



73 George Street, The Rocks
Conservation Management Plan

2008

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Executive Summary

The building at 73 George Street, The Rocks is listed in the NSW State Heritage Register and in the Sydney Harbour Foreshore Authority Heritage Register. The site contains a terraced, brick public courtyard with access to Kendall Lane at the rear.

Originally constructed as a three-storey public house 'with every convenience' in 1842, on an allotment of the Frederic Unwin's subdivision, the building was converted into two-storey Ambulance Station in 1927 by Howie, Moffat & Co, building contractors. The Ambulance Station 'Circular Quay Depot of the Central District Ambulance Service' occupied the building for more than 60 years until 1990. The building and its site have undergone further alterations and restoration works in 1991-92, which created a narrow public walkway to access the rear Laneway. The building is occupied by Ken Duncan Gallery since then.

The building at 73 George Street and its site are of State heritage significance for their historical and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks area.

The building is generally in very good condition owing to its relatively recent adaptive reuse and restoration works. It is evident that the Foreshore Authority is undertaking regular maintenance, repair and upgrade works for services and whenever a defect occurs.

The main structural issue appears to be the moving painted boundary brick wall to the south where it adjoins the rear wall of the building near the passageway door. This wall is partially built over a sandstone wall and also suffers from rising damp. The rising damp issue is also visible on the other face of the wall from the courtyard of 75 George Street. A structural investigation to identify the cause of the move/large crack and the rising damp is required in short term. The investigation should include the whole associated southern boundary walls both within the building and courtyard.

A number of small hairline cracks are visible on the first floor walls particularly on southern wall to the upper sections and at the ceiling corners of the George Street facade. A small area of rusting at the northeast corner of the cornice was also observed. Timber window joinery in general requires inspection as part of the ongoing maintenance program.

The basement has undergone considerable removal of contaminated soil, however, a small number of materials such as bones have been observed during the inspection. The basement also appears to have been used for storage of recycled bricks and other office materials. An inspection to clarify existence (or not) of any remnant contaminated soil is recommended within the next 12 months.

1. Introduction

1.1 Context of the Report

This report is based on a brief outlined in a letter from the Sydney Harbour Foreshore Authority (the Foreshore Authority), and as clarified in subsequent discussions with the Foreshore Authority in May and June 2008.

The Conservation Management Plan (CMP) for 73 George Street, The Rocks has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February, 2002). It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for endorsement by the Heritage Council and adoption by the Foreshore Authority.

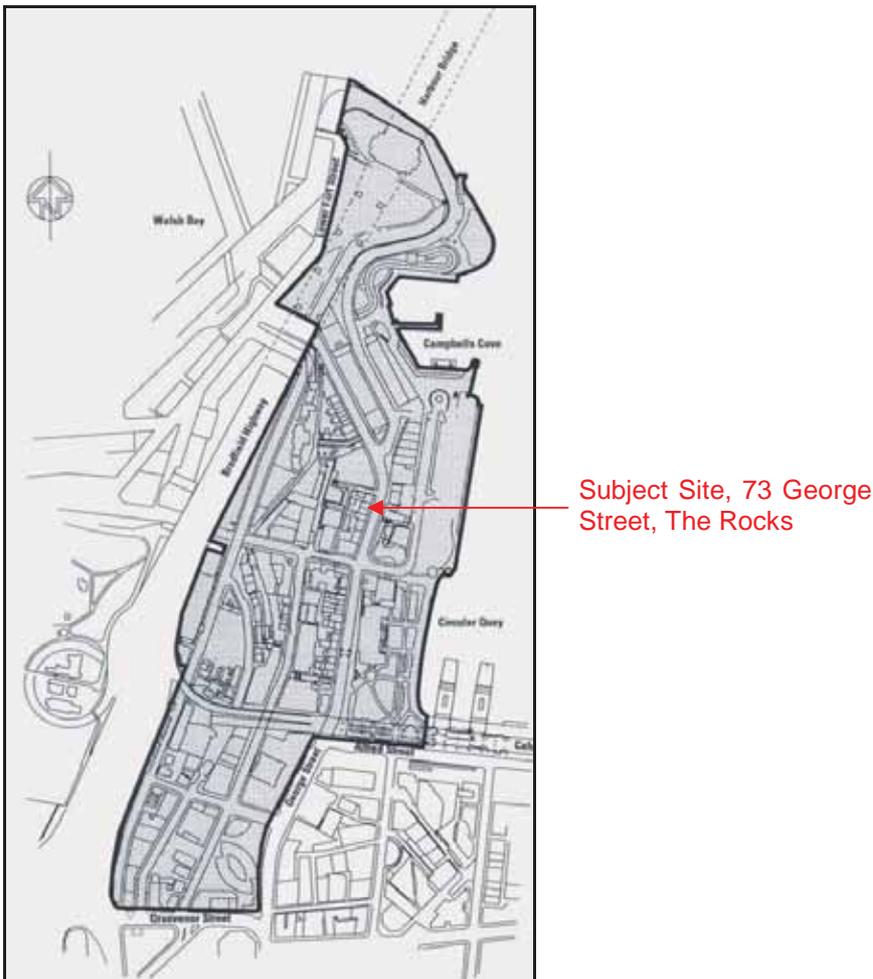


Figure 1-1: Location of the subject site within the context of The Rocks¹

1.2 Objectives

The main objective of this Conservation Management Plan is to provide guidelines for the conservation, re-use, interpretation and management of 73 George Street, The Rocks to ensure that the heritage values of the place are maintained and, where appropriate, enhanced.

¹ Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2000), p.6. *The Rocks Heritage Management Plan*, adopted February, 2002, is in three volumes, Vol. 1, Vol. 2, *Background Papers*, and Vol. 3, *Supporting Documentation*. *The Rocks Heritage Management Plan* (2000) may be accessed at www.shfa.nsw.gov.au

1.3 Site Identification

No.73 George Street, The Rocks is located on the western side of George Street near the Mill Lane intersection. The building has a rear courtyard, which extends to Kendall Lane. Its property description is Lot 1 of Deposited Plan Number 790998.

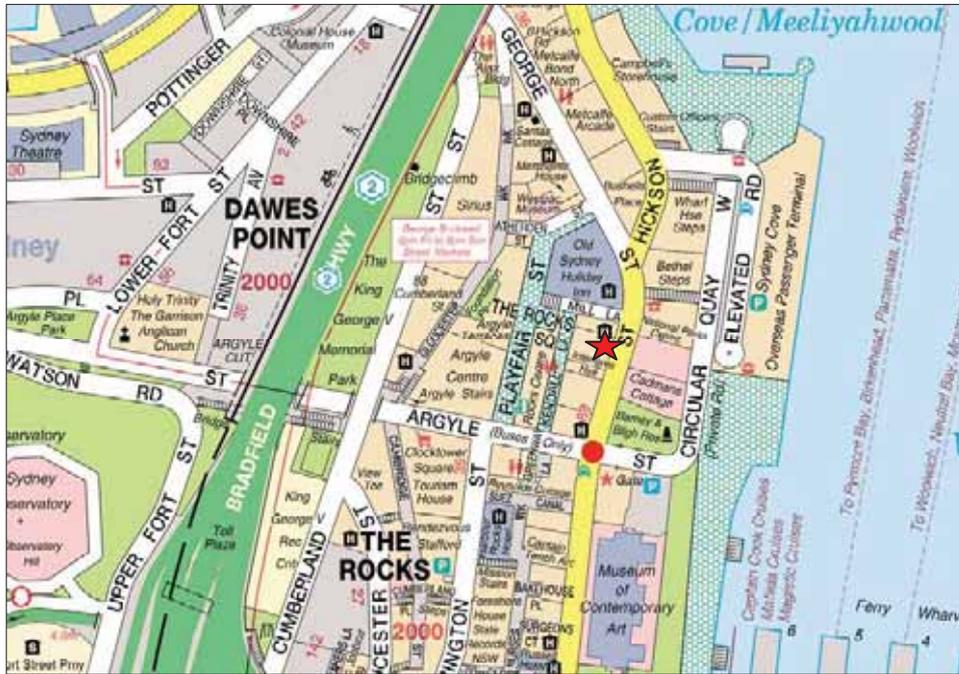


Figure 1-2: Location of the Subject Site, Ken Duncan Gallery at 73 George Street (Source: UBD Digital mapping on CD-Rom Version 4.0)



Figure 1-3: Aerial photograph of the Subject Site (Source – Google maps)

1.4 Listings

1.4.1 Statutory Listings

The building at 73 George Street, The Rocks is listed on the NSW State Heritage Register under the *NSW Heritage Act* as “Shop, Ken Duncan Gallery, Ambulance Station (former)” with Listing Number 01859, Gazette No 85 on 10 May 2002.

It is also listed on the Sydney Harbour Foreshore Authority Heritage Register under Section 170 of the *NSW Heritage Act*.

Statutory Heritage Listings				
Listing	Listing Title	Listing No.	Gazette Date	Gazette No.
<i>NSW Heritage Act</i> - State Heritage Register	Shop, Ken Duncan Gallery, Ambulance Station, 73 George Street, The Rocks	01859	10 May 2002	85
<i>NSW Heritage Act</i> S.170 Sydney Harbour Foreshore Authority Heritage Register	Shop, Ken Duncan Gallery	B033	Updated 25 May 2007	

1.4.2 Non Statutory Listings

Non-Statutory Heritage Listings		
Listing	Item Name	Listing No.
National Trust of Australia Register	73 George Street, The Rocks	Not individually listed therefore no inventory sheet available. The address is included within The Rocks Urban Conservation Area.

1.5 Building Description

The building on the site currently houses the Ken Duncan Gallery. Originally, a three-storey hotel building, it now presents as a two-storey masonry walled structure with a basement and a single gabled roof of corrugated iron screened from George Street by a curved parapet. The facade and parapet are of Inter-War Georgian Revival style with plain Art Nouveau detailing and date from the 1927 alterations undertaken by Howie Moffatt & Co. The present layout is a result of alterations and restorations that took place in 1992 under the Sydney Cove Authority (now the Sydney Harbour Foreshore Authority). The work was carried out following the preparation of the 1989 and 1991 Conservation Reports/studies mentioned in this Plan, and after the building had been declared unsafe.² The rear of the building is accessed via a narrow public walkway on the southern side of the building. The rear contains a terraced, brick public courtyard with access via stairs to the former cellar that currently accommodates the sprinkler stop valve equipment. The courtyard opens on to Kendall Lane at the rear of the site.

Located within a strip of predominantly three-storey buildings, between Argyle Street and Mill Lane, 73 George Street is the only two-storey building in this block. However, it is consistent with their urban scale due to its high parapet treatment. The front facade is

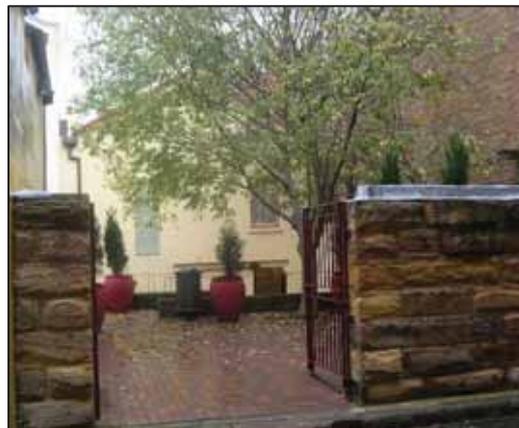
² Sheedy, 1991, 16

rendered and painted and features three bays articulation both vertically and horizontally. The ground floor and first floor openings are relatively similar in terms of their vertical proportions and symmetry on both sides of the wide central bay. The main gallery is located on the central bay of the ground floor of the shop and accessed via a six-panel folding timber doors. The side bays accessed via eight-pane timber doors with transoms above. The northern bay opens directly to a new stair accessing the upper floor of the Gallery while the southern bay opens to a tiled public access way linking George Street to the rear courtyard and Kendall Lane.

The first floor facade features a four-panel casement window to the central bay and single panel casement windows to the side bays all with multi-pane transoms. The third horizontal bay to the top incorporates simple moulded pilasters emphasising the vertical divisions and extending in wider form and more decorated form to the parapet level. Horizontally placed and recessed business/date plates reflect the proportions of the upper floor windows and the ground floor main central entrance. The central plate depicts the name of the shop 'Ken Duncan Gallery'. A strong moulded cornice dominates the skyline of the building and divides the curvilinear parapet from the main building facade. A suspended awning provides continuity along the footpath.



Figure 1-4: Front elevation of Ken Duncan Gallery at 73 George Street (above left); the rear elevation of the Gallery (above right); and the rear view of the site from Kendall Lane (right)



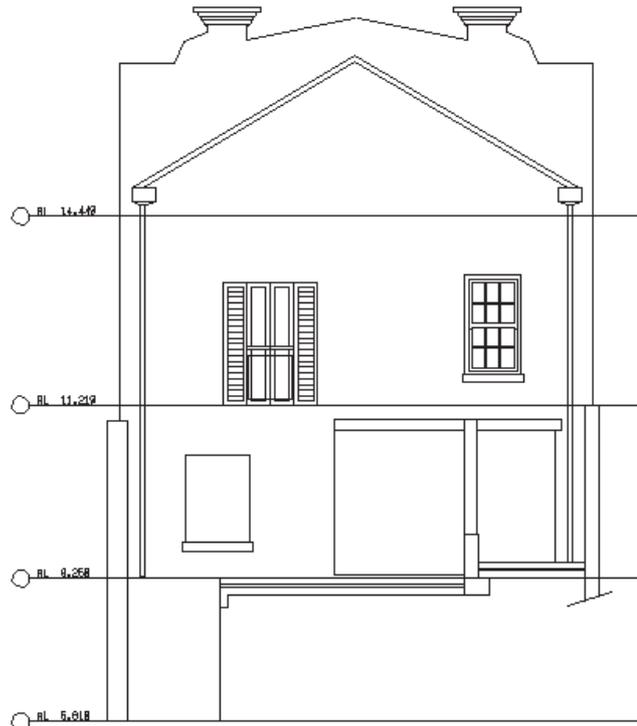


Figure 1-5: Front and rear elevations of 73 George Street, The Rocks
(Source: Sydney Harbour Foreshore Authority, ROX-468-AR-1000, 14.12.2004)

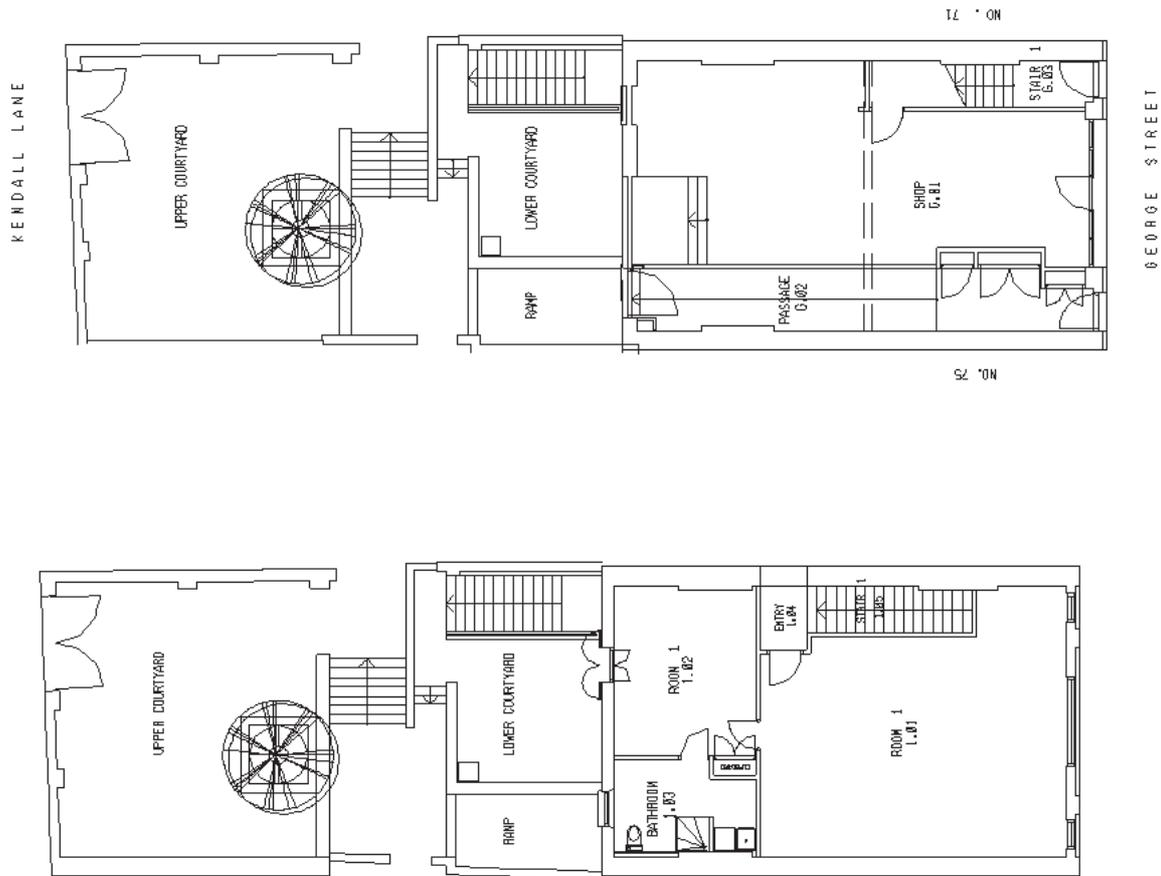


Figure 1-6: Ground and First Floor Plans of 73 George Street, The Rocks
(Source: Sydney Harbour Foreshore Authority, ROX-468-AR-1000, 14.12.2004)

1.6 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance, 1999*, known as *The Burra Charter*, the NSW Heritage Office's *Guidelines on Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

This CMP is a revision and upgrade of the Conservation Plan prepared by David Sheedy Pty Ltd, in November 1991 for the Sydney Cove Redevelopment Authority (now Sydney Harbour Foreshore Authority). The report has not been endorsed by the Heritage Branch, NSW Department of Planning.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of the building at 73 George Street, The Rocks.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and Photographic Sources

Photographs of the existing building were taken by Kerime Danis of City Plan Heritage during the site visits on 5 June 2008 for interior, exterior and context, and on 11 June 2008 for the roof, basement and further context including roofscape.

The current and historic plans of the Ken Duncan Gallery Building including the development history of The Rocks and the site have been sourced from the archives of:

- Sydney Harbour Foreshore Authority
- State Records Kingswood reading room
- City of Sydney Council
- State Library of NSW, Mitchell Library
- NSW Ambulance Service
- National Trust of Australia (NSW)
- Salvation Army Eastern Australia Heritage Centre which was contacted through <http://www.keepingitalive.com>
- City Plan Heritage's files

A number of historical photographs have been obtained from the NSW State Library online Catalogue, including PICMAN picture database. Historical information relating to landowners was sourced from the Australian Dictionary of Biography online.

As indicated in Section 1.6 above, this CMP is a revision and upgrade of the Conservation Plan prepared by David Sheedy Pty Ltd, in November 1991 for the Sydney Cove Redevelopment Authority (now Sydney Harbour Foreshore Authority). Therefore the findings of that CMP have been incorporated into the current report and amended as necessary to reflect the changes and development in the building since the preparation of the previous report.

Other sources include:

- The Foreshore Authority's online Resource Material and Heritage Register
- NSW Heritage Office (now Heritage Branch, NSW Department of Planning) State Heritage Register Database
- National Trust of Australia (NSW) heritage register on CD-Rom

Aerial photographs have been sourced from Google maps at <http://maps.google.com.au>. The location plan has been obtained from Version 4.0 of the UBD Digital Street Mapping available on CD-Rom.

1.8 Terminology

The terminology, used in identification of historic architectural style and building elements, is based on the terminology as presented in the *Pictorial Guide to Identifying Australian Architecture* (1994 edition) prepared by Irving, Apperly and Reynolds.

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions³ -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

1.9 Authorship

The principal author of this Conservation Management Plan is Kerime Danis (Acting Director – Senior Architectural Heritage Consultant). Gina Scheer (Heritage Consultant) provided assistance on the historical material, field survey and compilation of background information, and contributed Sections 1 through to 3 of the report.

³ Australia ICOMOS Burra Charter 1999, p. 2.

2. Documentary Evidence

2.1 Thematic History

In order to better understand how the site of 73 George Street, The Rocks developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The Heritage Branch of the NSW Department of Planning has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes.⁴ The organising principle for the thematic framework is the dynamism of human activity.

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.⁵

The State historical themes of Land Tenure, Commerce, Welfare, Health and Creative Endeavour have been used in this history to guide research questions, interpret the history, and structure the narrative of the development of the Ken Duncan Gallery (formerly Ambulance Station) at 73 George Street within the context of the development of The Rocks.

2.1.1 Development of The Rocks

Indigenous Sydney- The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the *Eora*, or coastal *Darug*. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a “clan” (subgroup) known as the *Cadigal*. Their word for The Rocks –or more specifically the shore where the hospital stood on George Street between Globe Street and Argyle Street was “*Tallawolodah*”. The peninsula of land which we now call Dawes Point, was “*Tarra*”, and Sydney Cove itself was “*Warrang*” or “*Warrane*”.

Due to the rugged outcrops of rock which later gave the “The Rocks” its name, it is unlikely there was any “permanent” occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal cooking fish.

The Convict Settlement (1788-1820)

After the arrival of the Europeans in 1788 the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. Along George Street, the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory and, in 1791, a fort (Dawes Point Battery) were constructed. In 1810 the streets of The Rocks were formalized and generally given the names they bear today.

As the colony grew the rough convict huts were replaced by modest houses, and also a few mansions. From the archaeological excavations that have been carried out over the

⁴ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. www.heritage.nsw.gov.au

⁵ NSW Heritage Office, Heritage Information Series, *Historical Research for Heritage*, Baskerville, Bruce, (2000) p. 2.

past 10 years it has become evident that the lives of the convicts was far different than the general view many people have. These convicts were often trades people from Britain's cities, not to mention large numbers of political prisoners exiled after the Irish rebellion in the 1790s. They appear to have had a far better lifestyle in Sydney than they would have expected in Europe. They ate well off fine china and expensive oriental porcelain, and furnished their houses with fine figurines and exotic curios. Many made substantial fortunes from investing in ships trading with Asia and the Pacific.

As Sydney expanded in the 1790s the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area were forced to register the land they occupied and pay a fee to the colonial secretary.

The Port Town (1800-1900)

Following the opening up of Sydney to free settlement after 1822 the government surveyors surveyed and issued titles to the land in The Rocks and other parts of Sydney. Long-term occupants were granted title of ownership to their land. As Sydney underwent a population boom after the assisted immigration and then the gold rushes between 1839 and the 1850s, many old-time occupants subdivided their lands, either selling off portions or else retaining them as landlords.

From c.1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets.

By the late 19th century The Rocks had become run down and overcrowded, the dozens of pubs being seen as meeting places for criminal gangs, and the back streets the haunts of prostitutes. In short, it was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean the area up. Of the 103 deaths attributed to the plague, only 3 occurred in The Rocks. The entire area was bought up ("*Resumed*") by the Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) which then demolished hundreds of houses considered to be uninhabitable.

Redevelopment (1900-current)

The newly formed State Government Housing Board designed and built "workers" housing in 1911-13 in a move to keep tighter control on the area. Rows of new terrace-style houses were occupied by waterside workers and their families. Shops, pubs and other commercial buildings were simultaneously constructed following the resumption. In 1913 Sydney Council opposed the construction of "terrace" housing as being unhealthy; this being the period of sub-urban expansion and the development of the "Garden Suburb" ideal. The First World War halted much of the Government's redevelopment plans for the area and effectively stopped further demolition.

In the Inter-war period (1918-1939) little construction occurred in The Rocks; with notable exceptions of a few pubs (Fortune of War & Glenmore), and some NSW Government offices (Housing Board, Dept of Labour & Industry, State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair's butchers, Bushell's, Cadbury's). All relied on locally-based labour. One of the last buildings to be designed, and commenced, was the new offices for the Maritime Services Board (MSB) which, interrupted by the World War II, was not completed until 1953 and now serves as the Museum of Contemporary Art.

The construction of the Sydney Harbour Bridge between 1923 and 1932 saw the demolition of some 400 houses in Princes Street, Upper Fort Street and the western side of Cumberland Street. Princes Street itself disappeared from the map.

With the exception of the MSB, almost no development occurred in The Rocks in the period from c.1932-1970. Further demolition of houses for the Cahill Expressway occurred in 1956-7, along with the removal of Little Essex Street (Brown Bear Lane). The other significant construction at this time was the Overseas Passenger Terminal at Circular Quay between 1959 and 1962, serving as the post-war immigration gateway to Sydney.

In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise. The local residents, planners, historians and sociologists, with the support of the Builders Labourers Federation, opposed the re-development. Between 1971 and 1973 the Government gave in to their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable. Local residents were re-housed in the area, and the former Victorian residential terraces of George, Playfair, Gloucester and Harrington Streets were converted to commercial uses. The area south of the Cahill Expressway, known as the "sacrificial zone" was redeveloped with high-rise commensurate with the rest of the city from 1979 onwards.

2.1.2 Development of the precinct

The subject site of 73 George Street is situated on the site of the earliest European settlement in Australia. It is located on the relatively high and level piece of land on the western side of Sydney Cove where Governor Phillip had first designated the camp site for soldiers and convicts when he established the settlement.

Sydney's first hospital was soon established in this vicinity and the hospital wharf at the south western side of Sydney Cove was also completed and in use by 1792. A survey of the settlement undertaken on behalf of Governor Phillip in 1792 indicates that the subject site formed part of the hospital gardens (Figure 2-1) to the north of the hospital building and the dwellings of the assistant surgeon and the surgeon's general.

The establishment of the hospital wharf improved the access to the settlement, the granary and provision stores, the gaol, the first market – not to mention the hospital, medical store houses and surgeons' residences. The early street plans proposed by Governor Phillip had little influence on the development of the settlement along the contours in a southerly direction from Sydney Cove. Rows of huts situated along the natural route of the dray traffic preceded the land subdivision. The main track, closest to the western bank of Sydney Cove and also the water source of the Tank Street was initially proclaimed High Street and later George Street and led south from the Cove to the brickfields outside of the later large town.⁶

⁶ Lester Tropman & Associates, 1989, 1

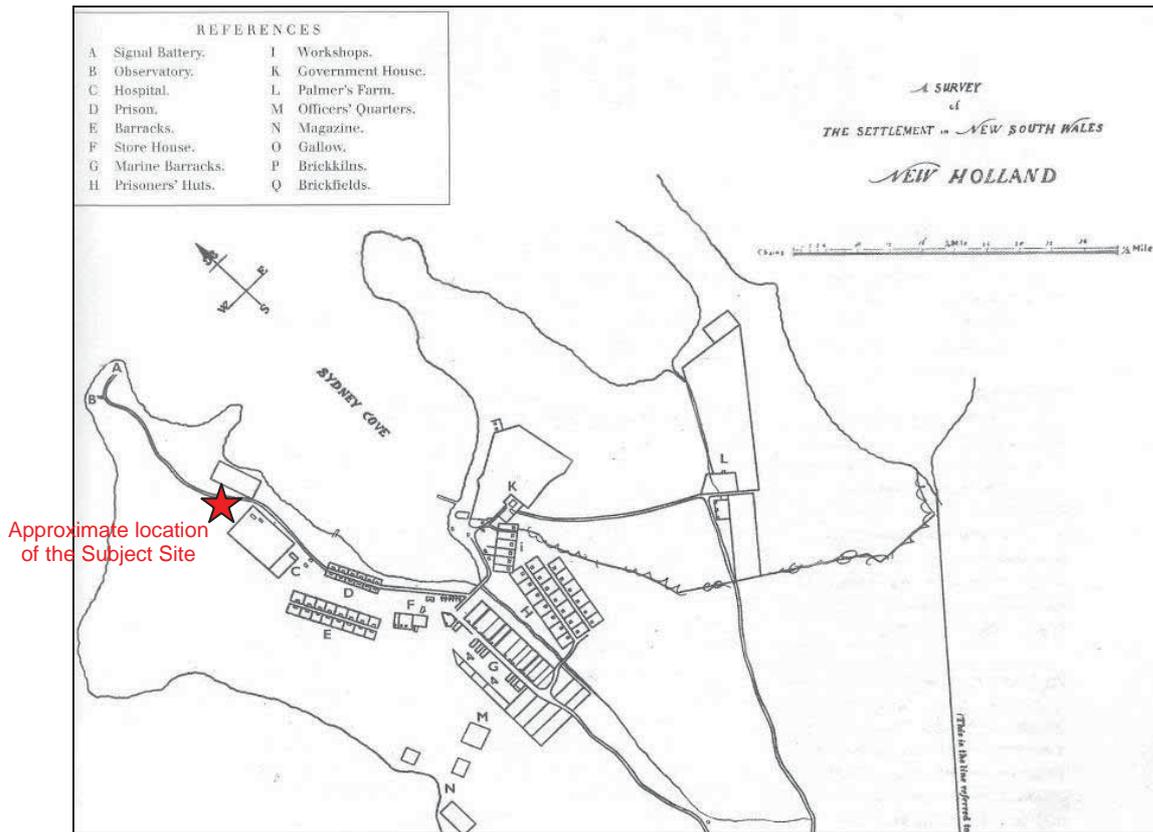
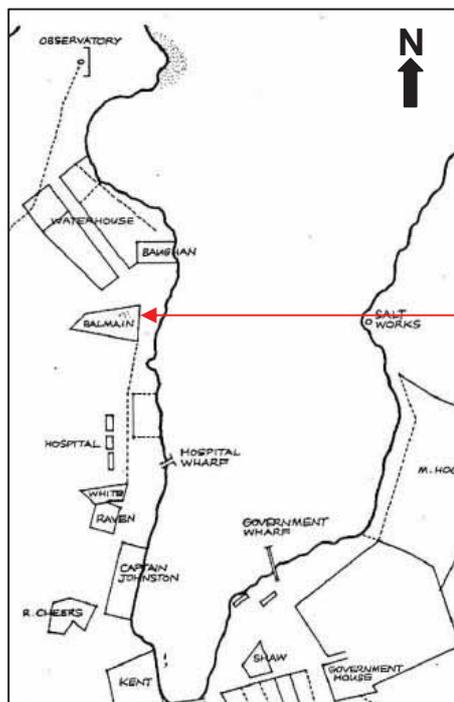


Figure 2-1: A survey of the settlement in New South Wales, 1792, engraved by A. Dulon and L. Poates. (Source – Ashton and Waterson, 2000, p.13)

In 1795 Surgeon William Balmain was granted a 14 year lease on land of 1 acre and 4 rods (0.810 hectares) located immediately to the north of the hospital area.⁷ The allotment is indicated on Meehan's Plan of 1807 and a tracing dated from 1800 shows Balmain's lease, the location of the subject site and the location of the hospital (Figure 2-2).



Approximate location of
73 George Street, The Rocks

Figure 2-2: A plan of the properties and landowners in the area, from the survey made by Charles Grimes, 1800. (Source – The Foreshore Authority, Building Pages Map 1)

⁷ Sheedy, 1991, 3

In 1816 the northern end of the site (allotment 3) was granted to John Laurie by Governor Macquarie. Frederick Garling, the Sydney solicitor, erected a 'substantial dwelling' on the neighbouring allotment on land that became 75-75a and 73 George Street. Subsequently, allotment 1 was granted to John Piper in 1828 by Governor Darling and allotment 2, the subject site, to William Carr and George Rodgers by Governor Gipps in 1838 (Figure 2-3). These three allotments were then acquired by Fredric Wright Unwin in 1841 who subdivided and sold parts of the land and created the lane (behind the subject site) now known as Kendall Lane.⁸



Figure 2-3: An 1835 plan of the George Street landholdings by Robert Russell. The approximate location of the subject site is indicated in red dashed line. (Source – The Foreshore Authority, Building Pages, map 3)

Unwin erected three stone stores, generally known as Unwin's Stores, four storeys high at the northern end of the site in 1844 as shown in the 1858 photograph (Figure 2-5). The southern sections of the site were acquired by James Norton in 1852, and his lessees erected various dwellings, stores, sheds and a blacksmith's shop.

The subject site allotment at 73 George Street did not take shape until Unwin's subdivision of 1841. In 1842 the 'King's Head Inn' was built on the site and the building served the hospitality industry until 1916.

An advertisement in the *Sydney Morning Herald* for October 1842 described the neighbourhood fronting the Custom House and Dock Yard in the following glowing terms:

“the most valuable allotments in the Town of Sydney, commanding the best situation for business that can possibly be obtained in any other direction, they all possess frontages to George-street, New George-street, or Argyle-street, with the advantage of a reserved road too the rear. Every man of business, or in fact, every man acquainted with the commercial affairs of the colony, must candidly

⁸ Fox & Associates, The Foreshore Authority, Building Plans, Kendall Lane Precinct History, 1978.

*acknowledge that their position and intrinsic value are not to be surpassed or even equalled ... they are in the immediate neighbourhood of most of the influential and leading Mercantile Establishments in the town ... several very handsome houses have been erected, and many other buildings ...*⁹



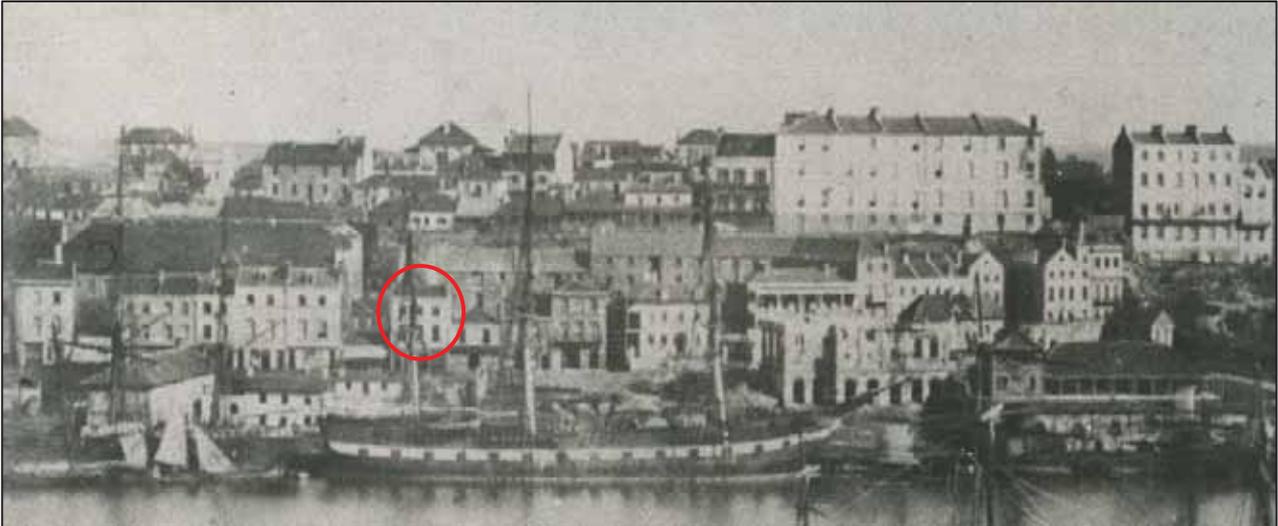
Figure 2-4: An 1858 general panorama of the Circular Quay area depicting how urbanised the area had become. (Source – Blackwood's panorama of Sydney from Government House, 1858, Photograph O. W. Blackwood, Mitchell Library)

In 1852, Unwin was declared bankrupt and William Nicholson acquired these stores. Nicholson leased them to Berkelman and Bate in 1858, who operated the building as a steam flour mill until c.1860. In 1861, the Steam flour Mill was acquired by Lawrence Kendall who converted the building into "Kendall's Biscuit Factory" (See 1880 plan for location of the factory, Figure 2-10).

In 1866 the property immediately to the north of the site was owned by L.Kendall and was occupied by Hie Yeak and Company. On the south of the site the owner and occupier was Mrs Sampson with a shop on the George Street frontage and adjacent dwelling at the rear, on the later named Kendall Lane.¹⁰



Figure 2-5: View of Kendall Lane, c.1901, showing rear sandstone wall of the subject site at 73 George Street (at the foreground), with Sampson's cottage adjoining the wall and part of Unwin's stores in the background. (Source – The Foreshore Authority, DWX No: 32943, KL3, Samsons Cottage and adjacent warehouse, Kendall Lane, c.1901, SAO COD 121B)



**Figure 2-6: An 1858 photograph with the subject site indicated.
(Source - A Panorama of Sydney Cove from the Iron Church, Macarthur Album, ML PXA 4358 p112b, courtesy of The Foreshore Authority)**

In 1900, the area was resumed by the NSW Government Observatory Hill Act. The P&O Hotel operated until at least 1909. The Salvation Army, Naval and Military Home was established in the building in 1911, however only remained until 1914. The building was tenanted by various businesses until 1927 when it was renovated. In 1928, after the completion of the facade and internal works, the Circular Quay Depot of the Central District Ambulance Service began operations at the subject site.

By 1924 all of the buildings on the Kendall Lane precinct had been demolished and a new two storey factory was erected by John Turnbull at the southern end of the site.

