



TENEMENTS

117-117A Gloucester Street, The Rocks

CONSERVATION MANAGEMENT PLAN



Date endorsed

25-07-2016

Date expires

25-07-2021

*Copy no. 1
of 2 stamped
copies*

NSWHO File

EF14/5619

Prepared by Hector Abrahams Architects Pty Ltd

For Sydney Harbour Foreshore Authority, Strategic Planning and Heritage

Version 2.4 May 2016

Objective ID A830413



SYDNEY
HARBOUR
FORESHORE
AUTHORITY



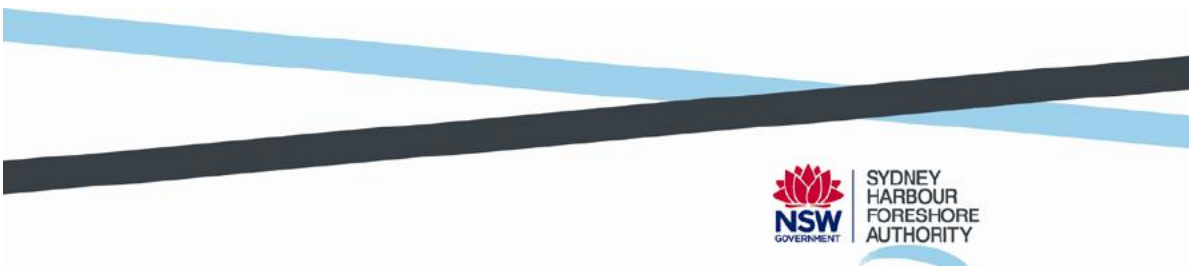
TENEMENTS

117-117A Gloucester Street, The Rocks

CONSERVATION MANAGEMENT PLAN

Prepared by Hector Abrahams Architects Pty Ltd
For Sydney Harbour Foreshore Authority, Strategic Planning and Heritage
Version 2.4 May 2016

Objective ID A830413



SYDNEY
HARBOUR
FORESHORE
AUTHORITY

CMP VERSION CONTROL			
Rev	Date	Comment	Author
1.0	10 July 2007	Full draft for comment for Sydney Harbour Foreshore Authority (SHFA)	CLSP
1.1	13 August 2007	Completed CMP for SHFA	CLSP
2.0	9 December 2014	Revised draft for SHFA	HAA
2.1	23 February 2015	Completed CMP revision for SHFA	HAA
2.2	16 March 2015	SHFA final amendments	SHFA
2.3	23 July 2015	SHR Plan	SHFA
2.4	May 2016	Heritage Division amendments	SHFA

