the existing place. The place itself is a moderately good source of information on the number of changes that have been carried out during its lifetime, although some physical evidence has been lost or obscured by later work, including reconstruction. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

182 Cumberland Street is on the corner of Cumberland and Essex Streets. To the east (at the corner of Essex and Harrington Streets) is Science House, a commercial building constructed in the 1930s to designs by Peddle and Thorp. To the south is a group of four two-storey late Victorian terrace houses, built in about 1899. Opposite is the concrete retaining wall below the approach to the Sydney Harbour Bridge.

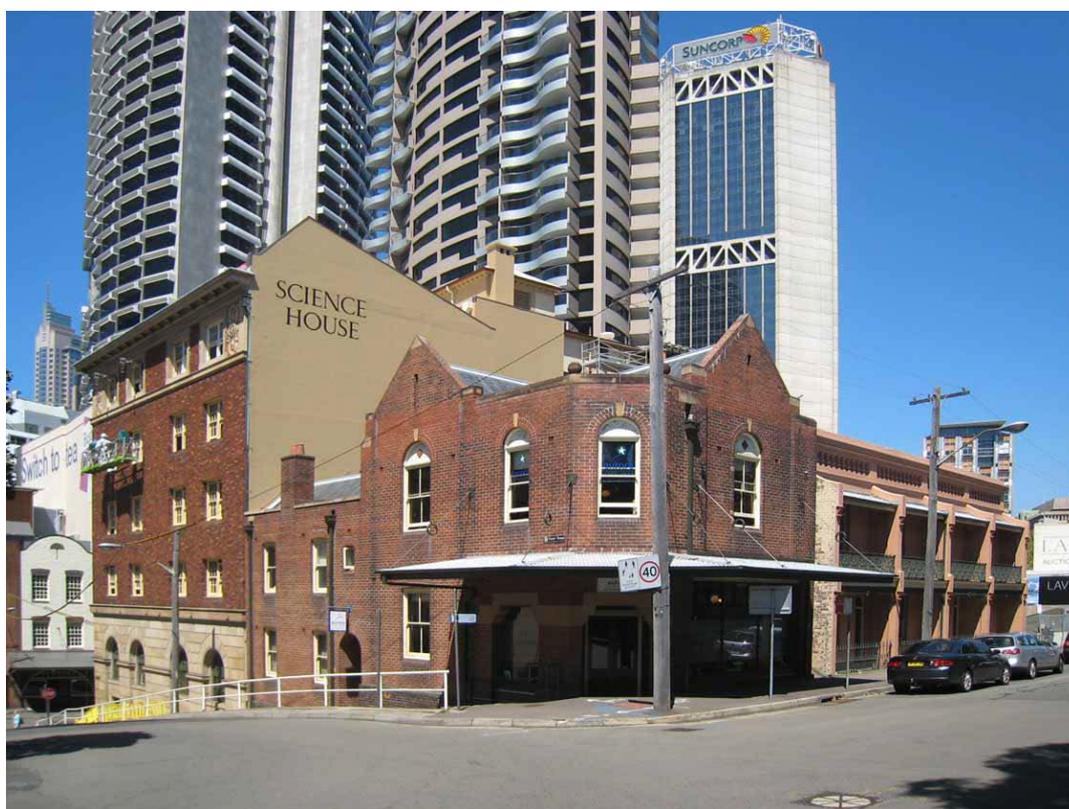


Figure 33

The corner of Essex and Cumberland Streets, looking south-west down Cumberland Street
Source: Orwell & Peter Phillips 2008

3.1.1 Views and Vistas

The principal views towards the site at street level are along Cumberland Street, as the building is not readily visible from below because of the steep slope of Essex Street. The principal view from the building is from the upper floors westwards across the approaches to the Sydney Harbour Bridge.

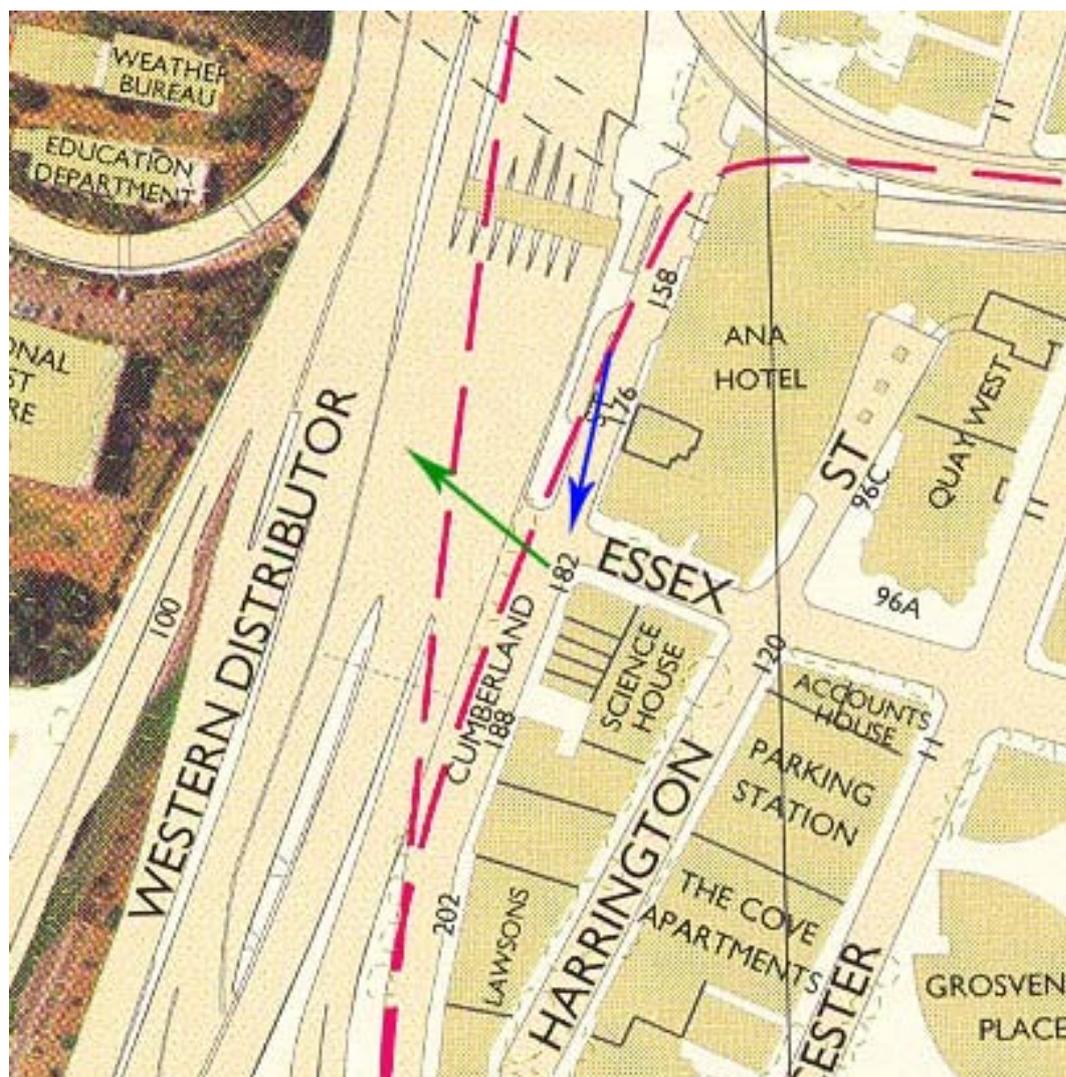


Figure 34

Significant views to (blue) and from (green) 182 Cumberland Street

Source: (base plan) Central Sydney, Pyrmont and Ultimo Map Edition 1. City of Sydney June 2001

3.2 Building Description

The building at 182 Cumberland Street has timber floors, face brick cavity walls with sandstone dressings, and a main roof of slate. Doors and windows are timber framed. The building has two wings, the larger fronting Cumberland Street and the smaller fronting Essex Street half a level below. It has a suspended steel framed and sheeted awning to the corner shop, and a rear two-storey verandah giving access to WCs on both levels. The rear yard is paved in asphalt. There is evidence on the rear walls of the removal of verandah enclosures and a former addition to the ground floor WC.

Internally, the building has timber floors, clear finished in the upper ground floor and mostly carpeted elsewhere (the bathroom floor is tiled, and the laundry and WC floors are concrete), cement rendered and painted brick walls (with some timber framed walls sheeted in plasterboard) and plasterboard ceilings. There are evident measures taken to distinguish original from new or reconstructed work, such as grooves in the render of walls, and painting or polishing to distinguish new joinery from original.

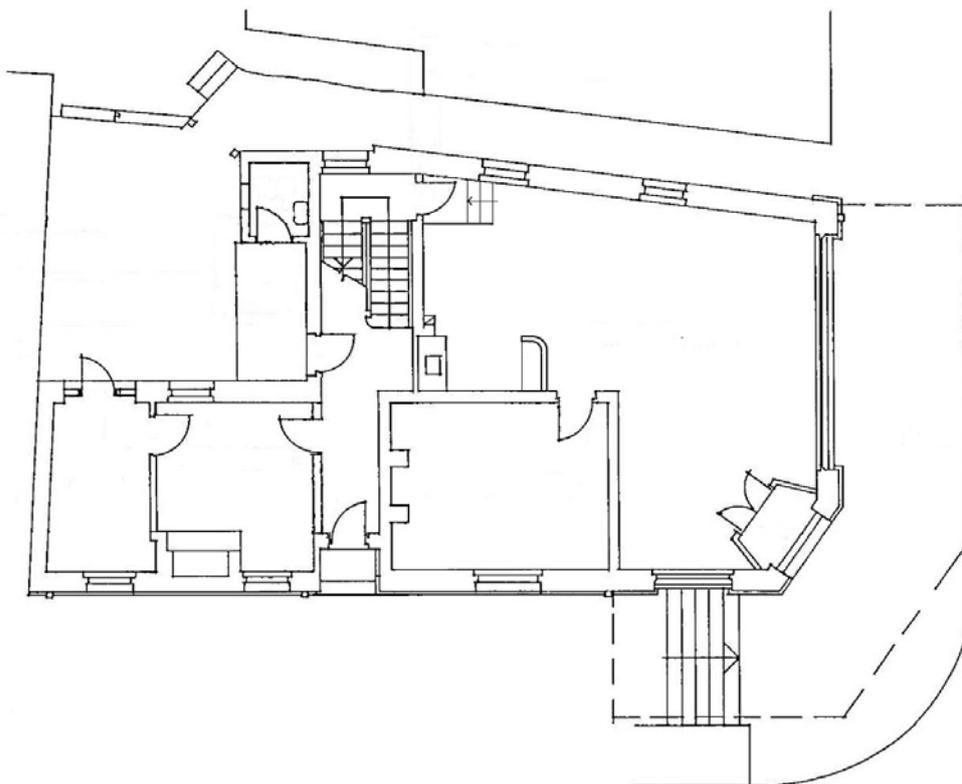


Figure 35

Current drawings of 182 Cumberland Street 2008: ground floor plan

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

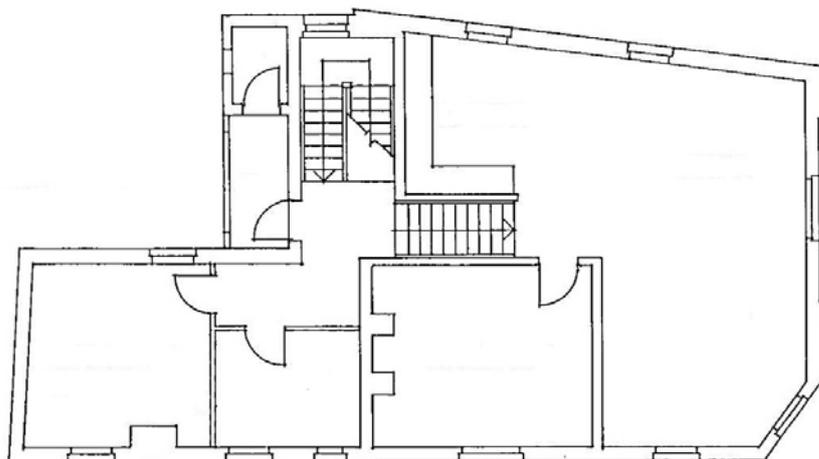


Figure 36

Current drawings of 182 Cumberland Street 2008: first floor plan

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.