Control of the land was vested in the Sydney Cove Redevelopment Authority (now the Sydney Harbour Foreshore Authority) in 1970 and in 1978 the Authority began an extensive program of both conservation and redevelopment in this and the wider Rocks area.



**Figure 2-7: c.1952 photograph of George Street from the north, showing the Central District Ambulance Station at the foreground and the general streetscape.
(Source - The Foreshore Authority, illustration 29, c.1952 - 1953)**

2.2 Historic Themes

The following themes have been established for the site of 73 George Street and for the building itself. 73 George Street has strong historical associations with local themes for The Rocks, which would be worthwhile interpreting on the site.

Historic Themes		
Australian Theme	NSW Theme	Local or Sub-Themes
3. Developing local, regional and national economies	Commerce - Activities relating to buying, selling and exchanging goods and services	The public house phase (c.1842-1909), for approximately 50 years, for which the building was originally constructed and which is an integral activity of the local area.
3. Developing local, regional and national economies	Welfare – charitable institutions	The establishment of the Salvation Army Naval and Military Home, c.1910-1914, short-lived due to the small size of the building, the Home relocated in 1916.
4. Building settlements, towns and cities	Land Tenure – European subdivision	The development of the site within Section 85 of the City of Sydney - from first landing through to the 1900s.
5. Working	Health - Activities associated with preparing and providing medical assistance and/or promoting or maintaining the well being of humans	The NSW Ambulance Service established its Central District Station in the building which was altered to suit this use in 1927 and occupied for over 60 years. This long term use is not apparent in the current building but is remembered by visitors to the current Gallery who worked at the Ambulance Station.

2.3 Initial Development of the Site

The subject site initially formed part of the grounds surrounding the first hospital and its associated surgeons' dwellings, which were located further to the south on the western side of Sydney Cove. The first hospital was established soon after the First Fleet's arrival in Sydney Cove and John White, naval surgeon was the first hospital surgeon. William Balmain, one of his assistant surgeons, took over following White's retirement in December 1794.¹¹ In 1795, the Surgeon Balmain was granted a 14 year lease of land comprising immediately to the north of the hospital area. Balmain's lease includes the subject site and is identified on Meehan's 1807 plan (with later overlays) at Figure 2-8.¹²

Following the initial lease for the land comprising 73 George Street, Governor Macquarie granted a 21 year lease in January 1810 to the auctioneer William Gaudry. This was a substantial portion of land and the land records describe it as:

All That piece or parcel of land or allotment of Ground situate lying and being in George Street in the Town of Sydney bounded on the east side by the street bearing south one quarter degree East 60 feet west 1 degree north 16 feet and south 1 and 2/3 degrees west 83 feet on the South side by a line bearing west 10 1/2 degrees north 348 feet on the west side by Street bearing north 33 1/2 degrees east 94 feet and on the north side by Cornwall Lane bearing east 304 feet containing 135 Rods.¹³

¹¹ Australian Dictionary of Biography, <http://www.adb.online.anu.edu.au/biogs/A020536b.htm>

¹² Sheedy, 1991, 3

¹³ LTO, Primary Application 1308 packet, in Sheedy, 1991, 4



Approximate location of 73
George Street, The Rocks

Figure 2-8: 1807 Surveyor James Meehan's plan of the area with buildings identified, overlaid by a more modern street and block plan. (Source – The Foreshore Authority, Building pages, Map 2)

The terms of the lease required that Gaudry construct a house on the property within a specific timeframe. The details were outlined as:

“a good and sufficient dwelling house thereon of Brick or Stone within 5 years from the date thereof which house shall not be less than 36 feet in length from out to out and not less than 14 feet in width”¹⁴.

Only two years later, in 1812 Gaudry had mortgaged this property and soon after was unable to pay his debts and lost the property. No documentation confirmed a house had been constructed on the land, although it was possible. Sheedy, in his 1991 report on the subject site, recorded that the allotment passed through various hands until in November 1815, Edward Smith Hall, the later banker and newspaper editor somehow acquired the property, and sold it to Frederick Garling.¹⁵

Garling and his wife with their five children had emigrated from London in 1815. Garling was the second free solicitor to arrive in the Colony, and was the second solicitor admitted to practise in any court in New South Wales. In December 1815, Governor Macquarie appointed Garling a magistrate of the Colony and also the acting deputy judge advocate. Garling acted as deputy judge advocate 'with zeal, impartiality and integrity' according to Macquarie, until October 1816 when John Wylde arrived and took up the duties of that office. Garling then reverted to the position of crown solicitor, in addition to which he enjoyed a large private practice.¹⁶ He was no doubt a man of means.

¹⁴ LTO, Primary Application 1308 Packet, Sheedy, 1991, 6

¹⁵ Sheedy, 1991, p.6

¹⁶ Australian dictionary of biography online

The area of George Street North above the wharves had become a desirable location for professional men to establish an address. The houses formed a series of buildings fronting to George Street North depicted in the 1822 *Plan of the Town and Suburbs of Sydney* and in Harpers 1823 plan of Sydney.¹⁷

It is apparent from the 1835 plan and recent sources that Garling constructed a dwelling on the property, described as “a substantial two storey house with a verandah overlooking Sydney Cove”.¹⁸ It was constructed on the site of the (later subdivided) land comprising 75, 75a and 73 George Street. Presumably the house and gardens were demolished prior to the construction of Unwin’s Stores and the Kings Head Inn. In the early 1830s an attempt was made to formalise the leases and a series of section maps was prepared by Robert Russell (Figure 2-3). The outline of Garling’s House is depicted, on the site of what later became 75, 75a and 73 George Street. The plan includes a substantial walled garden to the south of the house. No detailed drawings of the Garling house or its gardens have yet been located. This phase of development is now only evident in the documentary and archaeological records as none of the residences referred to above had survived.¹⁹

Garling himself became involved in debt by 1820, owing a large sum of money to John Plummer, of the London agency Plummer Barham & Co. Under the terms of the debt, if Garling could pay it off with interest, the property would revert back to him. By 1837 Garling’s debt was owed to Plummer’s creditors, the local Sydney solicitors William Carr and John Rogers. In order to pay off Plummer’s creditors the property was to be sold either whole or in smaller allotments. Due to the expiration of the lease, the Governor of the time was required to issue a grant. Accordingly, the subject site, part of Allotment 2 of the Sydney City Section 85, was granted to William Carr and George John Rogers by Governor Gipps Crown grant in October 1838.²⁰

The land referred to in the grand now encompassed 2 roods and 25 perches (0.265 hectares), one third less than the original grant made by Governor Macquarie to Gaudry in 1810. The terms of the grant included a similar condition to the former grant, that is, that “a permanent dwellinghouse store or other suitable building thereon” be erected.²¹ In February 1839, Frederic Wright Unwin and his wife Ann King purchased the allotment for £2750. They subdivided the property into different allotments. 73 George Street was included in the area of allotment 8 with a 25 foot frontage (7.62 metres) to George Street.²² On the adjacent allotments to the north, Unwin built his stone stores. In February 1842, allotment 8 was sold to Matthais Hooper of the Kings Head Inn in Argyle Street for £625. Hooper mortgaged the property back to Unwin for £437, presumably to finance his purchase.²³

In September 1842, Hooper mortgaged the property through the Savings Bank of New South Wales for £1050. This was probably to pay out Unwin and to construct the inn, as Hooper erected a public house in 1842-43 on the 73 George Street site, which was also called the 'Kings Head'. Low’s City of Sydney Directory for 1844-45 confirms that the Kings Head was located in George Street and that Matthias Hooper was the publican.²⁴ The building was recorded there as being of three storeys with ten rooms and constructed of brick walls with a slate tiled roof. The public house was also described as having 'every convenience'. The building occupied the full frontage to George Street, 25 feet (7.62m) wide (the width noted in the land titles) and was 40 feet (12.19m) deep.²⁵

¹⁷ Op. cit

¹⁸ Robertson & Hindmarsh P/L, *75 - 75 1/2 George Street North CMP*, Chapter 2, 2007, p.15

¹⁹ Op. cit

²⁰ Op. cit

²¹ LTO, Primary Application 1308 Packet p. 8, in Sheedy, 1991, p.8

²² LTO, Primary Application 1308 Packet p. 8, in Sheedy, 1991, p.8

²³ Op. cit

²⁴ Sheedy, 1991, p.8

²⁵ Sheedy, 1991, 9 and Lester Tropman, 1989, p.9

Hooper remained the publican of the 'Kings Head' until he conveyed the property to William Carss and his wife Helen in December 1849. They employed Edward Hancock to manage the public house during 1850. In March 1853, they sold the 'Kings Head' to William Anthony Wright. Wright leased the hotel to George F Ewen, publican, who managed the inn from 1854 to 1859.

During 1855 Wright erected stores behind the hotel, situated along the southern boundary to Mrs. Samson's Cottage. On January 21, 1856 Wright conveyed the public house to Thomas Goudie, a confectioner of Sydney.²⁶ The property attracted a good price; Goudie paid £2500 for the land encompassing 8 perches (0.020 hectares) and described in the land titles as:

All that piece or parcel of land ... commencing in George Street at the North East corner of lot number nine then by a line bearing West eight degrees thirty minutes North eighty seven feet to a reserved passage ten feet wide dividing it from number nine aforesaid on the west by that passage twenty five feet to the North West corner of lot number seven and on the South by a line East eight degrees thirty minutes South eighty six feet to the commencing point on George Street dividing it from lot number seven aforesaid ... Together with the capital messuage or inn thereon erected called or known by the name of "The Kings Head Inn" and all other houses and buildings thereon erected stables yards fences ways paths passages and rights and privileges appendants and appurtenances to the same land and Inn or either of them ...²⁷

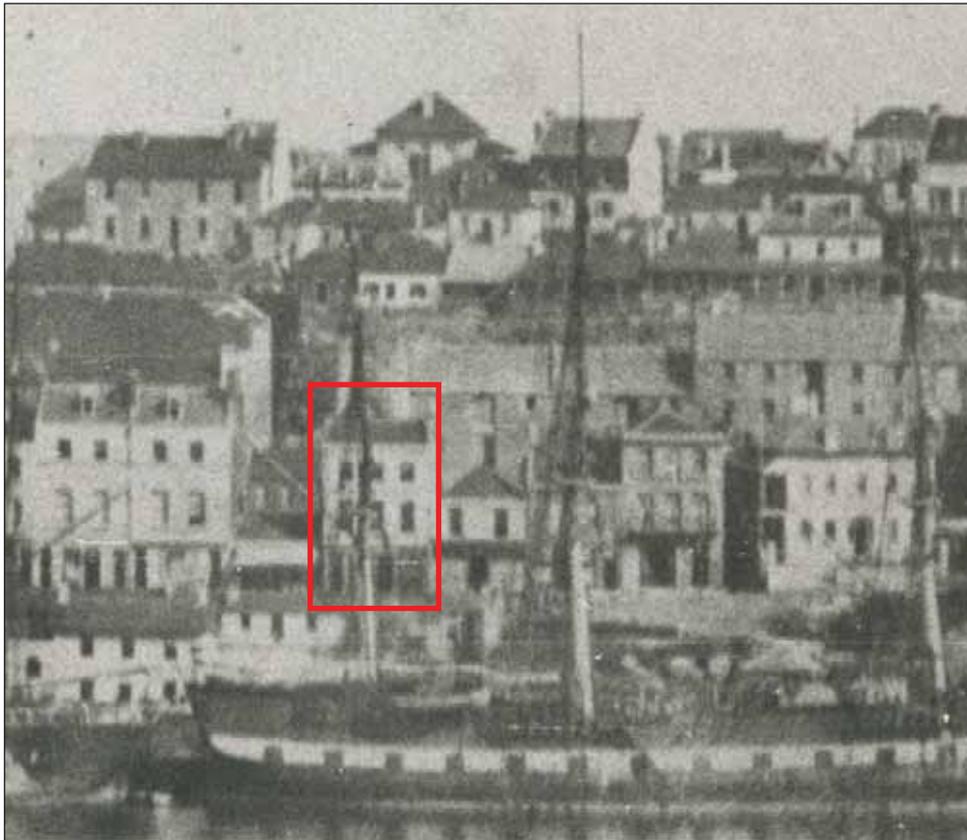
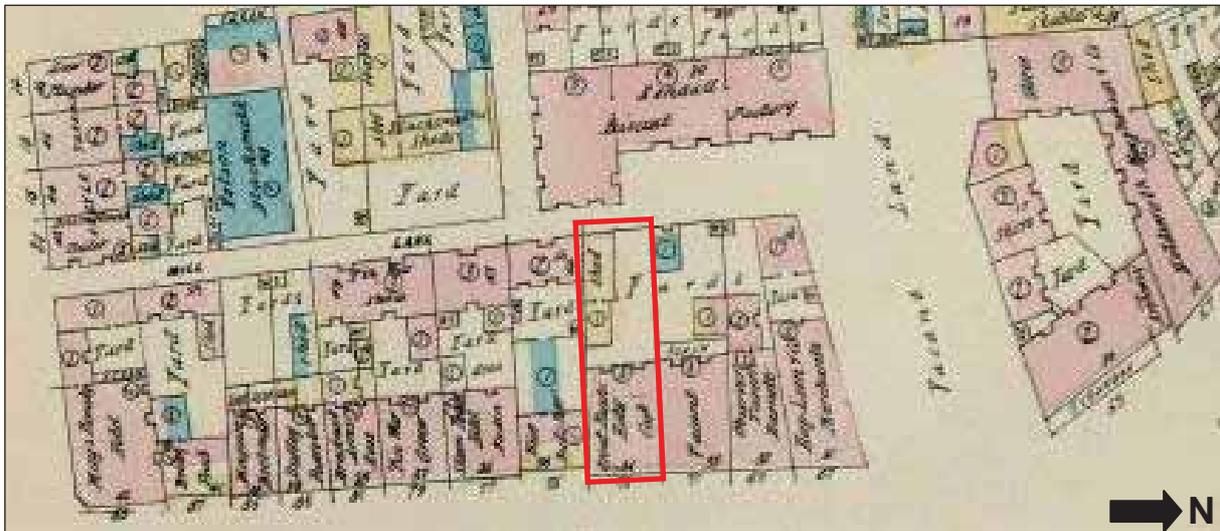


Figure 2-9: 1858 view of the three-storey Kings Head Inn, the only clear image obtained of the building in this form. (Source - Sydney Cove from the Iron Church, Macquarie St to the end of Dawes Point, Macarthur Album, ML PXA 4358 p112b, c/- the Foreshore Authority)

²⁶ Op. cit

²⁷ LTO Book 41 No. 517 in Sheedy, 1991, p.9

In September 1870, Goudie sold the Kings Head Inn to Andrew Henry Julius Baass, an accountant, who in the same month sold the property to Joseph George Raphael, a merchant. Raphael changed the hotel's name to the 'Great Pacific Hotel' and in c.1870 the stone perimeter walls were erected to the north and western boundaries of the allotment.²⁸



**Figure 2-10: A plan of the buildings in the area, from the survey made by Percy Dove, 1880.
(Source – City of Sydney Council Archives)**

In 1884, the Hotel's name was changed again to the 'P & O Hotel' by the new licensee Mrs. Mary A Ferguson, who remained in charge until 1891.²⁹

In February 1901, the property was resumed as part of the NSW Government resumptions due to the outbreak of cases of bubonic plague (See page 3 of this Plan for the general background).

The Sydney Harbour Trust (now Sydney Harbour Foreshore Authority) was established at this time to manage the properties and 73 George Street remained under its management from this time. However, the P & O Hotel operated until c.1909 under various licensees' names; see the Sands Directory listing at Table 1 in Section 2.4 below.³⁰

2.4 History of the Occupation of the Site

The ownership of the site has been documented in the previous section. The occupation of the site is first referred to in that section under Garling's ownership of 1815. Garling appears to have constructed a house in the area of the subject site and the 1835 plan does include the outline of buildings within the vicinity of 75, 75a (now 75 ½) and 73 George Street. The land comprising the subject site changed hands a number of times, however, the first documented building on the land comprising 73 George Street site was the 1842-43 constructed Kings Head Inn. This public house was built by Matthias Hooper, who had established a public house of the same name in Argyle Street. A public hotel of three stories, with associated conveniences in a small yard at the rear of the building, was located on the subject site from this time on.

The following Table is derived from the 1991 Conservation Plan report by David Sheedy, Table 1. The information is obtained from the Sands Directory and provides a listing of occupants' names and street addresses from 1858 through to 1911.

²⁸ Lester Tropmann & Associates, 1989, 10 and SHFA Building Data Sheets No. KL/08, 17.1.79

²⁹ Sands directory, Table 1 of this Plan

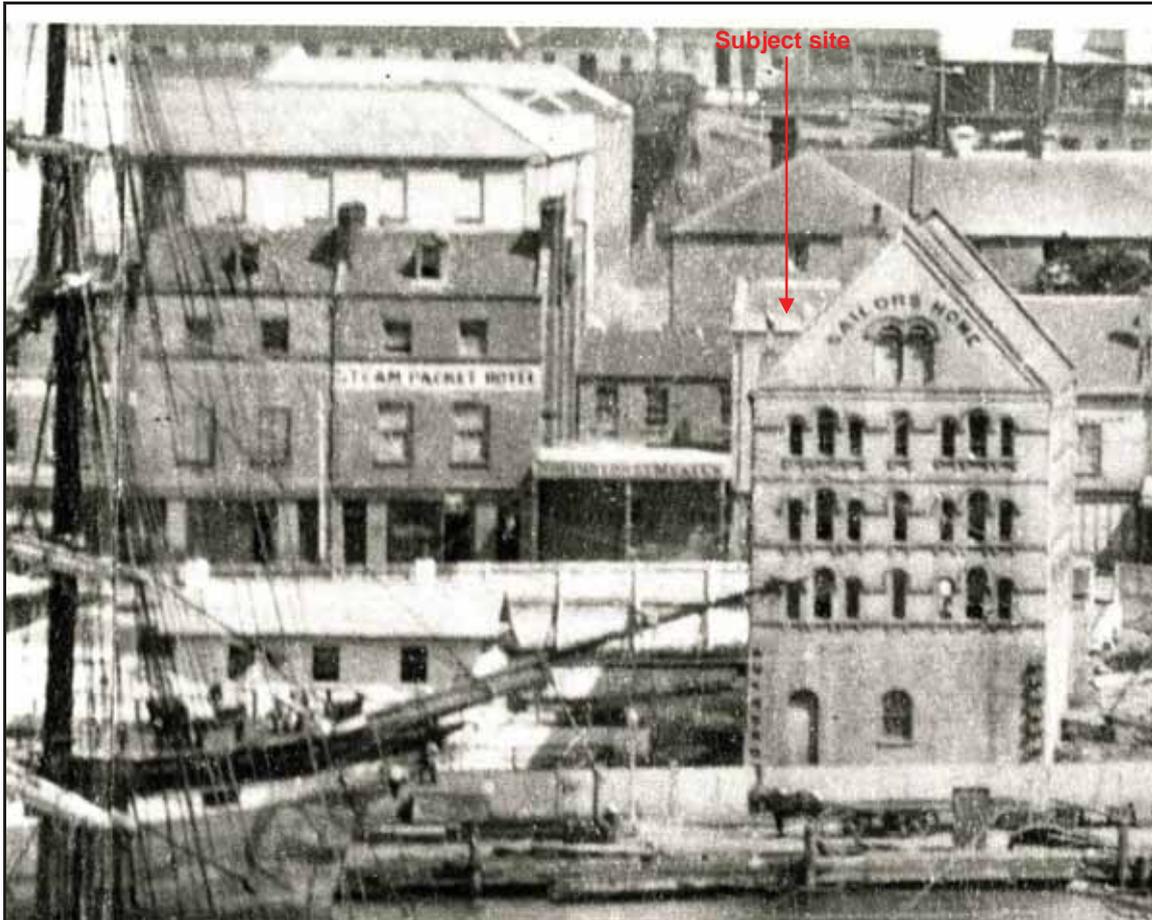
³⁰ Sheedy, 1991, p.14

Sand's Directory Information			
Date	Occupant	Establishment Name	Street Number
1858/59	John Williams	King's Head Hotel	77
1861	John Speerin	King's Head Hotel	77
1863-1869			
1869	Francis Mooney	King's Head Hotel	77
1870			
1871	Vacant	Vacant	77
1873			
1875	James Sharp	Great Pacific	77
1876			
1877	Henry Parkes		77
1879	William Cook		77
1882			73
1885-1889	Mary A. Ferguson	P & O Hotel	73
1891	George Clough		
1892	Andrea Fontana		
1893	Max Rosenberg		
1894	John Ryan		
1895	E. A. Cooper		
1896	S .J. Broomfield		
1899-1900	"	"	"
1901	C.E. Solman	"	"
1904	Oscar Arkman	"	"
1906	Tobias O'Toole	"	"
1907-1909	Sarah Frazer	"	"
1910	Mrs J. Josephs	Tea Rooms	73
1911	Salvation Army Naval and Military Home		73

The Sand's Directory indicates that the premises were vacant across the years 1871 to 1873. By 1874, however, the establishment had been renamed the Great Pacific Hotel and James Sharp was the licensee. By 1879 William Cook was the licensee and in 1882 the street number changed from 77 to 73 George Street.³¹ The 1880 photograph of the area unfortunately only shows the roof the building behind the Sailors Home opposite but also note the Steam Packet Hotel, two doors to the south. At this stage, almost every second building in this section of George Street was a hotel.

In 1885 Mrs Mary Ferguson became licensee. Under her administration the inn was known as the P & O Hotel, a name it kept until it ceased to be licensed premises, c.1909. In 1910, the Sands Directory listing indicated that Mrs J. Josephs conducted tea rooms on the site.

³¹ Sheedy, 1991, p.10



**Figure 2-11: A view of west Circular Quay with the subject site indicated.
(Source - GE 147 Part of Bayliss panorama c.1880, courtesy of the Foreshore Authority)**

Information was sought from the Australian Salvation Army archives to confirm their use and occupation of the building. Major Ken Sanz was able to provide the following information from their archived copies, Dispositions of the forces, which listed the Salvation Army's operations in Australia:

The next occupier of 73 George Street was the Salvation Army, who leased the hotel from the Sydney Harbour Trust, c.1910, to use as a rest centre, the Salvation Army Naval and Military Home for military personnel on leave.

The Naval and Military Home is not listed in [Dispositions in] March or November 1910. We do not have copies for 1911, however it is listed without any address in June 1912. The manager was listed as Staff-Captain Jas. Rose who was appointed on 6 April 1911 and I wonder if this is the official opening date. Ensign Rachel Angus was appointed on 17 November 1910 and I wonder if she was sent to set the operation up to open in January 1911. Captain Albert Thomas was also on the staff and he was appointed on 18 May 1911. The Disposition for January 1913 lists Captain William Tosh as manager appointed 30 January, 1913 with Lieutenant Matilda McKinley appointed on 9 January 1913. January 1914 lists the same people as in 1913. In none of these is the address listed. In 1916 the centre is not listed anywhere. There is now a Military Field Service Department which runs a Rest Home in Pitt Street with Adjutant McClimont in charge.

In the International Year books for 1910, 1912 and 1913 there is a page on The Naval and Military League. This states:

"Some years ago The Army instituted the Naval and Military League. Its objects were to link together all Salvationists in His Majesty's naval and military services throughout the world, enrol them as Leaguers, and organise them for aggressive Christian work amongst their fellows. They are presented with a pass which introduces them to Salvationists in any part of the world, and by means of correspondence and "Under the Colours," the monthly organ of the league, the men are kept in touch with The Salvation Army.

Fourteen Homes for soldiers and sailors are established at the chief naval and mercantile bases of the world. They provide dining, reading, writing, and meeting rooms and bedrooms. When Leaguers are in port they can always be sure of safe and clean lodgings, wholesome, well-cooked food, and a cosy corner at their Home. All sorts and conditions of Service men repair thither for meals and beds, and often in the Home meeting the Leaguers have the joy of seeing their mates brought to God.

These homes are in charge of specially selected officers, who also visit the camps and hospitals."

I can only presume that at the outbreak of the First World War this home was too small and it moved to somewhere in Pitt Street and then later to a building in Goulburn Street, which for some years after 1921 was the headquarters for the Australia Eastern Territory.³²

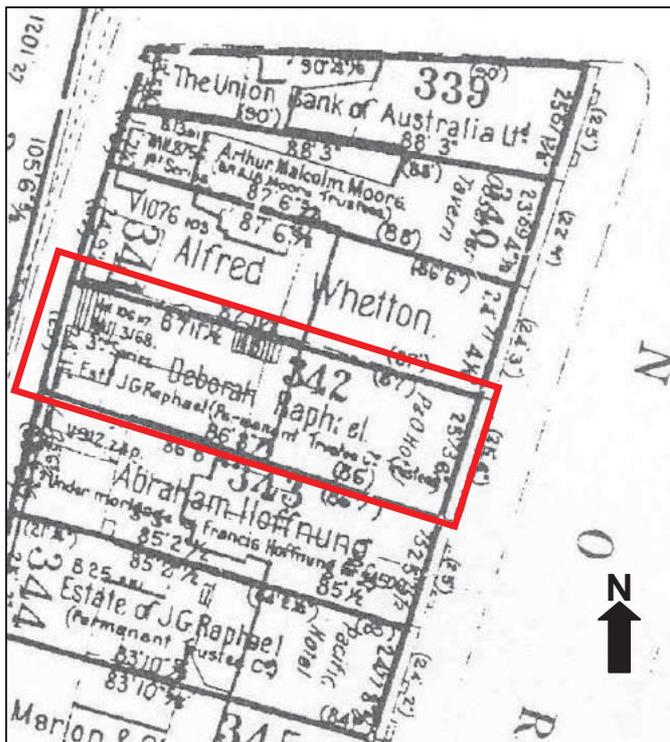


Figure 2-12: Part of the 1901 Resumption plan, with the subject site indicated. Note the layout of the building, with two sets of stairs. Darling Harbour Resumptions, Sections 85, 87, 88 and part 86 City of Sydney. (Source – City of Sydney Council Archives)

This information describing the conditions available for servicemen on leave sounds an appropriate description for the existing building and former public hotel at 73 George Street. The cover of the 1991 Conservation Plan for 73 George Street, The Rocks portrayed the building during that phase with a picture from a 1914 history of the Salvation Army. This was the only image documented for this phase.

³² Email correspondence with (Major) Ken Sanz, Coordinator for Heritage Preservation, Salvation Army Eastern Australia Heritage Centre, June 2008

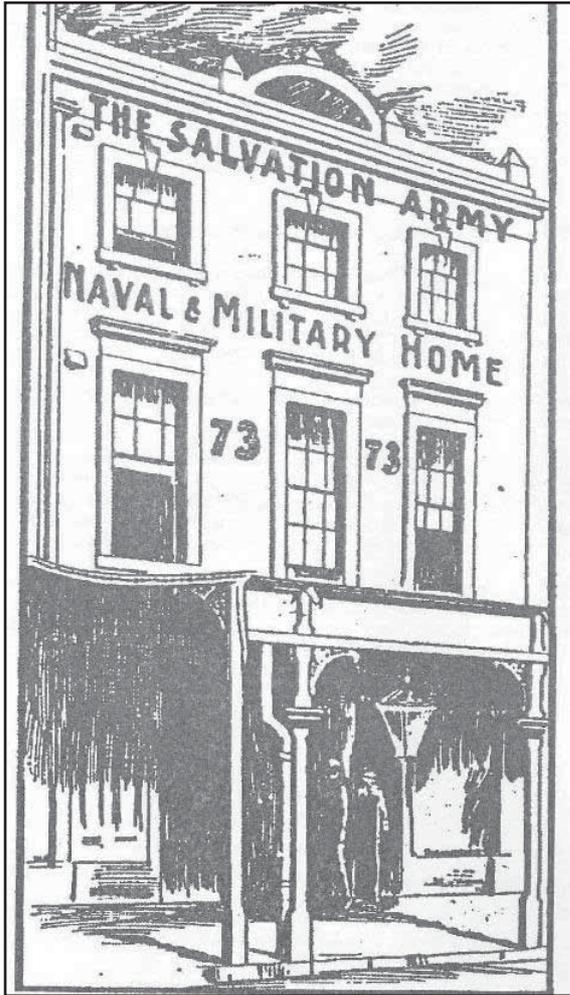


Figure 2-13: The Salvation Army Naval & Military Home, c.1914. Reproduced from the cover of the 1991 Conservation Plan for the subject site by David Sheedy Pty Ltd. This image also shows the original 1842 hotel's facade and footpath awning. (Source ML: *Records of S.A. War*, Melbourne, January 1914)

The building was tenanted by various businesses between 1915 and 1927. During 1916-1917 the premises were occupied by the Tung Wah Times newspaper and the 'Chinese Chamber Of Commerce, S. South, Secretary' (in 75-75 1/2 George Street CMP, Robertson & Hindmarch Ltd, May 2007)

The 1918 Sands Directory lists a Mrs Mary Avery as resident at that address and for the following three years there is no entry suggesting that the site was probably vacant. From 1922 through 1926 Hall Brothers, oil engine importers occupied the premises.³³

In 1927 the site was vacant presumably whilst refurbishment took place. In March 1927, Howie, Moffat & Co. submitted plans for alterations to the building and in 1928, after the completion of the facade and internal works, the Circular Quay Depot of the Central District Ambulance Service began operations. The Circular Quay Station was one of the first stations located in Sydney, however Central District became responsible for the other ambulance stations located within the Sydney metropolitan area.

The architectural plans for the changes to the 73 George Street property have not been located. Other plans for ambulance stations date from the 1930s and are for purpose built stations, rather than adaptive reuse of existing buildings. Therefore the 1972 building plans and 1990s photographs provided by the Sydney Harbour Foreshore Authority were the only documents available to assist in this Plan.

³³ Sheedy, 1991, 16



Figure 2-14: A 1923 plan of the area, showing the layout of the building at 73 George Street and the name change from Playfair to Mill Lane to north of the site. Three columns faced George Street and a set of stairs accessed Kendall Lane at the rear. Another set of stairs presumably accessed the first floor area of the building and a yard occupied the southern part of the site. (Source Sydney Cove Authority, map of 1923, reproduced in Robertson & Hindmarsh, 1998)

The 1904 annual report for the Civil Ambulance and Transport Brigade of New South Wales stated that at that time there was an ambulance station located in Phillip Street at Circular Quay, which during those years was:

“frequently called upon to undertake most important cases. Efforts have been made to secure a station in the centre of the Quay but so far without success.”³⁴

In March 1927 the Central District Committee of the New South Wales Ambulance had approved recommendations in an internal report regarding alterations to a property at 73 George Street North, Circular Quay so as to make it suitable for use as an Ambulance Station.³⁵ Howie, Moffat & Co who were responsible for the conversion of 73 George Street were also given the contract for the construction of the Ryde Ambulance Station.³⁶

The Central District Ambulance Service remained in operation at the 73 George Street site from 1927 until 1990. This was a longer period than that of the hotel, for which the building had originally been constructed.

In 1927-28, the Ambulance Service meeting minutes documented that their premises located at 73 George Street North had been transferred from the management by the Resumed Properties Department to the Sydney Harbour Trust.³⁷ By 1938-39 their correspondence stated that the station was now covered by a lease with the Maritime Services Board.³⁸

In 1942, the Ambulance Services minutes noted that the lease on the property was renewed for a period of three years at a rent of £5 per annum.³⁹ In 1950, the Housing Commission was responsible for the leasing of the property, however the rent charged remained at £5 per annum.⁴⁰

³⁴ Page 12 of 1904 Annual Report

³⁵ C. Deeth, *The Ambulance Service of Sydney, 1894-1976*, 1979, n .p ., 41

³⁶ Op. cit

³⁷ Op. cit.

³⁸ Op cit, 66

³⁹ Deeth, 1979, 67

⁴⁰ Op cit, 76

In 1970-71 the following note was recorded for the property:

The Executive Director of the Sydney Cove Redevelopment Authority notified on June 3 that it was unlikely any move involving the Ambulance Station at 73a George Street North, Circular Quay would be made within the next two years. With this knowledge, repairs and renovations were authorized to this historical building in order to house two ambulances.⁴¹

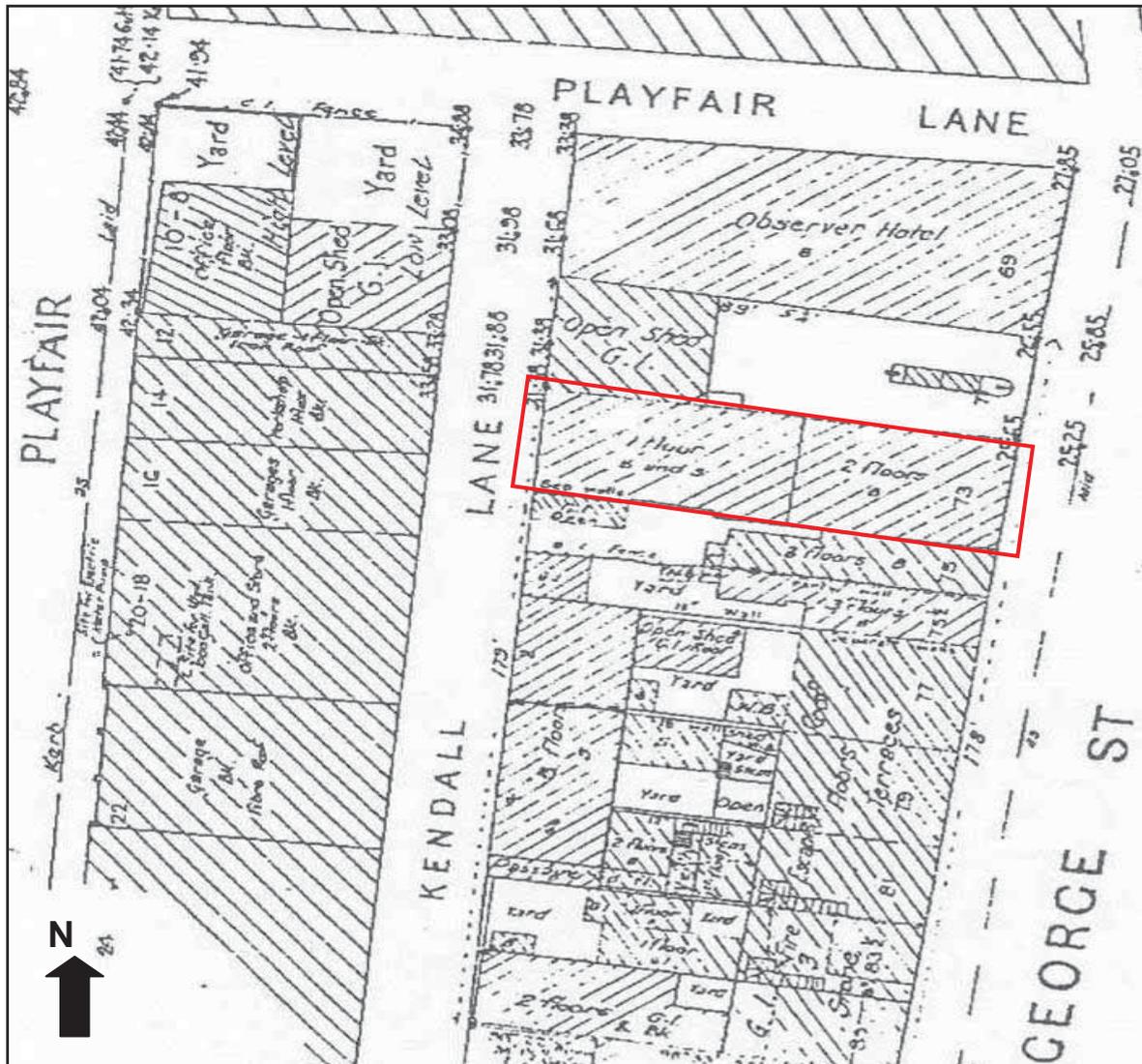


Figure 2-15: Sydney City Council Plan dated 6 January 1930, showing 73 George Street with two storeys at the George Street front and one floor to Kendall Lane. (Source Map HP 161 Sydney Cove Authority reproduced in Robertson & Hindmarsh, 1998)

In addition to the modifications to the ground floor of the building, in 1971 the rooms on level one were rewired, repainted and refurnished in order to provide teaching and demonstration facilities for recruits for the Central District. Since August 1971, 276 men had been recruited by Central District, who arranged for their introductory training at the George Street North (Circular Quay) Ambulance Station.⁴² The following information is taken from *The Ambulance Service of Sydney 1894-1976*:

⁴¹ Deeth, 1979, 145

⁴² Deeth, 1979, 163

The upstairs rooms of the Ambulance Station in the historical building at 73a George Street North, Circular Quay, were cleared, painted, rewired and refurbished to provide school and demonstration facilities, together with amenities, for an Introductory Training class of recruits for Central District. Nineteen men attended the first Class which commenced on August 23. Superintendent R.A. McDermott conducted the Class, assisted by sister P. Young of the Board's Training School and selected officers of Central District. The course of three weeks dealt with first-aid, ambulance rules and instruction, commercial matters communications etc. Teaching equipment was supplied by the board's Training School whose Supervisor, Mr. Allan Bailey, gave considerable assistance in the preparation of a syllabus and other matters. On completion of the course the men were sent to the Board's Training School for another three weeks of advanced study. Afterwards they were seconded to ambulances which they drove and operated under the care of selected and experienced ambulance officers. During 1971-72 six Classes were held.⁴³



Figure 2-16: The Ambulance Station 73 George Street opened in 1927. (Source DWX No 34087 GE52 - Central District Ambulance Station, 71 George St - c.1930-40s, courtesy The Foreshore Authority)

At the end of 1973 classes ceased at 73 George Street when responsibility for training was transferred to the NSW Ambulance Board and located elsewhere in the city.⁴⁴

In 1974 the Sydney Cove Redevelopment Authority increased the rent on the premises from \$960 per annum to \$336 per quarter.⁴⁵

⁴³ Deeth, 1979, 147

⁴⁴ Loc cit

⁴⁵ Deeth, 1979, 166

In the mid 1980s there was a proposal to establish an Ambulance Service Museum on the premises and for a time several old Ambulances were on display at the address.⁴⁶ The first intensive care ambulances, two Ford F100 modified vehicles, had also been based at the George Street station with their operations beginning in November 1976 under the supervision of Deputy Superintendent V. McMahon.⁴⁷

A chance encounter by an author of this report with a former Ambulance Service volunteer at State Records, Kingswood was fortuitous in providing further information on the Ambulance Station at the site.