Table of Contents

EXECUTIVE SUMMARY	5
PREFACE AND FREQUENTLY ASKED QUESTIONS (FAQS)	8
1 INTRODUCTION.....	15
1.1 CONTEXT OF THE REPORT	15
1.2 OBJECTIVES.....	15
1.3 SITE IDENTIFICATION.....	16
1.4 LISTINGS.....	17
1.5 BUILDING DESCRIPTION	20
1.6 METHODOLOGY AND STRUCTURE	20
1.7 DOCUMENTARY AND PHOTOGRAPHIC SOURCES	21
1.8 TERMINOLOGY.....	21
1.9 AUTHORSHIP	22
1.10 ACKNOWLEDGMENTS	22
1.11 LIMITATIONS	22
2 DOCUMENTARY EVIDENCE	23
2.1 INDIGENOUS SYDNEY - THE CADIGAL	23
2.2 DEVELOPMENT OF THE ROCKS.....	23
2.3 DEVELOPMENT OF THE PRECINCT	25
2.4 INITIAL DEVELOPMENT OF THE SITE (1788-1900)	26
2.5 URBAN RENEWAL AND SITE REDEVELOPMENT	28
2.6 ONGOING USE AND CHANGES TO THE SITE AND BUILDING	37
2.7 CHANGES TO THE FABRIC	49
2.8 HISTORIC THEMES.....	53
2.9 ANALYSIS OF HISTORY IN CONTEXT	57
2.10 DEVELOPMENT OF THE SITE AND ITS CONTEXT	58
3 PHYSICAL EVIDENCE.....	64
3.1 THE ROCKS CONSERVATION AREA.....	64
3.2 STREET AND STREETSCAPE DESCRIPTION.....	64
3.3 BUILDING DESCRIPTION	69
3.4 MOVABLE HERITAGE ITEMS.....	108
3.5 ASSESSMENT OF ARCHAEOLOGICAL POTENTIAL.....	108
4 ASSESSMENT OF CULTURAL SIGNIFICANCE.....	110
4.1 COMPARATIVE ANALYSIS	110
4.2 ASSESSMENT OF SIGNIFICANCE	126
4.3 STATEMENT OF SIGNIFICANCE.....	131
4.4 CURTILAGE	132
5 GRADING OF SIGNIFICANCE	133
5.1 GRADING OF SIGNIFICANT ELEMENTS	135
6 CONSTRAINTS AND OPPORTUNITIES.....	152
6.1 ISSUES ARISING FROM THE CULTURAL SIGNIFICANCE OF THE PLACE.....	152
6.2 ISSUES ARISING FROM THE CONDITION OF THE PLACE	152
6.3 SYDNEY HARBOUR FORESHORE AUTHORITY.....	152
6.4 HERITAGE MANAGEMENT FRAMEWORK.....	153
6.5 ENVIRONMENTAL PLANNING INSTRUMENTS (EPIS)	157
6.6 DEVELOPMENT CONTROL PLANS AND GUIDELINES	160
6.7 APPROVALS	160
6.8 BUILDING CODES.....	161
6.9 NON-STATUTORY LISTINGS AND COMMUNITY GROUPS	163
6.10 AUSTRALIA ICOMOS BURRA CHARTER.....	163
7 CONSERVATION POLICIES	165
7.1 BEST PRACTICE HERITAGE MANAGEMENT	165
7.2 ASSET MANAGEMENT	167
7.3 DOCUMENTING CHANGE	169
7.4 APPROPRIATE CONSERVATION SKILLS AND EXPERIENCE	170

7.5	OWNERSHIP, PARTICIPATION AND APPROVALS.....	170
7.6	CURRENT AND POTENTIAL FUTURE USE	173
7.7	CONSERVATION OF SIGNIFICANT FABRIC	174
7.8	CONSERVATION OF SIGNIFICANT SPACES	175
7.9	ELEMENT SPECIFIC POLICIES	175
7.10	NEW WORK.....	179
7.11	INTEGRATION OF SERVICES.....	181
7.12	ORDINANCE COMPLIANCE	182
7.13	ACCESSIBILITY	182
7.14	SUSTAINABILITY.....	183
7.15	ARCHAEOLOGICAL RESOURCES	186
7.16	ABORIGINAL OBJECTS AND PLACES.....	188
7.17	SETTING AND VIEWS.....	188
7.18	PAINTING	189
7.19	LANDSCAPING / PLANTINGS.....	190
7.20	SIGNAGE AND EXTERNAL LIGHTING	191
7.21	ON-GOING MAINTENANCE AND REPAIR	192
7.22	INTERPRETATION	192
8	IMPLEMENTING THE PLAN.....	194
8.1	MINIMUM STANDARDS OF MAINTENANCE AND REPAIR	194
8.2	SCHEDULE OF CONSERVATION WORKS	195
8.3	ON-GOING MAINTENANCE	199
9	BIBLIOGRAPHY	205
10	APPENDIX 1	208

Executive Summary

This report is a plan for conserving the cultural significance of an important place. The tenement building at 117-117A Gloucester Street is a three-storey tenement building located at the southern end of Gloucester Street in The Rocks, in the precinct known as the Long's Lane precinct, which contains an unique ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks.