Figure 37

Current drawings of 182 Cumberland Street 2008: west elevation to Cumberland Street
Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.



Figure 38

Current drawings of 182 Cumberland Street 2008: north elevation to Essex Street
Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

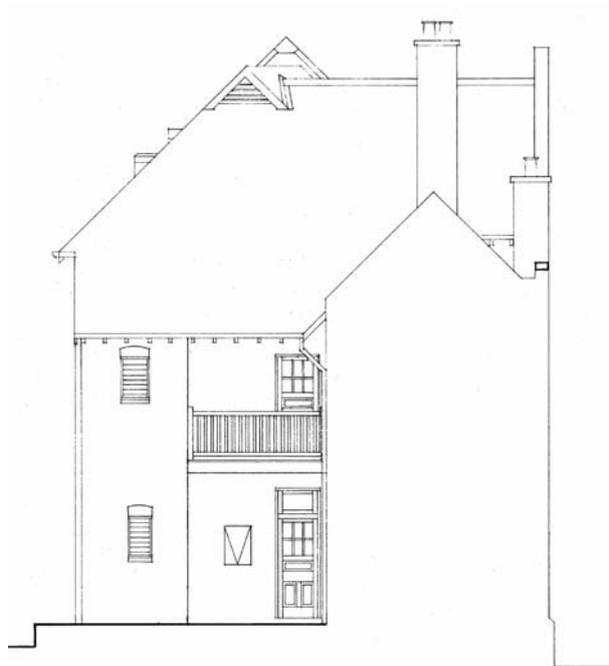


Figure 39

Current drawings of 182 Cumberland Street 2008: east elevation

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

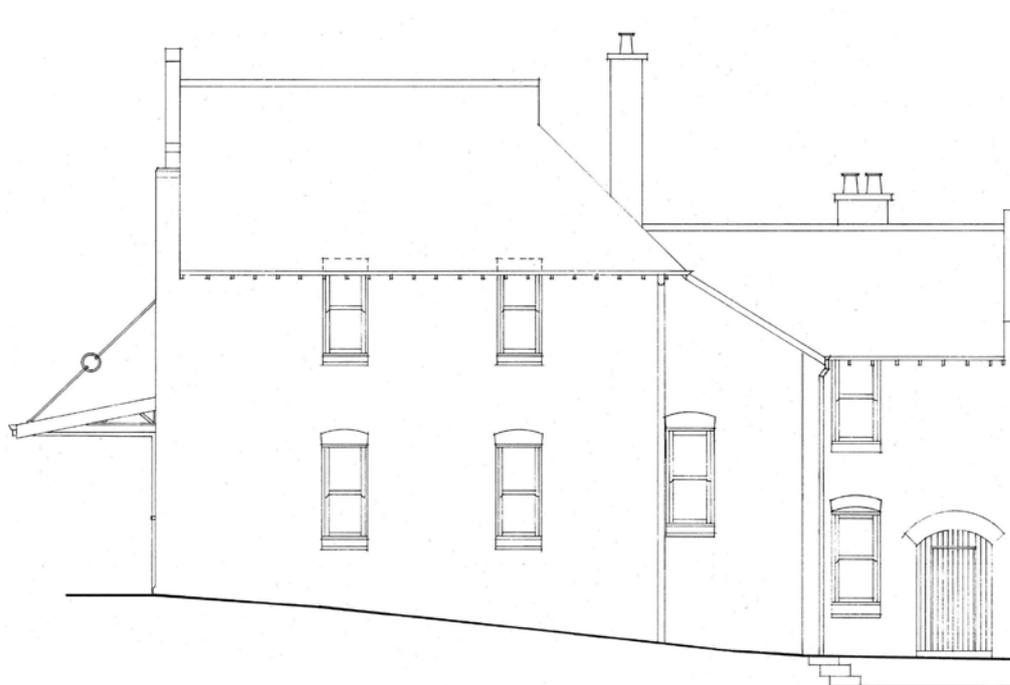


Figure 40

Current drawings of 182 Cumberland Street 2008: south elevation

Source: Drawings by Robertson & Hindmarsh Pty Ltd from Sydney Harbour Foreshore Authority Archives, amended by Orwell & Peter Phillips 2008.

3.3 Identification of Fabric Development – External

The building fabric externally is largely original and intact, with some reconstruction (mainly the awning) and repair (some stone dressings). Brickwork in protected reveals shows evidence of original tooled pointing, which has disappeared on more exposed surfaces. At the rear, evidence of the former alterations remains in the brickwork. Typically for the period, the bricks and brickwork of the street facades are of a higher quality than at the rear: stone dressings were not used at the rear, and the brickwork is of a uniform colour.

Doors and windows have arched openings, more elaborate semi-circular arches being used on the upper story of the street facades, and at the entrance to the former residence. A darker brick has been used for the base course, most visible on the Essex Street façade. Roofs have exposed rafters, with v-jointed timber lining boards above. The same timber boarding has also been used for the ceiling of the upper rear verandah.



Figure 41

Cumberland Street facade showing the reconstructed awning (left), and view of rear verandah (right) showing evidence at left of reconstructed brickwork after removal of WC addition

Source: *Orwell & Peter Phillips 2008*

The shopfront framing is encased in sheet metal, and has a marble sill with a sloping metal hamper above it. The dampcourse, a double row of slates set in cement mortar, is clearly visible in the base course. The original brick pointing (a darker mortar, carefully tooled slightly proud of the surface) is still present on surfaces such as reveals which have been protected from the weather. The main entrance to the shop is now below footpath level, and the formerly open archway to the laundry has been enclosed with a modern timber boarded wall and door.



Figure 42

The Essex Street elevation shows the steep slope of the site, and the darker brick used for the base course. The arched opening at ground level is the original residence entrance.

Source: Orwell & Peter Phillips 2008

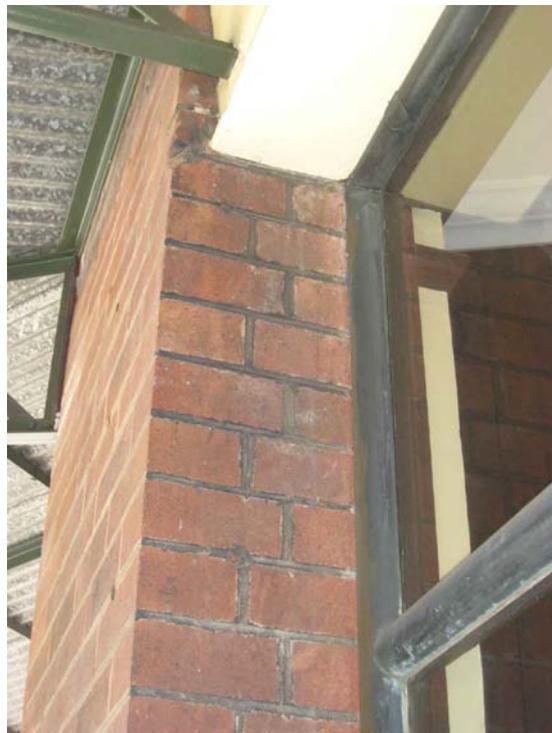


Figure 43

Detail of base course (left) shows slate dampcourse, marble sill and metal base of shopfront. Detail of top of shopfront (right) shows metal-sheathed framing and remnant of brick pointing.

Source: Orwell & Peter Phillips 2008



Figure 44

View along Cumberland Street (left) showing corner entrance below footpath level (note handrail) and underside of reconstructed awning. South elevation to rear courtyard (right) shows infilled archway to laundry

Source: *Orwell & Peter Phillips 2008*

3.4 Identification of Fabric Development - Internal

The interior of the former corner shop reflects the room layout created by alterations to the building in 1966, although with a reconstructed corner entrance and a new kitchenette fitout dating from the 1995 conservation works. The fire door, steps and landing to the main stairs are also of recent construction. The floors appear to be the original boards, refinished with a clear gloss coating.

Air conditioning ducts have been installed in the subfloor area, with aluminium floor grilles. The shallow subfloor area is accessible through floor hatches (shown on the Robertson & Hindmarsh working drawings).

The other room on this level (originally a living room) appears to have had most of its internal joinery reconstructed, including the door and picture rail. The timber chimneypiece and cast iron and tiled grate are presumably conjectural reconstructions, as there appears to be no documentary or physical evidence of the originals other than their outline, recorded in 1993 photographs.



Figure 45

The main front room (former corner shop) at 182 Cumberland Street, looking towards reconstructed entrance (above – compare Figure 28) and towards door to main stairs (below). Note floor grilles for air conditioning. The curved partition wall enclosing the kitchenette is visible on the left.

Source: Orwell & Peter Phillips 2008



Figure 46

The office on the upper ground floor, showing the reconstructed chimneypiece and other joinery, including picture rail and door.

Source: Orwell & Peter Phillips 2008

On the lower ground floor, the original kitchen has been converted to an office, although it retains its fireplace. The former laundry, although again equipped for its original function, is now used for storage, as is the WC that is reached from the rear verandah. The ceiling of the WC is the underside of the concrete slab for the WC above, with the edges curved down to make a coved cornice.

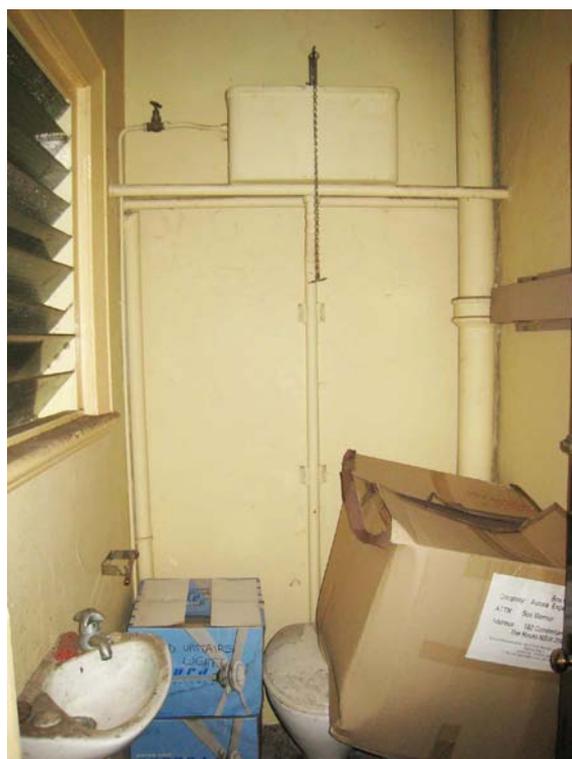


Figure 47

Entrance hall of lower ground floor (upper left) looking towards Essex Street; note vertical groove in render on right, indicating extent of reconstructed wall. Interior of original kitchen (upper right) shows former fireplace and flue to adjacent laundry copper. The laundry (lower left) and WC (lower right) at this level are now used mainly for storage.