Mr John Mitchell, a volunteer at the Marrickville Ambulance Station, had operated the radio and phones on weekend shifts at that Station. He recalled visiting the George Street ambulance station, as he said it was known and remembered the old ambulances on display. He also mentioned that the George Street station was a very busy place, with many workers and ambulances coming and going. He noted the proximity of the morgue (Coroners Court) to this station and described the conditions in the morgue and the friendly relationship between ambulance and morgue staff. The discussion with Mr Mitchell was invaluable as his recollection of working conditions, equipment conditions in the cars and associated problems, attitudes to health and work, lack of training in some instance, and the fact that ambulance stations were located due to subscription by local residents provides a valuable background for the long history of Ambulance Station use of the 73 George Street site.

Mr Mitchell's words, and the recollections of other workers, would be a valuable and significant oral history for interpretation of the site's history. Additionally, the authors' site visit to the premises and discussions with the art gallery staff member now located there also revealed that on a regular basis, former workers at the George Street Station visit the gallery and reminisce about the site and how it operated.

In 1973 the condition of the George Street North (Circular Quay) ambulance station was discussed by the Ambulance Service District Committee. It was noted that annual rent had been reduced by the Sydney Cove Redevelopment Authority from \$2,111 to \$960 because Central District Ambulance Service was expected to accept responsibility for "maintenance costs to keep the building in a safe and waterproof condition", plus rates, taxes and insurance. In view of the present condition of the property, it was thought that there should be a discussion to ascertain the cost involved in putting the premises in proper order.⁴⁸

By late 1990 an inspection report for the building noted that 'the premises were found to be infested with white ants and the floor boards, particularly on the first floor were unsound and creating an occupational and safety issue.⁴⁹ Accordingly, the building was vacated by the Ambulance Service on 9 November 1990 and the lease relinquished to the Sydney Cove Redevelopment Authority (now the Sydney Harbour Foreshore Authority).⁵⁰

⁴⁶ Sheedy 1991, Ambulance Service Property File 15290

⁴⁷ Op cit, 232

⁴⁸ Deeth, 1979, 162

⁴⁹ Sheedy 1991, Ambulance Service Property File 15290

⁵⁰ Loc cit



Figure 2-17: c.1992 view of 73 George Street after vacation by the Ambulance Service and the neighbouring former service station at 71 George Street. (Source: The Foreshore Authority)

During the 1990s the then Sydney Cove Redevelopment Authority undertook a number of studies for preservation, reconstruction and adaptive reuse of the building. The reports referred to previously in this section were a result of this initiative. The 1992 plans and projections for the building resulted in tenders being called in 1993. The Foreshore Authority's files record that the work involved conservation of the ambulance station and adaption of the building to a ground floor shop with a one bedroom residence on level one, together with a courtyard at the rear of the site, linking existing courtyards behind the adjacent buildings to the south, Unwin's Stores. Additionally the works provided for a pedestrian corridor through the building on its southern side, from George Street to Kendall Lane, which was part of a pedestrian link from Circular Quay to the Harbour Bridge. This work also included a new three storey retail and residential building at No.71 George Street, the site of a former petrol station.⁵¹

⁵¹ SHFA Files, 1137.01.02 1993

2.5 Development of Building Components

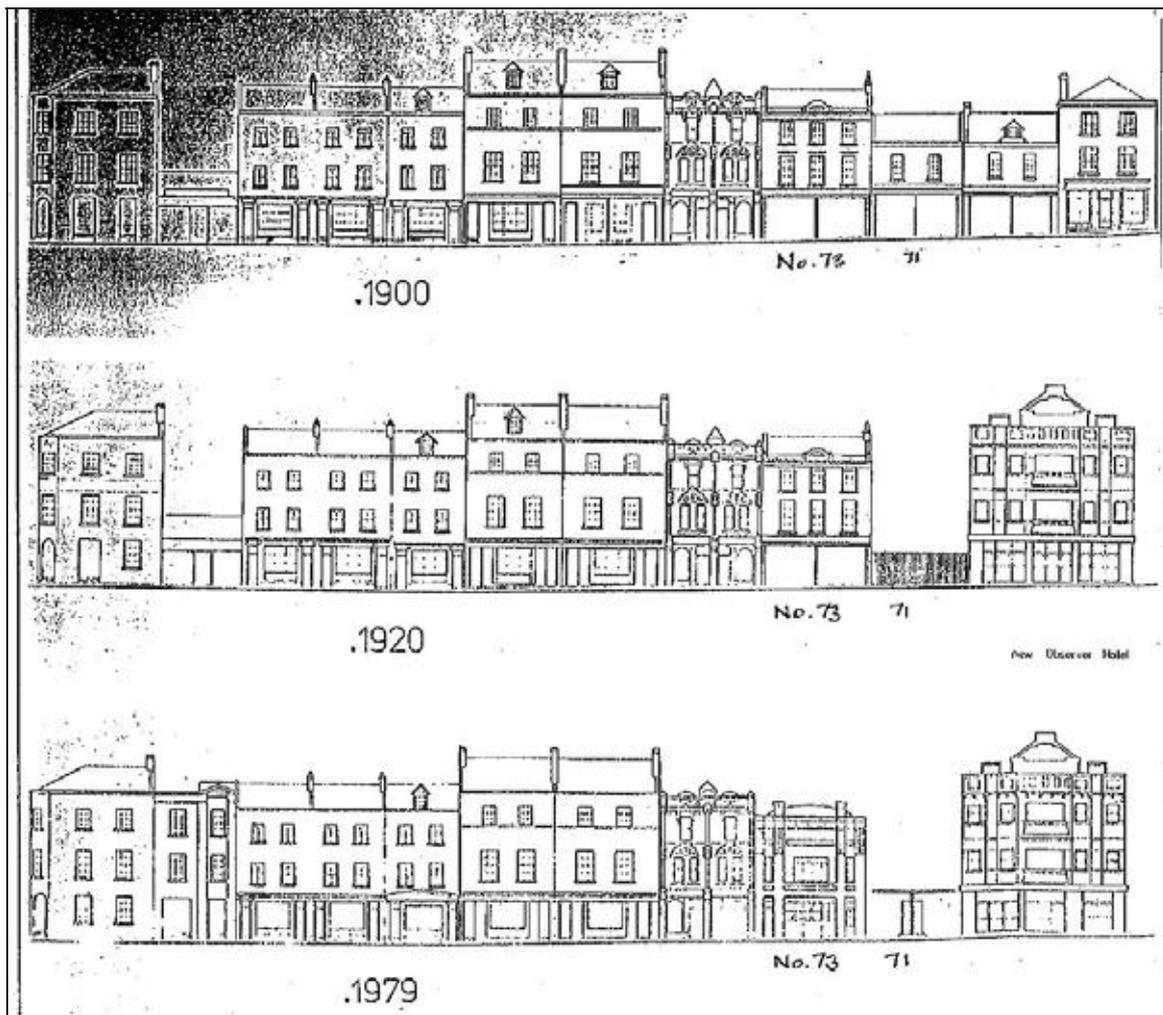


Figure 2-18: George Streetscape showing the evolution of the Ambulance Station site, 73 George Street. (Source: Foreshore Authority, c.1985 Ambulance Station Precinct Plan)

The illustration above has been taken from a 1985 proposal for the site prepared by the Sydney Cove Redevelopment Authority (now Sydney Harbour Foreshore Authority). This drawing best illustrates the changes to the building facade of the 73 George Street site. Unfortunately, historical plans and illustrations of the site were not located other than an 1858 view of the area provided in Figure 2-9. The information available on the building has been obtained from the Sydney Harbour Foreshore Authority resources.

It has been established through documentary sources discussed in the preceding sections that the first building on the 73 George Street site was constructed in 1842. In the 1970s documentary sources state that rear walls were added. The next documented changes were the 1927 major alterations, which modified the three storey building with associated rear sheds and water closets into a two storey ambulance station with a covered rear yard still with water closets. Alterations were documented to the ambulance station building in 1971. In 1990, the building was vacated and the condition of the building, as documented in reports and photographs taken at the time, was poor. Termite damage to the level one floor necessitated removal and replacement of the presumably original materials. The subsequent renovations to the building, carried out by the Sydney Harbour Foreshore Authority between 1992 and 1994, aimed to preserve what could be retained of the original or early fabric of the building, while adapting it for reuse from its long term ambulance station use.

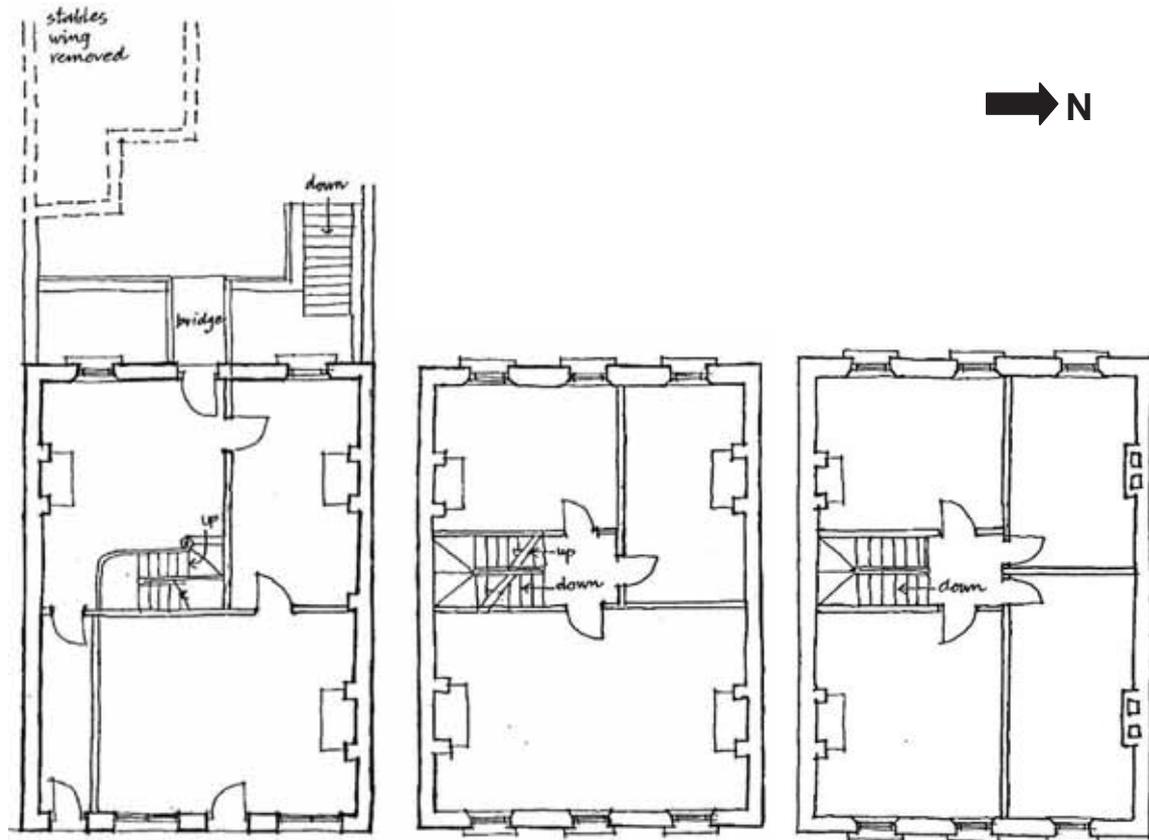


Figure 2-19: Reconstructed drawings showing likely floor layouts of the 1842 Hotel floor plans prepared by David Sheedy in November 1991 as part for the Conservation Plan study for the 73 George Street site. Ground floor plan to second floor plan from left to right.

Since January 1994, the main area of the ground floor of the 73 George Street building, has been trading as the Ken Duncan Gallery, with this tenant also undertaking minor work on level one, which they took over not long after their initial lease.

The floor plans for the subject site depicted in Figures 2-20 to 2-23 are from a 1972 survey carried out on behalf of the Sydney Cove Redevelopment Authority (now Sydney Harbour Foreshore Authority) when the site was still in operation as an ambulance station.

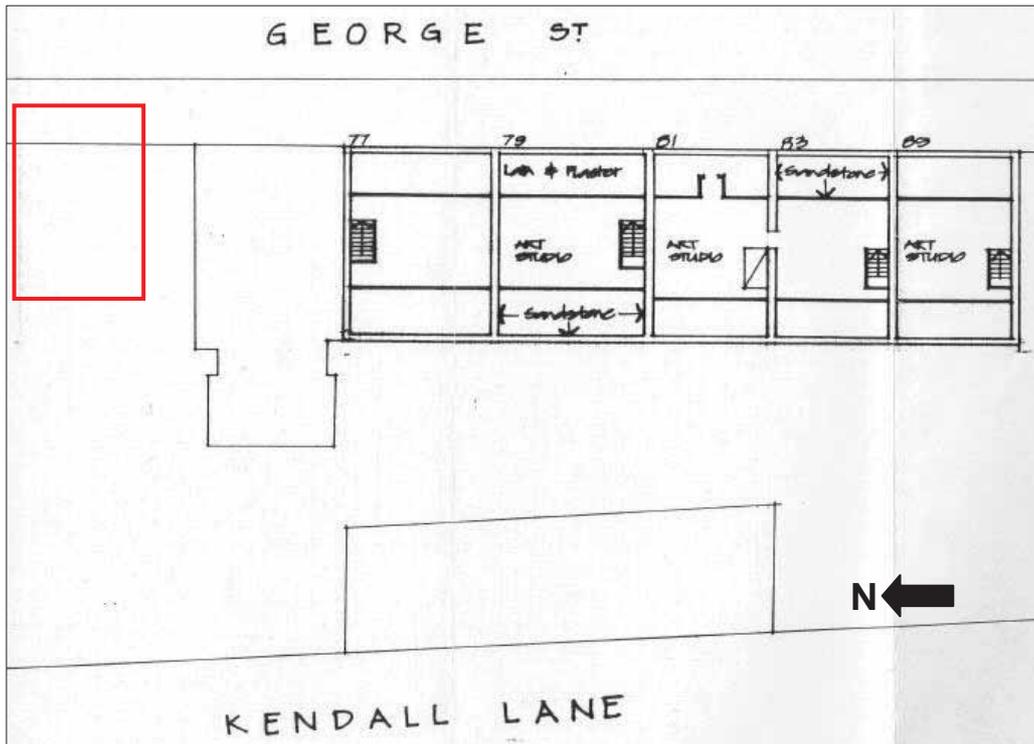


Figure 2-20: The Attic Plan for the Kendall Lane buildings. Note that the subject site is not included, as it didn't have an attic.

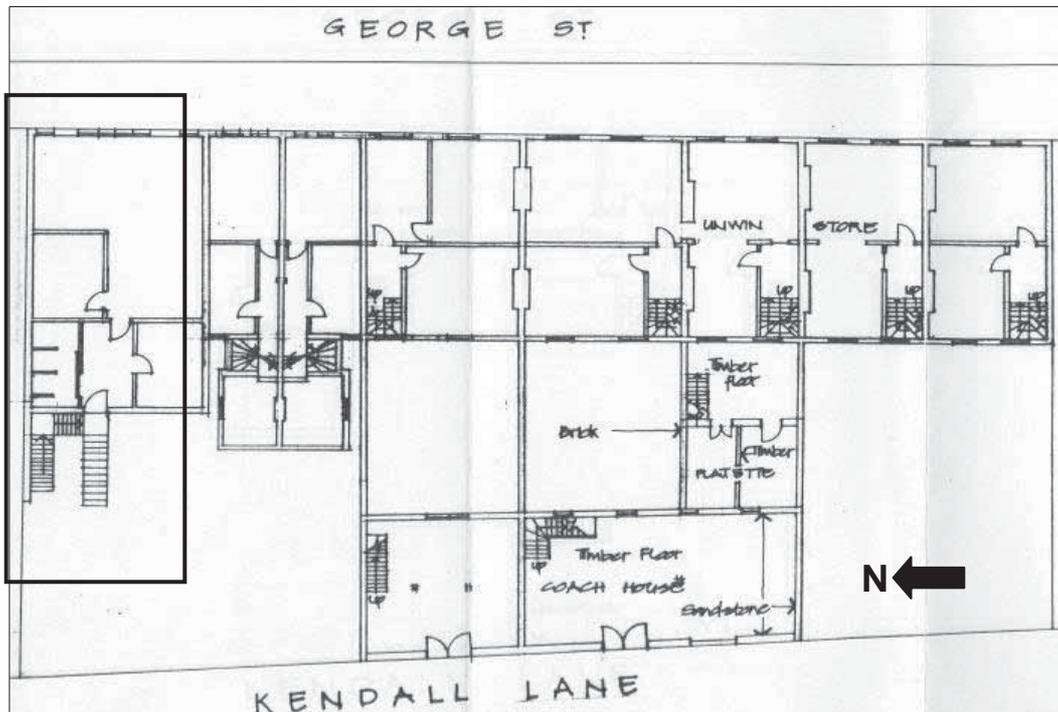


Figure 2-21: The Level One plan with the subject site indicated. Note that two rear staircases are drawn, presumably one is to the cellar, although a cellar plan was not provided in the 1972 survey, see Figure 2-23.

The floor plans can be contrasted with the 1989 floor plans on the subsequent pages, which also document the same building and the other buildings of the Kendall Lane Precinct. The 1972 and 1989 floor plans are shown here in the same order as the current project was documented.

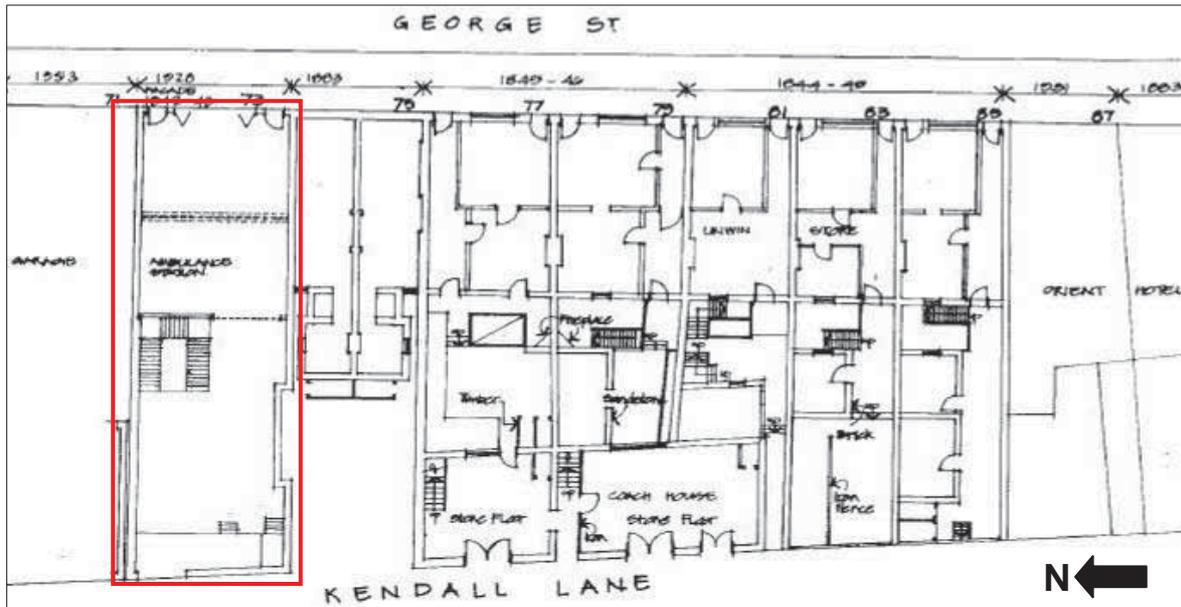


Figure 2-22: 1972 Ground floor plan of the buildings known at this stage as the Kendall Lane Precinct. Note the shared walls and the additional walls in the area of the subject site.

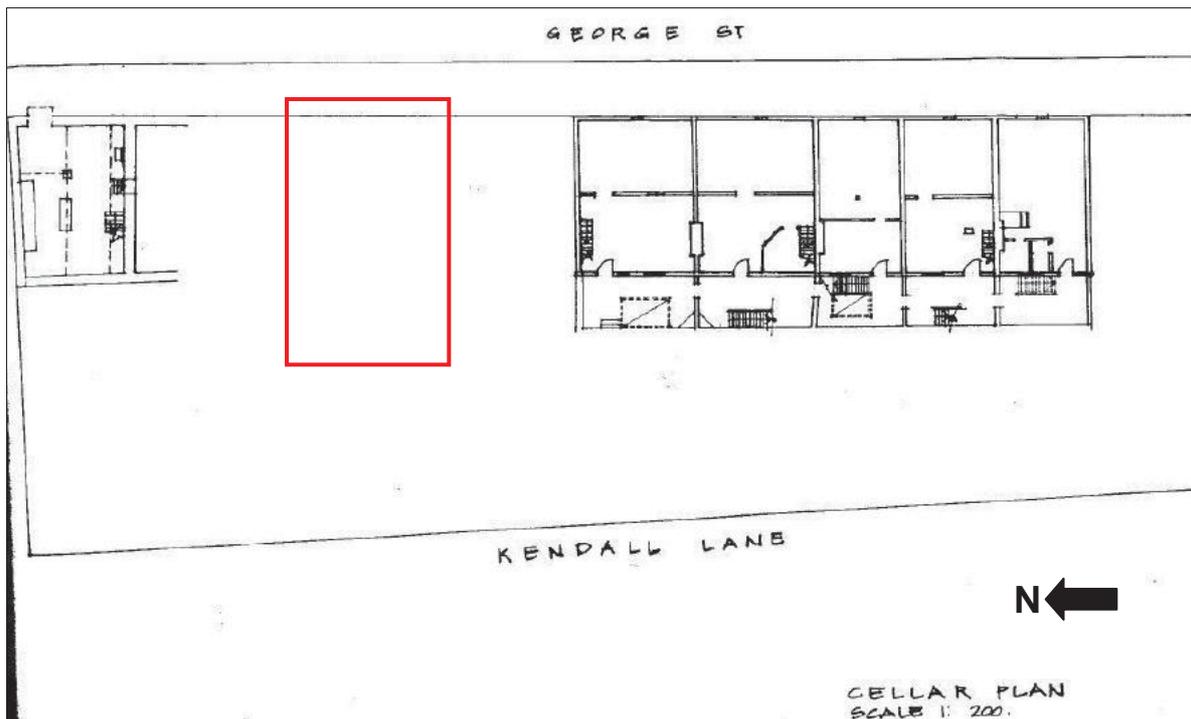


Figure 2-23: 1972 cellar plan of the Kendall Lane Precinct. The subject site indicated however the cellar is not depicted here.

The architectural floor plans on the following pages depict the 73 George Street building and its neighbouring buildings to the south and were obtained from the Foreshore Authority from the 1989 survey commissioned to Lester Tropman & Associates as part of the project they were undertaking on the subject site and the next door site at 71 George Street.

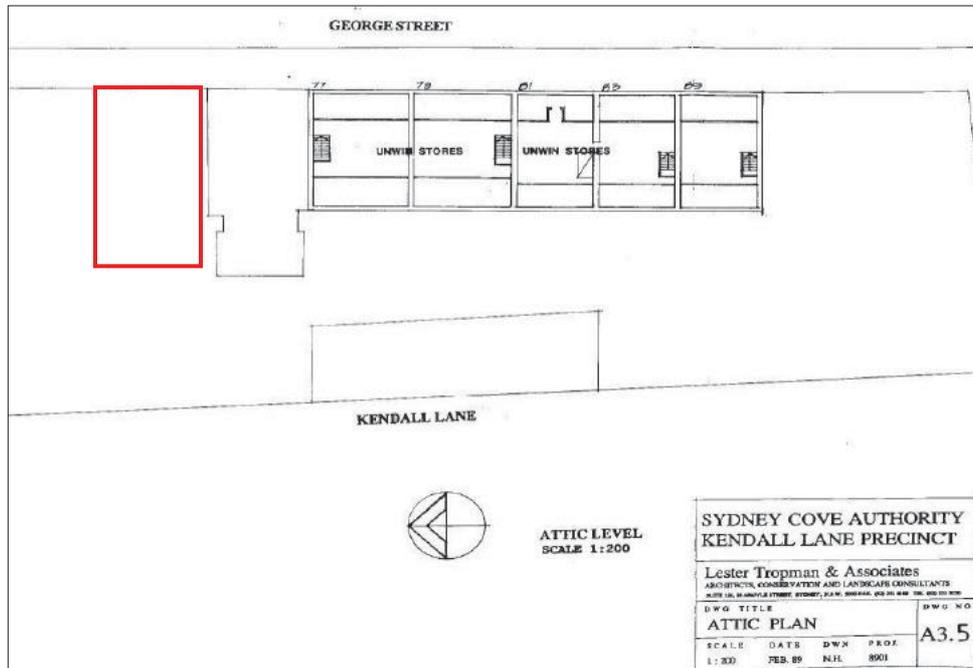


Figure 2-24: 1989 drawing of the attics of the buildings in the Kendall Lane Precinct. The subject site is indicated. Note that the drawings are similar to the 1972 drawings.

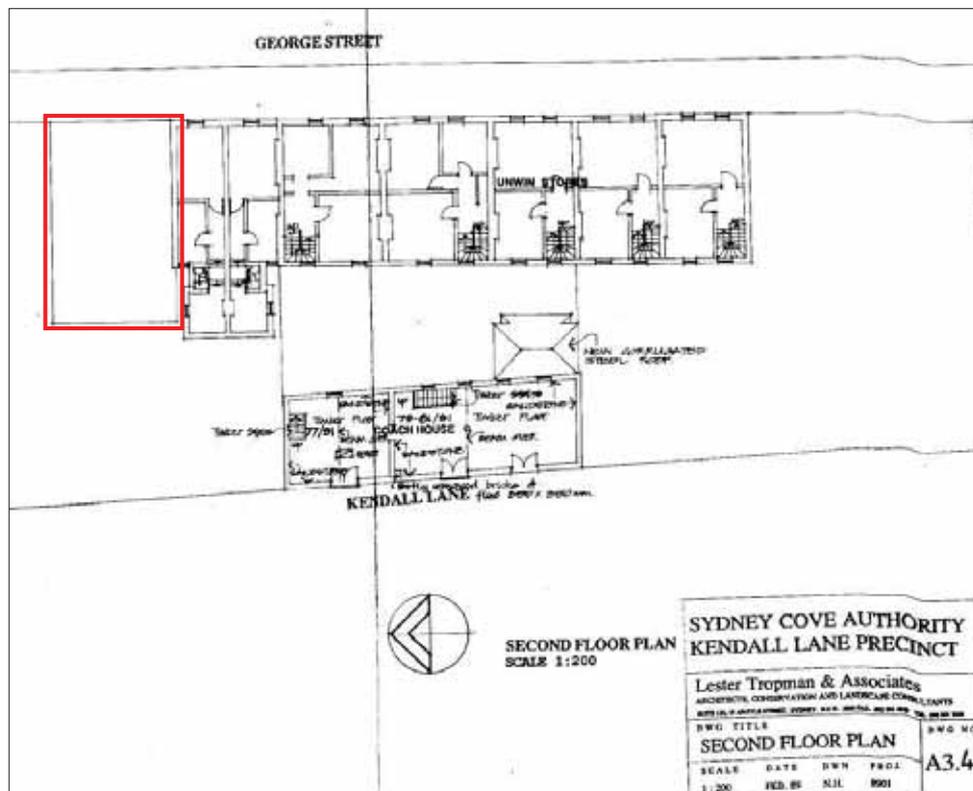


Figure 2-25: Second floor plan from 1989 project. Subject site is indicated.

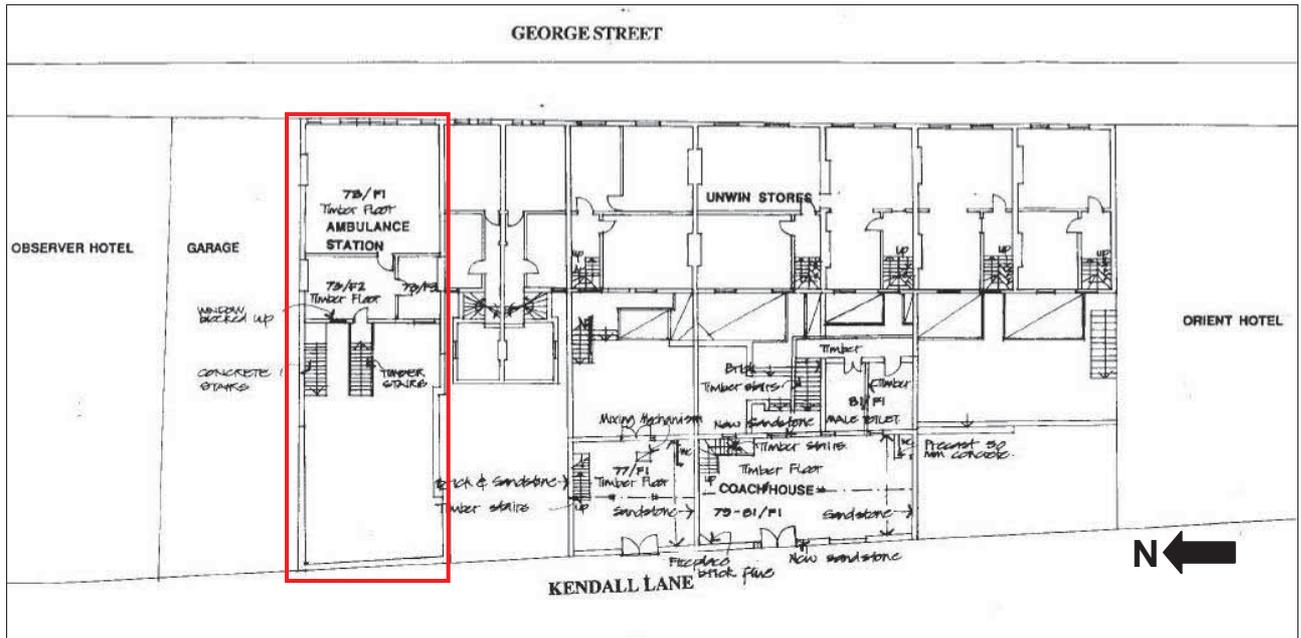


Figure 2-26: 1989 drawing of the first floor of the buildings. The first floor of the then Ambulance Station is similar to the existing layout with the exception of stairwell insertion to the north of the front room and removal of the timber stair to the courtyard. The plan indicates timber floor to the rooms of the Ambulance Station.

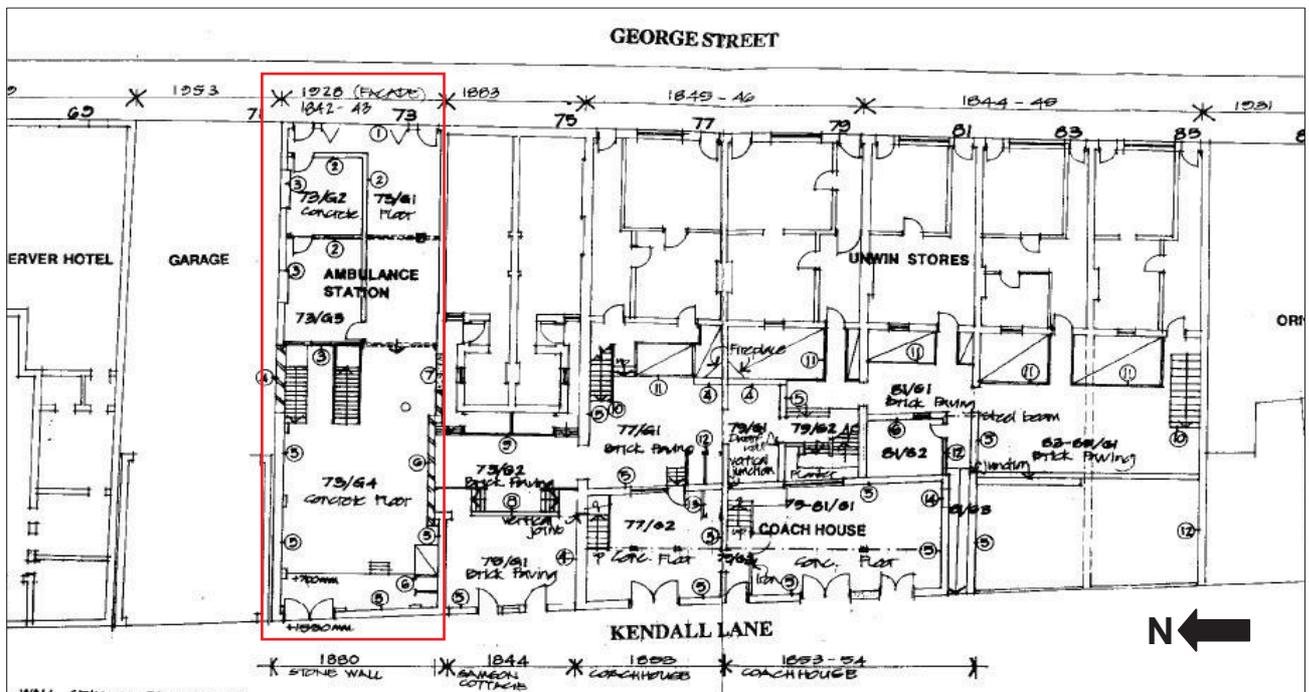


Figure 2-27: Ground floor plan drawn in 1989. The descriptions on the materials referenced by the numbers 1 through 14 depicted on the plan, above. The subject site is indicated and enlarged on the next page with materials as noted and referenced on the drawings.