The building is recognised by the NSW Heritage Council for its cultural significance and for its contribution to the character of the Long's Lane precinct. The tenements are listed on the NSW State Heritage Register under entry No. 01598.

The tenements at 117-117A Gloucester Street were constructed by the Housing Board in 1914 as part of a larger tenement housing complex fronting Gloucester, Cumberland, and Little Essex Streets. Most of this large complex was demolished in the 1950s for the construction of the Cahill Expressway, with only 117-117A Gloucester Street and 140 and 142 Cumberland Street remaining. Tenanted until the early 1980s, the building fell into dereliction and was squatted in until the early 1990s when the Sydney Cove Authority carried out extensive conservation works. Since this time it has continued to be leased as rental accommodation.

The building is in good condition. The reconstructed fabric of the place is of good quality, and is based on fabric which was extant at the site at the time of conservation work. The new fabric introduced in the 1990s, such as kitchens, laundries, and bathrooms, enables the buildings to be inhabited to a modern standard of convenience.

Statement of heritage significance

The tenements at 117-117A Gloucester Street are of significance for their historical, associational, aesthetic, social, research, rarity and representativeness values.

117-117A Gloucester Street is a place of significant human activity and are evidence of the increasing role played by the NSW government social welfare in the early 20th century. Designed as workers housing by William Foggitt, the Principal Architect for the newly formed Housing Board and built in 1914, 117-117A Gloucester Street (and 140-142 Cumberland Street) survive as part of a major 'Shops and Workers Dwellings' development of 30 or more tenements at Cumberland Street, Gloucester Street and Little Essex Street in The Rocks.

The tenement development in The Rocks was part of a major government initiative for the resumption, slum clearance and instigation of major urban renewal and public housing programs in The Rocks and Millers Point. As such the tenements at 117-117A Gloucester Street are rare and representative examples of a small intact group of the earliest government designed and built public housing tenements, in Sydney and NSW and the first tenement developments of their type in Australia.

Although designed by Foggitt (the Principal Architect for the Housing Board), the public housing development in The Rocks was influenced by earlier public housing schemes in Millers Point and The Rocks designed by the Government Architects Branch and the NSW Government Architect Vernon, and modelled on UK and European public housing schemes.

The tenements at 117-117A Gloucester Street demonstrate innovative construction methods and materials including the use of concrete and steel, state of the art architectural design and model layout for workers housing, with running water and plumbing, and well-designed internal kitchens, bathrooms, WCs and laundries. They demonstrate early 20th century concerns for health and improvements to hygiene and sanitation.

117-117A Gloucester Street is of aesthetic significance as an intact example of the Federation Freestyle and its application to a tenement building. While drawing on public housing models from Europe and the UK, the architectural design of the building emphasises its Australian location with the introduction of verandahs and flat roof terraces, the use of structural timber in the verandahs, face brick and Australian motifs such as the waratah incorporated into the plaster vents.

117-117A Gloucester Street makes a contribution to the late 19th and early 20th century streetscape of The Rocks and the Longs Lane Precinct which is a rare late 19th and early 20th century townscape, complete with paved flagstone laneways and rear yards intact. The tenement complements the terraced character of Gloucester Street particularly Jobbins Terrace at 103-111 Gloucester Street, and the neighbouring terrace houses at 113-115 Gloucester Street, The Rocks.

As part of the Longs Lane Precinct, it has potential to be important to a community's sense of place, in this case residents of The Rocks and Millers Point and their descendants who participated in the resident action and social movements of the 1970s known as the Green Bans, and their supporters in the Builders Labourers Federation. They were able to influence urban renewal proposals of the day in ways that lead to the development of tourism as a local industry that could support conservation of historic buildings and provide employment opportunities for local people, and which transformed community perceptions of The Rocks *as a place* from a paradigm of degrading slums to that of the 'birthplace of the nation'. Other tourism developments of the period in The Rocks, such as the revival of Australia Day celebrations in The Rocks in 1975, also contributed to this changing sense of place.