Source: *Orwell & Peter Phillips 2008*

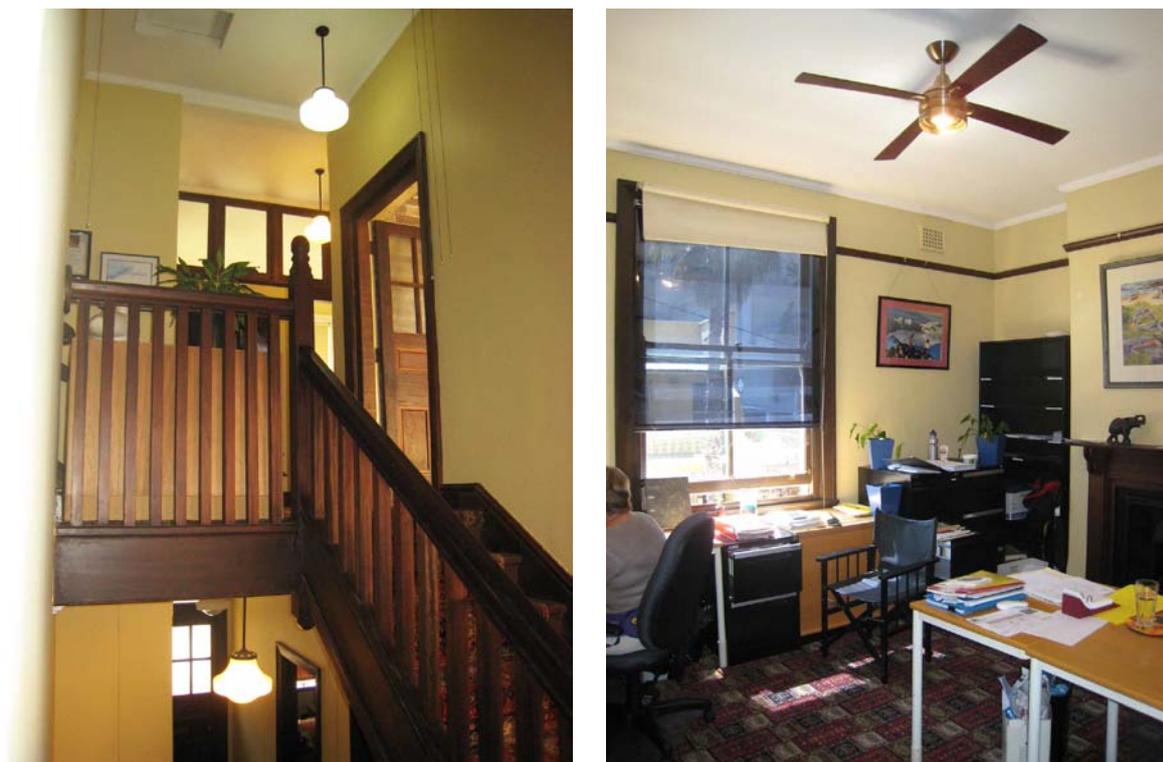


Figure 48

Main stair from landing (left), showing reconstructed balustrade (compare with Figure 29) and reconstructed wall to bathroom (with highlights) beyond. At right is the small office at the top of the last flight of stairs, with reconstructed fireplace (compare with Figure 27)

Source: *Orwell & Peter Phillips 2008*

The main stair and its enclosing walls are among the most intact spaces in the building (apart from the opening to the ground floor shop). In other areas of the first floor, walls have been removed (and in some cases reconstructed) altering the original configuration. The door to the balcony from the top landing swings outwards (as shown on the 1996 drawings – refer to Figure 23) rather than inwards as shown on the original drawings; it is not known whether it was built this way originally. The combined bathroom and linen press area now functions again as a bathroom.

Within the main office on the upper level, a kink in the cornice on the east wall indicates where the slate roof above joins the flat galvanised iron roof above the corner (refer to roof plan on Figure 16). Beams below the ceilings indicate the location of the original masonry walls – there is no evidence in the fabric of the former partitions.



Figure 49

Main office on first floor, looking east (above) towards stair, archway and hall (note kink in cornice indicating change of roof structure and slope above), and looking north-west (below) towards splayed corner (compare Figure 29).

Source: Orwell & Peter Phillips 2008



Figure 50

Upper floor areas: rear balcony (upper left), WC (upper right), bathroom (lower left) - note small window formerly to linen press - and adjacent rear office (lower right)

Source: *Orwell & Peter Phillips 2008*

3.5 Assessment of Archaeological Potential

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* as being minor to being partly disturbed (R123) and in the Foreshore Authority's S.170 Heritage Register as being partly disturbed due to the present building being terraced into the hillside. The history of the site has been updated by Rosemary Annable. The S.170's Recommended Management is:

All work involving disturbance of the site should be carried out under an archaeological watching brief and will require an Excavation Permit prior to commencement. All archaeological investigation and monitoring should be carried out by a qualified archaeologist approved by the Heritage Council of NSW.

Below ground archaeological remains: An historical and archaeological assessment prior to archaeological investigation is recommended.

3.5.1 Below Ground

The historical development of the site indicates European occupation by 1804 when Thomas Boulton appears to have built a house on the allotment. Between 1830 and 1845 the building became a shop, with a "new" bakehouse in 1845. The shop was extended over the years until it was demolished in 1911. The present building dates from 1912.

The site is likely to retain features relating to the earlier buildings and structures on the site, under the present ground floor. These will include footings and underfloor deposits. Deeper features such as wells and cesspits may also be present in former yard areas.

3.5.2 Above Ground

The roof space and underfloor areas of the upper floors are regarded as having no archaeological potential due to the date of the present building.

4. Assessment of Cultural Significance

4.1 Assessment of Significance

4.1.1 Comparative Analysis

The former shop and residence at 182 Cumberland Street is a relatively small scale example of the work of the Government Architect's office under W L Vernon. The office undertook much of the design work for the reconstruction of The Rocks and Millers Point areas following the program of slum clearance in the early 20th century. Most of this work was purely residential, but there are other examples of mixed use buildings particularly in the vicinity of the intersection of Argyle and Kent Streets. Their work was carried on in a similar style by the Sydney Harbour Trust. Vernon's office also designed a number of suburban post offices, some of which incorporated residences.



Figure 51

Comparative examples of early 20th century shops and residences in Millers Point: 46-56 Gloucester Street (above left - residences only), 21-29 Kent Street (above right - shops with residences above), 9 Argyle Street (below left - shop and residence) and 1-7 Argyle Street (below right - shops and residences)

Source: *Millers Point Conservation Management Guidelines, Volume 2. Government Architects Office for Housing NSW, 2004.*



Figure 52

Comparative example of Vernon's small-scale Post Office and residences: Canterbury (left) and Randwick (right)

Source: NSW Heritage Branch web site: copyright Canterbury City Council (left) and Godden Mackay Logan Pty Ltd (right)

The Canterbury Post office has some similarities of style to 182 Cumberland Street, while the Randwick Post Office is an altogether grander building of a slightly earlier period. Vernon also designed several buildings in this style on a larger scale: three within The Rocks area are the former Coroner's Court, and the former Chamber of Commerce building and Brooklyn Hotel, all in George Street.



Figure 53

Comparative example of Vernon's Federation style buildings in George Street, The Rocks: the former Coroner's Court (left) and the former Chamber of Commerce and Brooklyn Hotel (right)

Source: NSW Heritage Branch and Sydney Harbour Foreshore Authority web sites

4.1.2 Assessment Criteria

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

The shop and former residence at 182 Cumberland Street has historical significance as one of the few remaining corner shops and residences within The Rocks area, and an example of the reconstruction work undertaken in The Rocks by the Government Architect's office in the early 20th century. The retention of the corner shop reflects the commercial importance of the location, while the expanded residential provision reflects the intention of the redevelopment works to improve housing conditions. The place meets this criterion at a State level for its contribution to the history of the State-significant area of The Rocks.

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

The building at 182 Cumberland Street is associated with the work of the Government Architect, W L Vernon, and his office. The building meets this criterion at a local level.

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)

The building at 182 Cumberland Street is a good example of the Federation Arts and Crafts style on a small scale, and one of the most intact such examples of this style in The Rocks area. The building meets this criterion at a State level for its contribution to the State-significant area of The Rocks.

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The place does not meet this criterion, as it has no particular association with an identifiable group.

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

Any remains associated with the former shop and residence on the site have some potential to contribute to information about the early history of The Rocks. The place is therefore considered to meet this criterion at a local level.

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

The building meets this criterion at a local level, as there are few intact buildings of this type and period within the local area. However, because there are a number of similar buildings in other areas, it is considered that the place does not meet this criterion at a State level.

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)

The building at 182 Cumberland Street illustrates many of the principal characteristics of government-designed housing and commercial premises from the early years of the 20th century. The ability of the building to demonstrate the principal characteristics of its type has been enhanced (although not fully recovered) by recent conservation works. It is considered to meet this criterion at a local level.

4.1.3 Ability to Represent Historic Themes

182 Cumberland Street Ability to Represent Historic Themes		
NSW State theme	Application	Ability to demonstrate
Commerce	Developing local, regional and national economies	Potential archaeological remains of 19 th century bakery and corner shop
Commerce	Developing local, regional and national economies	Original corner shop reconstructed, predominant use of building now commercial
Accommodation (Housing)	Building settlements, towns and cities	Potential archaeological remains of former dwelling
Accommodation (Housing)	Building settlements, towns and cities	While enclosing walls of many bedrooms removed, general domestic configuration at rear of building still discernable
Labour	Working	No physical remains of ALP hostel
Domestic life	Developing Australia's cultural life	Some evidence of former domestic use survives, and further archaeological evidence of earlier residence may also survive
Creative endeavour	Developing Australia's cultural life	The reconstruction works have enhanced the ability of the site to demonstrate the work of W L Vernon
Towns, suburbs and villages	Building settlements, towns and cities	Site and building continue to reflect steep topography typical of The Rocks

4.2 Statement of Significance

The shop and former residence at 182 Cumberland Street has historical significance as an early commercial site in The Rocks area, still operating with a commercial use, and one of the few remaining corner shops and residences in The Rocks. It is also significant as an example of the work of the Government Architect's office in the government's redevelopment of The Rocks area in the early years of the 20th century, and is associated with the then Government Architect W L Vernon. The building has aesthetic significance as a good and well preserved representative example of the Federation Arts and Crafts style, skilfully adapted to its steep site and corner location. The ability of the building to demonstrate the principal characteristics of its type has been enhanced by recent conservation works.

4.3 Curtilage

The appropriate curtilage for the building is delineated by the footpath kerbs of the street corner to the north and west, and the boundary walls of the adjoining sites, Science House to the east and the terrace group to the south.



Figure 54

Recommended curtilage for 182 Cumberland Street, The Rocks
Source: (base map) Google Earth

5. Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. The building at 182 Cumberland Street has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual contribution of each element to the overall significance of the item. This system is a valuable planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and the various elements. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved *in situ*. Any work which affects the fabric or external appearance of these elements should be confined to Preservation, Restoration and Reconstruction as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved *in situ* subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant

modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

LITTLE SIGNIFICANCE

Includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

INTRUSIVE

Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of 182 Cumberland Street and its elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

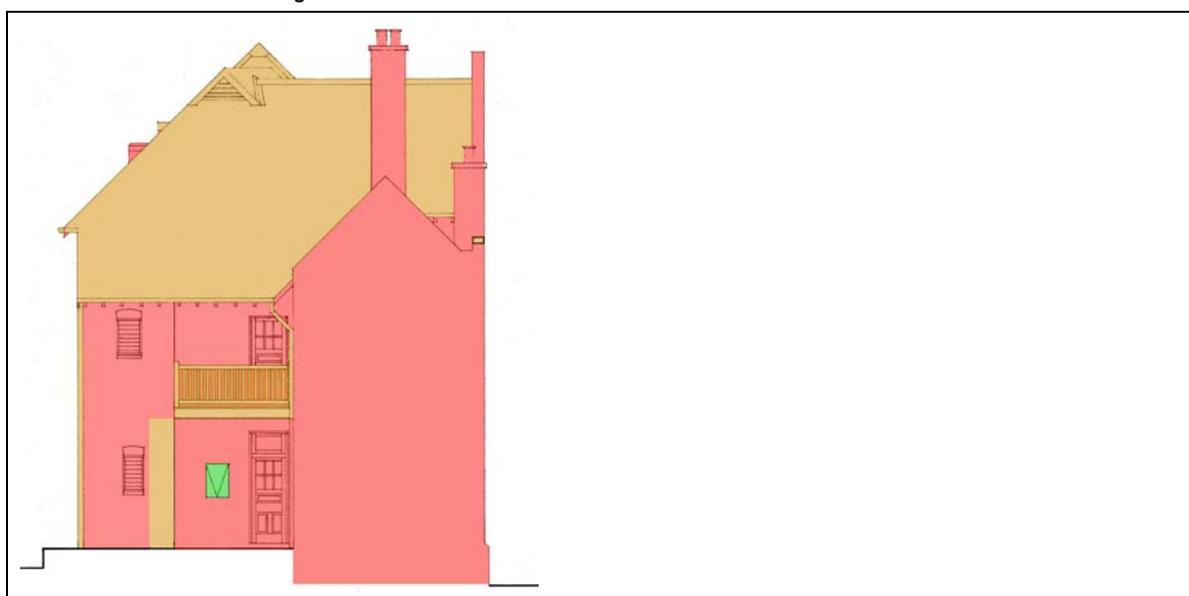
5.1 Grading of Significant Elements and Spaces