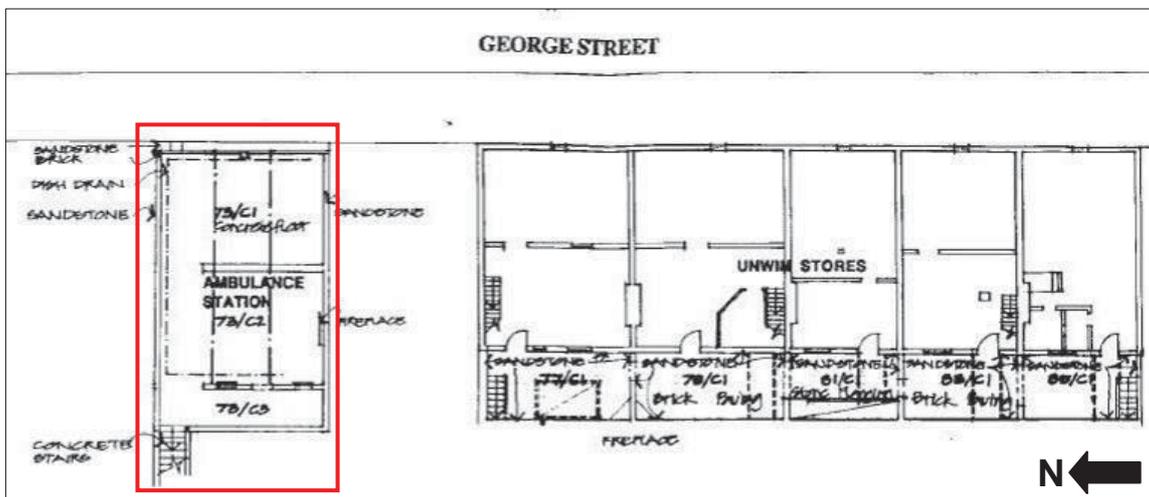
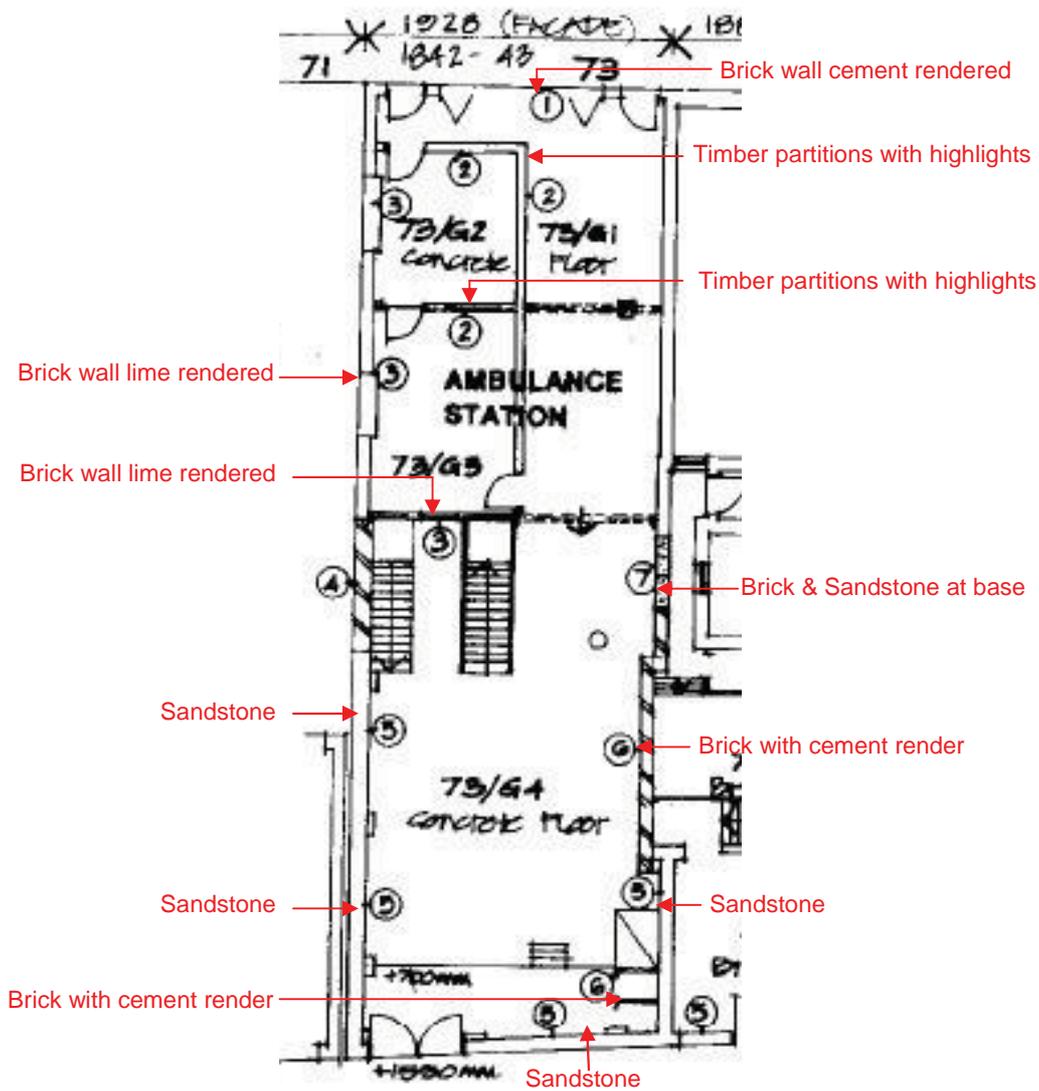


Figure 2-28: 1989 drawing of the cellars of the buildings comprising the Kendall Lane Precinct. The subject site is indicated above and enlarged below. Note that this is the first plan for the cellar located for this Plan. The main change in the basement layout is the insertion of new doors to the spaces indicated as 73/C.2 and 73/C3, and removal of the concrete flooring during contaminated surface removal. Fireplace is no longer visible due to the later structural propping throughout the basement supporting the ground floor concrete flooring and the stormwater/aircondition services. A new brick wall also stands along the northern sandstone wall where the dish drain was located.



**Figure 2-29: The subject site and its surrounds in 1943.
(Source -RTA, From the Skies - aerial photographs of Sydney)**



**Figure 2-30: The 73 George Street site after the Ambulance Station had vacated the building.
Note the view through the neighbouring 71 George Street site before its 1992 redevelopment.
(Source: The Authority's Archives)**

The following photographs were taken by the Sydney Cove Redevelopment Authority (now the Sydney Harbour Foreshore Authority) c.1990, after the Ambulance Service Station vacated the property and before the 1992 restoration and rebuilding works commenced. The photographs are the only internal documentation of the building during its long history and provide valuable information on how the former public house was adapted for use by the Ambulance Service in c.1927.



Figure 2-21: c.1992 view of the rear and the roof of the ambulance station at 73 George Street. The enclosed rear is now the terraced open public courtyard.



Figure 2-31: The folding doors of the Ambulance Station are now at the subject site George Street entry of the Ken Duncan Gallery.



Figure 2-32: The view internally from George Street, note the timber board lined ceiling and timber ceiling beams.



Figure 2-33: The office partition for 2 interconnected rooms inside the George Street entry, on the northern side, where the present staircase to level one is located.



Figure 2-34: Inside the office partitions for 2 rooms on the northern side of the building from the George Street alignment. Note the condition of the walls and brickwork visible.



Figure 2-35: Inside room 2 of the office partitions, with window to the rear of the building and site. This window is now bricked-in.



Figure 2-35: View from the then enclosed rear courtyard towards George Street main room where the gallery is located now, showing the offices and the general ambulance room. Note the timber stair to the first floor room. This door is now kept locked. Photo c.1992 after Ambulance Station was vacated and during the alterations.



Figure 2-36: View of the offices on the north side of the George Street section taken in c.1992 following the Ambulance Station's move.



Figure 2-37: View from the Kendall Lane rear of the site showing the building and George Street doors. Photo c.1992 after Ambulance Station was vacated and during the alterations.



Figure 2-38: View from the rear of the building towards Kendall Lane showing the covered courtyard, WC's and the sandstone boundary wall to north. Photo c.1992 after Ambulance Station was vacated and during the alterations.



Figure 2-39: View to the south boundary at rear of site, near Kendall Lane. Showing painted sandstone walls and two WC with adjacent shower taken c.1992 after Ambulance Station was vacated and during the alterations. Note the brick infill to the top of sandstone wall on the south boundary behind



Figure 2-40: Views of the corrugated iron roof over the rear courtyard of the site, extending from first floor of the 73 George Street building with timber trusses and steel support posts.



Figure 2-41: First floor main room view towards the George Street elevation of the building. The area on the left of the photo now houses the new stairwell from George Street. The pressed metal ceiling is retained.



Figure 2-42: First floor main room southern wall view



Figure 2-43: Above: First floor main room northern wall where the new stairwell from George Street is located

Right: First floor rear room door opening onto back external timber staircase.



Figure 2-44: First floor partitioning at rear of building on southern side where the current bathroom is



Figure 2-45: First floor main room damaged floor in south-west corner This was also documented in the 1990 report noted in the Ambulance Service records, quoted previously in this section.



Figure 2-46: Cellar or basement of building. Note the steel support beams and concrete floor above.



Figure 2-47: Cellar of building, the southern wall with a dishdrain visible in the earthen floor



Figure 2-48: Cellar of building, towards the George Street frontage with sandstone foundation piers and a bricked in section in the foreground.



Figure 2-49: Cellar of building, with fireplace area visible on the southern wall

An excerpt from the Ambulance Station Precinct Plan, c.1991, states:

The main objective of this study was to complete The Rocks Walk pedestrian connection through the ambulance station site. Secondary objectives included injecting new life into the precinct by introducing new uses and enhancing the physical environment but with minimum intervention (to the Ambulance Station).

This has been achieved by creating a R.O.W (Right of Way) through the Ambulance Station site which links to The Rocks Walk and the Unwin's Courtyards. A public courtyard is created at the rear of the Ambulance Station continuing the sequence of intimate midblock courtyards behind Unwin's Stores. On George Street retail is extended and fills the gap in the streetlevel frontage.



Figure 2-50: The 1992 constructed pedestrian connection through the former Ambulance Station on the southern side. Viewed from the rear of the building towards the George Street doorway taken in June 2008.



Figure 2-51: The 1992 refit of the subject site from Ambulance Station into Art Gallery, showing changes to the rear elevation following the removal of the roof over the courtyard. The demolition of the service station next door is documented in images from Sydney Harbour Foreshore Authority files, c.1992.



Figure 2-52: The 1992 demolition of the service station at 71 George Street (above), and the alterations to the rear of 73 George Street after the removal of roof over the courtyard



Figure 2-53: A pair of photographs from the Foreshore Authority's Archives, dated 7/9/1994, showing changes to the building including a new concrete slab to the ground floor.

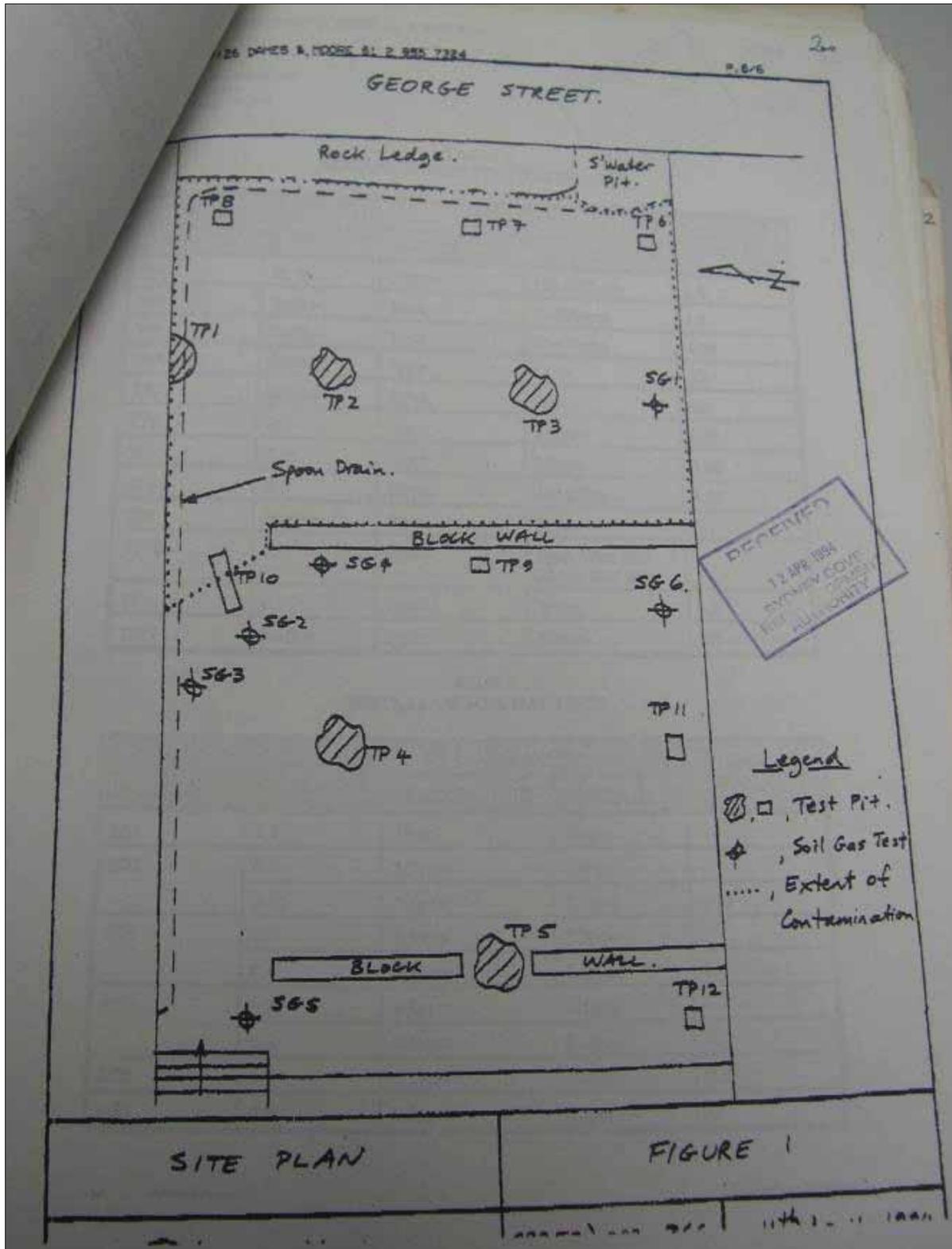


Figure 2-54: A 1991 site plan of the cellar, which shows the original or early foundations and dishdrain along with the pits for soil gas contamination tests, carried out due to the neighbouring service station. The Authority's records show that over 15 tonnes of earth were removed from the 73 George Street cellar due to petrol contamination.

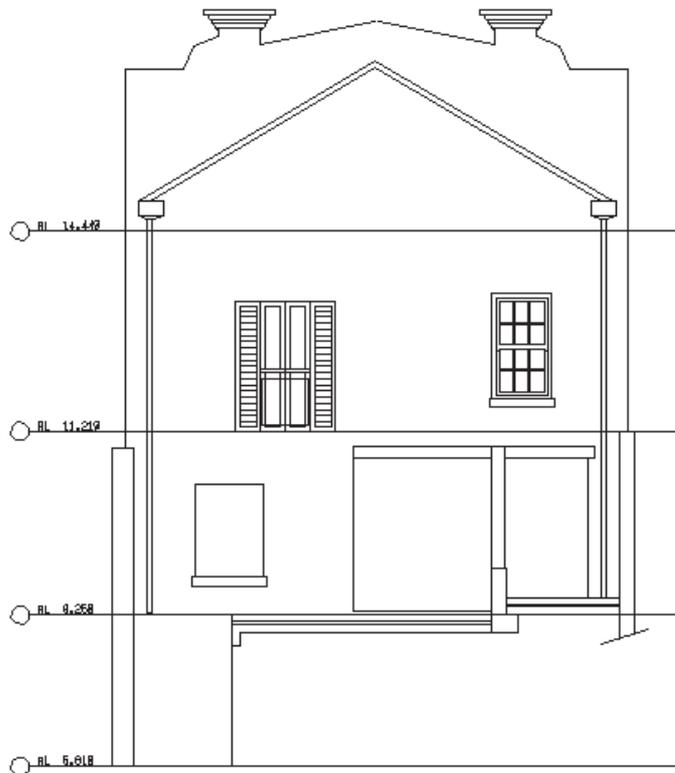


Figure 2-55: Front and rear elevations of the former Ambulance Station in 2004.

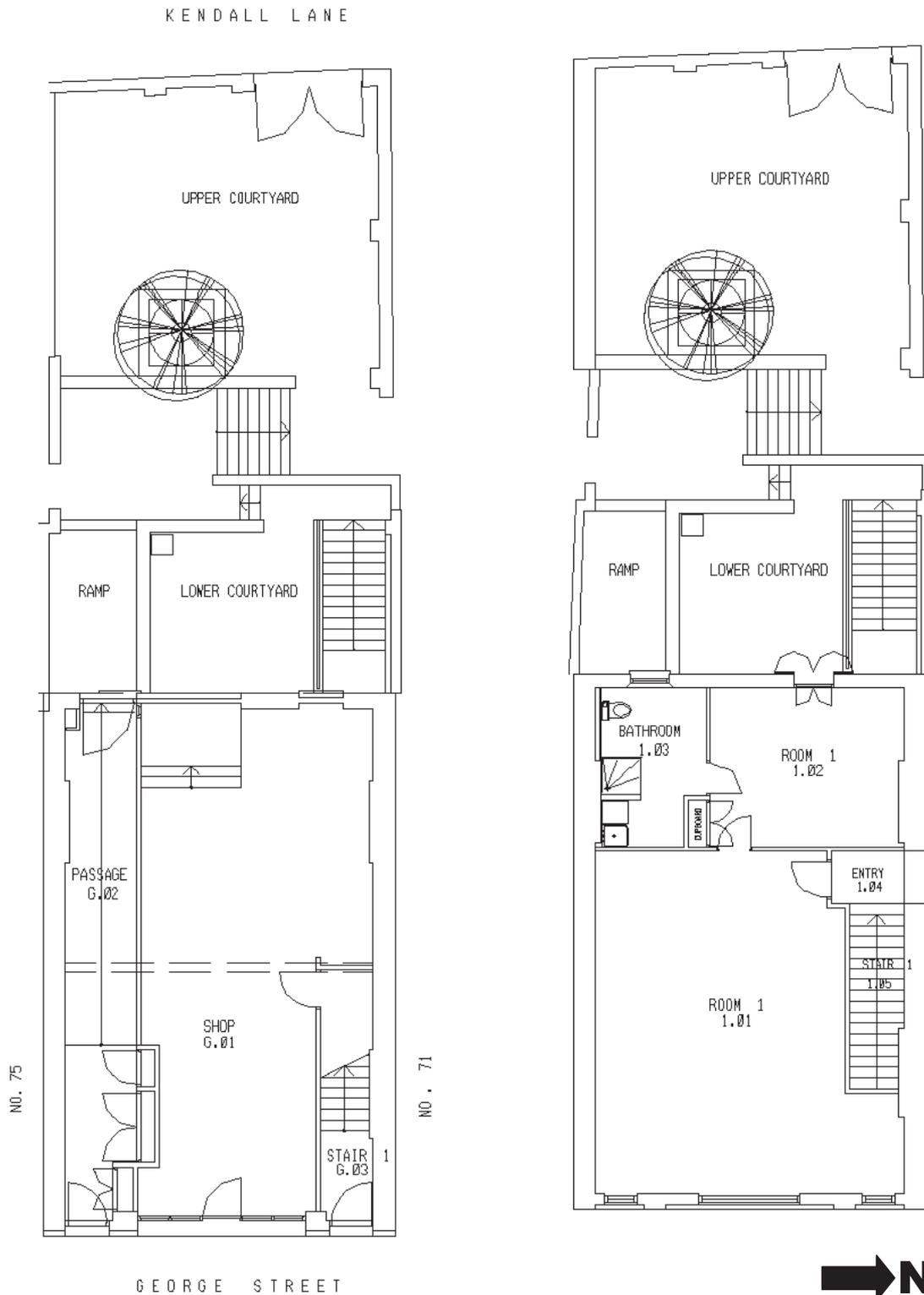


Figure 2-56: Present day floor plans of the former Ambulance Station building

2.6 Analysis of History in Context

The construction of the building on the site of 73 George Street in its original purpose, that of a public house, reflects the major development of The Rocks' during the early years. The first stage of development in this area was civic and health related, with the hospital and its associated surgeon's residences catering for the early predominantly military and convict population of Sydney. After the hospital was relocated, the surgeons and assistant surgeons' residences gave way to grand residences for other professionals. These homes initially lined High Street, the former name for George Street, prior to the area being subsumed by mercantile and storage related trade.

During the mid-1800s the majority of the western area of Circular Quay became the domain of merchants and marine related activities, with storehouses, stores and laundries, the sailors home and associated public houses dominating the area. Almost every second building on George Street was a public house, at least in the blocks including the subject site; and the proximity of 73 George Street to the slope leading straight up from Circular Quay past Cadman's Cottage would have made it an easily accessible place for people arriving at the wharves to eat, drink and sleep there.

The Kings Head Inn opened for operation with every convenience during the 1840s and remained in operation until c.1910. The conveniences referred to were accessed via the rear of the site. The rear lane development behind George Street had always played a vital part of the development in The Rocks. Residences, shops, laundries, and in the case of the subject site, rear yard access for those staying in the hotel ensured the lane remained a busy if not cramped thoroughfare.

The wider area of The Rocks was demolished and rebuilt between 1900 and the 1920s. The state government resumed almost the entire area around Darling Harbour which resulted in changes to the residential character of the area, from private residency to public tenancy. Millers Point was rebuilt during that time with extensive public housing. Large factories were built by replacing the earlier resumed buildings. Some of those buildings include the Bushell's Tea Factory in Harrington Street and the State Clothing Factory. The Kendalls Biscuit Factory located to the north and at the rear of the subject site was demolished after The Rocks resumptions.

The urban context of the area changed dramatically from the early 1900s into the 1960s. The changes in use for 73 George Street were numerous during the early part of the century, reflecting the wider social changes taking place. Its original use as a public house changed to that of a tea house, then the Salvation Army Naval and Military Home, then to a private residence, business premises firstly run by Chinese companies and then an oil company and finally, the Ambulance Station. The Central Ambulance Station was a busy centre, and remained in operation for over sixty years, serving the working and residential community around The Rocks and Circular Quay.

Wider changes in the area included that of the street alignments including the widening of George Street, the wharf redevelopments along the harbour's edge, the construction of the Sydney Harbour Bridge and its approaches and the Cahill expressway. The working class neighbourhood of The Rocks including the immediate surrounding buildings of 73 George Street was developed into a historic tourist precinct by the 1970s-80s. Many of the former houses, stores and warehouses were converted into shops, cafes, commercial offices and galleries. The subject site and its neighbouring petrol station, were not converted until 1992. The Ambulance Station had vacated the site in 1990 and the interior elements of the building at 73 George Street needed attention. The redevelopment and conservation of the building into an art gallery with a public walkway constructed through the southern section allowing access to Kendall Lane was a relatively late development for the area.

The front and rear elevations of the building were changed substantially in the 1927 Ambulance Station fitout. The infill building next door, at 71 George Street was constructed in 1992 and the awnings to both buildings were erected at that time - to match the awnings at the adjacent neighbouring properties to the north and the south, Observer Hotel and former Unwin's Stores. Physical evidence of the original public house remains in some form in the exterior rear yard walls, the cellar and the building's masonry walls. The ambulance station phase has been removed from the current configuration of the building, with the exception of the front doors to George Street and the rear lane access through the sandstone boundary wall.

Views to the building along George Street in both north and south directions remain relatively uninterrupted while the views from the west over the building are possible now only from the upper floors of the commercial buildings on Playfair Street. The building with its Georgian Revival elevation and simple, symmetrical two-storey facade remains as a contributory feature within the historic streetscape of George Street in The Rocks.

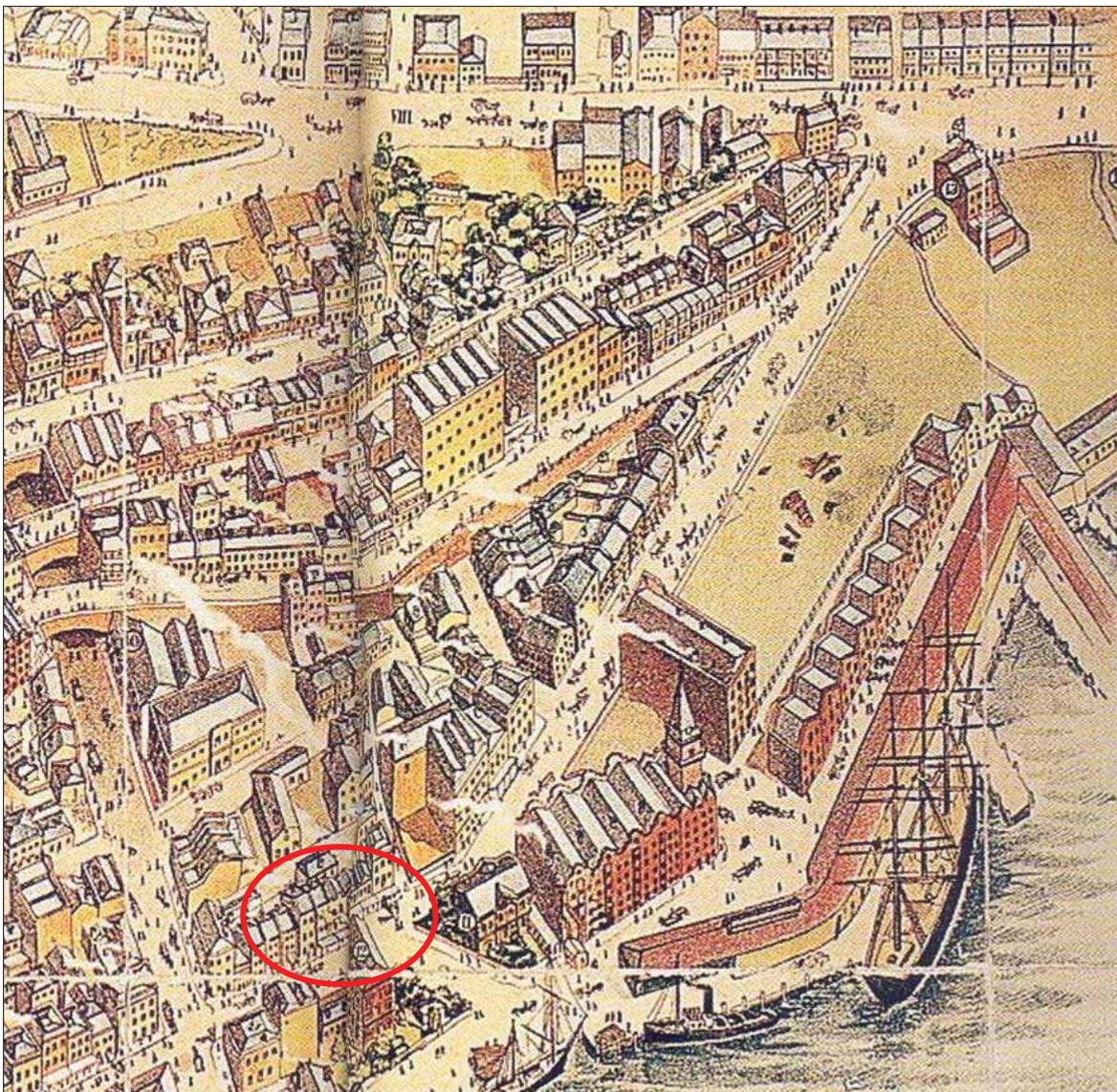


Figure 2-57: Extract from a *Birds Eye View of Old Sydney* dated July 1900, showing the proposal for resumption and reconstruction in The Rocks area. The 73 George Street (then a three-storey hotel, indicated with white circle) together with the adjacent neighbouring buildings the Observer Hotel and Unwin's Stores exist. Note Argyle Cut to the mid-left, Kendall Lane behind the subject site and Mill Lane to the right of the Observer Hotel. (Source: *Anchored in a Small Cove* by Max Kelly, 1997, Sydney Cove Authority, pp.94-95)

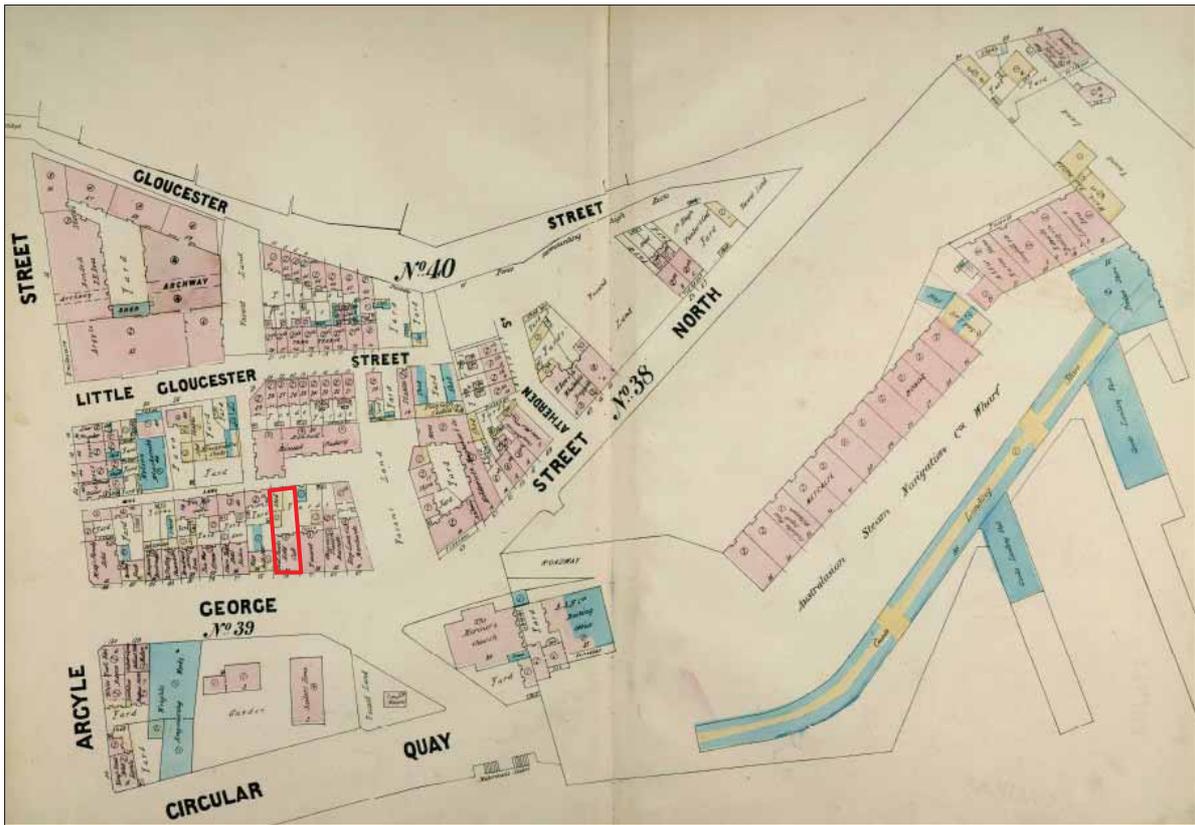


Figure 2-58: An 1880 Dove's survey plan showing the development of the locality and the roadways at the time with the 2008 configuration of the roadways on the left image. Many of the roads have been extended and new lanes/streets have been created but the overall layout remains similar to that in 1880 plan. (Source: City of Sydney Archives 1880s plan & Google maps for 2008 map)



Figure 2-59: Views of the western side of George Street looking north towards Harbour Bridge taken pre (left) and post (right) Ken Duncan Gallery phase of 73 George Street. The skyline of this section of The Rocks relatively remains the same and improved with the infill at the site of the former service station and new awning at the subject site creating uninterrupted awnings over the footpath. 1991 images are sourced from the Authority.



Figure 2-60: The streetscape along the eastern side of George Street opposite of the subject site remains the same with only changes to the use of the buildings such as the 'Sailors Home' which housed a Theatre in the early 1990s then the Sydney Visitor Centre and now an art gallery. This reflects the ongoing improvement of The Rocks as an important historic tourist precinct via adaptation of the buildings into new uses.





Figure 2-61: View of the western side of George Street looking towards Sydney CBD. The skyline remains the same with the improvement in the commercial strip between Observer Hotel and Orient Hotel by the infill of the former service station site to the north of 73 George Street and consistent awning lines. The view towards Kendall Lane behind the subject site, which was in existence since 1992 has been obscured by the infill at 71 George Street and The Rocks Centre building facing Kendall Street.



Figure 2-62: Roofscape of the properties along Kendall Lane precinct with the Circular Quay and CBD views beyond taken from the top floors of The Rocks Centre. The June 2008 photo shows relatively similar cityscape from the Opera house towards the south of George Street with few new additions. Note the changes to the roofscape of 73 and 71 George Street. Subject site at 73 George Street is indicated in red circles. 1991 images are sourced from the Authority.



Figure 2-63: Views of Kendall Lane looking towards Argyle Street with the CBD beyond (above & right) and towards Mill Lane (below). Apart from the subject site and the adjoining former service station's site the Lane retains its historic character with the new additions on The Rocks Centre side. Views to both ends of the Lane terminate with the same buildings that were extant in 1991 and it most likely would have been similar in the early 1900s, as the buildings along Argyle Street and Mill Lane were already constructed (save for the CBD buildings beyond Argyle Street). 1991 images are sourced from the Foreshore Authority.



3. Physical Evidence

The aim of this chapter is to describe the 73 George Street site in detail in order to facilitate the understanding of the existing place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. This chapter builds on the evidence outlined in the previous section to note the physical changes that have taken place over time in order to understand why, when and how these alterations were made.

3.1 Street and Streetscape Description

Located within the hearth of The Rocks (Urban Conservation Area), the subject site is one of the modest shops in a strip of predominantly three-storey buildings between Argyle Street and Mill Lane corners. Both corners of the strip are dominated by hotels, Observer Hotel at the north and Orient Hotel at the south. The setting of the site has a close relationship with the promenade of Circular Quay West. The building is located within a precinct that combines all type of development that shaped The Rocks since the first settlement to the present. Evidence of historical development is clearly visible via layers of fabric of the buildings in the whole Conservation Area. *The Rocks Heritage Management Plan* describes the immediate locality of the site as:

The buildings adjacent to Circular Quay exemplify the maritime focus of The Rocks, particularly during the nineteenth century. Former warehouses such as Campbell's Stores and the Australasian Steam Navigation Company Building, the Sailor's Home (now the Sydney Visitor's Centre) evidence this activity. Cadman's Cottage (the Governor's coxswains cottage, the oldest surviving building in The Rocks dating from 1816), the former Maritime Services Board building (now the MCA) and the Overseas Passenger Terminal (still in use) further demonstrate the varied nature and continuity of maritime functions within The Rocks since settlement. The buildings located along the western side of George Street were constructed largely in response to the maritime activities nearby, with combined residences and businesses strategically positioned to capitalise on the mercantile activity and the steady flow of visitors and sailors to the colony.

Directly opposite on the eastern side of George Street are the former Sailors' Home, steps to Cadman's Cottage leading to Overseas Passenger Terminal and MCA building along Circular Quay West. All buildings, in the immediate neighbourhood, along George Street are of heritage items of State Significance and dominate the streetscape of the subject site. To the rear is Kendall Lane, a typical lanescape of The Rocks fronted by a number of early structures of human scale with new additions to the buildings addressing Playfair Street including The Rocks Centre (now housing the Sydney Visitor Centre), The Rocks Discovery Museum, and rear of Unwin's Stores, Orient Hotel. Construction works are currently in progress for the creation of Jack Munday Place, a high quality pedestrian space, between George and Harrington Streets portion of Argyle Street. The Place will mark the spot where former union leader Jack Munday and others fought to protect The Rocks and local community rights during the 1970s 'Green Bans'.⁵²

The topography of the area significantly slopes down from west to east towards the Harbour creating layers of streets and buildings, which is evident via views west from Cadman's Cottage to George Street, the subject site and beyond. The built environment of the immediate area is characterised by a range of mostly adaptively reused buildings and public domain elements including former hotel buildings (like 73 George Street), terraces, warehouses, steps, retaining walls, and rock cuttings to name a few.

⁵² Sydney Harbour Foreshore Authority eNews, Issue 18, June 2007



Figure 3-1: Extract of heritage items within the vicinity of Ken Duncan Gallery
(Source: The Rocks Heritage Management Plan by Godden Mackay Logan Pty Ltd, Vol.1, p.65)



Figure 3-2: Mill Lane is viewed from George Street with Observer Hotel and Old Sydney Holiday Inn at both entry corners. The new portion of The Rocks Centre at the corner of Kendall Lane, steps to Playfair Street leading to terraces and shops along the Street, and later development beyond tell the layered history of The Rocks. Outdoor cafes/dining are typical of activities in the precinct.



Figure 3-3: Streetscape views of George Street towards north and south respectively



Figure 3-4: Orient Hotel at the corner of Argyle Street with The Rocks Centre at the centre of the image behind. Note construction works for the Jack Munday Place



Figure 3-5: Former ASN Hotel building at the southwest corner of George and Argyle Streets intersection (above), and relationship of Ken Duncan Gallery at 73 George Street with the Circular Quay West promenade. Former Sailors Home is on the right and Cadman's Cottage is on the left of the image. Note the level difference between the Quay and George Street (right).





Figure 3-6: General context view of Circular Quay West and the close relationship with the subject site taken from Bligh and Barney Reserve

3.1.1 Views and Vistas

Views to and from the subject site are generally limited to the immediate context due to the location of the building within the strip of three-storey buildings behind the Circular Quay West development on the eastern side of George Street and trees. The views towards the Harbour, which would have been enjoyed in the early public house phase of the building are no longer available and obscured by the former Sailors Home building and the landscaping in the associated Bligh and Barney Reserve (View 1).

Views to and from the shop at street level are available to the north and south along George Street and are the most significant views for the site (Views 2 & 3). The views from Argyle Street and intersection of Hickson Road to north and south along George Street have also been identified as significant views and vistas in The Rocks Heritage Management Plan.