Management recommendations

The policies in this CMP recognise that the tenements at 117-117A Gloucester Street as residential housing which is to be lived in.

The Frequently Asked Questions (FAQs) and answers provide a guide about living in and using these residences, whilst retaining the essential historic qualities of the building and its place within The Rocks.

Each FAQ references the most applicable policy, however the occupants and managers should be aware that more than one policy section and policy may apply in each situation, and more policies may need to be consulted.

The key recommendations for this building are to:

- Continue the current residential use.
- Retain, conserve and look after all of the internal and external original and reconstructed fabric and character of 117-117A Gloucester Street.
- Ensure that future occupants and managers are aware of the heritage values of the building and the need to apply for and gain approvals for all works to the buildings, both externally and internally.
- Seek early and appropriately qualified and experienced heritage advice on how to manage the building and its heritage values and building fabric.
- Continue a program of regular maintenance and repairs, and inspections of the building to ensure its long term conservation.
- Retain and conserve the important contribution of the tenements at 117-117A Gloucester Street as part of the Long's Lane precinct.



Tenements at 117-117A Gloucester Street, The Rocks, 2016. Sydney Harbour Foreshore Authority.

Preface and Frequently Asked Questions (FAQs)

This preface serves as an overview and explanation of the policies of the Conservation Management Plan prepared for the Tenements at 117-117A Gloucester Street, The Rocks. This property is listed on the State Heritage Register (item No. 01598).

A Conservation Management Plan (referred to as a CMP) is a document which provides a very detailed examination of one or a number of buildings deemed to be culturally significant, either architecturally, historically, socially or technically. CMPs provide an oversight of the cultural, social and sometimes political history which surrounds a building, as well as a thorough description and assessment of the building, its context, planning policies which impact it, the requirements of the owners and an outline of maintenance necessary for the building's ongoing care.

A CMP has been prepared for the Tenements at 117-117A Gloucester Street because this building is part of The Rocks, an area of immense importance for the history of European settlement in Australia. For this reason The Rocks as a precinct is listed on the NSW State Heritage Inventory (see link below)

<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=4500458>

This building is also listed on the NSW State Heritage Register (see Section 1.4)

<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053215>

The policies in this CMP also recognise that the tenements at 117-117A Gloucester Street provide housing which is to be lived in. The Frequently Asked Questions and answers below provide a guide about living in and using these residences, whilst retaining the essential historic qualities of the building and its place within The Rocks. The most applicable policy is referenced in the FAQ, however the reader should be aware that more than one policy section and policy may apply in each situation, and more policies may need to be consulted.

Frequently Asked Questions (FAQs)

The guidelines below must be read within the context of the policies listed in Sections 7 and 8 of this CMP. Changes to this building require consent. This is a complex process in this case. For this reason good heritage advice about living in and making changes to the building must always be sought.

117-117A Gloucester Street was originally part of a terrace of social housing with some other uses mixed in (i.e. shops, hotel). Most of the terrace was demolished during the construction of the Cahill Expressway.

General

1. **What are the possible uses for these properties?** Refer to policy section 7.6
This tenement building was originally built as two separate dwellings and this should be retained. The possible uses for these properties, in order of preference, are:
 - i) Two separate dwellings
 - ii) Single dwelling*And subject to building code and access compliance and approvals:*
 - iii) Short term accommodation, such as Bed and Breakfast
 - iv) Guest house or boarding house.