5.1.1 Northern Façade External Elements



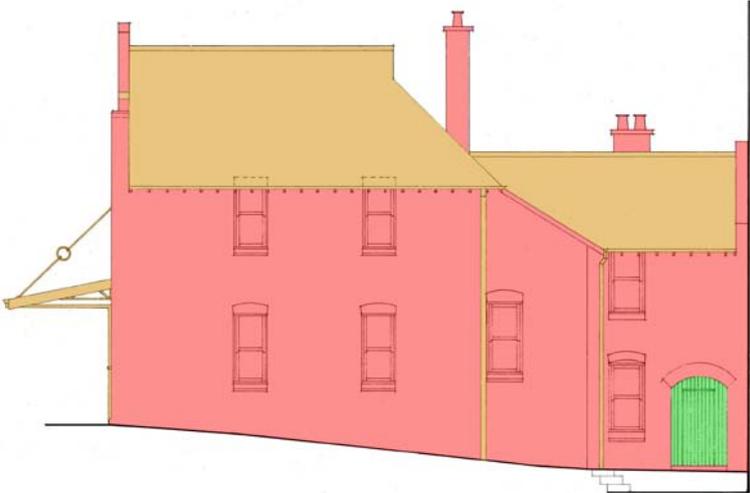
– Original and early face brick and stone walls, timber doors and windows, shopfront	Exceptional (red)	■
– Reconstructed slate and galvanised steel roofing and accessories, cast iron and steel downpipes and rainwater heads, awning, and stone copings	High (orange)	■

5.1.2 Eastern Façade External Elements



– Original and early face brick and stone walls, timber doors and windows	Exceptional (red)	■
– Reconstructed slate and galvanised steel roofing and accessories, cast iron and steel downpipes and rainwater heads, brickwork and timber verandah	High (orange)	■
– Meter box	– Little (green)	■

5.1.3 Southern Façade External Elements

		
<ul style="list-style-type: none"> Original and early face brick and stone walls, timber doors and windows 	Exceptional (red)	
<ul style="list-style-type: none"> Reconstructed slate and galvanised steel roofing and accessories, cast iron and steel downpipes and rainwater heads, awning, and stone copings 	High (orange)	
<ul style="list-style-type: none"> New boarded wall and door to archway of Laundry 	Little (green)	

5.1.4 Western Façade External Elements

		
<ul style="list-style-type: none"> Original and early face brick and stone walls, timber doors and windows, shopfront 	Exceptional (red)	
<ul style="list-style-type: none"> Reconstructed slate and galvanised steel roofing and accessories, cast iron and steel downpipes and rainwater heads, awning, and stone copings 	High (orange)	

5.1.5 Ground Floor Level Internal Elements

<ul style="list-style-type: none"> External walls, original internal walls, windows, shopfront, entrance porch to residence and office (former living room) 	Exceptional (red)	
<ul style="list-style-type: none"> Other ground floor spaces except as noted, and reconstructed internal walls and corner entrance 	High (orange)	
<ul style="list-style-type: none"> New steps and door to main stair, and new kitchenette in location of original stair 	Little (green)	

5.1.6 First Floor Level Internal Elements

<ul style="list-style-type: none"> External walls, original internal walls, windows, main stair and hall (including archway to upper flight) and office (former bedroom) 	Exceptional (red)	
<ul style="list-style-type: none"> Other first floor spaces except as noted, and reconstructed internal walls 	High (orange)	
<ul style="list-style-type: none"> New bathroom space and fitout, and new kitchenette in main office 	Little (green)	

5.2 Schedule of Significant Elements

182 Cumberland Street Schedule of Significant Elements		
Building or Site element	Significance	Commentary
EXTERIOR		
WALLS		
Face brick and sandstone character and fabric of the facades	Exceptional	These masonry elements are the most intact on the site
Timber windows	Exceptional	Several of these windows appear to be original, although some show evidence of repair or reconstruction
Timber doors to former entry to residence, and to rear verandah and balcony	Exceptional	These doors appear largely original, with evidence of some repair
Timber rear verandah and balustrade	High	These elements are partly reconstructed
Metal clad timber shopfronts, including hamper grilles, opening lights and marble sill	Exceptional	These elements also appear to be largely original
Timber framed walls and doors to corner entrance to former shop	High	The current elements are modern but appear to emulate the original
Rainwater goods	High	The current elements are modern but appear to emulate the original
Timber boarded wall and door to Laundry arch	Little	These elements, although of traditional design, enclose the originally open laundry
ROOFS		
Roof and awning structure and covering	High	The roof and awning forms are original. The current roofing and awning materials are modern versions of the originals
INTERIOR		
GROUND FLOOR		
Timber floors	Exceptional /High	Although the floors appear to retain much original fabric, they have been partly repaired and altered to suit changed wall configurations. Clear finish to ground floor boards is not original.

182 Cumberland Street Schedule of Significant Elements		
Building or Site element	Significance	Commentary
Concrete floors	Exceptional /High	Original slab in former laundry and WC; new slab to porch.
Rendered brick walls	Exceptional	The majority of the internal wall surfaces are original
Reconstructed masonry walls	High	These are recent additions and enable the locations of some original walls to be interpreted
Internal panelled doors, frames and architraves	Exceptional /High	Most doors appear to have new leaves (presumably reproducing the originals) in original frames
Windows and architraves	Exceptional /High	Several of these windows appear to be original, although some show evidence of repair or reconstruction
Skirtings and picture rails	Exceptional /High	These include both original and reconstructed elements
Internal chimneypieces and grates	Moderate	These are recent fabric that are appropriate to the period although not based on evidence of the original, which assist in interpretation of the interiors
New steps and flush door to main stair, and new kitchenette	Little	These are modern elements with no interpretive value
Main stairs	Exceptional /High	The stairs and surrounding walls are among the most intact parts of the interior. Balustrades have been partly reconstructed
Plasterboard ceilings and cornices	Little	The new ceilings mostly reflect the current rather than original configuration of rooms
Ceiling void	Little	Not inspected
Subfloor void	Little	Visible areas contain air-conditioning ducting
Fixtures and services	Little	All these items are modern
FIRST FLOOR		
Timber floors	Exceptional /High	Although the floors appear to retain much original fabric, they have been partly repaired and altered to suit changed wall configurations

182 Cumberland Street Schedule of Significant Elements		
Building or Site element	Significance	Commentary
Concrete floors	Exceptional /High	These floors have also been subject to alteration and some reconstruction
Rendered brick walls	Exceptional	The majority of the internal wall surfaces are original
Internal panelled doors, frames and architraves	Exceptional /High	Most doors appear to have new leaves (presumably reproducing the originals) in original frames
Windows and architraves	Exceptional /High	Several of these windows appear to be original, although some show evidence of repair or reconstruction
Skirtings and picture rails	Exceptional /High	These include both original and reconstructed elements
Main stairs including archway to upper flight	Exceptional	The stairs and surrounding walls are among the most intact parts of the interior
New timber framed walls, linings and highlights	High/ Moderate	These are recent additions and enable the locations of some original walls to be interpreted
Internal chimneypieces and grates	Moderate	These are recent fabric that are appropriate to the period although not based on evidence of the original, which assist in interpretation of the interiors
Plasterboard ceilings and cornices	Little	The new ceilings mostly reflect the current rather than original configuration of rooms
Bathroom floor and wall finishes and fitout	Little	
Kitchenette	Little	
Ceiling void	Little	
Fixtures and services	Little	

5.3 Archaeological Significance and Potential

The archaeological potential is considered medium to high. The site should be subject to a comprehensive archaeological assessment prior to any ground disturbance in accordance with the NSW Heritage Act archaeological provisions.

6. Constraints and Opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the statement of significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*, and identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising From Physical Condition of the Place

The fabric of the place is generally well maintained. Aspects of the physical condition of the place that may give rise to concern include some erosion of mortar joints to brickwork in exposed areas, and some fretting of the stone dressings. There is also some rust evident on the awning roof.

6.2 Sydney Harbour Foreshore Authority

The Rocks area is managed by the Sydney Harbour Foreshore Authority, constituted on 1 February 1999 under the Sydney Harbour Foreshore Act 1998. The Rocks area is not within the jurisdiction of the Council of the City of Sydney.

The principal functions of the Foreshore Authority, stated in its Act, are to:

- Protect and enhance the natural and cultural heritage of the foreshore area;
- Promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;
- Promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.2.1 Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

The Sydney Harbour Foreshore Authority's Charter committed the Authority to:

1. Add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour;
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders;
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront;
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites;

5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership;
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

The Authority proposes to continue to lease the building for commercial uses.

6.2.2 Tenant's Requirements

The present tenant proposes to continue the current use and configuration of the building. A number of rooms, especially on the lowest level, are not in regular use (such as the former kitchen) or are used as storage areas (such as the former laundry).

6.3 Heritage Management Framework

It is essential that the Foreshore Authority is consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the minister. Applications are to be made to the Sydney Harbour Foreshore Authority.

In some instances, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Sydney Harbour Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

6.3.1 New South Wales Heritage Act

Architectural Works

The place is listed in the NSW State Heritage Register, under SHR No. 01581. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act (1977).

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for a wide range of works to an SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of an SHR item is *prohibited* under the Heritage Act. An element of an SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). Authority has been delegated to the Foreshore Authority to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the Heritage Branch, or from the Foreshore Authority.

Archaeological Management

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR where there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as:

Any deposit, object or material evidence that

(a) relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and

(b) is of State or local heritage significance.

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications extends to archaeological works.

Standard Exemptions for Works to State Heritage Register Listed Items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item. If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority. For details of the standard exemptions, refer to the Heritage Branch web site.

Applicants should confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a C M Strategy endorsed under delegation by the Executive Director of the Tenant and Asset Management Services, Sydney Harbour Foreshore Authority. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites. Currently, there are no site-specific exemptions for the place.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in the Heritage Amendment Regulation 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards). Details of the minimum standards are

given in the NSW Heritage Branch's Information Sheet, which can be found at NSW Heritage Branch web-site.

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

6.3.2 NSW Government Total Asset Management Guidelines

The Total Asset Management (TAM) Manual prepared by the NSW Government's Asset Management Committee requires that: 'Sustainable management of heritage values should be treated by an agency as part of its core business'. Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require 'planning use of heritage assets to maximise their service delivery while protecting their cultural values'.

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

6.4 Environmental Planning Instruments (EPIs)

There are three principal EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks:

State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The Minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the Act (development under \$5 million) has been delegated from the Minister to the Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and consequently any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks; however, it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

The current Exposure Draft Bills for planning reform propose the abolition of all Regional Environmental Plans. It is not yet known how the matters currently covered by the Sydney REP (Sydney Harbour Catchment) will be dealt with in the new legislation.

Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

The SCRA Scheme does not have any further development provisions nor does it specifically identify Heritage Items.

6.5 Non-statutory Listings and Community Groups

6.5.1 National Trust of Australia (NSW)

The place is not classified by the National Trust, although it is within the boundary of the classified Urban Conservation Area of The Rocks.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.5.2 Register of the National Estate

The place is not entered individually in the Register of the National Estate, although it is within The Rocks Conservation Area (Place ID No 2255).

Listing on the Register of the National Estate (now known as the Australian Heritage Database) carries no statutory implications but it is indicative of the high cultural values of the place.

6.6 Building Regulations

The Building Code of Australia (BCA) is concerned with establishing uniform building regulations across Australia. The BCA is implemented in NSW through the Local Government Act 1993.

The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenity. Generally, minimum performance requirements are required to be met in building works.

An assessment of compliance of the complex with the BCA has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply with the BCA unless granted exemption under the Act.

In general, when considering the BCA in heritage buildings, proposals must ensure that significance fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.7 Application of The Burra Charter

The *Australia ICOMOS Burra Charter 1999*,⁸⁴ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to sites/buildings which have been identified as having national, state and regional significance are undertaken.

Because 182 Cumberland Street is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of *The Burra Charter*.

Principles of The Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric.

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance. Removed significant fabric should be reinstated when circumstances permit.

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place. New work should be readily identifiable as such on close inspection.

⁸⁴ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use. Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7. Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is significant to an item within a process of change and development. It is essential to establish criteria, policies and recommendations for the conservation and on-going use of the item to ensure best practice heritage management. Within this framework, owners and managers of the item will be able to formulate suitable proposals, and planning authorities will be able to assess those proposals against the site specific criteria.

The conservation policies are intended to assist in the ongoing use, maintenance and conservation of the site. These policies are intended to manage change, rather than prohibit it. Each policy is supported by a series of guidelines which will ensure that future decisions are made in an informed manner, ensuring the significance of the place.