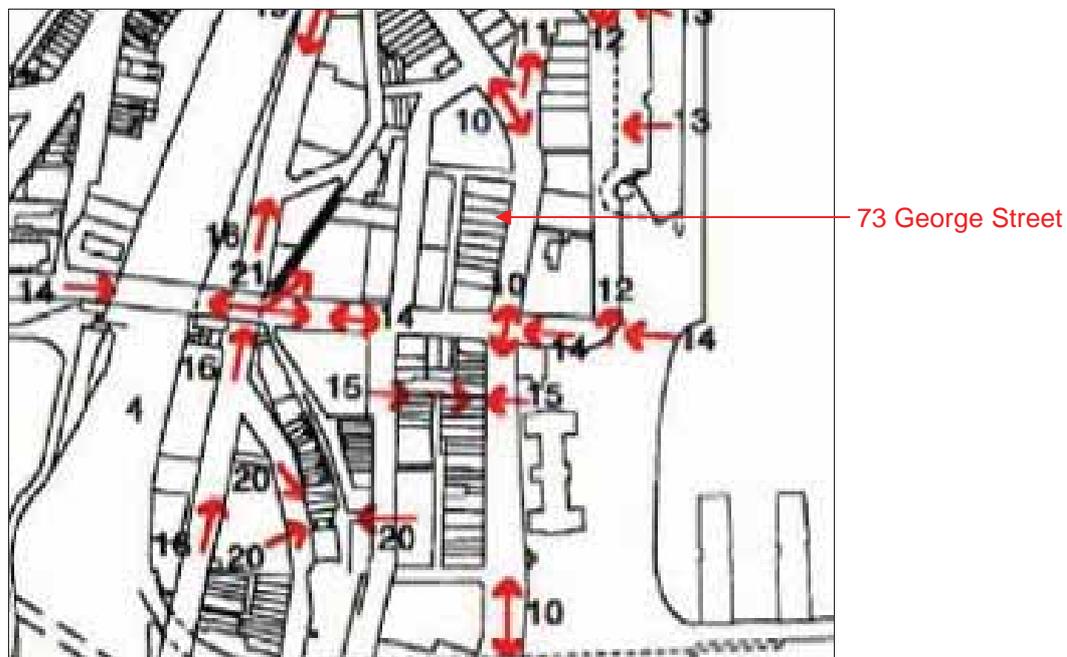


Figure 3-7: Extract from The Rocks Heritage Management Plan, Volume 2, Figure 2.3.3. Views along George Street from Argyle Street and Hickson Road intersections have been indicated as number 10.

Views to Circular Quay, Opera House and Sydney CBD from the Playfair Street buildings, namely The Rocks Centre, over the roofscape of the subject site and its neighbouring buildings are not enjoyed by the shops in the block between Argyle Street and Mill Lane. Views north and south along Kendall Lane are also part of the view curtilage of the subject site and should be maintained (Views 4 & 5). First floor views from the front room are partially available towards the southeast of the CBD skyline. However, views to the northwest towards Harbour are largely obscured by the buildings on the eastern side of George Street (Views 6 & 7).

The main view that was historically existed to and from the Circular Quay West is now partially obscured by the trees and the former Sailors Home. However, it is still an important view corridor particularly when approaching from Bethel steps to George Street. It is rather a surprising view and frames 73 George Street at the top of Bethel steps (View 8). The views and vistas identified above have been indicated on the following aerial photograph with present day images taken during the site inspections attached to the each identified point illustrating the condition of the current views and vistas to and from the subject site. Views and physical relationship between the courtyards of the subject building and adjoining properties including former Samson House and Unwin's Stores are significant aspect of the historical development in the area (Views 9 & 10).





Subject site

Figure 3-8: A historic view from Cadman's Cottage at Circular Quay, showing the proximity of the subject site to the Quay area. 73 George Street is located at the top of the steps, as highlighted.

3.2 Building Description

Originally, the building was constructed on the site in 1842-43 and operated as a public house for many years. The three storey building contained ten rooms and was constructed with brick walls and a slated roof. The building was 25 feet wide by 40 feet deep (7.62m x 12.19m).⁵³ The public house was also described as having 'every convenience', which no doubt referred to the water closets and sheds for horses in the yard at the rear of the property, accessed via Kendall Lane. A public house continued to operate from the building until c.1909. After that date, and up until 1927, various operations took place there including a Salvation Army home and Chinese businesses.

In March 1927 Howie Moffat & Co. submitted plans for alterations to the building and in 1928, after the completion of the facade and internal works, the Circular Quay Depot of the Central District Ambulance Service began its operations.⁵⁴ The building at that stage had large folding doors opening on to George Street at the ground floor level and an attached roof over a rear yard enclosed by sandstone boundary walls on two sides. This meant that between 1927 and 1991 the building covered the entire site between George Street and Kendall Lane at the rear.

The building on the site currently houses the Ken Duncan Gallery. It now presents as a two-storey masonry walled structure with a basement and a single gabled roof of corrugated iron screened from George Street by a curved parapet. The facade and parapet are of Inter-War Georgian Revival style with simple Art Nouveau detailing. The present layout is a result of alterations and restorations that took place in 1992 under the Sydney Cove Authority (now the Sydney Harbour Foreshore Authority). The rear of the building is accessed via a narrow public walkway on the southern side of the building. The rear contains a terraced, brick public courtyard with access via stairs to the basement that currently accommodates the sprinkler stop valve equipment and storm water services. The courtyard opens on to Kendall Lane at the west boundary of the site.

⁵³ NSW State Heritage Inventory database No. 5053205

⁵⁴ Sydney Harbour Foreshore Authority – Heritage Register listing

Located within a strip of predominantly three-storey buildings, between Argyle Street and Mill Lane, 73 George Street has approximately a three-storey high facade incorporating two-storey structure behind. It is consistent with the urban scale of the neighbouring buildings at this portion of the street. The front facade is rendered and painted and features three bays articulation both vertically and horizontally. The ground floor and first floor openings are relatively similar in terms of their vertical proportions and symmetry on both sides of the wide central bay. The main gallery is located on the central bay of the ground floor of the shop and accessed via a six-panel folding timber doors. The side bays accessed via eight-pane timber doors with transoms above. The northern bay opens directly to a new stair accessing the upper floor of the Gallery.

The first floor facade features a four-panel casement windows to the central bay and single panel casement windows to the side bays all with multi-pane transoms. The third horizontal bay to the top incorporates simple moulded pilasters emphasising the vertical divisions and extending in wider form and more decorated form to the parapet level. Horizontally placed and recessed business/date plates reflect the proportions of the upper floor windows and the ground floor main central entrance. The central plate depicts the name of the shop 'Ken Duncan Gallery'. A strong moulded cornice dominates the skyline of the building and divides the curvilinear parapet from the main building facade. A post-1991 suspended awning provides continuity along the footpath.

The previous section outlined the historic changes to the building at 73 George Street. In addition to these changes, more recent work carried out to the existing building was undertaken in 2006. This work was essentially to repair and upgrade existing facilities. In addition, works were undertaken in 2008 to upgrade fire protection facilities in the public walkway area in the southern section of the building.

The floor plans of the building showing the current configuration have been included in section 1.5 above. Original floor plans of the building were drawn as 'reconstructed drawings' by David Sheedy in 1991 and have also been provided in earlier sections. As the building has been altered significantly both internally and externally, with essentially only structural walls and some floor fabric remaining from the original public house, the comparison of the existing physical fabric will be made between the Ambulance Station phase of the building rather than the original public house phase. Therefore analysis of the physical evidence of the former Ambulance Station Building will be carried out in the following sections in the form of comparison of historic plans and images with the present day plans and images as available/appropriate, and will be supported by descriptive text for better understanding.

3.3 Identification of Fabric Development – External

The 1927 facade incorporating Georgian revival detailing by Howie, Moffat & Co remains relatively intact with the exception of new awning, signage and colour scheme. The building is still recognisable with its Ambulance Station phase facade. Insertion of a new stairwell within the northern door entrance, which was access for the ground floor offices, and creation of a public walkway within the southern doorway do not change the George Street presentation of the building.

The change in the George Street streetscape appearance of the site since the vacation of the Ambulance Station included the adjoining infill development to the north boundary on the former service station site at 71 George Street. This allowed the creation of a consistent and uninterrupted streetscape in this section of George Street. It also meant that previously exposed northern elevation of the former Ambulance Station building, which is the original 1842 fabric (with later cement render), have been built up and obscured.

The rear elevation of the building is now exposed as the roof that covered the courtyard during the occupation of the Ambulance Station has been removed. The courtyard has been reorganised and terraced as a public space. Evidence of previous roofline is slightly visible on the rear elevation as well as the original vehicular opening linking the front section to the previously enclosed courtyard area is identifiable.

The majority of the historical materials to be used in the following sections have been referenced earlier and will not be referenced here except where a new image or plan is used.

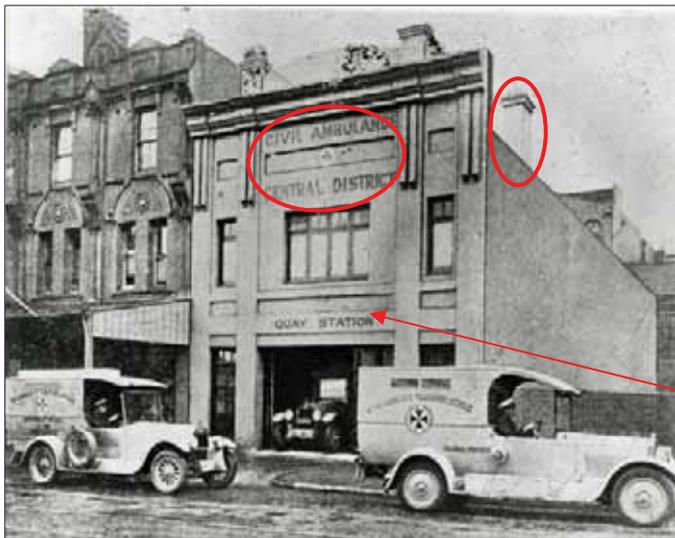


Figure 3-9 Photos of the building in 1927 (above left), in 1991 after the vacation of the ambulance service (left) and present George Street elevation (above), with main changes indicated. Note the original chimney in the 1927 image, which still exists but is obscured from the street due to adjoining infill.



Figure 3-10 – Current view of the rear elevation of the building Kendall Lane (right) and after the removal of the courtyard roof in 1991 (above). See also roof line evidence on the next page.



Figure 3-11 (Above), the rear of the building showing the enclosed courtyard and (right) the current layout of the Kendall Lane courtyard and plantings, viewed from a Playfair Street office building. Note the changes to the first floor window, ground floor vehicular opening, removed timber stair and terraced courtyard with brick paving. The courtyard had concrete flooring, now it is brick paving with sandstone retaining walls



Figure 3-12 – The Kendall Lane streetscape elevation of the subject site in 1991 and 2008. The enclosed courtyard now open to public and accommodates interpretive mural on the wall of neighbouring property with descriptive plaque on the sandstone wall of the subject site.

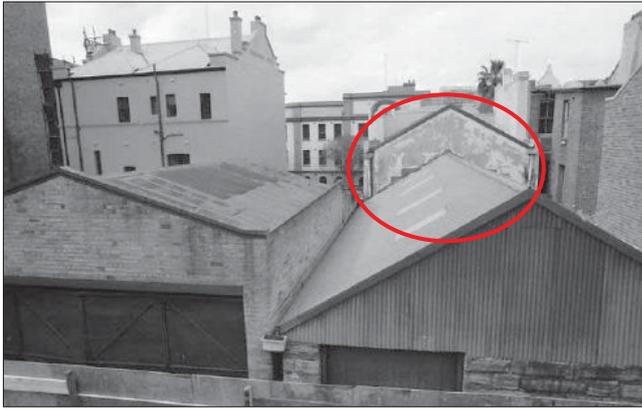


Figure 3-13 – Views of the roofscape in 1991 and 2008 showing the original chimney and exposed rear elevation of the building. Evidence of removed roof line is slightly visible in close inspection as such one can read the fabric if knows about the development history of the site (see below image).



3.4 Identification of Fabric Development –Internal

Internally, the building has been modified to suit the current art gallery reuse of the building. Although the layout of the building has been changed, elements of the ambulance service use are readily evident. The new divisions for the upper floor stairwell and the public access way do not significantly obscure the 1927 layout on the ground floor. The first floor remain relatively the same with generally changes to or replacement of partition walls and rear access door, insertion of a kitchen and stairwell as well as new timber skirting and part cornices to complete the new section around the stairwell. The original pressed metal ceiling and the 'egg & dart' plaster cornices including the timber picture rails remain.

Ground Floor

Ground floor currently accommodates the art gallery showroom in the main central space with the new stairs to the first floor gallery showroom and amenities on the north side, and the public passageway on the south side. Underside of the stairwell is used for storage where part of original brick walls and the enclosed fireplace are evident.

Only the external structural walls and some of the first floor timber floor joists, timber board flooring and ceiling survive from the original public house phase of the building. Below are the three floor plans depicting the ground floor layout of each phase of the building:

Figure 3-14: Ground floor plans in 2004 and 1989 (below) and likely 1840s layout (right). The overall original external/structural walls remain with only internal modifications to the layout have been made. The steps seen on the top left corner of the 2004 plan no longer exist as the opening to the courtyard has been infilled. Note that all the three original fireplaces have been blocked but remain evident. The lightwell below the bridge seen in the 1840s plan is now part of the basement.

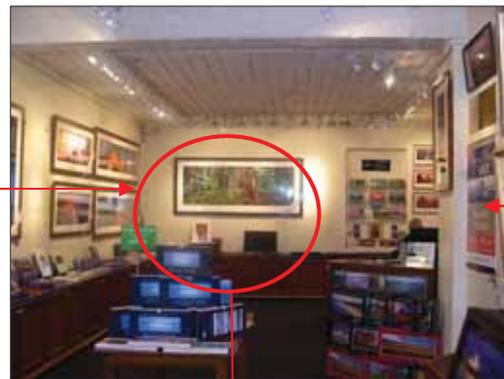
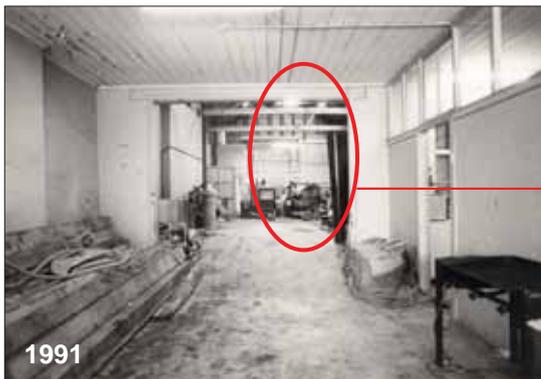
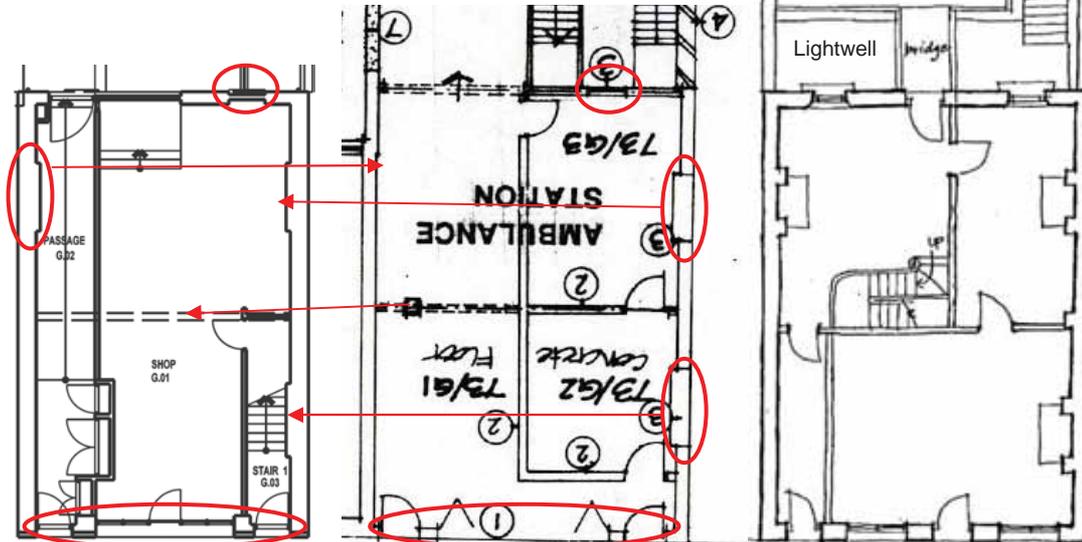


Figure 3-15: Ground floor looking towards the courtyard. The 1991 layout was slightly different in that the then office partition was replaced with a stairwell at further north to allow for the new public way along the southern side. This necessitated the enlargement of the rear vehicular access door towards the south end, which is evident by the new corbelled beam support under the south end of the timber door lintel. The north half of the rear vehicular entry was infilled as it remains within the gallery space of the shop (indicated on the right).





Figure 3-16: Ground floor looking towards George Street entrance. The space width appears to be the same however, as detailed above, the office partition wall was pushed to the north and replaced with a new masonry stairwell for access to the first floor. The door on the south of the main folding door is now separated from the main space in order to create a public access way to Kendall Lane. Note the corbelled beam below the timber lintel of the rear opening indicating slight enlargement to the south end. The steel support on the other side of the opening dates from the 1992 works.



Figure 3-17: Views from the George Street entry showing the new public walkway that was created by separating portion behind the folding doors along southern boundary wall. The visual connection has been provided by three vertical glazing on the new partition. Approximate location of the new partition is indicated. Timber door joinery is retained.



Figure 3-18: The concrete ramp at the threshold of the main entry is associated with the Ambulance Station phase and has been retained. The original pavement light, associated with the original public house use, survives.



Figure 3-19: Original timber board ceiling linings largely remain with some repair and replacements. Light fittings date from the 1992 or later alterations.

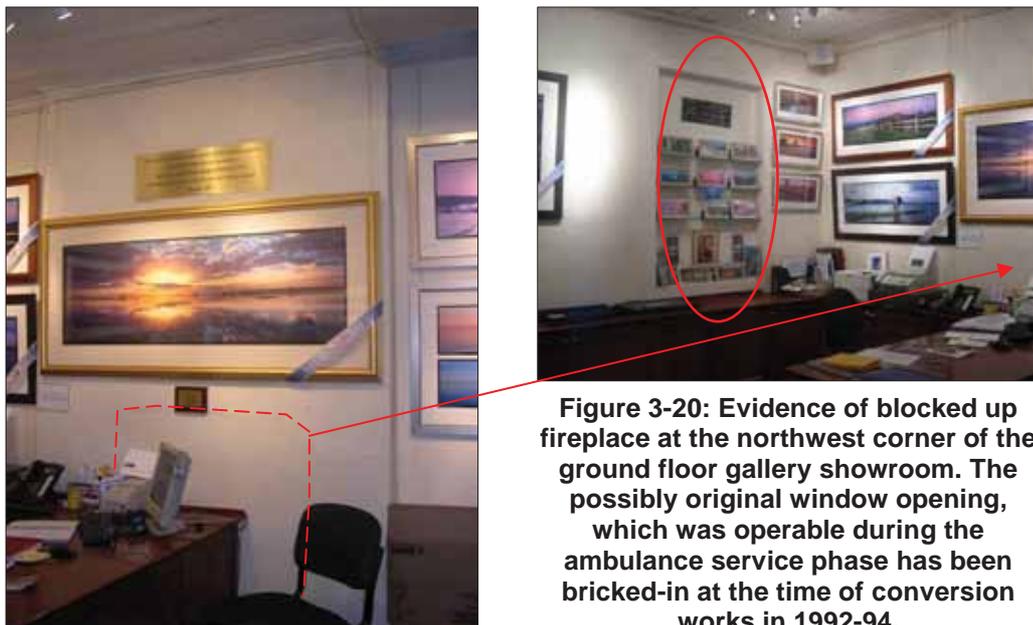


Figure 3-20: Evidence of blocked up fireplace at the northwest corner of the ground floor gallery showroom. The possibly original window opening, which was operable during the ambulance service phase has been bricked-in at the time of conversion works in 1992-94.



Figure 3-21: The storage area below the new stairs showing the blocked fireplace on the northeast (above left); the public passageway with the other blocked fireplace and a recent paint scraping nearby (above right & right)

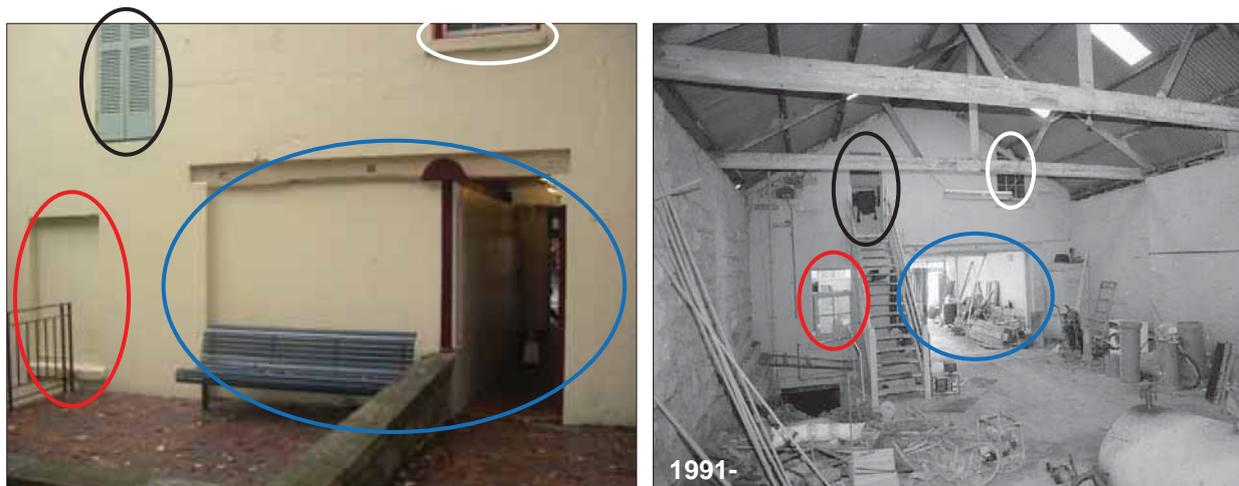
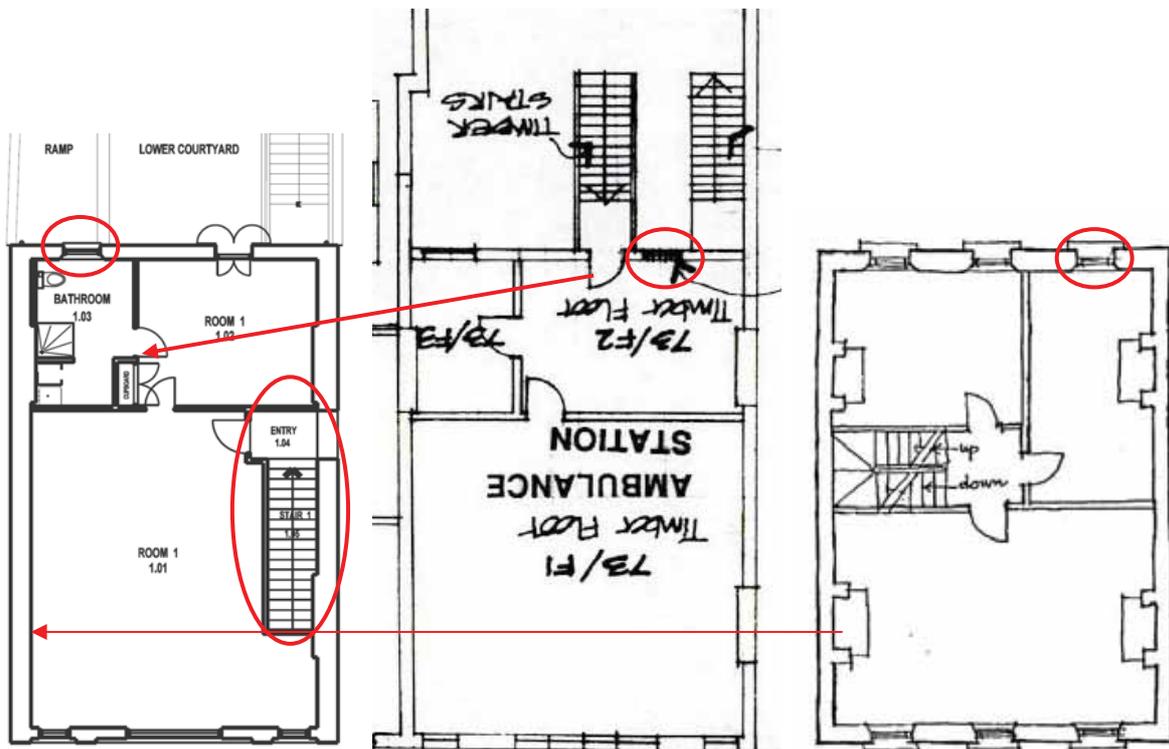


Figure 3-22: Changes to the openings on the rear elevation of the building. Originally, the rear elevation had three narrow window openings to all three levels with the exception of central door opening on the ground floor. It appears that the window openings marked with red and white circles are from that original phase. It is also clearly evident that all openings associated with the Ambulance Station phase although modified remain legible.

First Floor

Frist floor of the subject building has similar layout to the Ambulance Station phase with the modifications for insertion of new stairwell, wardrobe, kitchen facility and new fittings. The door that was located at the rear entry led by a timber ladder has been relocated to the current bathroom door opening. All partition walls to the rear room and bathroom have been replaced and new skirting inserted throughout. The timber floor largely survives under the new carpet flooring. The new stairwell also provides access to the first floor of the adjacent neighbouring infill property at 71 George Street.



3-23: First floor layouts in present, 1991 and 1840s. Note missing fireplace at the southeast corner of the 1991 and present floor plans. Possible evidence of a slate hearth is observed on ground floor near the door of the public passageway.



3-24: Front room of the first floor showing 1927 pressed metal ceiling, George Street facade timber casement windows and simple timber picture rails. This room is largely intact exhibiting the 1927 fabric with insertion of a stairwell and kitchen facility at the indicated areas.



3-25: West wall of the front room on the first floor. Changes include new partition walls, kitchen facility and stairwell. All light fittings and services date to post-1992.



Figure 3-26: Rear room on the first floor showing the new partition wall with a cupboard to the bathroom on the south. The door that was on the rear access is relocated to the bathroom opening. Due to the storage shelves and cupboards clear pictures of the whole room including pressed metal ceiling and blocked fireplace



Figure 3-27: 1927 pressed metal ceilings in the front room (above left), bathroom (above) and rear room (left). Note the later plan plaster cornice similar to the original egg & dart cornice around the new stairwell. This is the general approach to new detailing where missing sections reinstated or new sections added.



Figure 3-28: New door frame to the former rear access on the first floor (left), and the new stairwell with the blocked off fireplace on the foreground (right).

Basement



Figure 3-29: Basement entry showing the stonesteps to courtyard (above left); general earth surface and debris containing remnant bones etc (above right); Bricked-in fireplace (left). Note salvaged bricks and remnant materials



Figure 3-30: General views of the basement level showing C.2 space towards C.1 on the left, and C3 former light well on the right. Note new brick walls, structural steel piers, reinforced concrete ceiling/slab, earth surface and stone walls. Dish drain was removed during contamination works.

Roof space



Figure 3-31: Current condition of the roof space showing the original 1842 brick walls at the gable end and the early/original timber structural elements with new supporting elements. Insulation, battens and roofing are new.



Figure 3-32: Views towards George Street elevation. Brick wall to parapet and new steel beams are visible.

3.5 Assessment of Archaeological Potential

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* (AR035, 1979-1998) and in the Foreshore Authority’s S.170 Heritage Register (B033).

Assessment of Archaeological Potential	
Archaeology Assessment Condition:	Partly destroyed
Assessment Basis	Floor level with George Street, cellar below Rear terraced courtyards up to Kendall Lane
Recommended Management - Above and below ground archaeological remains	Above ground – this heritage conservation management plan provides management Below ground - monitoring for any ground disturbance of the site is recommended. This should be undertaken by a qualified archaeologist in accordance with the NSW Heritage Act 1977 archaeological provisions

3.5.1 Below Ground

The historical development of the site indicates European occupation since 1815, when the initial sub-division of the area and the land grants commenced. The subject site was part of the initial development in the Circular Quay area, being located on a relatively level piece of ground fronting the first road set out from Dawes Point in to the city. The subject site was part of the grounds of the first hospital built to the North of the site in 1792. The first recorded building located on part of the site was the c.1815 residence built by the solicitor Frederick Garling. This property was a large two storey residence with garden constructed over the area later comprising 75, 75a and 73 George Street. This property was presumably demolished to make way for the c.1842 public house and neighbouring stores. The 1842 three storey, ten room public house with rear yard containing sheds and water closets may have been altered at various stages during the next 85 years. Although this has not been documented, as its public house use ceased in c.1910 and it was then variously offices or residence. In 1927 major alterations were made to the front facade, interior and rear yard to adapt the building into a two-storey ambulance station with ground floor access off George Street for ambulance parking. This use continued for over 60 years with further alterations carried out to the first floor of the building in the 1970s.

In 1992 the building was in need of repair, with termite damage recorded in the floor on Level One. At that stage, major conservation and rebuilding works were carried out so that the building could be adaptively reused. The work included a public walkway through the building at the southern part of the site to access the rear, terraced and paved courtyard with access to Kendall Lane. The adjacent site at 71 George Street, a service station, was demolished at this time and the cellar of the subject site was assessed as being contaminated. Over 15 tonnes of contaminated soil were removed in 1992. This remediation work, combined with the 1927 refit and 1842 public house construction would have destroyed any Indigenous, or European archaeological remains that may have existed on the site. The Section 170 register listing records that the site was monitored during works in 1994 with evidence of deposits found.

3.5.2 Above Ground

The building has undergone extensive refurbishment and services upgrade works including installation of ceiling lighting, new roof, new floor finishes to replace termite damaged flooring, changes to internal layout and introduction of new partition walls. Therefore only the exterior walls, the ceilings in the main rooms and between-floor/ceiling spaces may contain archaeological relics. Disturbance of such relics should be minimised. If they do need to be removed, this should only be done by, or under the direction of, a qualified archaeologist. Locations should be recorded and items conserved, catalogued and stored in accordance with the NSW Heritage Office Guidelines.

The 1991 Conservation Plan by David Sheedy Pty Ltd recommended that an archaeological conservation plan be undertaken for the building.

There is a small amount of fabric confined to the southern and northern walls within the building structure and fabric itself that has archaeological historical value. This fabric requires further research and full documentation. The listed items of heritage value have been degraded through previous fit out programs and the listed fabric should be preserved. The preservation of these items in situ should not interfere with most uses for the building and should be taken into account when designing for new uses for this building.

Although, as assessed above, the below ground archaeological resources of the site would have been destroyed during the phases of reconstruction on the site, the Map of the Archaeological Resources in The Rocks identifies it as being an area of archaeological sensitivity. Extract of the archaeological map has been provided below.

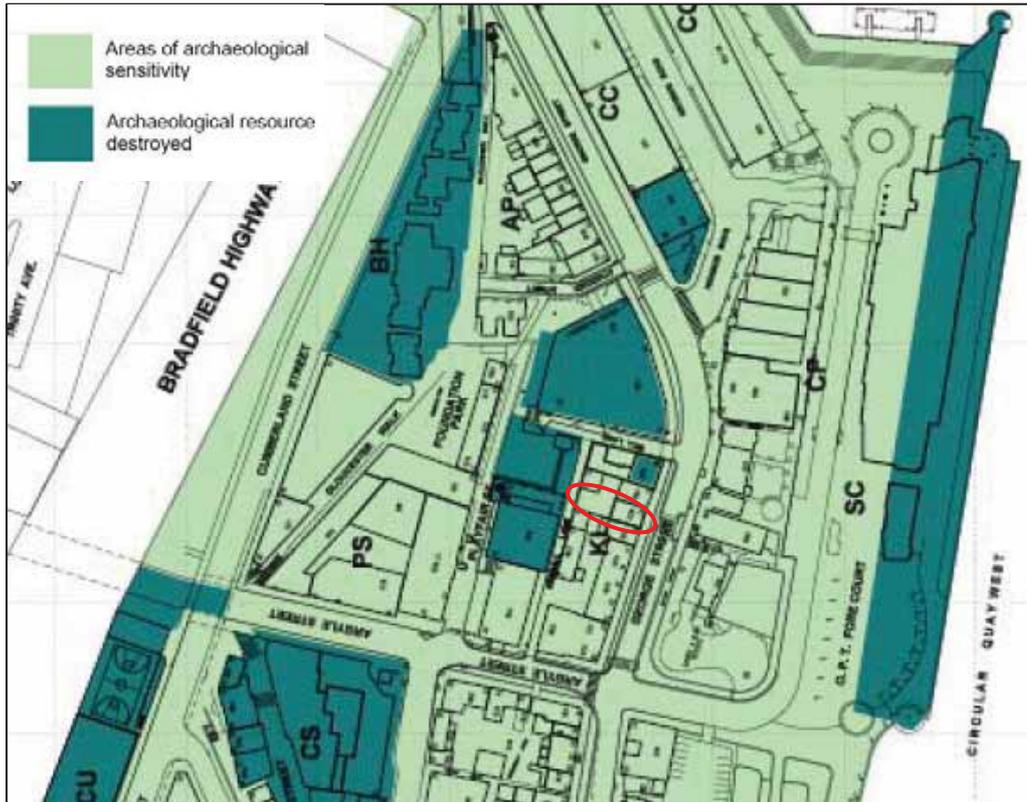


Figure 3-33 - Extract from the Map of Archaeological Resources in The Rocks, Sydney Harbour Foreshore Authority, *The Rocks Heritage Management Plan*, Volume 1, Appendix C, p.67.

Recommendation

The archaeological potential of the site is considered low for below ground deposits based on the historical evidence, *The Rocks and Millers Point Archaeological Management Plan* as referenced in the Foreshore Authority's S.170 Heritage Register and The Rocks Heritage Management Plan. The above ground archaeological potential of the site is confined to the northern and southern boundary walls and the ceilings in the main rooms. A monitoring brief for any ground disturbance of the site is recommended. This should be undertaken by a qualified archaeologist in accordance with the NSW Heritage Act 1977 archaeological provisions.

4. Assessment of Cultural Significance

4.1 Assessment of Significance

4.1.1 Comparative Analysis

The original 1842-43 public house ‘The Kings Head Hotel’ was a three-storey Victorian Georgian style small hotel building that characterised the urban landscape of The Rocks at the time. The original building has many similarities with the Unwin’s Stores and other buildings of the same scale and form in the precinct. The 1927 structural and architectural modifications for adaptive reuse of the building resulted in a two-storey utility building with a Georgian Revival style facade featuring simple Art Nouveau detailing particularly at parapet level. The changes to the building in terms of its facade detailing, scale and various uses are also common historical development pattern that shaped The Rocks we know now. These types of changes are evident in the neighbouring (and wider in The Rocks) hotel/pub buildings some of which included below:

- Observer Hotel: Built as a two-storey public house called the ‘Observer Tavern’ in 1848 and replaced with the present building in 1908-09 following its resumption under the Observer Hill Resumption Act 1900. The original public house was constructed of brick walls timber floors and a shingled roof.⁵⁵
- Orient Hotel: Located at the corner of Argyle and George Streets the Orient Hotel dates from the same period as the original public house on the subject site. It is a typical late Colonial Georgian building with later alterations and additions
- The Hero of Waterloo at 81, 83 Lower Fort Street, Millers Point was built in 1842 and is a three-storey solid sandstone building with cellars and a hipped iron roof concealed behind simple parapets. External alterations to the building are limited and retain most of its original detailing.⁵⁶



Figure 4-1: Observer Hotel, showing the replaced 1840s buildings and the 1908-09 Art Nouveau style building. Historic photos are sourced from NSW Heritage Branch SHI Database Item # 4500032.

⁵⁵ http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=4500032

⁵⁶ http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=5045581; <http://www.heroofwaterloo.com.au/history.html>



Figure 4-2: Orient Hotel is located at the corner of Argyle and George Streets. Historic photo is sourced from NSW Heritage Branch SHI Database item # 5053183.

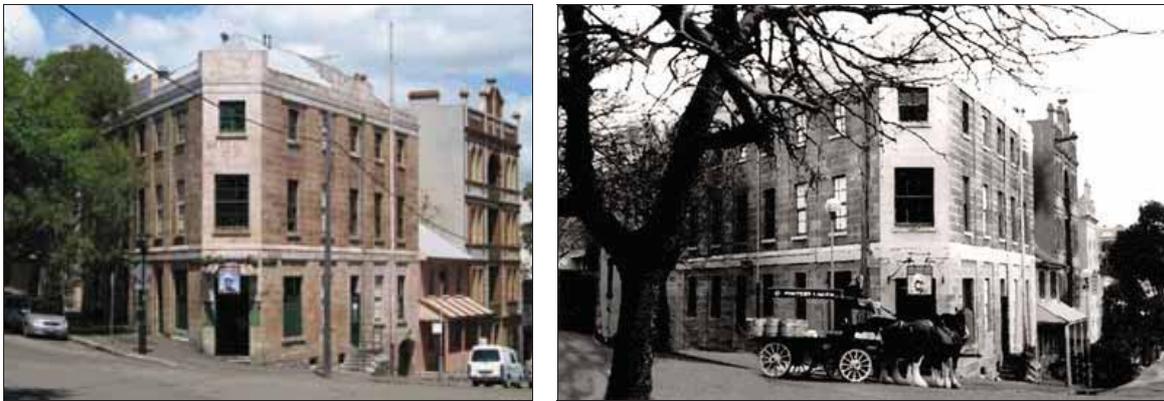


Figure 4-3: The Hero of Waterloo at the corner of Windmill and Lower Forth Streets was constructed at the same time as the original public house on the subject 73 George Street. It features similar facade articulation and detailing as the original building of the subject site.

(Source: <http://www.sydneyarchitecture.com/ROC/ROC.htm>;
<http://www.heroofwaterloo.com.au/history.html>)

The Builders: Howie, Moffat & Co

The 1927 modifications for the Ambulance Station were made by the notable building contractor firm Howie, Moffat & Co led by Sir Archibald Howie at the time. The company was established by his father in the late 1800s. Sir Archibald joined his father's building business at the age of 16. On the death of his father in 1923 he became chairman of the company. In the 1920s he was a director of the Port Jackson & Manly Steam Ship Co. (chairman from 1931) and of the Manly Gas Co. Ltd (chairman of the North Shore Gas Co. Ltd from 1937, after the firms' merger) and a director of numerous companies connected with the building industry. In 1927 he was elected president of the Master Builders' Association of New South Wales.

An influential member of the consultative council of the United Australia Party, Howie was elected to the reconstituted Legislative Council at the end of 1933 and represented Macquarie Ward on the Sydney Municipal Council in 1934-41 and served as lord mayor in 1936 and 1937. Knighted in 1939, he was appointed chairman of the Advisory Panel for Defence Works that year and in 1939-42 served on the Senate of the University of Sydney.

The company Howie, Moffat & Co. Ltd won many prestigious and lucrative contracts. The Hotel Bondi designed by Architect E Lindsay Thompson was built by Howie, Moffat & Co.

in the 1920s. They were also the builders for the Sydney Water Head Office 1939 building designed by renowned architectural practice Budden & Mackey.⁵⁷ Some of the more significant buildings constructed by Howie, Moffat & Co. were of later design. These included the City Ford Head Office (formerly Hastings Deering Building) in Crown Street Sydney and University House at the Australian National University in Canberra. The new Hastings Deering Building pioneered a number of design and structural innovations in Sydney. The elevations were simple horizontal bands of wall and glazing, and the corners were rounded columns set back from the external walls. That made the building one of the purest expressions of the latest trends in European "International Style" architecture of the 1930's that could be seen in Sydney. The building was later taken over by City Ford.⁵⁸



Figure 4-4: Bondi Hotel was one of the 1920s projects constructed by Howie, Moffat & Co.



Figure 4-5: City Ford Sydney (formerly Hastings Deering Building) and the Sydney Water Head Office building on Bathurst Street were the 1939 construction projects of the Howie, Moffat & Co.



⁵⁷ <http://www.adb.online.anu.edu.au/biogs/A090384b.htm>

⁵⁸ City Ford website text and images: http://www.cityford.com.au/about_us/

Ambulance Stations

A desktop research was carried out to identify the purpose built ambulance stations dating from the Inter-War period and to compare the utility aspects of the 73 George Street as an Ambulance Station. Although the subject building was not purpose built ambulance station the modifications of the 1927 to suit ambulance station services are important part of its development history as well as being the longest occupation of the building to date. The building currently exhibits physical evidence of this phase. The common features of ambulance stations were: at least one large vehicular access on the ground floor, upper floor administrative offices and amenities, and training facilities for health services. The architectural elements are typical of various Inter-War styles in symmetrical or asymmetrical facades dominated by the large vehicular access openings. An architecturally interesting ambulance station within the research findings is the Newcastle District Ambulance Station, built 1922-1925. The Statement of Significance for the Station reads: *Located on an important corner site. A rare building type illustrating form, style and character of ambulance activities associated with the District of Newcastle. Work of a prominent local architect, F.G. &A.C. Castleden Architect, J. Jamie.*⁵⁹

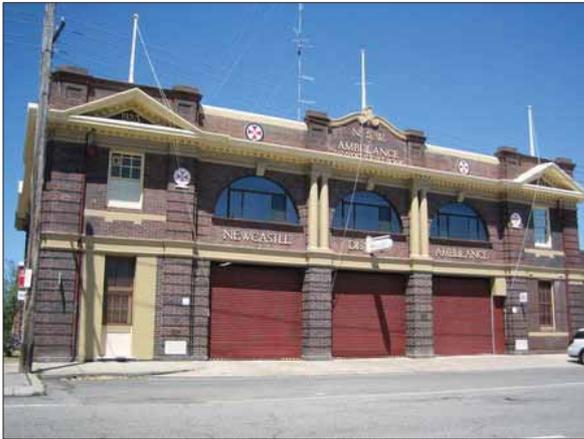


Figure 4-6: Newcastle District Ambulance Station c.1922-1925 (Source: NSW Heritage Branch)



Figure 4-7: Penrith Ambulance Station c.1936. A typical Inter-War building with an asymmetrical facade (Source: PICMAN SLNSW1936 no.: Home and Away – 13470)



Figure 4-8: Wollongong Ambulance Station in Church Street was constructed in 1935 and also has a symmetrical facade. Source: Wollongong City Council Illawarra Images – P06 P06772.

⁵⁹ NSW Heritage Branch http://www.heritage.nsw.gov.au/07_subnav_01_2.cfm?itemid=2170857



Figure 4-9: Belmont Ambulance Station, c.1930-39. Source: City of Lake Macquarie Historic Photos. Photo ref: 2039 - Buildings

Ambulance services in Sydney started with the formation of an amateur service led by a public demonstration of first-aid in 1887. By 1894 the Sydney No.1 City Ambulance Corps was operating with 42 members. The Ambulance Station at 73 George Street had important associations with the ambulance services in Sydney in terms of the health services and training activities for members and public.

In conclusion, the building at 73 George Street, The Rocks is a rare example of surviving 1840s buildings in The Rocks that was constructed as a public house and changed to a utility building. It illustrates typical architectural elements of an ambulance station building designed in the Inter-War Georgian Revival style with simple Art Nouveau detailing. Its builders, Howie, Moffat & Co were also involved in the construction of the Ryde Ambulance Station.

4.1.2 Assessment Criteria

The following assessment of heritage significance has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Criterion (a) – An item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area)

- The building at 73 George Street, The Rocks was originally constructed as a public house in 1842. It has historical significance as a greatly altered but identifiable example of the early development in the precinct and Sydney.
- The building provides evidence of the changing uses pattern and development history of The Rocks by its uses as: public house; Salvation Army, Naval and Military Home; the Ambulance Station; and the Ken Duncan Gallery.
- These consecutive adaptive reuses of the building illustrate the redevelopment of The Rocks, and Sydney since the Colonial period to the present day.
- The building allows the historical pattern of the early subdivision made in 1841 by Frederic W Unwin of The Rocks is to be clearly understood.

73 George Street meets the criterion on State Level.

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW’s cultural or natural history (or the cultural or natural history of the local area)

- The site has associations with significant 19th century historical figures including Surgeon William Balmain, Frederick Garling (senior), Frederick Garling (junior) and Frederick Unwin.

- The building was converted for ambulance services by the notable building contractor firm Howie, Moffat & Co, builders of a number of significant buildings including City Ford Head Office (formerly Hastings Deering Building) in Crown Street Sydney, Sydney Water Head Office (1939 building) in Bathurst Street.

73 George Street meets the criterion on Local Level.

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)

- The building demonstrates the characteristic elements of Georgian Revival style architecture with Art Nouveau detailing illustrating an important surviving adaptation of a Colonial Georgian style early hotel building into an Inter-War period utility building.
- The form, scale, detailing and material of the facade contributes greatly to the significant streetscape of George Street North. This is particularly relevant with the many nearby buildings in The Rocks of the same architectural style, ie circa 1920-30's which all contribute to give the area a strong and rich historical character.
- The fine surviving 1880's sandstone perimeter walls and remnant brick walls to the rear and side boundaries are also significant aspects of the sites aesthetic value.

73 George Street meets this criterion on Local Level.

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

- Recollections of the former staff of the Ambulance Station who visit the Gallery on regular basis are evidence of its importance to staff members of at least some of health services in Sydney. The former Ambulance Station at 73 George Street was used for training of new staff members and public throughout its occupation of the building.

73 George Street meets the criterion on Local Level.

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)

- The site provides evidence of all of its development and occupation history particularly on the Ambulance Station phase, which was the longest occupation period of the site.
- The sandstone basement walls and remaining two-storey brick perimeter walls with blocked fireplaces, chimney breasts and one modified chimney, timber board floors/ceiling linings, sandstone and brick boundary walls are physical evidence of the original development phase.
- All fabric associated with the 1927 facade including door and window openings, architectural detailing, pressed metal ceilings, timber picture rails, and openings to the rear elevation are physical evidence of operations associated with ambulance services.
- The site has low below ground archaeological potential due to the significant amount of contaminated soil removal caused by the then adjoining petrol station at 71 George Street.

73 George Street meets this criterion on Local Level.

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW’s cultural or natural history (or the cultural or natural history of the local area)

- Despite significant changes to its facade the building is a rare surviving example of early public house that remains recognisable in the urban context of The Rocks.

73 George Street meets this criterion on Local Level.

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW’s cultural or natural places or cultural or natural environments (or a class of the local area’s cultural or natural places; or cultural or natural environments)

- The building is representative example of the historical development that took place in The Rocks since the early 1800s via its ability to illustrate its early public house or hotel use with significant modifications to suit its successive adaptive reuses.
- It demonstrates the architectural characteristics of Georgian Revival type utility buildings with simple Art Nouveau detailing incorporating a Colonial Georgian hotel building.

73 George Street meets this criterion on Local Level.

4.1.3 Ability to Represent Historic Themes

The physical fabric of 73 George Street (former Ambulance Station) building has the ability to provide evidence of its original construction purpose and the subsequent utilitarian uses. The current layout with a stairwell and passageway to north and south sides is generally reversible and designed so that it does not reduce the item’s ability to demonstrate the State historical themes that are applicable to the site. These are:

Ability to Represent Historic Themes	
Historic Theme	Fabric
Commerce:	The original structural walls and overall Georgian architectural form
Land tenure:	The development of the site within Section 85 of the City of Sydney –from first landing through to the 1900s
Health:	Fabric associated with the Ambulance Station adaptive reuse of the building and the site as a whole
Creative endeavour:	Present use of the building as the Ken Duncan Gallery

4.2 Statement of Significance

73 George Street and site are of State heritage significance for their historical and scientific cultural values. The site and building are also of State heritage significance for their contribution to The Rocks area which is of State heritage significance in its own right.

Despite significant changes to its facade the building is a rare surviving example of early public house that remains recognisable in the urban context of The Rocks. The site was part of land subdivided by Frederic Unwin. The sandstone and brick perimeter walls to the rear yard are significant in dating from the middle 19th century and demonstrate the hotel's evolution. The site’s development illustrates the way an intensive urban use character evolved reflecting the growth of The Rocks Area generally.

The site has important associations at a local level extending back in history to the establishment of the first hospital in the colony in 1788 and also has significant associations with many 19th century historical figures including Surgeon William Balmain, Frederic Garling, Frederic Unwin. The building also has association with the notable building contractor firm Howie Moffat & Co. through its conversion to Ambulance Station.

The building and site has been associated with many uses throughout its long history, its original use as a public house/hotel being of predominate significance, and it illustrated the changing social fabric of the area which once had a concentration of public houses demonstrating the importance of the consumption of alcohol to the economy of the area.

The building demonstrates the characteristic elements of Georgian Revival style architecture with Art Nouveau details, illustrating an important adaptation of an early Colonial Georgian style hotel into an Inter-War utility building.

The form, scale, detailing and material of the facade contributes greatly to the significant streetscape of George Street North. This is particularly relevant in the context of many nearby buildings in The Rocks of similar architectural styles and periods, which together contribute to the area's strong and rich historical character.

The construction of the building demonstrates the form of 19th century building techniques and the improved standards pertaining to c.1840s hotels. The size and scale of the building continues to make an important contribution to the streetscape of George Street and sympathetic relationship to nearby similar buildings. The building fabric retains the potential to be returned to the original configuration and street appearance, in which case it would even stronger complement the highly significant 19th century townscape of George Street.

4.3 Curtilage

In establishing the heritage curtilage relevant factors should be taken into consideration including: historic land subdivision patterns; archaeological features; visual, physical, historical and functional links with important features in the area; setting, views and landmark qualities. 'Setting' is the area around a place, which may include visual catchment. In defining the heritage curtilage of a place a number of questions need to be addressed. These are as outlined in the *Heritage Curtilages* publication, prepared by the NSW Heritage Office, as follows:

- Has the significance of the original relationship of the heritage item to its site and locality been conserved?
- Has an adequate setting for the heritage item been provided, enabling its heritage significance to be maintained?
- Have adequate visual catchments or corridors been provided to the heritage item from major viewing points and from the item to outside elements with which it has important visual or functional relationship?
- Are buffer areas required to screen the heritage item from visually unsympathetic development or to provide protection from vibration, traffic noise, pollution or vandalism?

The State Heritage Register (SHR) listing identifies the current curtilage of the former Ambulance Station (now Ken Duncan Gallery) as part Lot 1 DP 790998. The heritage items map in The Rocks Heritage Management Plan, however, indicates only the building as heritage item and does not include the courtyard in the listing boundary. This may be due to the public use of the space. The Lot 1 and DP Number 790998 incorporates the two-storey building with basement and the rectangular courtyard. The allotment is bounded

by the boundary walls of the neighbouring properties to the north and south, and by George Street to the east and by Kendall Lane to the west.

The historic curtilage, relevant to the historic theme of *Land Tenure* and *Commerce*, is the same as above. This curtilage is shown in the 1880s survey plan by Percy Dove and 1901 Darling Harbour Resumptions Plan for sections 85, 87, 88 and part 86 of City of Sydney (Figure 2-12).

The current lot boundary is considered to be the minimum physical curtilage required for the conservation of the place's significant values. It is recommended that the minimum curtilage of the place should include the whole site (with the courtyard, as it was historically) in order to adequately preserve and maintain the place's heritage significance.

Although *Burra Charter* does not use the term "curtilage" Article 8 – Setting states that "Conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place" and continues as "New construction, demolition, intrusions or other changes which would adversely affect the setting or relationship are not appropriate".

The visual curtilage of the place defines views and vistas through which the significance of the place may be appreciated. The analysis of views and vistas in section 3.1.1 has identified a number of important views and vistas to and from 73 George Street. The curtilage of the site from a heritage perspective is best described as: the views along George Street in both north and south directions and the view to the west from Bethel steps (adjacent to Cadman's Cottage on the lower level at Circular Quay) as they are historic views to the subject site. The current streetscape preserves these views with some interruptions by the landscaping. At the rear of the property, on the Kendall Lane frontage, the closeknit rear lane historical development prevents any additional site boundaries apart from the physical boundary of the stone perimeter walls and the view, which is a modern view, over the top of the site from the Playfair Street buildings.

5. Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. The 73 George Street, The Rocks site has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual contribution of each element to the overall significance of the item. This system is a planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and the various elements. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. This particularly refers to rare or outstanding original fabric and spaces of particular historic and aesthetic value, and unaltered original elements and features.

Elements identified as being of Exceptional significance should be retained and conserved *in situ*. Any work, which affects the fabric or external appearance of these elements, should be confined to Preservation, Restoration and Reconstruction as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

Includes elements and features that make an important contribution to the recognition of the item's significance albeit the fabric may not be in good condition. This may include elements that have been altered, or elements created as part of a generally sympathetic alteration to the building. This category is likely to include much of the extant fabric from the early phases of construction and many reconstructed early or original elements wherever these make an important contribution to the significance of the item.

Elements identified as being of High significance should also generally be retained, restored and conserved *in situ* subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also includes elements and features which were originally of higher significance, but have been compromised by later, less significant modifications or elements that have deteriorated beyond repair and cannot be reconstructed in a technologically feasible manner.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable provided that it protects the overall cultural significance of the item. Such work should take place within defined work programs and should not be the product of general maintenance or sporadic alterations.

LITTLE SIGNIFICANCE

Includes fabric which detracts from the heritage value of the item. Also includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance.

Elements assessed as being of Little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

INTRUSIVE

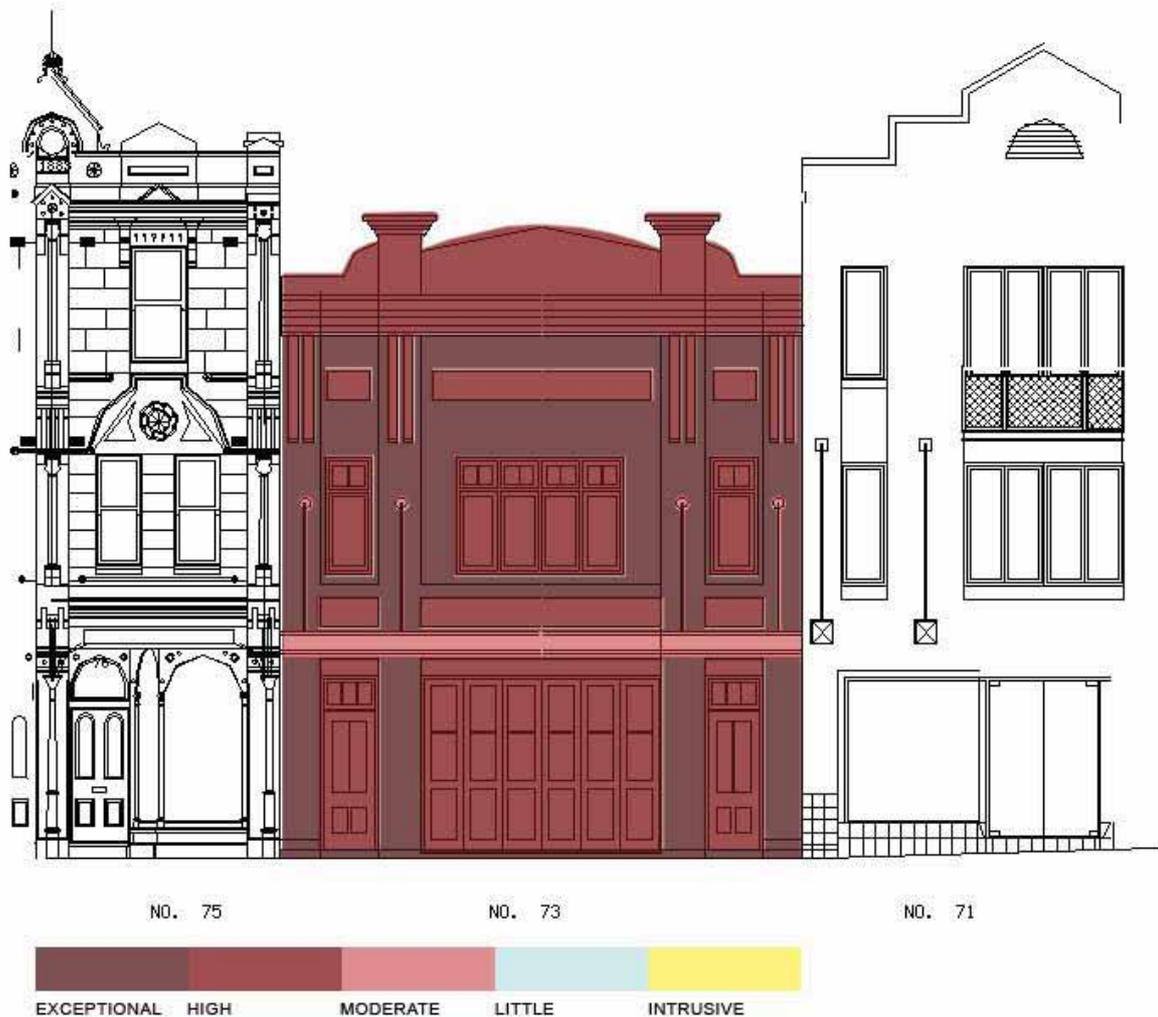
Includes fabric which adversely affects the significance of the complex or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place, despite their role as illustrators of the site's progressive development. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works should be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of the 73 George Street site and its elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance should generally be left intact or changed with the greatest care and respect.

5.1 Grading of Significant Elements and Spaces

5.1.1 East (George Street) Façade External Elements



George Street Elevation	
Element	Significance
<ul style="list-style-type: none"> – Overall form and scale and walls behind the front facade – Pavement light at the front of the threshold of the north stairwell door 	Exceptional
<ul style="list-style-type: none"> – 1927 facade detailing including arrangement of openings particularly at ground floor level (main vehicular access opening), curved parapet and Art Nouveau style mouldings, sign plates and cornice, timber framed casement windows, timber panelled doors and main timber folding doors to ground floor including transoms, threshold slope at the main entrance 	High
<ul style="list-style-type: none"> – Suspended Awning and its fixing – Colour Scheme 	Moderate
<ul style="list-style-type: none"> – Painted and box business signs, timber threshold to the main entrance 	Little
<ul style="list-style-type: none"> – N/A 	Intrusive

5.1.2 West (Kendall Lane) Façade External Elements



Kendall Lane Elevation	
Element	Significance
<ul style="list-style-type: none"> – Overall form and scale – Brick structural walls – Sandstone and brick boundary walls – Window opening to first floor at south end – Blocked window opening on ground floor at north end – Basement stone steps – Remaining chimney at northeast side 	Exceptional
<ul style="list-style-type: none"> – Overall gabled roof form and original structural timber elements – Parapet wall – First floor door opening only – First floor timber sash window frame – Timber beam above the former vehicular entry – Evidence of removed courtyard roofline – Copper rainwater heads and downpipes (material & form only) 	High

Kendall Lane Elevation	
Element	Significance
– Dwarf stone walls in the courtyard	Moderate
– Corrugated metal roofing (fabric) – Copper rainwater heads and downpipes (fabric only) – First floor door fabric and shutters – Light fitting – Infill, metal support and metal gate to vehicle opening	Little
– N/A	Intrusive

5.1.3 South & North Facade Elements

South and North Facade	
Element	Significance
– Both facades are enclosed by adjoining buildings: Original brick walls are Exceptional	Exceptional

5.1.4 Roof Elements



Roof	
Element	Significance
– Original brick walls are Exceptional	Exceptional
– Overall gabled roof form and original structural timber elements – Parapet wall – Copper rainwater heads and downpipes (material & form only)	High
– N/A	Moderate
– Corrugated metal roofing (fabric) – Copper rainwater heads and downpipes (fabric only)	Little
– N/A	Intrusive

5.1.5 Ground Floor Internal Elements & Courtyard



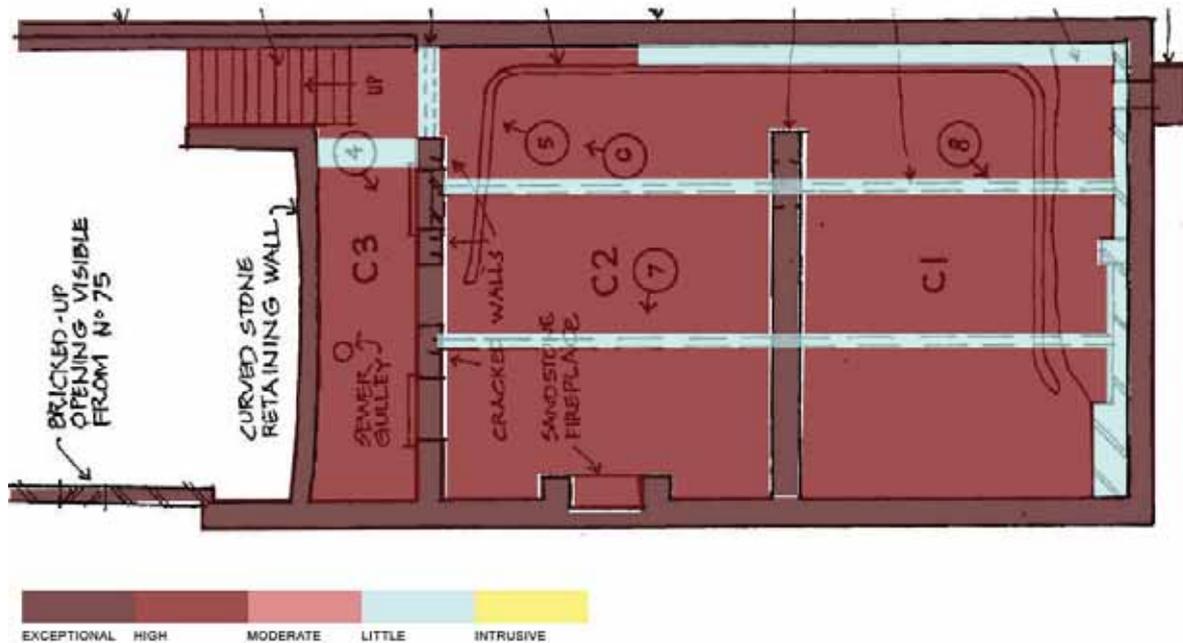
Ground Floor	
Element	Significance
<ul style="list-style-type: none"> Original 1842 brick walls to north and south boundary, blocked fireplaces and chimney breasts Sandstone and brick boundary walls to courtyard 	Exceptional
<ul style="list-style-type: none"> Overall internal layout and courtyard (form) Stone steps to basement Timber board ceiling lining and timber beams Evidence of blocked openings Front facade door openings and associated fabric Sloping threshold to former vehicle entry (form only) Stone remnant hearth (?) in the passageway behind the door Paint scrape in the passageway 	High
<ul style="list-style-type: none"> Relocated sandstone dwarf walls and steps to courtyard Concrete flooring 	Moderate
<ul style="list-style-type: none"> First floor stair insertion along northern side Public passageway and associated partitions, steel column All light, services and storeroom fittings Carpet flooring Fit-out associated with the gallery use 	Little
<ul style="list-style-type: none"> N/A 	Intrusive

5.1.6 First Floor Internal Elements



First Floor	
Element	Significance
<ul style="list-style-type: none"> Original 1842 brick walls to all elevations, blocked fireplaces and chimney breasts & hearths, window opening to bathroom 	Exceptional
<ul style="list-style-type: none"> Overall floor layout and spatial qualities of front room Timber floor structure and timberboard flooring Pressed metal ceiling throughout and egg & dart cornices Rear door opening (door fabric not included) Panelled timber door with colour glazed panes to bathroom Timber casement windows to front facade (including hardware) & timber sash window frame to bathroom 	High
<ul style="list-style-type: none"> Partition walls between the rooms and bathroom 	Moderate
<ul style="list-style-type: none"> First floor stair insertion along northern side and associated cornices, doors and steps All light, services, kitchen and bathroom fittings Timber skirting Carpet and plastic tile flooring All hardware to doors All blinds and fit-out associated with the gallery use 	Little
<ul style="list-style-type: none"> N/A 	Intrusive

5.1.7 Basement Floor Internal Elements



Basement Floor	
Element	Significance
– Original 1842 stone and brick walls to all boundaries, blocked fireplace and opening associated with pavement light	Exceptional
– Overall floor layout	High
– Remnant brick stock	Moderate
– Concrete ceiling and associated beams and piers – Brick walls to the front of George Street and north boundary retaining walls – Gates to basement – Pipes, cables and equipment/machinery associated with the services	Little
– N/A	Intrusive

5.2 Schedule of Significant Elements

Schedule of Significant Elements 73 George Street, The Rocks		
Element	Significance	Commentary
EXTERIOR		
East (George Street) Elevation		
Overall facade articulation of the elevation in vertical emphasis	High	1927 facade detailing
Rendered and contrast paint finish presentation of the elevation	Medium	Cement rendered
Brick cement rendered walls with remnants of original 1842 brick walls	High	1927 facade over parts of 1842 facade
High decorative parapet with curved pediment and moulded cornice	High	1927 detailing and fabric
Windows to first floor – timber casement with two-pane highlights	High	1927 detailing fabric
Window to first floor – Sills (timber)	High	1927 fabric with some repair
Doors to stairwell & passageway – timber 3-panelled low waisted doors with 6-pane upper glazed panel, 3-pane fanlights	High	1927 fabric
Door to main gallery showroom – 6-leaves timber folding 3 panelled doors with 2 glazed upper panels	High	1927 fabric
Awning – metal suspended with corrugated metal roofing	Moderate	Post-1992 fabric
Features – painted signage to parapet Box signage below awning	Little Little	Pos -1992 fabric
West (Kendall Lane) Elevation		
Overall gabled presentation of the elevation	High	Possible original form
Rendered brick walls with paint finish Paint finish	Exceptional Moderate	Original 1842 structural fabric
Window to First floor – timber sash 12-pane	High	Original 1842 opening - modified
Window to First floor – Sill (cement rendered)	High	Possibly original sill
Window to ground floor – blocked	Exceptional	1842 opening with painted stone sill
Door opening to first floor Door to first floor – timber glazed door with louvered timber shutters	High Little	1927 opening, access by timber ladder. Door is new fabric
Door opening to ground floor passageway	High	1927 vehicle access partially blocked

Schedule of Significant Elements 73 George Street, The Rocks		
Element	Significance	Commentary
Door opening to passageway – lintel (timber)	High	1927 fabric evidence of vehicle access
Door opening to passageway – steel support	Little	New fabric
Door opening to passageway – metal gate	Little	New fabric
Features – Light fitting	Little	New fabric
Roof		
Overall structure and Form – timber structure	High	1927 form and fabric with some replacement and repair
Roof cladding – corrugated metal with insulation	Little	New fabric
Box gutters, rainwater heads, down pipes – copper	High to Little	Material & form New fabric
Chimney – rendered brick with terracotta pots	Exceptional	Only surviving original chimney
Bargeboards to rear gable end	Little	New fabric
Roof access – menhole (cut pressed metal panel in bathroom)	Moderate	Fabric (High) Form (Moderate)
Courtyard		
Overall form and layout	High	Original layout except terraces
Boundary walls – Rock face Sandstone & painted brick Lead capping	Exceptional Little	Original boundary walls New fabric
Stone steps to basement	Exceptional	Original fabric
Courtyard dwarf stone walls with stone capping Metal fencing	Moderate Little	Recycled stone fabric New fabric
Courtyard brick paving	Little	New fabric
INTERIOR		
Ground Floor		
Spatial organisation generally	High	
Fenestration	Exceptional to Little	Exceptional elements include blocked original window opening to rear elevation. High elements include 1927 folding door, doors to passageway & stairs on east elevation, partially blocked rear vehicle access. Little elements include metal gate to passageway at rear
Structure	Exceptional to high	Exceptional elements include Brick masonry with sandstone foundation and timber board ceiling with timber beams. High elements include concrete slab feature (replaced),

Schedule of Significant Elements			
73 George Street, The Rocks			
Element	Significance	Commentary	
Walls – rendered painted brick	Exceptional to Little	Exceptional elements include Original walls to north and west with chimney breasts, and remnants of 1842 walls to front High elements include 1927 front walls over remnants of 1842 facade walls Little elements include 1991 concrete stairwell walls	
Walls – partition with glazed sections to south wall of shop	Little	New fabric	
Finishes	Little	Rendered painted walls & painted partitions	
SHOP			
1	Flooring – Feature	High	Concrete
	Flooring – Fabric – concrete – carpet	Little Little	replacement fabric New fabric
2	Main door	High	Original timber folding doors
3	Rear door – opening	High	Blocked 1927 vehicle access to rear
	Rear door – brick infill	Little	New fabric
4	Rear window – opening	Exceptional	Original 1842 opening
	Rear window – brick infill	Little	New fabric
5	Ceiling – lining	Exceptional	Original 1942 timber board lining with timber beams (some boards have been replaced)
	Ceiling – cornice	Little	New fabric
6	Internal fit-out / services / storage	Little	New fabric
PASSAGEWAY			
1	Flooring – Feature 	High	Remnant stone hearth behind front door
	Flooring – Fabric	Little	New tile flooring

Schedule of Significant Elements			
73 George Street, The Rocks			
Element		Significance	Commentary
2	Walls – rendered painted brick 	Exceptional to High	Exceptional elements include original south boundary wall with blocked fireplace & chimney breast High elements include paint scraping near chimney breast to rear
	Walls – partition with glazed sections & services cupboard	Little	New fabric
3	Ceiling – lining	Exceptional	Original 1942 timber board lining with timber beams (some boards have been replaced)
	Ceiling – cornice	Little	New fabric
4	Structure – beam	Exceptional	Original timber beam
	Structure – support	Little	New steel support to timber beam
STAIRS			
1	Walls – rendered painted brick	Exceptional	Original north boundary wall with remnant chimney breast
	Walls – rendered concrete	Little	New insertion fabric with metal painted handrail
2	Flooring – steps & landing	Little	New insertion concrete steps with tile finish
	Light fittings	Little	New fabric
First Floor			
	Spatial organisation generally	High	1927 layout with later stair insertion
	Fenestration	Exceptional to Little	Exceptional elements include window opening to bathroom High elements include windows to George Street elevation, 1927 rear door opening to courtyard, timber sash window frame to bathroom Little elements include new door to rear Room 1.02
	Structure	Exceptional	Exceptional elements include rendered brick masonry walls
ROOM 1.01			
1	Flooring – Structure	High	1927 timber joists and timber boards
	Flooring – Finishes	Little	New carpet & plastic tile flooring
	Flooring – Skirting	Little	New timber skirting
2	Walls – rendered painted brick	Exceptional	Original walls to north and south with chimney breasts, and remnants of 1842 walls to front
	Walls – rendered painted concrete	Little	New insertion fabric for stairwell

Schedule of Significant Elements			
73 George Street, The Rocks			
Element		Significance	Commentary
	Walls – painted partition walls	Moderate	Replacement fabric to west wall
	Walls – timber picture rails	High	1927 fabric
3	Ceiling – Lining	High	1927 Pressed metal ceiling
	Ceiling – Cornice	High to Little	High elements include egg & dart plaster cornices. Little elements include later cornices around stairwell
4	Internal fit-out / services / fittings	Little	New fabric including fittings associated with kitchen, electrical & mechanical services
ROOM 1.02			
1	Flooring – Structure	High	1927 timber joists and timber boards
	Flooring – Finishes	Little	New carpet flooring
	Flooring – Skirting	Little	New timber skirting
2	Walls – rendered painted brick	Exceptional	Exceptional elements include Original walls to north and west with chimney breast, and blocked fireplace
	Walls – painted partition walls	Moderate	Replacement fabric to east and south walls
3	Ceiling – Lining	High	1927 Pressed metal ceiling
	Ceiling – Cornice	High to Little	Could not be inspected due to shelves, however if egg & dart plaster cornices exist they are ranked as High elements Where new sections exist they are ranked Little
4	Internal fit-out / services / fittings	Little	New fabric
5	Door – to Bathroom	High	Relocated timber door with colour glazed upper panel
BATHROOM			
1	Flooring – Structure	High	1927 timber joists and timber boards
	Flooring – Finishes	Little	New tile flooring
	Flooring – Skirting	Little	New tile skirting
2	Walls – rendered painted brick	Exceptional	Exceptional elements include Original walls to south and west with chimney breast, and blocked fireplace
	Walls – painted partition walls	Moderate	Replacement fabric to east and north walls
3	Ceiling – Lining	High	1927 Pressed metal ceiling with manhole to roof access
	Ceiling – Cornice	High to Little	High elements include egg & dart plaster cornices. Little elements include new sections at southwest corner
4	Internal fit-out / services / fittings	Little	New fabric
5	Door – Fabric	High	Relocated timber door with colour glazed upper panel

Schedule of Significant Elements			
73 George Street, The Rocks			
Element		Significance	Commentary
6	Window – Opening	Exceptional	Original window opening
	Window – Fabric	High	1927 (or original) timbers sash frame with replacement bottom panel
Roof Space			
1	Structure – Rafters, under purlins & props, collar ties	High	1927 Timber rafters, under purlins & props, and collar ties with new additional supporting members strapped with new metal ties
	Structure – hanging beams & ceiling joists (Feature)	High	Essential structural detailing
	Structure – hanging beams & ceiling joists (Fabric)	Little	New timber hanging beams & I-shaped steel hanging beams
2	Roofing – battens & insulation	Little	New fabric
3	Walls – face brick gable ends	Exceptional	Part of original 1842 structure
4	Services	Little	New services/pipes associated with sprinkler and air-con systems
Basement			
1	Spatial organisation/ generally	Exceptional to High	Original 1842 layout (exceptional) with 1927 enclosure of original light well (high)
2	Walls – Sandstone	Exceptional	Original retaining walls to former cellar with blocked windows to light well between C.2 & C3
	Walls – Face brick	Little	New fabric
	Walls – Bricked-in fireplace	Exceptional	Original stone fireplace blocked by bricks in space C.2
3	Doors – Metal	Little	New fabric to spaces C.2 & C3
4	Window – opening to pavement light	Exceptional	Original opening
5	Floor – earth	Moderate	Exposed earth after contamination cleaning
6	Ceiling – reinforced concrete with steel beams & supporting piers	Little	New fabric
7	Services & associated well	Little	New fabric

5.3 Archaeological Significance

The archaeological potential is considered low. The significance of any remains of the first building on part of the site, the pre 1840s residence, would be high. However, the 1840s demolition and subsequent building phases on the site, not to mention the 1992 clearance of contaminated soil from the cellar, would have disturbed and destroyed the earlier remains. The site should be monitored by a qualified archaeologist during any ground disturbance in accordance with the NSW Heritage Act 1977 archaeological provisions.

6. Constraints and Opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the statement of significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*, and identifies all statutory and non-statutory listings that apply for the site and describes constraints and opportunities arising from these listings.

6.1 Issues Arising from Physical Condition of the Place

The building is generally in very good condition owing to its relatively recent adaptive reuse and restoration works. It is evident that the Foreshore Authority undertaking regular maintenance, repair and upgrade works for services and whenever a defect occurs, such as the February 2008 fire upgrade work evident in pedestrian walkway from George Street.