7.1 Current and Potential Future Use

Background

The current building was constructed as a shop and residence and later became used entirely for commercial purposes.

Policy 1

The former shop and residence should continue to be used for commercial purposes, preferably with a residential component, or may be adapted for other uses that are consistent with the retention of its significance.

Guidelines

- The reintroduction of at least some residential use of the building is encouraged. While the current commercial use is appropriate to the building and other commercial uses (preferably incorporating a retail component) would be equally appropriate, the full significance of the original use would be enhanced if part of the building were to be used for residential purposes, so that areas such as the original kitchen and laundry can be used again for their original purposes.
- The adaptive re-use of all building components is acceptable, with compatible new uses selected that utilise the original character or permit a creative and responsible re-use of the fundamental architectural, functional and spatial characteristics as far as possible.
- The Foreshore Authority shall ensure that any new uses selected for the existing building shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration.
- Adaptation of a building's interior should ensure that the original fabric or significant architectural and spatial features are retained and interpreted as far as possible.
- The detailed requirements of the new uses should not generate undue changes to the existing significant fabric that cannot be reversed in the long term, or which do not respect and work within the existing architectural framework.
- If subdivision of internal spaces is required for a new use, it should preferably be designed to reflect the configuration of original rooms within the building, and should be undertaken in a secondary manner, using such items as partitions that can eventually be removed and which do not impact on the existing finishes or details.
- External alterations or additions should be discouraged; however, if required to meet approved interpretation, re-use or cultural tourism requirements, these should be of a minor nature, and subservient to the primary architectural features and composition of the existing structure.

- The introduction of new services and associated fittings as part of approved re-use programs should be carried out with the minimum of disruption to the fabric and spaces.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.
- Future uses should be compatible with the nature and significance of the building components and should enable the former shop and residence to remain a vital and important component of The Rocks precinct.

7.2 Asset Management

7.2.1 Sydney Harbour Foreshore Authority Responsibilities

Background

182 Cumberland Street, as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy 2

Sydney Harbour Foreshore Authority shall retain management of 182 Cumberland Street as a single entity within the overall context of The Rocks precinct.

Guidelines

- Sydney Harbour Foreshore Authority should implement a management structure that integrates development and conservation work with the overall management of 182 Cumberland Street.
- The Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
- The Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of the building.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
- All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Branch.
- A program of regular monitoring should be established, covering both the physical changes within the building and visitor experience issues, and be incorporated, where relevant, into management decisions.
- The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.2.2 Total Asset Management Plans and CMPs

Background

This CMP will be one of the documents used by the asset owners, managers and tenants for management and maintenance of 182 Cumberland Street and needs to be fully compatible with other relevant documents addressing the same property, including any

current Maintenance Plans and Total Asset Management (TAM) Plans. All the relevant asset management documents were included in the preparation of this CMP.

Policy 3

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property.

Guidelines

- The Authority should include findings of this CMP into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for 182 Cumberland Street.

7.2.3 Adoption and Review of the CMP

Background

The Conservation Management Plan (CMP) for the former shop and residence proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the place is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to respond progressively to changing situations if they are to remain relevant.

Policy 4

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every five to ten years.

Guidelines

- Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the NSW Heritage Branch.
- Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Irrespective of the requirement to review the document every 5 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.2.4 Approvals Process and Landowner's Consent

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric. Forms for development applications, Section 60 applications and Standard Exemption applications are available from the Foreshore Authority.

Policy 5

Prior to the lodgement of applications and the commencement of works the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.

Guidelines

- As the Foreshore Authority is the owner of land and buildings in The Rocks, the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowner's consent to lodge an application does not constitute actual approval to undertake the works.
- Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal.
- A Heritage Impact Assessment and adequate documentation of the proposed works should be prepared to assist in the assessment of owner's consent applications.

7.2.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy 6

All tenants of the building should be made aware of the cultural significance of the place. Tenancies should only be selected and approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance of the item and the sensitive fabric and spaces, and that the required changes to the item can be installed and removed without impact.

Guidelines

- Tenants must incorporate the guidelines of this CMP into their planning and design. Full compliance with the requirements of this CMP will be required for the Foreshore Authority's consent to the proposed development. This includes completion within the recommended time of the Schedules of Conservation Works recommended in Chapter 8 - *Implementing the Plan*.
- Tenants should be aware of Sydney Harbour Foreshore Authority policies.
- The impact of proposed modifications to significant fabric should be adequately assessed, prior to applying for owner's consent.

7.3 Management of Significance

7.3.1 Retention of Significance

Background

The significance of the place derives from both its external appearance, and its internal configuration and use.

Policy 7

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

- The significant aspects of the architectural character of the shop and residence should be retained and conserved. Conservation should be undertaken in the context of the likely on-going use of the building for commercial purposes (as detailed in guidelines for Policy 1 above).

- The conservation, adaptation and maintenance of 182 Cumberland Street should be approached with the general principle of changing “as much as necessary but as little as possible”.
- Structural alteration to the early building components which impact on the integrity or significance of the former shop and residence should not occur.
- While the rear yard should be preserved and views to the rear of the building from the yard should continue to be available, some minor alterations and additions in this area, such as the construction of a small single-storey shed, could be undertaken subject to careful and sympathetic design.
- Internal alterations and renovations are acceptable within the context of compatible commercial or residential uses, but should not impact adversely on the significance of the internal original fabric of the building, or the external façade. Where possible within the building, the recovery of the original spatial quality is encouraged through reconstruction of original partitions.
- At the same time, evidence of the progressive evolution of the place should be respected, and retained where significant.

7.3.2 Appropriate Conservation Skills and Experience

Background

The *Burra Charter* encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 8

Appropriate conservation skills and experience should be employed for documentation and supervision within project teams to deal with any programs of conservation and upgrading of the significant building components of 182 Cumberland Street.

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and tradespeople who are experienced with working on historic buildings should be selected to work on the project.

7.3.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much as possible of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric.

The existing external fabric of the building is largely intact. Roofing to the building, and the awning structure, are comparatively recent reconstructions of original fabric. Internally, a good deal of the fabric of the building survives and is visible, although many of the smaller rooms have been combined into larger spaces.

Policy 9

Extant early building fabric, both internally and externally, should be retained and conserved in accordance with the levels of significance identified in Section 5 - Grading of Significance of this CMP and in accordance with particular actions specified in Section 8.2 – Schedule of Conservation Works of this CMP.

Guidelines

- External and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved.
- No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of High or Exceptional level of significance.
- Aged building fabric that is unlikely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and the ability to successfully interpret various stages of use is degraded.
- Where repairs or alterations are required, new material should closely match original or adjacent materials. This applies especially to reconstructed elements such as the awning and masonry walls, where repair or replacement should be based on the best available evidence of the original elements rather than reproducing the reconstructed elements. Where the evidence for the original materials has largely been removed (for example, ceilings) it may be acceptable to continue using modern materials that closely replicate the appearance of the original. However, evidence of change should be identifiable on close inspection.
- All structural elements and surviving original internal partitions should be retained as existing, with appropriate maintenance. No structural members should be removed, other than to re-instate significant architectural elements.
- Where it is clear that original or significant fabric has been removed consideration should be given to reconstruction based on documentary evidence
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.2 – Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable evidence of the completion of required works.
- Where significant fabric is identified as hazardous, any decision on its replacement should take into account its significance and whether reasonably practicable means can be used to reduce to an acceptable level the hazard posed by the element.
- Redundant but significant equipment, fittings and fixtures are to be retained on site preferably in their existing location, or in a new location.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to the extent required by the proposed works.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The NSW Heritage Branch 'Maintenance of Heritage Assets' Series provides general advice as to the cause, treatment and

remediation of various traditional building materials. These publications can be obtained from the NSW Heritage Branch.

7.3.4 Conservation of Significant Spaces

Background

The significance of the internal spaces within 182 Cumberland Street has been diminished by the works undertaken from the 1960s to adapt the place for offices. These have been partly reversed in recent reconstructions.

Policy 10

The surviving spatial qualities of the shop and former residence at 182 Cumberland Street contribute to its significance and interpretation and therefore should be conserved and where possible recovered, as part of the on-going use, on-going management and any future development strategy.

Guidelines

- No further removal of internal walls should occur within the building at 182 Cumberland Street.
- If the opportunity arises at an appropriate future time, consideration should be given to re-establishing some of the original smaller rooms, particularly in conjunction with a partial residential use.

7.3.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements is considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy 11

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 5.1 – Grading of Significant Elements and Spaces, and managed in accordance with this Section.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of 182 Cumberland Street. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

182 Cumberland Street Element Specific Conservation Policies		
Element	Significance	Policy
EXTERIOR		
WALLS		
Face brick and sandstone character and fabric of the facades	Exceptional	Retain and conserve

182 Cumberland Street Element Specific Conservation Policies		
Element	Significance	Policy
Timber windows	Exceptional	Retain and conserve
Timber doors to former entry to residence, and to rear verandah and balcony	Exceptional	Retain and conserve
Timber rear verandah and balustrade	High	Retains and conserve
Metal clad timber shopfronts, including hamper grilles, opening lights and marble sill	Exceptional	Retain and conserve.
Timber framed walls and doors to corner entrance to former shop	High	Retain and conserve, unless new evidence of originals comes to light, in which case replace with more accurate reconstructions
Rainwater goods	High	Retain and conserve
Timber boarded wall and door to Laundry arch	Little	Retain if useful, or could be removed to recreate original open area.
ROOFS		
Roof and awning structure and covering	High	Retain original form and surviving original elements. Maintain reconstructed elements.
INTERIOR		
GROUND FLOOR		
Timber floors	Exceptional/ High	Retain and conserve, preferably with no new openings. Renewal of service should where possible make use of existing openings. Consider removing high gloss finish and leaving boards either bare or with matt clear finish
Concrete floors	Exceptional/ High	Retain and conserve, preferably with no applied finish
Rendered brick walls	Exceptional	Retain and conserve, with no new openings
Reconstructed masonry walls	High	Retain and conserve
Internal panelled doors, frames and architraves	Exceptional/ High	Retain and conserve
Windows and architraves	Exceptional/ High	Retain and conserve

182 Cumberland Street Element Specific Conservation Policies		
Element	Significance	Policy
Skirtings and picture rails	Exceptional/ High	Retain and conserve; may be adapted if on less significant walls
Internal chimneypieces and grates	Moderate	Retain and conserve, unless new evidence of originals comes to light, in which case replace with more accurate reconstructions
New steps and flush door to main stair, and new kitchenette	Little	May be adapted, or removed if original stair is reconstructed
Main stairs	Exceptional	Retain and conserve
Plasterboard ceilings and cornices	Little	Adaptation is acceptable provided it does not interfere with interpretation
Ceiling void	Little	Continue to use for service reticulation
Subfloor void	Little	Refer to policy on Archaeology
Fixtures and services	Little	May be adapted or renewed provided that impact on significant fabric is minimised
FIRST FLOOR		
Timber floors	Exceptional /High	Retain and conserve, preferably with no new openings. Renewal of service should where possible make use of existing openings.
Concrete floors	High	Retain and conserve
Rendered brick walls	Exceptional /High	Retain and conserve, with no new openings
Internal panelled doors, frames and architraves	Exceptional /High	Retain and conserve
Windows and architraves	Exceptional /High	Retain and conserve
Skirtings and picture rails	Exceptional /High	Retain and conserve; may be adapted if on less significant walls
Main stairs including archway to upper flight	Exceptional	Retain and conserve
New timber framed walls, linings and highlights	High /Moderate	Walls that are not reconstructions of the original may be adapted provided interpretation is not diminished.
Internal chimneypieces and grates	Moderate	Retain and conserve, unless new evidence of originals comes to light, in which case replace with more accurate reconstructions
Plasterboard ceilings and cornices	Little	Adaptation is acceptable provided it does not interfere with interpretation

182 Cumberland Street Element Specific Conservation Policies		
Element	Significance	Policy
Bathroom floor and wall finishes and fitout	Little	Adaptation is acceptable provided it does not interfere with interpretation
Kitchenette	Little	Adaptation is acceptable provided it does not interfere with interpretation
Ceiling void	Little	Continue to use for service reticulation
Fixtures and services	Little	May be adapted or renewed provided that impact on significant fabric is minimised

7.3.6 Archaeological monitoring

Background

The potential for archaeology both above and below ground is limited because of past disturbance, but some potential remains beneath subfloor.