The main structural issues appear to be:

- The moving boundary brick wall to the south where it adjoins the rear wall of the building near the passageway door. This wall, partially built over a sandstone wall, suffers from rising damp. The rising damp issue is also visible on the other face of the wall from the courtyard of 75 George Street. A structural investigation to identify the cause of the move/large crack and the rising damp is required in short term. The investigation should include the whole associated southern boundary walls both within the building and courtyard.
- Timber window joinery (particularly at first floor) requires maintenance and repair. A general inspection and inclusion in the next ongoing maintenance works is recommended.
- A number of small hairline cracks are visible on the first floor walls particularly on southern wall to the upper sections and at the ceiling corners of the George Street facade. A small area of rusting at the northeast corner of the cornice was also observed.
- A number of small gaps exist between the timber board ceiling linings but they are not important in terms of structural integrity. However, the tenant should be consulted for any falling dust issues and, if necessary, the gaps should be filled-in with appropriate silicon type material from the top.
- Although the basement has undergone considerable removal of contaminated soil, some contamination material (such as bones) has been sighted during the inspection. The basement also appears to have been used for storage of recycled bricks and other office materials. It is not clear whether the stationary in the basement is used for inspection record purposes or otherwise. Close-up inspection could not be carried out due to uneven surface and dark space conditions. An inspection to clarify potential existence of contaminated soil is recommended within the next 12 months.

6.2 Sydney Harbour Foreshore Authority

The Rocks area is managed by the Sydney Harbour Foreshore Authority, constituted on 1 February 1999 under the Sydney Harbour Foreshore Act 1998. The Rocks area is not within the jurisdiction of the Council of the City of Sydney.

The primary functions of the Foreshore Authority, stated in its Act, are to:

- Protect and enhance the natural and cultural heritage of the foreshore area;
- Promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;

- Promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual Conservation Management Plans for heritage buildings within The Rocks.

6.2.1 Sydney Harbour Foreshore Authority's Vision and Charter

Vision

To demonstrate vision and leadership in creating quality environments that are enriching, diverse, accessible and sustainable by continually improving Sydney's significant waterfront precincts, balancing visitor, community and commercial expectations.

Charter

The Sydney Harbour Foreshore Authority's Charter committed the Authority to:

1. Add value by redevelopment of surplus government land through a highly skilled organisation that creates new city precincts on the harbour;
2. Capitalise on the economic and cultural worth of foreshore precincts, notably The Rocks, Circular Quay, Darling Harbour, as core attractions for both visitors and Sydneysiders;
3. Balance economic return, vibrancy and diversity of harbour foreshores, including the working waterfront;
4. Deliver excellence in its role as place manager for Sydney's premier harbour sites;
5. As custodian, ensure preservation and interpretation of natural and cultural heritage around the foreshores, promoting a sense of community ownership;
6. Facilitate the opening up of foreshore areas to the public, balancing protection with active use while improving and extending waterfront public domain.

The Authority proposes to continue to use the 73 George Street site for commercial such as art gallery, shop associated with tourism/education, office (first floor) uses or health related shops such as chemist in conjunction with body/beauty products etc. The passageway and the courtyard will remain as publicly accessible spaces.

6.2.2 Asset Owner's Requirements

The building including ground floor shop and first floor is currently tenanted as an art gallery by the Ken Duncan Gallery and ongoing use of the place as a shop together or separately with the first floor level is envisaged. The ongoing responsibility for the maintenance of the place will lie largely with the Harbour Foreshore Authority. However, there is an expectation for current and future tenants to reasonably assist in maintenance and conservation by keeping the place in good order, facilitating access for maintenance and conservation works and advising property managers of urgent maintenance requirements.

The Foreshore Authority is expected to regularly undertake inspections in order to ensure the building's fabric is appropriately preserved and maintained. Formal responsibilities for management for the place in accordance with legislation and policy (The Sydney Harbour Foreshore Authority Act, TAM Guidelines, NSW Heritage Act 1977) are outlined above and below (see section 6.3 Heritage Management Framework).

6.3 Heritage Management Framework

It is essential that the Foreshore Authority is consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act and the Heritage Act. The Authority has delegation to determine development applications valued under \$5 million. Projects valued above \$5 million are to be determined by the minister. Applications are to be made to the Sydney Harbour Foreshore Authority.

In some instance, for major projects applications may be required to be made to the Department of Planning. In all cases, liaison with the Sydney Harbour Foreshore Authority's Planning Assessment Team should occur to ensure correct statutory processes are followed.

6.3.1 New South Wales Heritage Act

Architectural Works

The 73 George Street site is listed in the NSW State Heritage Register, under SHR No. 01589 on 10 May 2002. This listing recognises the site as being of State significance and provides statutory protection under the NSW Heritage Act (1977).

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for a wide range of works to a SHR item. Unless an item constitutes a danger to its occupants or the public, demolition of a SHR item is *prohibited* under the Heritage Act. An element of a SHR item may only be demolished if it does not contribute to the significance of the item.

To gain approval for any of the above works, an application must be made to the Heritage Council (Section 60 application). The Foreshore Authority can determine Section 60 applications for minor works which do not materially affect the significance of the item under delegation. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the Heritage Council. Section 60 application forms are available from the Heritage Branch, NSW Department of Planning, or from the Foreshore Authority.

Archaeological Management

Under Section 57(1) of the Heritage Act Heritage Council approval is required to move, damage, or destroy a relic listed in the State Heritage Register, or to excavate or disturb land which is listed on the SHR and there is reasonable knowledge or likelihood of relics being disturbed. The Act defines a 'relic' as:

Any deposit, object or material evidence: (a) which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and (b) which is 50 or more years old.

A Section 60 application is required to disturb relics on an SHR listed site. The delegation to the Foreshore Authority to approve minor Section 60 applications extends to archaeological works.

Standard Exemptions for works to State Heritage Register listed items

Under Section 57(2) of the Heritage Act, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items. Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

- Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.
- Site specific exemptions: apply only to an individual State Heritage Register item.

If proposed works are covered by a standard exemption, an Exemption Notification Form (not a Section 60 application) must be completed, with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to Appendix A. Applicants should confirm with the Foreshore Authority whether proposed works fall within the Standard Exemptions, and what documentation will be required.

Site specific exemptions relate to the particular requirements of an individual State Heritage Register item, and can only be for works which have no potential to materially affect the significance of the item. Site specific exemptions are only applicable if the works to which they refer are identified as exempt development in a CMP endorsed by the Heritage Council, or in a Conservation Management Strategy endorsed under delegation by the Executive Director of the Tennant and Asset Management Services, Sydney Harbour Foreshore Authority. CMP endorsement by the Heritage Council is normally required only for particularly complex or exceptionally significant sites. Currently, there are no site specific exemptions for 73 George Street, The Rocks.

Minimum Standards of Maintenance and Repair

Section 118 of the Heritage Act provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards). For details of the minimum standards see Section 8.1.

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

6.3.2 NSW Government Total Asset Management Guidelines

The Total Asset Management (TAM) Manual prepared by NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values should be treated by an agency as part of its core business". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require "planning use of heritage assets to maximise their service delivery while protecting their cultural values".

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

6.4 Environmental Planning Instruments (EPIs)

There are three main EPIs under the Environmental Planning and Assessment Act 1979 that are applicable to The Rocks:

A. State Environmental Planning Policy (Major Projects) 2005

Under SEPP (Major Projects) 2005, Part 3A of the Environmental Planning and Assessment Act applies to development valued at over \$5 Million within the specified Sydney Harbour Foreshore sites (including The Rocks). Part 4 of the Act applies to development valued under \$5 million.

The Minister is the consent authority for development in Foreshore Authority sites under both Part 3A and Part 4 of the Act. The Foreshore Authority's Planning Assessment Team receives and processes development applications under Parts 3A and 4 of the Act.

The authority to determine applications under Part 4 of the Act (development under \$5 million) has been delegated from the Minister to the Foreshore Authority's Planning Assessment Manager. The Minister remains the consent authority for applications under Part 3A of the Act (development over \$5 million).

B. Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP, and as such any development must be considered in terms of the criteria set out in clauses 21 to 27 of the SREP. The SREP does not identify any heritage items within The Rocks, however it does identify the Sydney Harbour Bridge and the Circular Quay Ferry Wharves as heritage items and any development within their vicinity needs to be considered in terms of impacts on these items, including views to the items. Draft Amendment 1 to the SREP also identifies a 'Buffer Zone' for development in the vicinity of the Sydney Opera House, which covers a majority of The Rocks area, and any impacts on views to the Opera House are to be taken into consideration.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The DCP that exists under the SREP is also relevant to development in The Rocks. Its primary focus is on ecological and landscape character areas, and built form design guidelines for development very close to the water's edge. The only relevant landscape character area in The Rocks is Dawes Point.

C. Sydney Cove Redevelopment Authority (SCRA) Scheme

The Rocks is covered by the SCRA Scheme which has the status of an EPI under Schedule 6 of the Environmental Planning and Assessment Act 1979. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct.

6.5 Non-statutory listings and Community Groups

6.5.1 National Trust of Australia (NSW)

73 George Street has not been individually classified by the National Trust of Australia (NSW), however, the listing under the name of The Rocks Urban Conservation Area includes the whole precinct and the subject building.

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions, however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

6.6 Building Regulations

The Building Code of Australia (BCA) is concerned with establishing uniform building regulations across Australia. The BCA is implemented in NSW through the Local Government Act 1993.

The main provisions of the BCA concern structural requirements, fire resistance, access and egress (including provisions for people with disabilities), services and equipment and health and amenities. Generally, minimum standards are required to be reached in building works.

An assessment of compliance of the complex with the BCA has not been carried out for this report. It is appreciated however that any DA/CC application will need to comply, or be deemed to comply with the BCA.

In general, when considering the BCA in heritage buildings, proposals must ensure that significant fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured.

6.7 Application of The Burra Charter

The *Australia ICOMOS Burra Charter 1999*,⁶⁰ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national, state and regional significance are undertaken.

Because the 73 George Street site is of demonstrated cultural significance, procedures for managing changes and activities at the complex should be in accordance with the recognised conservation methodology of the *Burra Charter*.

Principles of the Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric and should not distort the evidence provided by the fabric.

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

⁶⁰ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance 1999.*

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place.

New work should be readily identifiable as such on close inspection.

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained and a place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7. Conservation Policies

Conservation can be regarded as the management of change. It seeks to safeguard that which is significant to an item within a process of change and development. It is essential to establish criteria, policies and recommendations of the conservation, and on-going use of the item to ensure best practice heritage management. Within this framework owners and managers of the item will be able to formulate suitable proposals, and planning authorities will be able to assess those proposals against the site specific criteria.

The conservation policies are intended to assist in the ongoing use, maintenance and conservation of the site. These policies are intended to manage change, rather than prohibit it. Each policy is supported by a series of guidelines which will ensure that future decisions are made in an informed manner, ensuring the significance of the place.

7.1 Current and Potential Future Use

Background

The building at 73 George Street, The Rocks was originally a public house/hotel and used as a public house until it was briefly occupied by the Salvation Army Naval & Military Home. It was later converted for use as an Ambulance Station with major changes to the structure and facade. The Ambulance services continued on this site for more than 60 years, until 1990. Following the cease of the ambulance services the building was restored and altered to suit the current use as an art gallery and to create a public accessway to the rear Kendall Lane.

Policy 1

Since the original use of the building as a public house and later long use of ambulance services ceased and are no longer applicable, maintain and ensure ongoing viable adaptive reuse of the place as a commercial space. Consider and encourage uses that will maintain public access to the building such as art gallery, shop associated with tourism/education, office (first floor) or health related shops (chemist etc) in line with its original and early uses. Future adaptive uses of the place should not interfere with its high significance and should not remove the current public accessway that links George Street with Kendall Lane. Future adaptive reuses should maintain public access to the courtyard.

Guidelines

- The adaptive re-use of all building components is acceptable, with compatible new uses selected that utilise, or permit a creative and responsible re-use of the fundamental original architectural, functional and spatial character.
- The Foreshore Authority shall ensure that any new uses selected for the existing building shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration.
- Adaptation of a building's interior should ensure that the original fabric or significant architectural and spatial features are retained and interpreted as far as possible.
- The detailed requirements of the new uses should not generate undue changes to the existing fabric that cannot be reversed in the long term, or which do not respect and work within the existing architectural framework.
- Subdivision of internal spaces, where appropriate, should be undertaken in a secondary manner, using such items as partitions that can eventually be removed and which do not impact on the existing finishes or details.
- External alterations or additions should be discouraged; however, if required to meet approved interpretation, re-use or cultural tourism requirements, these should be of a minor nature, and subservient to the primary architectural features and composition of the existing structure.

- The introduction of new services and associated fittings as part of approved re-use programs should be carried out with the minimum of disruption to the fabric and spaces.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.
- Future uses should be compatible with the nature and significance of the building components and should enable 73 George Street to remain a vital and important component of The Rocks precinct.

7.2 Asset Management

7.2.1 Sydney Harbour Foreshore Authority responsibilities

Background

73 George Street as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority. The Foreshore Authority has overall responsibility for the management of the place. Additional responsibilities derived from the NSW TAMS Guidelines are also recognised.

Policy 2

Sydney Harbour Foreshore Authority shall retain management of the 73 George Street site as a single entity within the overall context of The Rocks precinct.

Guidelines

- Sydney Harbour Foreshore Authority should implement a management structure that integrates development and conservation work with the overall management the 73 George Street site. The Foreshore Authority should make this Conservation Management Plan a publicly accessible document.
- The Foreshore Authority should ensure that this document and any subsequent recording and investigations are achieved in such a manner that provides an accurate record of the changes to the significant fabric of the 73 George Street site.
- The intention, aims and policies of this CMP shall be disseminated through, and implemented by, relevant key staff of the Foreshore Authority.
- The Foreshore Authority shall adequately assess the impact of proposed modifications to significant fabric, prior to the granting of owner's consent.
- All recording, when required, should be undertaken and archived in accordance with the recording guidelines prepared by the NSW Heritage Office.
- A program of regular monitoring should be established, covering both the physical changes within the 73 George Street site and visitor experience issues, and be incorporated, where relevant, into management decisions.
- The Foreshore Authority should investigate mechanisms which give it better control of the design, documentation and implementation of work to heritage buildings. One option, which should be investigated, is that all such activities be undertaken directly by the Foreshore Authority and paid for by the tenant.

7.2.2 Total Asset Management Plans and CMPs

Background

This CMP will be one of documents used by the asset owners, managers and tenants for management and maintenance of the the 73 George Street site and needs to be fully compatible with other relevant documents addressing the same property, including any current Maintenance Plans and Total Asset Management (TAM) Plans. All the relevant asset management documents were included in the preparation of this CMP.

Policy 3

This Conservation Management Plan should be used to provide feedback to all future Management Plans for the same property.

Guidelines

- The Authority should include findings of this CMP into the Foreshore Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for the 73 George Street site.

7.2.3 Adoption, Endorsement and Review of the CMP⁶¹

Background

The Conservation Management Plan (CMP) for the 73 George Street site proposes a framework for the management of heritage issues in relation to upgrading and adaptive re-use projects and, into the long term, to ensure that the identified significance of the complex is retained and maintained.

Circumstances will change over the years as various recommendations are implemented and new use requirements emerge. Conservation Policies need to progressively respond to changing situations if they are to remain relevant.

Policy 4

This Conservation Management Plan should be adopted as one of the bases for the future management of the site. Conservation Policies should be reviewed every five to ten years.

Guidelines

- Reviews of the CMP should be based on *The Burra Charter* and other guidelines by the Heritage Branch, NSW Department of Planning.
- Reviews should also take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews should be undertaken by experienced conservation practitioners in conjunction with relevant ownership and management representatives.
- Irrespective of the requirement to review the document every 5 years, the CMP should remain as a valid basis for on-going heritage management until such reviews are completed.

7.2.4 Approvals' Process and Landowners Consent

Background

To prevent gradual loss of cultural significance through gradual change, a mechanism needs to be established for controlling any modifications by tenants to the significant fabric.

Forms for development applications, Section 60 applications and Standard Exemption applications are available from the Foreshore Authority.

Policy 5

Prior to the lodgement of applications and the commencement of works the proponent should liaise with the Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.

⁶¹ Adoption (the Foreshore Authority), Endorsement (NSW Heritage Council) and Review (the Foreshore Authority)

Guidelines

- As the Foreshore Authority is the owner of land and buildings in The Rocks, the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowners consent to lodge an application does not present the approval to actually undertake the works.
- Prior to granting owner's consent to a proposal, the Foreshore Authority should, in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal.
- Where necessary, a Heritage Impact Assessment and adequate documentation of the proposed works should be required to assist in the assessment of owner's consent applications.
- Once this Conservation Management Plan has been endorsed by the NSW Heritage Council, all works and activities specifically identified in Chapter 8 of this CMP – Implementation, as exempt from seeking further approval will be exempted from further reference to the NSW Heritage Council.

7.2.5 Tenancy

Background

To prevent the gradual loss of cultural significance through incremental change, a mechanism for controlling any modifications undertaken by tenants to the significant fabric needs to be established.

Policy 6

All tenants of the building should be made aware of the cultural significance of the item. Tenancies should only be selected and approved by the Foreshore Authority on the basis that the proposed or future uses are compatible with the significance of the item and the sensitive fabric and spaces, and that the required changes to the item can be installed and removed without impact.

Guidelines

- Tenants shall adopt the guidelines of this CMP in their planning and design. A full compliance with the requirements of this CMP is required for the Foreshore Authority consent to the proposed development. This includes completion of the Schedules of Works as per the Chapter 8 –*Implementation* of this CMP.
- Tenants should be aware of Sydney Harbour Foreshore Authority policies.
- The impact of proposed modifications to significant fabric should be adequately assessed, prior to the granting of land owner's consent.

7.3 Management of Significance

7.3.1 Retention of Significance

Background

73 George Street and site are of State heritage significance for their historical and scientific cultural values. The building has rare surviving features of an early public house that remains recognisable in the urban context of The Rocks. The sandstone and brick perimeter walls to the rear yard are significant in dating from the middle 19th century and demonstrate the hotel's yard evolution. The building demonstrates the characteristic elements of Georgian Revival style architecture with Art Nouveau detailing illustrating an important surviving adaptation of a Colonial Georgian style early hotel building into an Inter-War period utility building, the Ambulance Station.

Policy 7

The statement of significance should be adopted as the basis for heritage management. All decisions should consider and seek to retain the values identified in the Statement of Significance.

Guidelines

- The significant aspects of the architectural character of 73 George Street should be retained and conserved. Conservation should be undertaken in the context of the ongoing use of the building components as commercial space and should maintain ongoing public access to both the building as a whole and the link between George Street and Kendall Lane.
- The conservation, adaptation and maintenance of the 73 George Street site should be approached with the general principle of changing “as much as necessary but as little as possible”.
- Internal alterations and renovations are acceptable within the context of compatible use, however they should not impact on the significance of the internal original fabric and spatial qualities of the building, or the external façades.
- Spatial arrangements characterised by large open spaces should not be adversely impacted.
- Structural alteration to the building components, which impact on the integrity or significance of the 73 George Street site should not occur.
- The configuration of façades should generally be preserved and not be adversely impacted upon.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façades.
- Evidence of the progressive evolution of the 73 George Street site, as detailed in the Statement of Significance, should be respected and retained.

7.3.2 Appropriate Conservation Skills and Experience

Background

The Burra Charter encourages the use of skilled and appropriate professional direction and supervision from a range of disciplines for conservation activities.

The skills and experience required and creative approaches taken in the context of a conservation project are quite different to those applied to the design and construction of new buildings.

Policy 8

Appropriate conservation skills and experience should be employed for documentation and supervision within project teams to deal with any programs of conservation and upgrading of the building components of 73 George Street and its site as a whole.

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the building could include, as appropriate, researchers, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners.
- Building contractors, project managers and trades personnel who are experienced with working on historic buildings should be selected to work on the project.

7.3.3 Conservation of Significant Fabric

Background

One of the key objectives of contemporary conservation practice is that as much of the significant original fabric of the building or place should be retained and conserved in order to preserve the essential integrity of the heritage resource for future generations. While any conservation activity will affect the building in some way, the aim, consistent with responsible re-use or management aims, should be to minimise the work necessary. In this way the authenticity of the item will be retained as far as possible within a process of evolutionary changes and good maintenance practice.

Article 3 of *The Burra Charter* indicates that conservation is based on a respect for the existing fabric of a place and should therefore involve the least possible physical intervention in order not to distort the evidence provided by the fabric. The existing building fabric of 73 George Street both internally and externally, is generally in very good condition and retains physical evidence of its original public house and later (esp. ambulance station) phases.

Policy 9

Extant building fabric, both internally and externally, should be retained and conserved in accordance with the levels of significance identified in Section 5.0 Grading of Significance of this CMP and in accordance with particular actions specified in the Section 8.2 –Schedule of Conservation Works of this CMP.

Guidelines

- External and internal fabric, which has been identified as of Exceptional or High significance should be retained and conserved. This includes particularly the front facade detailing and fenestration, original structural walls, timber floorboards, pressed metal ceiling and egg & dart cornices, vehicle openings associated with ambulance station use, sandstone walls to basement, face brick walls to gable ends within the roof space, stone & brick boundary walls to the courtyard, stone steps to basement.
- No conservation or maintenance work should alter or negatively impact on the elements of the external façades or internal fabric/space that have been identified as elements of Exceptional or High level of significance. These are largely contained in the structural walls, external perimeter walls, front and rear facades, floor structures, and parts of the roof. The sandstone & brick perimeter walls within the courtyard are also part of intact fabric from the early phase of the site.
- Where repairs or alterations are required, new material should closely match original or adjacent materials. However, evidence of change should be identifiable on close inspection.
- All structural elements should be retained as existing, with appropriate maintenance. No structural members should be removed, other than to re-instate significant architectural elements. All original/early doors, windows, floors, and roof elements should be retained, with appropriate maintenance.
- Aged building fabric, which is not likely to be causing on-going deterioration should not be repaired for visual reasons if by doing so the patina of age and ability to successfully interpret various stages of use is degraded.
- Where it is clear that original or significant fabric has been removed or blocked it is considered appropriate to adaptively reconstruct based on documentary evidence.
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.2 –Schedule of Conservation Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
- Should any fabric of exceptional or high significance potentially be found to be hazardous, it should be replaced with a suitable modern material.

- Redundant but significant equipment, fittings and fixtures are to be retained on site preferably in their existing location or in the basement in appropriate storage requirements e.g. labelled with instructions for potential future reuse.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- Ensure significant ceiling elements including timber board lining, timber beams and pressed metal ceilings remain visible.
- Ensure evidence of early and original openings remain legible.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The NSW Heritage Office 'Maintenance Series' provides general advice as to the cause, treatment and remediation of various traditional building materials. These publications can be sourced from the NSW Heritage Office.

7.3.4 Conservation of Significant Spaces

Background

The significance of various building components of the 73 George Street site is characterised by the overall spatial organisation of each floor as one space.

Policy 10

The spatial qualities and evidence of earlier or original openings and elements as well as ongoing public accessibility of the 73 George Street site contribute to its significance and interpretation and therefore should be conserved, as part of the on-going use, on-going management and any future development strategy.

Guidelines

- The existing floor layout of the ground floor should be retained and should not be further divided.
- The existing floor layout of the first floor level should be retained and should not be further divided.
- Maintain ongoing public access to the building and site as a whole.

7.3.5 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy 11

Surviving segments of the historic built fabric and other site elements shall generally be retained and conserved in accordance with the levels of significance identified in Section 5.1 of this CMP –Grading of Significant Elements and Spaces, and managed in accordance with Element Specific Conservation Policies presented in the Table in Section 7.3.5 of this CMP.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of 73 George Street and site. The conservation actions should not attempt to recreate a particular situation from the history, but acknowledge past and recent changes and modifications as evidence of technological advancements and evolution of the use of the place.

Element Specific Conservation Policies		
73 George Street, The Rocks		
Element	Significance	Policy
EXTERIOR		
East (George Street) Elevation		
Overall facade articulation of the elevation in vertical emphasis	High	Retain overall facade articulation and detailing
Rendered and contrast paint finish presentation of the elevation	Medium	Maintain existing contrast colour scheme. Any future colour schemes should apply contrast colours compatible with the style and emphasise the architectural detailing
Brick cement rendered walls with remnants of original 1842 brick walls	High	Retain and maintain existing walls
High decorative parapet with curved pediment and moulded cornice	High	Retain and maintain existing parapet as a high architectural feature
Windows to first floor – timber casement with two-pane highlights	High	Retain existing windows as a high facade articulation element
Window to first floor – Sills (timber)	High	Retain and repair as required with matching material and finishes
Doors to stairwell & passageway – timber 3-panelled low waisted doors with 6-pane upper glazed panel, 3-pane fanlights	High	Retain and preserve as a high facade articulation element. Any future repair should match existing material and finishes
Door to main gallery showroom – 6-leaves timber folding 3 panelled doors with 2 glazed upper panels	High	Retain and preserve as a high facade articulation element. Any future repair should match existing material and finishes
Awning – metal suspended with corrugated metal roofing	Moderate	Maintain or should opportunity arise replace with post supported awning matching the original (or in simpler detailing) as seen in the historical image Figure 2.13
Features – painted signage to parapet Box signage below awning	Little Little	Retain or replace as required in accordance with The Rocks Signage Policy
West (Kendall Lane) Elevation		
Overall gabled presentation of the elevation	High	Maintain and preserve in existing form. Change to the single gabled form is acceptable only for the purpose of the reinstatement of the original two gabled roof form and where the building returned to three-storey
Rendered brick walls with paint finish Paint finish	Exceptional Moderate	Retain and maintain. Repair and change of colour scheme is acceptable in compatible palette of materials and finishes.
Window to First floor – timber sash 12-pane	High	Retain and maintain. Repair and repaint matching existing as required.
Window to First floor – Sill (cement rendered)	High	Retain and maintain. Repair and repaint matching existing as required.

Element Specific Conservation Policies 73 George Street, The Rocks		
Element	Significance	Policy
Window to ground floor – blocked	Exceptional	Retain and maintain as legible evidence. Reinstate when opportunity arise matching the detailing of first floor 12-pane timber sash bathroom window
Door opening to first floor Door to first floor – timber glazed door with louvered timber shutters	High Little	Retain and maintain as evidence. Replacement of glazed door is acceptable with glazed double or single door similar to the original colour glazed door.
Door opening to ground floor passageway	High	Retain and maintain as legible evidence.
Door opening to passageway – lintel (timber)	High	Retain and maintain as evidence. Do not enclose or obscure.
Door opening to passageway – steel support	Little	Retain or replace as required. Ensure the structural integrity of the building is maintained.
Door opening to passageway – metal gate	Little	Retain or replace as required.
Features – Light fitting	Little	Retain or replace as required.
Roof		
Overall structure and Form – timber structure	High	Retain and maintain as a feature. Replacement is only acceptable where the structural elements are no longer adequate or true, or where the original roof is reinstated (in this case most of the timber roof elements should be reused)
Roof cladding – corrugated metal with insulation	Little	Retain or replace as required.
Box gutters, rainwater heads, down pipes – copper	High Little	Retain or replace as required with matching materials and form
Chimney – rendered brick with terracotta pots	Exceptional	Retain and preserve as a high feature.
Bargeboards to rear gable end	Little	Retain or replace as required matching existing materials and form.
Roof access – menhole (cut pressed metal panel in bathroom)	Moderate	Retain and maintain.
Courtyard		
Overall form and layout	High	Retain and maintain as an open space for public use
Boundary walls – Rock face Sandstone & painted brick	Exceptional	Preserve and maintain. Repair as necessary and ensure structural issues and rising damp are rectified. Do not paint sandstone walls or previously unpainted surfaces.
Lead capping	Little	Maintain or Replace as necessary with same material
Stone steps to basement	Exceptional	Retain and maintain as a high feature

Element Specific Conservation Policies			
73 George Street, The Rocks			
Element		Significance	Policy
Courtyard dwarf stone walls with stone capping		Moderate	Retain and maintain
Metal fencing		Little	Retain and maintain or replace with similar
Courtyard brick paving		Little	Retain or replace as required.
INTERIOR			
Ground Floor			
Spatial organisation generally		High	Retain existing general character of open plan. No further divisions should be made
Fenestration		Exceptional to Little	Retain evidence of blocked original window opening to rear elevation. Retain and preserve folding door, doors to passageway & doors to stairs on east elevation.
Structure		Exceptional to high	Retain and preserve Brick masonry walls with sandstone foundation and timberboard ceiling with timber beams. Maintain concrete slab as feature, repair or replace as necessary
Walls – rendered painted brick		Exceptional to Little	Retain and maintain Original walls to north and west. Ensure evidence of blocked fireplaces and chimney breasts, and remnants of 1842 walls to front retained and remain legible. Retain or remove later concrete walls to stairwell. Ensure no original fabric within the associated spaces is damaged.
Walls – partition with glazed sections to south wall of shop		Little	Retain or replace as required
Finishes		Little	Maintain paint finishes with compatible materials and colour schemes
SHOP			
1	Flooring – Feature	High	Retain and maintain
	Flooring – Fabric – concrete Carpet	Little Little	Maintain or replace as necessary Retain or replace as required
2	Main door	High	Retain and preserve in the existing folding door form
3	Rear door – opening	High	Retain and preserve as a high element. Ensure it remains legible evidence
	Rear door – brick infill	Little	Retain and maintain. Should opportunity arise reinstatement of rear opening is encouraged as a rear access to the shop in conjunction with the passageway or as a whole.
4	Rear window – opening	Exceptional	Retain and preserve as legible physical evidence. Reinstatement of window with 12-pane timber sash window matching the first floor bathroom window is encouraged (if suits the future uses).
	Rear window – brick infil	Little	See above.

Element Specific Conservation Policies			
73 George Street, The Rocks			
Element		Significance	Policy
5	Ceiling – lining	Exceptional	Retain and maintain. Do not enclose or obscure with new ceilings
	Ceiling – cornice	Little	Retain or replace as required matching the existing
6	Internal fit-out / services / storage	Little	Retain or replace as required
PASSAGEWAY			
1	Flooring – Feature	High	Retain the remnant stone hearth as legible evidence
	Flooring – Fabric	Little	Retain or replace as required
2	Walls – rendered painted brick	Exceptional to High	Retain and maintain. Ensure blocked fireplace & chimney breast remain legible evidence. Do not remove paint scraping. Preserve as a high feature for future reference
	Walls – partition with glazed sections & services cupboard	Little	Retain or replace as required
3	Ceiling – lining	Exceptional	Retain and maintain. Do not enclose or obscure with new ceilings
	Ceiling – cornice	Little	Retain or replace as required matching the existing
4	Structure – beam	Exceptional	Retain and maintain. Do not enclose or obscure with new ceilings
	Structure – support	Little	Retain or replace as required. Ensure structural integrity of the building is maintained
STAIRS			
1	Walls – rendered painted brick	Exceptional	Retain and maintain. Ensure blocked fireplace & chimney breast remain legible evidence.
	Walls – rendered concrete	Little	Retain or replace as required with compatible material and form
2	Flooring – steps & landing	Little	Retain or replace as required
	Light fittings	Little	Retain or replace as required with compatible fittings
First Floor			
	Spatial organisation generally	High	Retain existing general character of open plan with front and rear rooms. No further divisions should be made

Element Specific Conservation Policies			
73 George Street, The Rocks			
Element		Significance	Policy
Fenestration		Exceptional to Little	Retain and maintain existing window opening and frame to bathroom. Repair and repaint as required. Retain windows to George Street elevation, rear door opening to courtyard. Repair and repaint as required matching existing materials and finishes. Use compatible hardware to all joinery. Retain or replace new door to rear Room 1.02 if required. New door should be glazed similar to original colour glazed door and/or existing French door style
Structure		Exceptional	Retain and preserve rendered brick masonry walls
ROOM 1.01			
1	Flooring – Structure	High	Retain and maintain timber joists and timber boards. Replace is necessary where damage or unsafe
	Flooring – Finishes	Little	Retain or replace as required
	Flooring – Skirting	Little	Retain or replace as required with similar simple form
2	Walls – rendered painted brick	Exceptional	Retain and preserve original walls to north and south and remnants of 1842 walls to front. Ensure enclosed fireplaces and chimney breast remain legible
	Walls – rendered painted concrete	Little	Retain or replace as required
	Walls – painted partition walls	Moderate	Retain or replace as required
	Walls – timber picture rails	High	Retain and maintain. Repair and repaint as required matching existing material and finishes
3	Ceiling – Lining	High	Retain and preserve pressed metal ceiling. Repair and repaint as required matching existing material and finishes
	Ceiling – Cornice	High to Little	Retain and preserve egg & dart cornices as a feature. Retain later cornices and repair as required matching existing
4	Internal fit-out / services / fittings	Little	Retain or replace as required
ROOM 1.02			
1	Flooring – Structure	High	Retain and maintain timber joists and timber boards. Replace is necessary where damage or unsafe
	Flooring – Finishes	Little	Retain or replace as required
	Flooring – Skirting	Little	Retain or replace as required with similar simple form

Element Specific Conservation Policies			
73 George Street, The Rocks			
Element		Significance	Policy
2	Walls – rendered painted brick	Exceptional	Retain and preserve original walls to north and south and remnants of 1842 walls to front. Ensure enclosed fireplaces and chimney breast remain legible
	Walls – painted partition walls	Moderate	Retain or replace as required
3	Ceiling – Lining	High	Retain and preserve pressed metal ceiling. Repair and repaint as required matching existing material and finishes
	Ceiling – Cornice	High to Little	Retain and preserve egg & dart cornices as a feature. Retain later cornices and repair as required matching existing
4	Internal fit-out / services / fittings	Little	Retain or replace as required
5	Door – to Bathroom	High	Retain and preserve. Repair and repaint as necessary
BATHROOM			
1	Flooring – Structure	High	Retain and maintain
	Flooring – Finishes	Little	Retain or replace as required
	Flooring – Skirting	Little	Retain or replace as required
2	Walls – rendered painted brick	Exceptional	Retain and preserve original walls to west and south. Ensure enclosed fireplace and chimney breast remain legible
	Walls – painted partition walls	Moderate	Retain or replace as required
3	Ceiling – Lining	High	Retain and preserve pressed metal ceiling with manhole to roof access. Repair and repaint as required
	Ceiling – Cornice	High to Little	Retain and preserve egg & dart cornices as a feature. Retain later cornices and repair as required matching existing
4	Internal fit-out / services / fittings	Little	Retain or replace as required
5	Door – Fabric	High	Retain and preserve. Repair and repaint as necessary
6	Window – Opening	Exceptional	Retain and preserve
	Window – Fabric	High	Retain and preserve. Repair and repaint as required
Roof Space			
1	Structure – Rafters, under purlins & props, collar ties	High	Retain and maintain all original timber elements. Repair and replace if structurally unsound with matching
	Structure – hanging beams & ceiling joists (Feature)	High	Retain and maintain structural detailing
	Structure – hanging beams & ceiling joists (Fabric)	Little	Retain or replace as necessary. Ensure structural integrity is protected
2	Roofing – battens & insulation	Little	Retain or replace as required

Element Specific Conservation Policies 73 George Street, The Rocks			
Element		Significance	Policy
3	Walls – face brick gable ends	Exceptional	Retain and preserve as a feature. Do not paint
4	Services	Little	Retain or replace as required
Basement			
1	Spatial organisation/ generally	Exceptional to High	Retain and preserve existing layout. Do not make further divisions
2	Walls – Sandstone	Exceptional	Retain and preserve all extant sandstone walls
	Walls – Face brick	Little	Retain or replace as required
	Walls – Bricked-in fireplace	Exceptional	Retain and preserve as a high feature
3	Doors – Metal	Little	Retain or replace as required
4	Window – opening to pavement light	Exceptional	Retain and preserve as a high feature
5	Floor – earth	Moderate	Maintain in safe conditions
6	Ceiling – reinforced concrete with steel beams & supporting piers	Little	Retain or replace as necessary. Ensure structural integrity of the building is maintained
7	Services & associated well	Little	Retain or replace as required

7.3.6 Archaeological Monitoring

Background

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* (AR035, 1979-1998) and in the Foreshore Authority's S.170 Heritage Register (B033). The archaeological potential of the site is low for deeper deposits based on the historical evidence. The above ground archaeological potential of the site is confined to the northern and southern boundary walls and the ceilings in the main rooms. A monitoring brief for any ground disturbance of the site is recommended. This should be undertaken by a qualified archaeologist in accordance with the NSW Heritage Act 1977 archaeological provisions. The Heritage Act 1977 states that any excavation, where relics may be disturbed, requires an excavation permit.

Policy 12

Where the site is identified as having archaeological potential all excavation should be carried out under supervision by a qualified archaeologist. Appropriate permits should be sought from the NSW Heritage Council prior to the commencement of works.

Guidelines

- Based on the significance of the site, *The Rocks and Millers Point Archaeological Management Plan (1991)*, and *The Rocks Archaeological Report 2000*, it is the recommendation of the CMP that any ground disturbance on the property in the future be subject to further archaeological monitoring brief.

7.3.7 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, maintenance, weather, vegetation incursion and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule should be implemented, which provides for regular inspection and for remedial action to be taken where necessary.