The Heritage Act 1977 states that any excavation, where relics may be disturbed, requires an excavation permit.

Policy 12

Because the archaeological potential of the site is medium to high, all excavation should be carried out under supervision by a qualified archaeologist.

Appropriate permits should be sought from the NSW Heritage Council prior to the commencement of works. Archaeological testing of the area should precede works wherever possible.

Guidelines

- Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan (1991)*, and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any proposed ground disturbance be preceded by a comprehensive archaeological assessment.

7.3.7 On-going maintenance and repair

Background

The nature of any building is that its fabric will deteriorate owing to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy 13

The significant fabric of 182 Cumberland Street should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3 – Ongoing Maintenance.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

- The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority and the tenant.
- In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
- Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with buildings and materials of this nature.
- No maintenance work or repairs should negatively impact on significant fabric.
- While the Foreshore Authority is liable for the execution of works identified in the Section 8.3 –*Schedule of Ongoing Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
- New internal floor coverings are permissible provided that they do not damage timber or concrete floors.

7.3.8 Retention of fixtures and fittings

Background

Components relating to the former use of the place as a residence, such as remnants of the laundry copper, are relics of the site's historic use that contribute to the special character of the building components and the building as a whole.

Policy 14

Features and fixtures associated with the building's historic use as a residence and shop should be retained and preserved.

Guidelines

- The retention and conservation of these features and fixtures should be considered as part of the design work for future adaptive re-use programs.

7.3.9 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception of the significance of the place.

Owing to its history, significance and setting in The Rocks area, the former shop and residence is capable of being interpreted for promotional and educational purposes.

Policy 15

The heritage significance of the former stores and terraces should be interpreted on site by appropriate methods.

Guidelines

- One of the primary components of the conservation management of 182 Cumberland Street should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.

- The ongoing management of 182 Cumberland Street should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
- In making significance accessible, the Foreshore Authority should take into account the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
- Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of the present building and former buildings at 182 Cumberland Street.
- Interpretation at 182 Cumberland Street should take into account all periods of development and occupation in the context of the history of The Rocks area under the management of the Foreshore Authority, and be presented in an accurate and insightful manner.
- Interpretation should take into account all the historic phases of 182 Cumberland Street.
- Wherever possible within the stores building, interpretation should make use of and refer to the surviving internal and external physical fabric.

7.4 New Work Policies

7.4.1 Integration of New Work

Background

Because of the significance of 182 Cumberland Street, scope for new development is limited. In general, no external alterations or additions should occur, except minor additions for services or access at the rear. Within the general principles outlined in this Conservation Management Plan, some relatively minor internal alterations and additions could occur, especially in areas that have already been substantially altered. These should generally be confined to less significant areas and should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components. Any new work should also attempt to recover significance by removing or adapting intrusive elements.

Policy 16

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

- When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.
- Period detailing should be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- If original internal walls are to be reinstated, the practice of constructing new internal walls as plasterboard on framing may be continued.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
- Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.

7.4.2 Integration of Services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy 17

The extension or alteration of existing services in 182 Cumberland Street is acceptable in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

- Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces. Documentation for services installation should include a requirement for service routes to be marked prior to any works related to their installation, and for the marked routes to be inspected and approved by the project heritage consultant.
- Any upgrading of services is subject to the proper approval process.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion. Areas previously modified for services should be re-used, in preference to modifying intact fabric.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The surface mounting of services is preferable to chasing services into significant fabric.
- Brackets or fixings for services should not damage significant fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façade. Care should also be taken when siting equipment at roof level to avoid impact on the appearance of the roofscape.

7.4.3 Compliance with Building Regulations

The *Building Code of Australia* is the operative building control in NSW, referenced in State building legislation. For building works within The Rocks, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex are not degraded by inappropriate responses to meeting regulatory requirements.

Policy 18

Approaches to compliance with building regulations for the conservation and upgrading and re-use programs of the various building components of 182 Cumberland Street should focus on responding to the performance requirements of the BCA if deemed-to-satisfy compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to comply with regulations should be avoided.

Guidelines

- Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of compliance with regulations.
- Methods of complying with fire safety requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rated material, which may obscure extant finishes.
- Future upgrades of the building should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document "Access to Heritage Buildings for People with Disabilities" prepared by E.J. Martin (Cox), August 1997.
- Consultation with the NSW Heritage Branch Fire Access and Services Advisory Panel may also assist in achieving appropriate compliance solution.

7.4.4 Relevant Foreshore Authority's Policies

Background

All new work has to comply with relevant Foreshore Authority Planning Policies to assure granting of consent to the proposal. These include policies relating to Signage and External Lighting. It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of 182 Cumberland Street. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy 19

Any proposed work to 182 Cumberland Street must fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Policy 20

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Guidelines

- All signage should be consistent with relevant sections of the Foreshore Authority's Signage Policy.
- Suitably located signs that provide a legible and clear message and contribute to the vitality of 182 Cumberland Street are encouraged.
- It would be preferable for signage to be concentrated in the vicinity of the original shop, and discouraged in the vicinity of the original residence.
- Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
- Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
- It is not necessary to attempt to create or recreate an "historic" character in the signage, but modern standardised "trademark" signage is not appropriate.
- Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.
- Any illumination of 182 Cumberland Street should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.

- All new work must also comply with the Foreshore Authority's Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

7.5 Archaeological Resources

7.5.1 Prehistoric (Aboriginal) archaeological resources

Background

Sites of pre-historic archaeological potential are protected under clauses of the NSW National Parks and Wildlife Act 1979.

Policy 21

Any potentially encountered Aboriginal archaeological resources should be conserved in accordance with the requirements of the NSW National Parks and Wildlife Act 1979 and their potential for interpretation considered.

Guidelines

- Works on this site should avoid areas of high archaeological potential or significance.
- In the event archaeological material is unexpectedly discovered during works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority and the Department of Environment and Climate Change (DECC) will be contacted for advice.
- Should disturbance be required where Aboriginal archaeological material has been identified, an application under Section 90 of the National Parks and Wildlife Act will be required for this disturbance.

7.5.2 Historic (European and Aboriginal) archaeological resources

Background

Sites of Historic archaeological potential are protected under clauses of the NSW Heritage Act 1977.

Policy 22

Any potential archaeological resources on the property should be conserved in accordance with the requirements of the NSW Heritage Act 1977 and their potential for interpretation considered.

Guidelines

- If works are likely to disturb underfloor or sub-surface areas, an application under Section 60 of the Heritage Act will be required prior to the works commencing.
- Approval to disturb underfloor areas will require an Archaeological Assessment of the site and the proposed impacts.
- Archaeological testing of areas of archaeological potential should precede large-scale disturbance.
- Any archaeological resources must be managed in accordance with the recommendations arising from the Archaeological Assessment and any approval issued by the Sydney Harbour Foreshore Authority or the NSW Heritage Council.
- In the event archaeological material is unexpectedly discovered during any works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority contacted for advice.

7.6 Sustainability Policies

7.6.1 Thermal Comfort in Heritage Buildings

Background

In 2009 the Authority adopted a Sustainability Policy with commitments to reduce the carbon footprint of its precincts by 80% from a 2000 baseline, with a 20% reduction by 2012. The policy aims to achieve climate change targets through:

- Reductions – increased energy efficiency and reduced energy consumption.
- Renewables – a portion of energy from non-fossil fuel sources.
- Offsets – the remainder of fossil-derived energy being sourced from green energy tariffs and/or offset through accredited providers.

In its aim for a socially inclusive and sustainable community the Authority:

- Acknowledges its responsibility to protect heritage buildings and their cultural significance on behalf of the people of NSW.
- Aims to provide improved tenant amenity through improved air quality, comfort levels and natural light, in ways that support heritage considerations.

In line with this Policy the Authority has adopted a Sustainable Development Fit-out Guide which aims to reduce the environmental impact of new construction and building fit-outs. It has been shown that the implementation of the measures outlined in the Fit-out Guide reduce operational costs and improve indoor environmental quality (IEQ) and occupant satisfaction.

Policy 23

All applications for building modifications and fit-outs are to demonstrate measures which work toward the objectives of the Authorities Sustainability Policy.

Guidelines

- The factors contributing to discomfort should be identified and quantified before the development of any solutions.
- Building users and Managers should understand the impacts that the 'use' of the building will place on the existing thermal properties of the building. If the use will increase the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use may not be supported. Refer to Section 7.1 Current and Potential Future Use.
- Sustainable and passive solutions should be investigated and implemented to demonstrate and measure their effectiveness before the need for mechanical ventilation, in supplementing existing passive measures, can be substantiated.
- Proposals should reflect both the sustainability and conservation objectives of Sydney Harbour Foreshore Authority.
- The design of mechanical ventilation systems should be developed from a clear and informed understanding of the buildings significance.
- The Policies of this Conservation Management Plan, The Rocks Heritage Management Plan, the Foreshore Authority Sustainability Policy, Sustainable Development Fit-out Guide, ICOMOS Burra Charter and best conservation practice should be key guidelines in the design and development of mechanical ventilation systems.

7.6.2 Passive Design Solutions

Background

Historically, buildings were designed, constructed and sited to maximise the effectiveness of passive solutions, using the seasons to provide for thermal comfort needs. Historic buildings also often have thermal properties that need little modification to maintain good thermal comfort levels for the majority of operational hours.

The shopfront awning to Essex and Cumberland Streets provides substantial solar shading protection to the ground floor of the building. The upper levels however are exposed to intense solar loading. The ground floor of the building is currently fitted with air-conditioning however the first floor is not currently fitted with any mechanical ventilation.

Policy 24

Full and mixed mode mechanical ventilation systems in heritage buildings will not be considered by Sydney Harbour Foreshore Authority unless it can be demonstrated that passive solutions and the inherent properties of the building envelope cannot provide comfortable thermal environments throughout the majority of the seasonal calendar.

Guidelines

Studies have indicated that the implementation of passive measures can result in a 50% decrease in energy consumption within historic buildings.⁸⁵ This figure is reflective of the inherent thermal properties of many historic buildings. The following measures should be considered in the development of building specific design solutions, with the potential impacts to both the interpretation of the building in the streetscape and the potential impact to the fabric of the building evaluated.

- The ceiling space should be inspected for the presence of bulk insulation. Roof and ceiling insulation can reduce energy used in heating and cooling up to 45%, and can often be introduced with little impact on significant fabric. Some estimates indicate a summer heat reduction of up to 12 degrees from the introduction of ceiling batts alone.
Bulk insulation, which is inert, can most readily be introduced into existing ceiling cavities, although reflective and composite insulation should be considered if associated conservation works involve the replacement of, or extensive repairs to, roofs.
- Solar heat loading can provide valuable warmth in the cooler months, but can contribute to uncomfortable environments during summer. Operable shading devices should be considered to the north and west elevations
- Technological advancements in glass tinting have seen the development of clear film which can keep out up to 60% of heat and 99% of ultra-violet radiation.
- Turbine ventilation can reduce above ceiling temperatures by up to 15 degrees. To be effective, 'whirly birds' must have access to adequate wind conditions. Where there is insufficient wind a combined passive/mechanical extractor fan system could be considered. Such items should be located to the rear slopes of the roof so as to mitigate visual impacts to the streetscape.
- Internal partitions, forming part of a tenancy fit-out should be designed or modified to enhance the passive thermal capacity of the building. Ensure that partitions are low in height so as not to obstruct natural light, views to and from the building and

⁸⁵ <http://www.nps.gov/hps/tps/briefs/brieff03.htm>

the transfer of natural ventilation. Ensure that windows are not obstructed by partitions or other furniture such that they cannot be easily accessed and opened.

7.6.3 Mechanical Solutions to supplement Passive Design

Background

Mechanical systems should be designed to supplement existing passive measures. This will ensure that any necessary mechanical system are not overloaded, operate efficiently and in turn reduce energy consumption.

Careful system selection and implementation is integral to the success of any mechanical heating, cooling and ventilation (HVAC) system. This is even more critical with heritage buildings, where mechanical systems are often coupled with passive systems, and often have a significant visual and physical impact on the building.

It should be understood that there is no one size fits all approach and each building will have different features and limitations which must be carefully considered and catered for. It is important to look at the benefits and drawbacks of each system and see which one is best suited to the building, and its use.