Policy 13

The significant fabric of the 73 George Street site should be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3 –On-going Maintenance.

As a necessary minimum, the ongoing maintenance should include works that will ensure that each element retains its current level of significance and not allow the loss of significance due to the deterioration of fabric.

Guidelines

- The building fabric and services should be subject to continuing care and maintenance by the Foreshore Authority.
- In addition to regular maintenance activities, prompt preventative action and repair should be taken as necessary.
- Prevention of continuing deterioration should take priority over widespread repair or reconstruction.
- Inspection and maintenance works should only be conducted by those with professional knowledge and demonstrated experience with buildings and materials of this nature.
- No maintenance work or repairs should negatively impact on significant fabric.
- While the Foreshore Authority is liable for the execution of works identified in the *Section 8.3 –Schedule of On-going Maintenance Works* of this CMP, the Foreshore Authority may, as part of the tenancy contracts, require tenants to execute the required works and provide auditable trace of the completion of required works.
- New internal floor coverings are permissible, but should have minimal impact on the floor structure. The original floor structures are to be retained.

7.3.8 Retention of Fixtures and Fittings

Background

Timber folding doors and associated concrete ramp/slope to threshold, rear vehicle access opening with timber lintel, gabled roof form, pavement light, rear first floor door opening, basement floor layout, doors to passageway and stairwell, and chimney on northeast are relics of the site's historic use that contribute to the special character of the building components and the 73 George Street site as a whole.

Policy 14

Features and fixtures associated with the site's historic use as public house and Ambulance Station should be retained and preserved.

Guidelines

- The retention and conservation of these features and fixtures should be considered as part of the design work for future adaptive re-use programs.

7.3.9 Interpretation

Background

Interpretation of historic places essentially reveals long-term connections and cohesions which underpin our cultural identity. To "interpret" a historic place, in its geographic and physical setting, is to bring its history to life to increase the public's understanding, and, through this extended understanding, to give them an enhanced perception of the significance of the place. Due to its history, significance and setting in The Rocks area, the 73 George Street site is capable of being interpreted for promotional and educational purposes.

Presently there is no plaque or interpretation panel for the site history. However, the building was purpose built as a pub in the 1840s and continued as a pub for about 60 years. After alterations, its later phase also for more than 60 years (1927 to c.1991) was as the Ambulance Service Central District Station. The people of The Rocks would have petitioned and subscribed to have an ambulance service in the area and the site was apparently moved from Phillip Street to this location. It was adjacent to the morgue (Coroner's Court, across George Street from the site). It is noted that retired ambulance drivers still come in to the Ken Duncan Gallery to reminisce over the site.

Policy 15

The heritage significance of the 73 George Street site should be interpreted on site by appropriate methods.

Guidelines

- One of the primary components of the conservation management of 73 George Street should be to make the values of its cultural significance physically, intellectually and/or emotively accessible to the public.
- The ongoing management of 73 George Street should include the development and implementation of an interpretation strategy, which reveals the cultural significance of the place.
- In making significance accessible, the Foreshore Authority should take into account of the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
- Interpretation programs should provide equitable physical, spiritual and intellectual access to the cultural significance of 73 George Street.
- Interpretation at the 73 George Street site should take into account all periods of development and occupation in the context of the history of The Rocks area under the management of the Foreshore Authority.
- Interpretation should take into account all the historic phases of 73 George Street.
- Interpretation should include oral history particularly interviews with those have worked during the Ambulance Station phase of the site.

7.4 New Work Policies

7.4.1 Integration of New Work

Background

Because of the significance of the 73 George Street site scope for new development is limited. In general, no external alterations or additions should occur, except minor additions for services. Within the general principles outlined in this Conservation Management Plan, some relatively minor internal alterations and additions could occur. These should generally be confined to less significant areas and should only affect limited amounts of original fabric. New work should be carefully designed and integrated with the original character of the significant components.

Policy 16

The introduction of new fabric should be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work should be identifiable as such and should, wherever possible, be capable of being removed without damage to significant fabric or spaces.

Guidelines

- When a new function is being introduced, a new architectural vocabulary of details and materials may be adopted to complement the existing architectural character.
- Any new development should be carried out within the existing building envelopes, unless research establishes traces of a demolished, but more extensive footprint of the original 73 George Street site.
- Period detailing should be used to reconstruct elements for which there is clear evidence of the original detail, either remaining in the fabric or in documents.
- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
- Where a function is being re-established, new fittings and fixtures may be adopted to complement the existing architectural character.

7.4.2 Integration of Services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and equipment, and the need to meet fire safety and other statutory requirements may be required in terms of securing a viable use for the building components as a whole, and satisfying the changing needs of the general public.

Policy 17

The extension or alteration of existing services in the 73 George Street site is acceptable in the context of re-use, but should not have a detrimental impact to the significance of the building components as a whole.

Guidelines

- Any proposed upgrading of services should be carefully planned. The preparation of schematic layouts is not sufficient: service routes must be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to the proper approval process.
- Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion. Areas previously modified for services should be re-used, in preference to modifying intact fabric.
- Intervention into any building fabric should respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- The surface mounting of services is preferable to chasing services into significant fabric. Brackets or fixings for services should not damage significant fabric.
- No externally mounted air-conditioning, ventilation equipment, water heaters or service components should be visible from the street or impact negatively on the façades.

7.4.3 Ordinance Compliance

The *Building Code of Australia* is the operative building ordinance in New South Wales.

In terms of on-going use programs, the key issues are usually compliance with fire resistance, egress provisions, and provision of disabled access and facilities. It is essential that the cultural values of the buildings and the overall complex be not be degraded by inappropriate responses to meeting ordinance requirements.

Policy 18

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of the site of 73 George Street should focus on responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Guidelines

- Conservation and on-going use programs should not place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.
- Future upgrades of the buildings should take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document "Access to Heritage Buildings for People with Disabilities" prepared by E.J. Martin (Cox), August 1997.
- Consultation with the NSW Heritage Office's (now Heritage Branch, NSW Department of Planning) FASAP advisory panel may also assist in achieving appropriate compliance solution.

7.4.4 Signage and External Lighting

Background

It is recognised that commercial and retail tenancy identification and temporary signage are an intrinsic component of the commercial use and viability of the 73 George Street site as a whole. External lighting of buildings can add to their character. Signage and external lighting, however, should have no adverse impact on significant heritage fabric and the overall character of the place.

Policy 19

External signage and lighting should be in harmony with the overall character of the place, and complement the historic character of the building on which it is mounted.

Policy 20

All signage should be consistent with the Foreshore Authorities Signage Policy where relevant.

Guidelines

- Suitably located signs that provide a legible and clear message and contribute to the vitality of the 73 George Street site are encouraged.
- Signs on the individual building components should be discreet and complementary in terms of colour, material, proportion, positioning and font.
- Signs should be harmoniously integrated with the architecture of the building and should not obscure or damage the significant features or fabric.
- It is not necessary to attempt to create or recreate an "historic" character in the signage, but modern standardised "trademark" signage is not appropriate.
- Fluorescent and iridescent paints are inappropriate. Signs should preferably be illuminated by floodlighting.

- The illumination of the 73 George Street site should highlight architectural features rather than floodlighting whole façades. Care should be taken to ensure that over-illumination does not occur.

7.4.5 New Services and Other Relevant Foreshore Authority's Policies

Background

In addition to specific requirements for new work as presented in this Section, all new work has to comply with other relevant Foreshore Authority Planning Policies to assure grant of consent to the proposal.

Policy 21

Any proposed work to the 73 George Street site will fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Guidelines

- In addition to the Foreshore Authority Policies for Lighting and Signage, as presented in this Section, all new work will comply with the Policies for Disabled Access, Telecommunications, Commercial Outdoor Seating and Building Ventilation Installation.

7.5 Archaeological Resources

7.5.1 Prehistoric (Aboriginal) Archaeological Resources

Background

Sites of pre-historic archaeological potential are protected under clauses of the NSW National Parks and Wildlife Act 1979.

Policy 22

Any potentially encountered Aboriginal archaeological resources should be conserved in accordance with the requirements of the NSW National Parks and Wildlife Act 1979 and their potential for interpretation considered.

Guidelines

- Works on this site should avoid areas of high archaeological potential or significance.
- In the event archaeological material is unexpectedly discovered during works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority and the NSW National Parks and Wildlife Service will be contacted for advice.
- Should disturbance be required where Aboriginal archaeological material has been identified, an application under Section 90 of the National Parks and Wildlife Act will be required for this disturbance.

7.5.2 Historic (European and Aboriginal) Archaeological Resources

Background

Sites of Historic archaeological potential are protected under clauses of the NSW Heritage Act 1977.

Policy 23

Any potential archaeological resources on the property should be conserved in accordance with the requirements of the NSW Heritage Act 1977 and their potential for interpretation considered.

Guidelines

- Wherever possible, works to this site should avoid areas of high archaeological potential or significance.
- Should disturbance be required to areas of archaeological potential or significance, an application under Section 60 of the Heritage Act will be required for this disturbance.
- Any archaeological resources must be managed in accordance with the recommendations arising from the Archaeological Assessment and any approval issued by the Sydney Harbour Foreshore Authority or the NSW Heritage Council.
- In the event archaeological material is unexpectedly discovered during any works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority will be contacted for advice.

8. Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of the 73 George Street site and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Standards that need to be addressed to assure the compliance of the 73 George Street site with their provisions are those for Inspection, Essential Maintenance and Repair, Weather Protection, Fire Protection and Security. It is considered that the Standards for *Conservation Management Plans* will be satisfied with the adoption of this CMP by the Sydney Harbour Foreshore Authority.

The works are presented for relevant elements only. To assure compliance with the Minimum Standards of Maintenance and Repair on the site of 73 George Street, The Rocks the following works need to be undertaken:

Minimum Standards of Maintenance and Repair 73 George Street, The Rocks
Work or Activity Required for Compliance with the Standards for: INSPECTION
(ALL AREAS GENERALLY)
Inspect the building and its curtilage to identify maintenance and repairs required to comply with section 119 of the Heritage Act 1977. The inspection must be carried out every 12 months in relation to weather protection, fire protection and security. The inspection must be carried out at least once every 3 years in regard to essential maintenance and repair, which is necessary to prevent serious and irreparable damage or deterioration to the place. The inspection is to be carried out by a person expertise and experience appropriate to the nature of the item and work concerned.
Work or Activity Required for Compliance with the Standards for: WEATHER PROTECTION
<u>Carry out the following inspections every 12 months:</u> Check surface and sub-surface drainage systems and roof drainage systems including box gutters, rainwater heads, downpipes and stormwater drainage systems for failure, blockages and broken elements. Repair and replace as required. Check roof, walls, doors and windows (including the glass components of doors and windows) and other components intended to exclude sun, rain, wind, hail, snow or other weather elements. Inspect for damage, deterioration or functional failure which may allow ingress of weather elements. Repair and replace as required. Inspect for dampness and water penetration and check the damp proof courses, flashings and ventilation systems to identify possible cause. Repair and replace as required. Check any other system or component designed to protect the building and its curtilage against damage or deterioration due to weather. Where doors and windows have failed and require repair they may be boarded up only if the building is unoccupied and it is a short term measure pending repair.

Minimum Standards of Maintenance and Repair

73 George Street, The Rocks

Work or Activity Required for Compliance with the Standards for: **FIRE PROTECTION**

Carry out the following inspections every 12 months:

Remove all vegetation, rubbish and any other material that could create a fire hazard for the building. Such material is not permitted to be accumulated. This is particularly important within the basement space. Ensure no unnecessary equipment or material left in the space.

Check for the correct operation fire detection systems such as smoke detectors, and building services such as electricity and gas systems. Undertake maintenance and repairs as required to the standard necessary to ensure a reasonable level of protection for the building from damage or destruction by fire.

Work or Activity Required for Compliance with the Standards for: **SECURITY**

Carry out the following inspections every 12 months:

Maintain appropriate boundary walls, security grilles, doors, windows and associated locking mechanisms to ensure security and prevent vandalism.

Inspect boundary walls and gates, the walls, roof and other building elements, doors, windows and other closures, including glazing and associated locking and latching mechanisms for failure, damage, deterioration or breach of security. Maintain, repair, replace or install as required to ensure a reasonable level of security for the place.

Where doors and windows have failed and require repair they may be boarded up only if the building is unoccupied and it is a short term measure pending repair.

Work or Activity Required for Compliance with the Standards for: **ESSENTIAL MAINTENANCE AND REPAIR**

Carry out the following inspections at least every 3 years:

Carry out essential maintenance and repair whenever necessary in order to prevent the serious or irreparable damage or deterioration. Essential maintenance and repair may extend to (but not be limited to): foundations, footings, supporting structure; structural elements such as walls, columns, beams, floors, roofs and roof structures; exterior and interior finishes, details, fixtures and fittings; and systems and components (such as ventilators or ventilation systems) intended to reduce or prevent damage due to dampness.

Inspect for and undertaken appropriate action to control pests such as termites, rodents, birds and other vermin.

Monitor and take immediate actions to halt structural issues and any rising damp problem along southern brick boundary wall adjacent to the rear passageway door

8.2 Schedule of Conservation Works

Fabric condition ratings in this report use the following table:

Condition Rating	Description
5 – Excellent	Building or fabric element has no defects. Condition and appearance are as new.
4 – Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
3 – Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.

Condition Rating	Description
2 – Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, significant number of major defects exist.
1 – Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

These condition grades should inform future building condition reports and maintenance schedules. For elements in *Very Poor* condition, reconstruction may be the only available option. For elements assessed as being in *Poor* or *Fair* condition, various degrees of repair or maintenance may be required, immediately or in the short term, to prevent further deterioration and the subsequent loss of significance. Elements in *Good* condition may need some maintenance but the need for repair is not anticipated in the next two or three years, while elements in *Excellent* condition are likely to need only minor maintenance in the next five to ten years.

The following *Schedule of Conservation Works* describes work that should be implemented to preserve the significant fabric of the 73 George Street site. The works should be undertaken within the next 3-6 months or as specified to assure ongoing retention of the significant fabric.

Schedule of Conservation Works 73 George Street, The Rocks			
Element	Condition	Significance	Action/Treatment
EXTERIOR			
East (George Street) Elevation			
Walls	Excellent	High	<u>Conservation Works (6 month – 2 years)</u> - Inspect parapet for any accumulated bird dropping and clean as necessary - Inspect junction between the main wall and awning ensure flashing is waterproof and adequate - Inspect and repair in general as part of ongoing maintenance programme
Windows	Good	High	<u>Conservation Works (3 – 6 months)</u> - Check over window timber sills repair as required - Check over timber frames for repainting
Doors	Good	High	- Inspect and repaint as part of ongoing maintenance programme
Awning	Excellent	Moderate	- Inspect and repaint as part of ongoing maintenance programme
Features	Excellent	Little	- Inspect and repaint as part of ongoing maintenance programme
West (Kendall Lane) Elevation			
Walls	Good	Exceptional to High	- Inspect and repaint as part of ongoing maintenance programme

Schedule of Conservation Works 73 George Street, The Rocks			
Element	Condition	Significance	Action/Treatment
Windows	Good to Fair	High	<u>Conservation Works (3 – 6 months)</u> - Check over ground floor window stone sill repair as required. Do not make unnecessary repair if structurally sound - Check over timber frames for repair and repainting - Inspect and repaint as part of ongoing maintenance programme
Door to first floor Door to passageway	Excellent	Little	- Inspect and repaint as part of ongoing maintenance programme
Features	Excellent	Little	- Inspect and repaint as part of ongoing maintenance programme
Roof			
Timber structure	Good to Fair	High to Little	- Inspect and repair as part of ongoing maintenance programme
Roof cladding	Excellent	Little	- Undertake regular inspection and repair works as part of the ongoing maintenance programme
Box gutters, rainwater heads, down pipes – copper	Excellent	High to Little	- Undertake regular inspection and repair works as part of the ongoing maintenance programme
Chimney	Excellent	Exceptional	- Undertake regular inspection and repair works as part of the ongoing maintenance programme
Courtyard			
Walls			<u>Immediate work (0 – 3 months)</u> - Undertake structural inspection of brick wall adjacent to passageway door for the large crack and movement. Obtain a structural engineer's recommendations for repair and stabilise movement Inspect for cause of rising damp. Undertake necessary actions to halt damp issue
INTERIOR			
Ground Floor			
Walls	Good to Fair	Exceptional to High	<u>Immediate work (0 – 3 months)</u> - Inspect for cause of rising damp on west wall in the Shop. Undertake necessary actions to halt damp issue
Doors	Good	High	- Inspect and repaint as part of ongoing maintenance programme

Schedule of Conservation Works			
73 George Street, The Rocks			
Element	Condition	Significance	Action/Treatment
Ceiling	Good to Fair	Exceptional	<u>Conservation Works (3 – 6 months)</u> - Consult the tenant for any issues with dust droppings from the ceiling due to the gaps and rectify as part of ongoing maintenance programme
First Floor			
Walls	Good to Fair	Exceptional to High	<u>Immediate Works (0 – 3 months)</u> - Inspect and identify reason for cracks on the eastern and southern walls of Room 1.01 and on western wall of Room 1.02. Have a structural engineer to inspect for any relationship with the courtyard wall movement. Repair and repaint as necessary. - Inspect cracks within the bathroom southern wall. Have a structural engineer to inspect for any relationship with the courtyard wall movement. Repair and repaint as necessary.
Ceiling - Cornices	Good to Fair	High	<u>Conservation Works (3 – 6 months)</u> - Inspect rusting on the egg & dart cornices at the northeast corner. Repair and Repaint as necessary.
Windows	Good to Fair	High	- Inspect and repaint as part of ongoing maintenance programme
Doors	Good to Fair	High	- Inspect and repaint as part of ongoing maintenance programme
Roof Space			
Generally	Good	Exceptional to Little	- Inspect and repair as required as part of ongoing maintenance programme
Basement			
Generally	Good to Fair	Exceptional to Little	<u>Conservation Works (6 – 12 months)</u> - Inspect for remnants of contaminated soil. Remove as required - Generally clear the space from any debris and/or unnecessary equipment/tools and avoid to accumulate any fabric that is not associated with the site and building.

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that should be implemented by the Authority as part of the process of on-going management of the 73 George Street site. Performed work and any faults discovered or repairs made, should be recorded and kept separately alongside a copy of this maintenance schedule.

Schedule of Ongoing Maintenance				
73 George Street, The Rocks				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
Urgent Maintenance (as they occur)				
Repair or clean: <ul style="list-style-type: none"> - Blocked or broken stormwater and sewerage lines that require repair or cleaning. - Clearing of blocked gutters and downpipes. - Damaged or defective light fittings and switches. - Broken water service or leaking faucets and toilet cisterns. - Failed light bulbs. - Storm damage to building fabric. - Vandalism or break and enter damage to windows and doors. - Broken or defective locks and latches, replacement of keys or lock cylinders. 				
Generally				
The defects identified in the 4 th year inspection of the windows and doors should be rectified prior to painting if programmed for the same year. Avoid painting unpainted face brickworks and stone work within the roof space, the basement and courtyard Avoid combining dissimilar materials that will react with each other. Ensure all exits are free from obstruction, avoid restricting with storage items.				
EXTERNAL				
East (George Street) and West (Kendall Lane) Elevations				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
Rendered and Painted walls		Inspect for flaking paint and rising damp. Rectify and repaint as required. Inspect capping at parapet level including above cornice for dirt and bird droppings. Clean as required.		
Windows (Timber)	Inspect for broken or cracked glass or putty.	Inspect for loose or damaged mouldings, architraves, fittings, decayed stiles at sill level, frames, sashes, sash joints, decayed or broken sash cords , and decayed or broken hardware and slipped and loose flashing.		Major repairs to external windows: Reset frames, check flashing and patch repair defective elements as necessary.
			Inspect for paint deterioration and weathering. Suitably prepare and paint.	

Schedule of Ongoing Maintenance 73 George Street, The Rocks				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
Doors (timber)	Inspect for broken glass or cracked glass and broken damaged fly screen doors. Ensure operate smoothly.	Inspect for loose, decayed or damaged jambs, thresholds, fittings and ensure operate smoothly.		Major repairs to external doors: Reset frames, check flashing and patch repair defective elements as necessary.
			Inspect for paint deterioration and weathering. Suitably prepare and paint.	
Awning	Check if structurally sound	Inspect for loose fixing, deteriorated and rusted metal elements, check for loose flashing. Repair and rectify as necessary.		
Roof				
Corrugated metal roofing		Inspect for loose or raised fixings to metal cappings, cappings that have lifted, slipped or are deformed from wind damage. Check whether capping tiles have cracked or broken mortar bedding, have slipped or are missing.		
			Inspect for loose or raised fixings, sheet edges and surfaces that are deformed from being walked on. Look for rust stains around fixings, where sheets are lapped and around flashings. Check for dissimilar metals at flashings. Loose fixings can indicate batten failure.	

Schedule of Ongoing Maintenance				
73 George Street, The Rocks				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
Drainage	Inspect box gutters for rubbish and debris. Inspect box gutter linings for corrosion and defective joints. Ensure stormwater drains are not blocked. Inspect for loose or slipped external flashing and broken mortar bedding. Inspect for moss at parapet remove as required.	Inspect gutter and downpipe joints for cracks, loose or missing brackets. Growth, moss or stains surrounding downpipes can indicate blockages. Look for downpipes that are squashed or damaged and restrict water flow. Check if downpipes are connected to the stormwater system and, if so, whether joints are sound. Check that stormwater drains are not blocked.		Inspect gutters for deformation, bent or squash from stepping over and inspect for over-strapping. Avoid replacing with material other than copper.
Courtyard				
Walls (stone)			Check for fretting and deterioration repair as necessary. Inspect for loose capping repair as necessary	
				Clean stonework and repoint if necessary in accordance to conservation specialist recommendations.
Walls (brick)		Inspect for flaking paint and rising damp. Rectify and repaint as required. Ensure all walls are structurally sound and true		Repoint and repaint as required
Stone steps to basement			Check for deterioration ensure safe and sound	
Brick paving	Inspect for loose tiles repair as necessary			
Metal fencing and gates	Inspect for rusting, loose fixing, damaged fittings/locks repair and repaint as necessary			

Schedule of Ongoing Maintenance				
73 George Street, The Rocks				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
INTERNAL				
Generally	Inspect for loose, inadequate or damaged hardware. Ensure joinery elements operate satisfactorily. Avoid installing fans or air-conditioners in windows. Avoid replacing with hardware not in keeping with the existing. The defects identified in the 4 th year inspection should be rectified prior to painting if programmed for the same year.			
Walls			Inspect for structural cracks, and cracked, damaged and drummy render and patch repair where necessary matching the existing. Inspect for water penetration and paint deterioration. Inspect wall tiles in bathroom for cracks, damage or watertightness.	
				Inspect for any signs of structural movements, if necessary have a structural engineer to inspect.
Windows	Inspect for broken or cracked glass or putty	Inspect for loose or damaged mouldings, architraves, fittings, decayed stiles at sill level, frames, sashes, sash joints, decayed or broken sash cords , and decayed or broken hardware and slipped and loose flashing.	Major repairs to external windows: Reset frames, check flashing and patch repair defective elements as necessary.	
			Inspect for paint deterioration and weathering. Suitably prepare and paint.	
Doors	Inspect for broken glass or cracked glass and broken damaged fly screen doors. Ensure operate smoothly.	Inspect for loose, decayed or damaged jambs, thresholds, fittings and ensure operate smoothly.	Major repairs to external doors: Reset frames, check flashing and patch repair defective elements as necessary.	
			Inspect for paint deterioration and weathering. Suitably prepare and paint.	
Ceilings			Inspect for water penetration, stains and paint deterioration, and check for splits between ceiling linings/cornices and the walls.	

Schedule of Ongoing Maintenance 73 George Street, The Rocks				
Element	Every Year	Every 2 Years	Every 5 Years	Every 10 Years
Floors			Inspect all floor finishes including carpets, tiles and timber for damage, split and sealed joints. Repair and rectify as necessary. Inspect floor tiles for damaged, missing tiles and ensure watertight	
		Monitor the structural timber joists and floor boards for termite damage		
Services/Fittings	Inspect smoke detector controls according to services manual and authority regulations. Inspect hot water system according to services manual and authority regulations. Inspect taps for drips, ease of operation and secured to walls or supports. Inspect stormwater system for blockage and damage. Inspect sewerage system for damaged grates and blockage. Inspect electricity services for damaged and loose fittings according to services manual and authority regulations. Inspect power supply according to services manual and authority regulations.			

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10. Appendix

10.1 Standard Exemptions under the NSW Heritage Act

Any major works that are proposed to a SHR item need to be assessed and approved by the Heritage Council of NSW to ensure that the heritage significance of the item will not be adversely affected.

To achieve efficiency and focus only on activities that may affect significance, s.57 of the Heritage Act contains provisions for granting exemptions for certain activities that would otherwise require approval under the Act. There are two types of exemptions that can apply to the property:

- Standard exemptions such as building maintenance, minor repairs, alterations to certain interiors and change of use.
- Site-specific exemptions that relate to a particular property.

This Section presents list of activities eligible for exemptions from seeking further approval under Standard Exemptions presented in S.57 of the Heritage Act. The site-specific conservation framework developed within this Conservation Management Plan presented in Sections 8.2 –Minimum Standards of Maintenance and Repair, 8.3 –Schedule of Conservation Works, and 8.4 –On-going Maintenance, will also be exempt from further reference to the NSW Heritage Council, once this document has been endorsed by the Heritage Council.

SCHEDULE OF EXEMPTIONS TO SUBSECTION 57(1) OF THE *HERITAGE ACT 1977* MADE UNDER SUBSECTION 57(2)

GENERAL CONDITIONS

1. These general conditions apply to all of the following Exemptions.
2. Anything done pursuant to the following Exemptions must be carried out in accordance with relevant Guidelines issued by the NSW Heritage Office including *“The Maintenance of Heritage Assets: A Practical Guide” 1998*, *“Moveable Heritage Principles” 2000* and *“The Heritage Council Policy on Managing Change to Heritage Items”*.
3. The following standard Exemptions do not apply to anything affecting relics, places, items or sites if heritage significance to Aboriginal peoples or which affects traditional access by Aboriginal people.
4. The Assistant Director or Principle Heritage Officers may carry out any of the functions or powers of the Director of the Heritage Office under these Exemptions.
5. In these Exemptions, words shall be given the same meaning as in the *Heritage Act 1977* (“the Act”) unless the contrary intention appears from the context of the exemption.
6. Anything done pursuant to the following Exemptions must be specified, supervised and carried out by people with knowledge, skills and experience appropriate to the work.

10.1.1 STANDARD EXEMPTION 1: MAINTENANCE AND CLEANING

1. The following maintenance and cleaning does not require approval under s. 57(1) of the Act:

- (a) the maintenance of an item to retain its condition or operation without the removal of or damage to the existing fabric or the introduction of new materials;

- (b) cleaning including the removal of surface deposits, organic growths or graffiti by the use of low pressure water (less than 100 psi at the surface being cleaned) and neutral detergents and mild brushing and scrubbing.

NOTE 1: Traditional finishes such as oils and waxes must continue to be used for timber surfaces rather than modern alternative protective coatings such as polyurethane or acrylic which may seal the surface and can cause damage.

NOTE 2: Surface patina which has developed on the fabric may be an important part of the item's significance and if so needs to be preserved during maintenance and cleaning.

10.1.2 STANDARD EXEMPTION 2: REPAIRS

1. Repair to an item which is of the type described in (a) or (b) below does not require approval under s. 57(1) of the Act:

- (a) the replacement of services such as cabling, plumbing, wiring and fire services that used existing service routes, cavities or voids or replaces existing surface mounted services and does not involve damage to or the removal of significant fabric;
- (b) the repair (such as refixing and patching) or the replacement of missing, damaged or deteriorated fabric that is beyond further maintenance, which matches the existing fabric in appearance, material and method of affixing and does not involve damage to or the removal of significant fabric.

NOTE 1: Repairs must be based on the principle of doing as little as possible and only as much as is necessary to retain and protect the element. Therefore replacement must only occur as a last resort where the major part of an element has decayed beyond further maintenance.

NOTE 2: Any new materials used for repair must not exacerbate the decay of existing fabric due to chemical incompatibility, obscure existing fabric or limit access to existing fabric for future maintenance.

NOTE 3: Repair must maximise protection and retention of fabric and include the conservation of existing detailing, such as vents, capping, chimneys, carving, decoration or glazing.

10.1.3 STANDARD EXEMPTION 3: PAINTING

1. Painting does not require approval under s. 57(1) of the Act if the painting:

- (a) does not involve the disturbance or removal of earlier paint layers other than that which has failed by chalking, flaking, peeling or blistering;
- (b) involves over-coating with an appropriate surface as an isolating layer to provide a means of protection for significant earlier layers or to provide a stable basis for repainting;
- (c) employs the same colour scheme and paint type as an earlier scheme if they are appropriate to the substrate and do not endanger the survival of earlier paint layers.

2. Painting which employs a different colour scheme and paint type from an earlier scheme does not require approval under s. 57(1) of the Act, provided that:

- (a) the Director is satisfied that the proposed colour scheme, paint type, details of surface preparation and paint removal will not adversely affect the heritage significance of the item; and
- (b) the person proposing to undertake the painting has received a notice advising that the Director is satisfied.

3. A person proposing to undertake repainting of the kind described in paragraph 2 must write to the Director and describe the proposed colour scheme, paint type, details of

surface preparation and paint removal involved in the repainting. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) the Director shall notify the applicant.

NOTE: Preference should be given to the re-establishment of historically significant paint schemes of the item that are appropriate to the significance of the building.

10.1.4 STANDARD EXEMPTION 4: EXCAVATION

1. Excavation or disturbance of land of the kind specified below does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a), (b) or (c) have been met and the person proposing to undertake the excavation or disturbance of land has received a notice advising that the Director is satisfied:

- (a) where an archaeological assessment has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that there is little likelihood of there being any relics in the land or that any relics in the land are unlikely to have State or local heritage significance; or
- (b) where the excavation or disturbance of land will have a minor impact on the archaeological resource; or
- (c) where the excavation or disturbance of land involves only the removal of fill which has been deposited on the land.

2. A person proposing to excavate or disturb land in the manner described in paragraph 1 must write to the Director and describe the proposed excavation or disturbance of land and set out why it satisfies the criteria set out in paragraph 1. If the Director is satisfied that the proposed development meets the criteria set out in paragraph (a), (b) or (c) the Director shall notify the applicant.

NOTE: Any excavation with the potential to affect Aboriginal objects should be referred to the Director-General of the National Parks and Wildlife Service.

10.1.5 STANDARD EXEMPTION 5: RESTORATION

1. Restoration of an item by returning significant fabric to a known earlier location without the introduction of new material does not require approval under s. 57(1) of the Act.

2. The following restoration does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the restoration has received a notice advising that the Director is satisfied:

- (a) the restoration of an item without the introduction of new material (except for fixings) to reveal a known earlier configuration by removing accretions or reassembling existing components which does not adversely affect the heritage significance of the item.

3. A person proposing to undertake restoration of the kind described in paragraph 2 must write to the Director and set out why there is a need for restoration to be undertaken and the proposed material and method of restoration. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a), the Director shall notify the applicant.

10.1.6 STANDARD EXEMPTION 6: DEVELOPMENT ENDORSED BY THE HERITAGE COUNCIL OR DIRECTOR

1. Development specifically identified as exempt development by a conservation policy or strategy within a conservation management plan which has been endorsed by the Heritage Council of NSW or within an interim conservation management strategy endorsed by the Director does not require approval under s. 57(1) of the Act.

10.1.7 STANDARD EXEMPTION 7: MINOR ACTIVITIES WITH NO ADVERSE IMPACT ON HERITAGE SIGNIFICANCE

1. Anything which in the opinion of the Director is on a minor nature and will not adversely affect the heritage significance of the item does not require approval under s.57(1) of the Act.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed activity. If the Director is satisfied that the proposed activity meets the criteria set out in paragraph 1, the Director shall notify the applicant.

10.1.8 STANDARD EXEMPTION 8: NON-SIGNIFICANT FABRIC

The following development does not require approval under s.57(1) of the Act, provided that the Director is satisfied that the criteria in (a) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

(a) the alteration of the building involving the construction or installation of new fabric or services or the removal of building fabric which will not adversely affect the heritage significance of the item.

2. A person proposing to do anything of the kind described in paragraph 1 must write to the Director and describe the proposed development. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a), the Director shall notify the applicant.

10.1.9 STANDARD EXEMPTION 9: CHANGE OF USE

The change of use of an item or its curtilage or the commencement of an additional or temporary use does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the change of use has received a notice advising that the Director is satisfied:

(a) the use does not involve the alteration of the fabric, layout or setting of the item or the carrying out of development other than that permitted by other standard or site specific exemptions; or

(b) the use does not involve the cessation of the primary use for which the building was erected, a later significant use or the loss of significant association with the item by current users;

2. A person proposing to change the use of an item or its curtilage or to commence an additional or temporary use of an item or its curtilage in the manner described in paragraph 1 must write to the Director and describe the changes proposed. If the Director is satisfied that the proposed development meets the criteria set out on paragraph 1(a) or (b), the Director shall notify the applicant.

10.1.10 STANDARD EXEMPTION 11: TEMPORARY STRUCTURES

1 The erection of temporary structures does not require approval under s. 57(1) of the Act, providing that the Director is satisfied that the criteria in (a) and (b) have been met and the person proposing to erect the structure has received a notice advising that the Director is satisfied:

(a) the structure will be erected and used for a maximum period of 4 weeks after which it will be removed within a period of 2 days and not erected again within a period of 6 months;

(b) the structure is not to be located where it could damage or endanger significant fabric including landscape or archaeological feature of its curtilage or obstruct significant views of and from heritage items.

2. A person proposing to erect a structure of the kind described in paragraph 1 must write to the Director and set out the nature of the structure, the use for the structure and how long it will remain in place and the next occasion on which it is anticipated that the structure will be erected. If the Director is satisfied that the proposed development meets the criteria set out paragraphs 1(a) and 1(b) the Director shall notify the applicant.

10.1.11 STANDARD EXAMPTION 13: SIGNAGE

1. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act:

- (a) temporary signage which is located behind or on the glass surface of a shop window which is not internally illuminated or flashing and is to be removed within eight weeks; or
- (b) a real estate sign indicating that the place is for auction, sale or letting and related particulars and which is removed within 10 days of the sale or letting of the place;

2. The erection of signage which is of the types described in (a) or (b) below does not require approval under s.57(1) of the Act provided that the Director is satisfied that the criteria in (a) and (b) respectively have been met and the person proposing to erect is has received a notice advising that the Director is satisfied:

- (a) the erection of non-illuminating signage for the sole purpose of providing information to assist in the interpretation of the heritage significance of the item and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage or obstruct significant views of and from heritage items; or
- (b) signage which is in the form of a flag or banner associated with a building used for a purpose which requires such form of promotion such as a theatre or gallery, which is displayed for a maximum period of eight weeks and which will not adversely affect significant fabric including landscape or archaeological features of its curtilage;

3. A person proposing to erect signage of the kind described in paragraph 2 must write to the Director and describe the nature and purpose of the advertising or signage. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 2(a) or 2(b), the Director shall notify the applicant.

4. Signage of the kind described in paragraph 1 and 2 must:

- (a) not conceal or involve the removal of signage which has an integral relationship with the significance of the item;
- (b) be located and be of a suitable size so as not to obscure or damage significant fabric of the item;
- (c) be able to be later removed without causing damage to the significant fabric of the item; and
- (d) reuse existing fixing points or insert fixings within joints without damage to adjacent masonry.

10.1.12 STANDARD EXEMPTION 15: COMPLIANCE WITH MINIMUM STANDARDS AND ORDERS

1. Development which is required for the purpose of compliance with the minimum standards set out in Part 3 of the *Heritage Regulation 1999* or an order issued under either:

- (a) section 120 of the *Heritage Act 1977* regarding minimum standards of maintenance and repair; or

(b) section 121S of the *Environmental Planning and Assessment Act 1979* regarding an order which is consistent with a submission by the Heritage Council under section 121S(6) of the Act;
does not require approval under s. 57(1) of the Act.

10.1.13 STANDARD EXEMPTION 16: SAFETY AND SECURITY

1. The following development does not require approval under s. 57(1) of the Act, provided that the Director is satisfied that the criteria in (a) or (b) have been met and the person proposing to undertake the development has received a notice advising that the Director is satisfied:

- (a) the erection of temporary security fencing, scaffolding, hoardings or surveillance systems to prevent unauthorised access or secure public safety which will not adversely affect significant fabric of the item including landscape or archaeological features of its curtilage; or
- (b) development, including emergency stabilisation, necessary to secure safety where a building or part of a building has been irreparably damaged or destabilised and poses a safety risk to its users of the public.

2. A person proposing to undertake development of the kind described in paragraph 1 must write to the Director and describe the development and, if it is of the kind set out in 1(b), provide certification from a structural engineer having experience with heritage items confirming the necessity for the development with regard to the criteria set out in 1(b) and any adverse impact on significant fabric. If the Director is satisfied that the proposed development meets the criteria set out in paragraph 1(a) or (b), the Director shall notify the applicant.