Policy 25

Mechanical solutions, following the implementation and analysis of passive solutions, should be designed and selected in consideration of the heritage significance of the place and the objectives of the Sustainability Policy. The design of mechanical solutions should be supported by an options analysis demonstrating that the proposal presents the least impact to the significant fabric of the place and accounts for ongoing energy consumption.

Policy 26

Mechanical solutions may not be supported if they present an adverse impact to the significance of the place.

Guidelines

- Reference should be made to the Foreshore Authorities Sustainable Development Fit-out Guide and the Green Building User Guide for criteria relating to the installation and alteration of mechanical ventilation systems.
- Consider the physical and visual impact the system will have on the heritage value of the building.
- Plant areas in the basement can disrupt the sensitive microclimate and cause further damage to the building fabric. Generally the location of heat generating plant and equipment in basements is discouraged. It is noted that the existing sub-floor space on part of the ground floor contains ductwork.
- The notching of timber floors in the reticulation of services can adversely impact on the structural loading capacity of timber floors. Any such solutions will require input from a Structural Engineer with demonstrated experience with heritage buildings.
- Split systems are typically utilised for individual zones and tend to be a relatively inexpensive yet energy inefficient option. It should be noted that smaller sized split systems may be easier to conceal and less intrusive on the heritage value of the building. Noise levels are increased both in the building (evaporator and fan are located indoors) and externally at the outdoor units (condensing unit). Access to units for servicing is usually required in the occupied space.
- A variable refrigerant flow (VRF) system is typically used to serve a number of zones with varying heating or cooling requirements. This provides control to each space

with one outdoor unit. This system uses a common outdoor condenser unit to serve a number of small indoor units. As the condenser serves a number of indoor units, this condenser will typically be larger than the condenser for a split system. Refrigerant is reticulated from the outdoor unit to the indoor unit via relatively small pipe work (approximately 25 mm in diameter). This refrigerant is used to extract, or add heat to the space. The supply air temperature is controlled by varying the refrigerant flow rate. Access to the units for servicing is usually takes place in the occupied space. VRF systems improve energy efficiency through two mechanisms. Firstly, the system has the ability to vary the refrigerant flow rate through a variable speed drive pump, and secondly, through balancing conditioning requirements between individual spaces. The visual impact of indoor units can be reduced by housing them in false ceilings, floors, or wall mounted units. Pipe work may be left exposed or concealed within the wall. VRF systems typically have higher efficiencies than split systems and packaged units.

- A fan coil unit (FCU) has a similar arrangement and control system to a split system, except it typically uses chilled water instead of a refrigerant as the cooling medium. A FCU is generally considerably more efficient than split systems and packaged units, and slightly more efficient than VRF systems. Air is forced over a chilled water coil to produce cool air. It has a central chiller from which chilled water is reticulated through relatively large pipe work (approximately 100–200 mm in diameter) to the localised FCU. Each conditioned space can be individually controlled using the chilled water flow. Each FCU has a fan which needs to be considered in terms of acoustic effects on the space. The provision of access to each FCU needs to be allowed for within the occupied space.

8. Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of 182 Cumberland Street and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of 182 Cumberland Street with their provisions are those for Inspection, Essential Maintenance and Repair, and Weather Protection. It is considered that the current arrangements fully satisfy the Standards for Fire Protection and Security. In the current situation, these are not of concern.

To assure compliance with the Minimum Standards of Maintenance and Repair on the site of 182 Cumberland Street, the following works need to be undertaken:

182 Cumberland Street, The Rocks Minimum Standards of Maintenance and Repair	
Work or Activity Required for Compliance with the Standards for: INSPECTION, WEATHER PROTECTION, and ESSENTIAL MAINTENANCE AND REPAIR	
ALL AREAS GENERALLY	
The building should be regularly inspected to check for the potential presence of vermin. The issues expected particularly include subterranean termites.	
ROOF, AWNING AND DOWNPIPES	
The rainwater disposal system should be inspected regularly to ensure that all rainwater is safely being discharged from the building and no water penetration is occurring. The particular area of concern is the flat-roofed area behind the parapet on the north-west corner. Slate roofing should also be inspected following severe weather, especially hailstorms.	
MASONRY WALLS	
Stone and face brick walls should be regularly inspected for failure of pointing that might allow water penetration to the interior.	

8.2 Schedule of Conservation Works

Fabric condition ratings in this report use the following table:

182 Cumberland Street, The Rocks Condition Ratings		
Condition Ratings		Description
5	Excellent	Building or fabric element has no defects. Condition and appearance are as new.

182 Cumberland Street, The Rocks Condition Ratings		
4	Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
3	Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
2	Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exist.
1	Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

These condition grades should inform future building condition reports and maintenance schedules. For elements in *Very Poor* condition, reconstruction may be the only available option. For elements assessed as being in *Poor* or *Fair* condition, various degrees of repair or maintenance may be required, immediately or in the short term, to prevent further deterioration and the subsequent loss of significance. Elements in *Good* condition may need some maintenance but the need for repair is not anticipated in the next two or three years, while elements in *Excellent* condition are likely to need only minor maintenance in the next five to ten years.

At this stage, all elements of the place are in good or excellent condition and require only ongoing maintenance within the next three years.

8.3 Ongoing Maintenance

The ongoing maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Foreshore Authority (or the tenant on behalf of the Authority) as part of the process of ongoing management of 182 Cumberland Street. Work performed, and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

182 Cumberland Street Schedule of Ongoing Maintenance			
Element	Every Year	Every 5 Years	Every 10 Years
EXTERIOR			
WALLS			
Face brick and sandstone character and fabric of the facades	Inspect for damp and structural movement	Clean and repair defective pointing and flashings	
Timber windows	Inspect for termites		Repaint

182 Cumberland Street Schedule of Ongoing Maintenance			
Element	Every Year	Every 5 Years	Every 10 Years
Timber doors to former entry to residence, and to rear verandah and balcony	Inspect for termites	Inspect for damage and repair	Repaint
Timber rear verandah and balustrade	Inspect for termites		Repaint
Metal clad timber shopfronts, including hamper grilles, opening lights and marble sill	Inspect for termites	Inspect for damage and repair	Repaint
Timber framed walls and doors to corner entrance to former shop	Inspect for termites	Inspect for damage and repair	Repaint
Rainwater goods	Inspect for rust	Inspect for damage and repair	Repaint
Timber boarded wall and door to Laundry arch	Inspect for termites	Inspect for damage and repair	Repaint
ROOFS			
Roof and awning structure and covering	Inspect roof for rust or cracked/slipped slates and repair if required. Inspect box gutter monthly for blockages		
INTERIOR			
GROUND FLOOR AND FIRST FLOOR			
Timber floors	Inspect for termites		Repaint
Concrete floors	Inspect for movement		Repaint
Rendered brick walls			
Reconstructed masonry walls			
Internal panelled doors, frames and architraves	Inspect for termites	Inspect for damage and repair	Refinish timber
Windows and architraves (internal)			
Skirtings and picture rails			

182 Cumberland Street Schedule of Ongoing Maintenance			
Element	Every Year	Every 5 Years	Every 10 Years
Internal chimneypieces and grates	Inspect		Refinish timber, repaint metalwork
New steps and flush door to main stair	Inspect		Repaint
Kitchenettes		Inspect	
Main stairs	Inspect for termites	Inspect for damage and repair	Refinish timber
Plasterboard ceilings and cornices	Inspect for movement		Repaint
Ceiling voids	Inspect for termites		
Subfloor void			
Fixtures and services	Inspect and certify essential services. Inspect and clean out drainage lines		
Bathroom floor and wall finishes and fitout		Inspect	

9. Bibliography

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10. Appendices

10.1 Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
c.1804	Thomas Boulton	Promised lease of ground in compensation for house in Old Windmill Row that needed to be pulled down for erection of battery at Fort Phillip (foundation stone laid September 1804). House erected on lease at considerable expense	Memorial of Thomas Boulton senior 29 January 1810 (SRNSW 4/1821 No. 30 Fiche 3001)
c.1805-1817	Thomas Boulton stonemason	Thomas Boulton and family	
29 December 1809	Thomas Boulton	Leased 34 rods in Church Row (later Cumberland Street) in Sydney for 14 years by Colonel Patterson	R J Ryan: Land grants 1788-1809 (1974) p 278 Original reference Book 4D No. 394
January 1810		Lease authorised by Patterson surrendered in accordance with orders by Governor Macquarie	HRA (1) VII p 315
25 August 1812	Thomas Boulton	Town lease from Governor Macquarie 34 rods for 14 years	HRA (1) VII p 654
January & February 1817	Deaths of Thomas Boulton and Grace Boulton		St Phillip's Church registers (Mutch Index)
1817	John Michael Anthony and Thomas Boulton junior equally entitled to premises in Cambridge and Cumberland streets under the wills of Thomas and Grace Boulton. Division of property made 2 June 1817. Thomas Boulton entitled to house and premises Number 58 Cumberland Street Sydney		Court of Claims 4 Wm IV No. 9 Case No. 8 Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834 (SRNSW 2/1777 Reel 1234)
1817-1830	Thomas Boulton junior	Probably Thomas Boulton and family	

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
1822		Thomas Bolton, wife Elizabeth and 7 children resident in Cumberland Street	District Constables Notebooks 1822
1828		Thomas Boulton stonemason, wife Elizabeth & 9 children living in Cumberland Street	1828 Census
30 April 1829	Agreement between Thomas Boulton and Thomas Dunn both of Sydney	Dwelling house in Cumberland Street Rocks Sydney known as No. 59 to Thos Dunn until sum of £50 lent by Thomas Dunn to Thomas Boulton be paid	C 216 (LTO)
13 May 1830	House and premises at 58 Cumberland Street sold by Thomas Boulton to Isabella Moss for £165	Isabella Moss	Court of Claims Case No. 8 Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834 (SRNSW 2/1777 Reel 1234)
21 June 1830	Death of Isabella Moss. Property in trust for her children Elizabeth Moss (b 1826) and James William Moss (b 1829) to be divided equally when they reach the age of 21 years		Recited in Bk 22 No. 365 (LTO) and Court of Claims Case No. 8 Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834 (SRNSW 2/1777 Reel 1234)
1830-1852	Aaron Byrne and Joseph Moss trustees of the will of Isabella Moss	Property rented	
September 1834	Allotment granted to Aaron Byrne & Joseph Moss as executors and trustees of the will of Isabella Moss	9p bounded on west by Cumberland Street and on north by Essex Street.	Town Grants A Ser. 29 p. 168 (LTO)
26 February 1838	Death of Aaron Byrne. Joseph Moss sole executor and trustee of will of Isabella Moss		Recited in Bk 22 No. 365 (LTO)
1845	Richard Hayes	Richard Martin	Rate Assessment Gipps Ward No. 318 (Sydney City Archives)

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
1848	Hunt	85 Cumberland Street George Phelps	Rate Assessment Gipps Ward p. 7 No. 86 (Sydney City Archives)
9 December 1848	Elizabeth Moss attains age of 21		Recited in Bk 22 No. 365 (LTO)
15 January 1850	James William Moss attains age of 21		Recited in Bk 22 No. 365 (LTO)
1851	J W Moss	J W Moss	Rate Assessment Gipps Ward p. 17 No. 338 (Sydney City Archives)
1852-1870	Samuel Watson of Sydney grocer		Bk 22 No. 365
1853		Gill	Rate Assessment Gipps Ward Books
1855		133 Cumberland Street Henry Gill baker	Waugh & Cox's Street Directory of Sydney 1855
1856	Watson	133 Cumberland Street Gill	Rate Assessment Gipps Ward (Sydney City Archives)
1857		133 Cumberland Street Cornelius Reardon baker	Cox & Co's Sydney PO Directory 1857
1858	Richard Watson	182 Cumberland Street Cornelius Riordern	Rate Assessment Gipps Ward No. 541 (Sydney City Archives)
1858	Richard Watson	182 Cumberland Street Cornelius Riordern	Rate Assessment Gipps Ward No. 541 (Sydney City Archives)
1858-1859		182 Cumberland Street Cornelius Riordan Baker	Sands & Kenny's Directory
1861	Samuel Watson	182 Cumberland Street Cornelius Riordan	Rate Assessment Gipps Ward No. 590 (Sydney City Archives)
1861		180 Cumberland Street Cornelius Riordan baker	Sands & Kenny's Sydney Directory
1863	Samuel Watson	182 Cumberland Street Henry Mortimer	Rate Assessment Gipps Ward (Sydney City Archives)

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
1863-1866		182 Henry Mortimer butcher	Sands
1867-1873		182 Henry Branson confectioner	Sands
1867	Robert Watson	Henry Bransen	Rate Assessment Gipps Ward (Sydney City Archives)
1870	Death of Samuel Watson; wife to receive rents and profits of real estate until youngest child reaches the age of 21		Recited in Bk 469 No. 880 (LTO)
1871	Samuel Watson	Henry Branson	Rate Assessment Gipps Ward No. 628 (Sydney City Archives)
1875		182 Henry Branson baker	Sands
1876		182 Henry Branson pastry cook & confectioner	Sands
1877		180 Henry Branson	Sands
1879		180 Henry Branson confectioner	Sands
1880		180 Henry Branson pastry cook	Sands
1880	R Watson (trustee)	H Branson	Rate Assessment Gipps Ward (Sydney City Archives)
1882-1889		182 Henry Branson confectioner	Sands
1882	Robert Watson (trustee)	Henry Branson	Rate Assessment Gipps Ward p 34 (Sydney City Archives)
1890-1898		182 W Dickinson confectioner	Sands
1891	Jane Creer, youngest child of Samuel Watson reaches the age of 21. Property sold to Adolphus Rogalsky of Sydney		Bk 469 No. 880 (LTO) SMH 24 June 1891 p. 3g
1891	Robert Watson (trustee)	W Dickinson	Rate Assessment Gipps Ward p 35 (Sydney City Archives)

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
1891-1900	Adolphus Rogalsky		
1900	NSW government	Resumption by NSW Government	Darling Harbour resumptions Plan P No. 478
1900-1911		182 A P Johnson confectioner	Sands
1901	Adolphus Rogalsky	Anders Johnson	Rate Assessment Gipps Ward No. 677 (Sydney City Archives)
4 December 1905		Leasehold offered for sale by government Observatory Hill lands Section 3 Lot 1. Not sold.	Subdivision plan Z 811.1714 / 8 (ML)
1911	Rocks Resumption	Peter Johnson	Rate Assessment Gipps Ward No. 561 (Sydney City Archives)
1911		Plans for construction of shop and dwelling house	Plan 3154 (SRNSW)
1913-1917		182 York Street North A P Johnson confectioner	Sands Directory
1918 & 1919		182 York Street North Ernest T Johnson confectioner	Sands Directory
1920		182 Ern T Johnson mixed (business)	PO Directory as 182 Cumberland Street
1921	NSW Govt. Rocks Resumption	Ernest T Johnson	Rate Assessment Gipps Ward No. 438 (Sydney City Archives)
1921-1930		182 York Street North Ernest T Johnson confectioner	Sands
April 1930		P Halloran	MSB Tenancy cards
1931		182 York Street North Patrick Halloran	Sands
1931-1932		ALP hostel for homeless girls	MSB Tenancy cards
June-Nov 1933		John Lawrence	MSB Tenancy Cards
Nov 1933 -		Albert Collins Papworth	MSB Tenancy Cards
February 1934 - August 1943		Elizabeth Annie Papworth	MSB Tenancy Cards

Ownership of Allotment 1 Sydney Sec. Parish of St Philip, County of Cumberland			
Date	Owner	Occupant / premises	Reference
August 1943 - May 1949		E Macdonald	MSB Tenancy Cards
May 1949 - 1957		E Ludvigsen	MSB Tenancy Cards
From June 1951		Possible combined use as residence (E Ludvigsen) and offices (J N Campbell)	BA File No. 680/1966 (Sydney City Council Archives)
1958-1970		J N Campbell Customs agents	MSB Tenancy Cards
1970 -(1975)		J N Campbell Customs Agents	Tenancy at will
1975-1994		Squatters ?? premises become derelict	

10.2 Description of premises at 182 Cumberland Street

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
c.1804	Thomas Boulton	Promised lease of ground in compensation for house in Old Windmill Row that needed to be pulled down for erection of battery at Fort Phillip. House erected on lease at considerable expense	Memorial of Thomas Boulton senior 29 January 1810 (SRNSW 4/1821 No. 30 Fiche 3001)
1805-1817	Thomas Boulton stonemason		
29 December 1809	Thomas Boulton	Leased 34 rods in Church Row (later Cumberland Street) in Sydney for 14 years; granted by Col Patterson	R J Ryan: Land grants 1788-1809 (1974) p 278 Original reference Book 4D No. 394
25 August 1812	Thomas Boulton	Town lease from Governor Macquarie 34 rods for 14 years	HRA (1) VII p 654
1817	Thomas Boulton junior entitled to house and premises Number 58 Cumberland Street Sydney under the wills of Thomas and Grace Boulton		Court of Claims 4 Wm IV No. 9 Case No. 8 Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834 (SRNSW 2/1777 Reel 1234)
1817-1830	Thomas Boulton (junior)		

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
c. 1822-1823		Rectangular building on allotment set back from Cumberland Street frontage	Harper's map of Sydney SZ 434 (SRNSW)
13 May 1830	House and premises at 58 Cumberland Street sold by Thomas Boulton to Isabella Moss for £165	Isabella Moss	Court of Claims Case No. 8 Memorial of Aaron Byrne & Joseph Moss dated 30 June 1834 (SRNSW 2/1777 Reel 1234)
1830-1852	Aaron Byrne and Joseph Moss trustees of the will of Isabella Moss	Property rented	
May 1834		Plan prepared for the Commissioners of Claims shows rectangular building set back from Cumberland Street frontage. Chimney in south wall of building.	Survey of Allotment No. 1 Section 69 by Robert Russell (1834) S.1.858 (SRNSW Map 5493)
September 1834	Granted to Aaron Byrne & Joseph Moss as executors and trustees of the will of Isabella Moss	9p bounded on west by Cumberland Street and on north by Essex Street.	Town Grants A Ser. 29 p. 168 (LTO)
1834-1851		Shop constructed on Cumberland Street frontage on west side of original house	Sales advertisement in 1851 refers to corner shop and bakehouse
26 February 1838	Death of Aaron Byrne. Joseph Moss sole executor and trustee of will of Isabella Moss		Recited in Bk 22 No. 365 (LTO)
1845	Richard Hayes	Richard Martin	Rate Assessment Gipps Ward No. 318 (Sydney City Archives) Shop, brick/shingled, single storey, three rooms. Middling repair with new bakehouse. Valuation £26
1848	Hunt	85 Cumberland Street George Phelps	Rate Assessment Gipps Ward p. 7 No. 86 (Sydney City Archives) House, brick/shingled, single storey, three rooms. Bakehouse of brick detached. Valuation £30

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
9 December 1848	Elizabeth Moss attains age of 21		Recited in Bk 22 No. 365 (LTO)
15 January 1850	James William Moss attains age of 21		Recited in Bk 22 No. 365 (LTO)
1851	J W Moss	J W Moss	Rate Assessment Gipps Ward p. 17 No. 338 (Sydney City Archives) House, stone, shingled. Valuation £35
1851		Sale advertisement describes premises as Baker's Shop and the buildings as a corner shop and bakehouse	SMH 29 November 1851 p. 8d
(1851?)-1865 See 1856 valuation		A detached building constructed at back of premises along eastern boundary of site	Shown in 1865 Trigonometric survey but not mentioned in 1851?
1852-1870	Samuel Watson of Sydney grocer		Bk 22 No. 365
1853		Gill	Rate Assessment Gipps Ward CHECK Brick shingled shop, 2 rooms; bakehouse at back.
1856	Watson	133 Cumberland Street Gill	Rate Assessment Gipps Ward (Sydney City Archives) Shop & concerns, brick / shingled, single storey, two rooms. Bakehouse at back. Valuation £90
1858	Richard Watson	182 Cumberland Street Cornelius Riordern	Rate Assessment Gipps Ward No. 541 (Sydney City Archives) Dwelling, brick / shingle, single storey, four rooms. Oven and bakehouse. Valuation £86
1861	Samuel Watson	182 Cumberland Street Cornelius Riordan	Rate Assessment Gipps Ward No. 590 (Sydney City Archives) Bakers shop, brick, iron roof, single storey, three rooms. Bakehouse, oven etc. Valuation £60

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
1863	Saml Watson	182 Cumberland Street Henry Mortimer	Rate Assessment Gipps Ward (Sydney City Archives) Shop, brick / shingled, single storey, three rooms. Valuation £66
1865		Buildings on site comprise corner shop with the (earlier) rectangular building behind it and another rectangular building by the eastern boundary	1865 Trig Survey Section B2/1 (SRNSW)
1867	Robert Watson	Henry Bransen	Rate Assessment Gipps Ward (Sydney City Archives) House, brick/shingled, single storey, three rooms. Bakehouse and oven. Valuation £60
1870	Death of Samuel Watson; wife to receive rents and profits of real estate until youngest child reaches the age of 21		Recited in Bk 469 No. 880 (LTO)
1871	Samuel Watson	Henry Branson	Rate Assessment Gipps Ward No. 628 (Sydney City Archives) Shop, brick / shingled, single storey, three rooms. Valuation £65
1880		Same buildings as shown in 1865 survey but site to east with frontage to Gloucester Street now vacant	H Percy Dove: Complete Sydney wharf and street directory MLX 981.11/3 (FM4/10397) Mitchell Library
1880	R Watson (trustee)	H Branson	Rate Assessment Gipps Ward (Sydney City Archives) Shop, brick & stone, shingled, single storey, four rooms. Valuation £52

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
1882	Robert Watson (trustee)	Henry Branson	Rate Assessment Gipps Ward (Sydney City Archives) Shop, brick/iron, single storey, four rooms. Valuation £71
1886		Metropolitan Detail Survey. Buildings as shown in 1865 & 1880 but adjacent site on Gloucester Street now occupied	Z M Ser 4 811.17/1 Sydney Section 60 (Mitchell Library)
1888		Metropolitan Detail Survey. Buildings as shown in 1886	Z M Ser 4 811.17/1 Sydney Section 60 (Mitchell Library)
1889		Plan of Essex Street for proclamation. Outline of buildings on Essex Street frontage as in 1888	Subdivision Plans Parish of St Philip Z 811.1714 /33 (Mitchell Library)
1889-c.1900		Building along eastern boundary demolished and replaced with building along Essex Street frontage	
1891	Robert Watson (trustee)	W Dickinson	Rate Assessment Gipps Ward p 35 (Sydney City Archives) Shop, brick & stone/iron, single storey, three rooms. Valuation £71
1891	Property sold to Adolphus Rogalsky of Sydney	Shop described in sale advertisement as built of stone and brick and containing (8) CHECK apartments, bakehouse and oven	Bk 469 No. 880 (LTO) SMH 24 June 1891 p. 3g
(1901?)		Shows corner shop and associated rectangular building. Detached building on eastern boundary removed; another building along northern boundary on Essex Street frontage	Fire Underwriters Plans of Sydney Ignis et Aqua Series Sheet 34 Volume 1, p 36 FM4/10537 (Mitchell Library)
1901	Adolphus Rogalsky	Anders Johnson	Rate Assessment Gipps Ward No. 677 (Sydney City Archives) Shop & dwelling, stone/iron, single storey, three rooms. Valuation £65

182 Cumberland Street Description of premises			
Date	Owner	Occupant / premises	Reference
4 December 1905		Leasehold for sale by government Observatory Hill lands Section 3 Lot 1	Subdivision plan Z 811.1714 / 8 (ML)
1911	Rocks Resumption	Peter Johnson	Rate Assessment Gipps Ward No. 561 (Sydney City Archives) House & shop, brick/iron, single storey, three rooms. Valuation £52
1911		Plans for construction of shop and dwelling house	Plan 3154 (SRNSW)
1921	NSW Govt. Rocks Resumption	Ernest T Johnson	Rate Assessment Gipps Ward No. 438 (Sydney City Archives) House & shop, brick/iron, two storeys, seven rooms. Valuation £109
1966		Alterations and additions by George Rae	1776/66 City Council Archives DA 680.66
1993		Re-roofing and archaeological monitoring	SCA
1994-1996		Conservation Plan and major conservation works	SCA
2001-2008		Aurora Expeditions	SHFA
2010-present		Australian Youth Orchestra	SHFA