Exterior

1. **Can this property have additions to the building at ground or upper levels, e.g. for additional rooms or semi-enclosed outdoor living areas?** Refer to policy section 7.10
It may be possible to add an external lift to provide accessible access to the southern side of the building, subject to approvals. Refer to site plan, Figure A at the end of the FAQs.
2. **Can changes to the exterior be introduced (e.g. new windows and external doors), and if so, where?** Refer to policy section 7.7
*117 – Door 6 could be changed to a timber window
117 – Windows 5 and 6 could be changed to timber doors.
Refer to site plan, Figure A at the end of the FAQs.*
3. **Can verandahs, balconies or other spaces be enclosed/opened up?** Refer to policy section 7.8
No, the existing verandahs or balconies cannot be enclosed.
4. **Can new balconies, verandahs, or decks be introduced, and if so, where?** Refer to policy section 7.8
No new verandahs or balconies can be introduced to the existing building. They could be part of an addition.
5. **Can new dormer windows and/or skylights be introduced? Where can these be located? How big can they be?** Refer to policy section 7.8
No. Dormers and skylights cannot be introduced.
6. **What opportunities exist for alterations to achieve flat/equitable access for this property?** Refer to policy section 7.13 and 7.10
Due to the limited site area and setback requirements from Cahill Expressway over the open site area to south of the building, it may be possible to add an external lift to provide accessible access to the southern side of the building, subject to approvals. Refer to site plan, Figure A at the end of the FAQs.
7. **Can this property have off-street parking? If so, where?** Refer to policy section 7.10
No.
8. **(a) Can external aerials or a satellite dish be added? If so, where?** Refer to policy section 7.11
Yes, an external aerial or satellite dish can be added if they meet the following:
 - i) *It must be located on the roof terrace or on the walls of the rear wing below the level of the gutter line.*
(b) Can digital data cabling be introduced? Refer to policy section 7.11
Yes, any cabling should come in at the existing electrical connection.

(c) Can solar panels be installed? Refer to policy section 7.11
Yes, solar panels can be introduced to these houses on the roof hidden behind the parapet so they are not visible from the street frontage.
9. **What sort of security grilles can be attached to windows and doors?**
Discrete electronic security devices are preferred to security grilles.

Security grilles are permissible on all ground floor doors and windows if they meet the following requirements:

- i) Grilles are non-decorative and as plain as possible in design.*
- ii) Grilles are fixed to the bricks within the window opening, not on the main face of the brick wall.*

Roll down security blinds are not permitted.

10. How can new external lighting, security cameras, doorbell or intercom systems be introduced? Refer to policy section 7.10

(a) External lighting

- i) Front porch - plain surface mounted lights can be mounted on the wall with the wiring in the cavity. Detector switches are acceptable.*
- ii) Rear of house – plain fittings on rear walls, kept low. Detector switches are acceptable.*
- iii) No external floodlighting is permissible.*

(b) Security Cameras

- i) Front ground floor verandah – surface mounted on the wall, above head of door in a dark colour*
- ii) Rear of the house – may be mounted on the rear wall below 2m.*
- iii) Signs required to alert the public of the use of security cameras can be placed within the verandah space or on the back fences.*

(c) Doorbell – a discreet doorbell can be mounted.

(d) Intercom at front door – mounted on the masonry wall with wiring in the cavity.

11. What sort of fences can be built? Refer to policy section 7.7

- a) Front – the balustrades on both the lower and upper verandahs are to be kept.*
- b) Back – the paling fence can be rebuilt in unpainted hardwood only. No treated pine, colorbond or painted finish is to be used.*

12. What changes can be made to the existing garden? Is consent required to make any changes? Refer to policy section 7.19

The following changes can be made without consent:

- a) Garden surface – the existing surface is to remain. Removable raised garden beds or pots can be introduced without seeking approval.*
- b) Trees – no new trees are to be planted in the ground. Trees no higher than 3 metres could be grown in raised beds or pots.*
- c) Trellis up to 2m above ground could be placed in pots against the back walls.*
- d) Sun sails, umbrellas and awnings are acceptable provided they are below the 1st floor level in the back yard.*
- e) Window boxes and pots on the front verandahs are acceptable.*
- f) No vines to be grown on the front of the house.*
- g) No irrigation system is to be used near the walls of the house. Garden taps can be added – piping is to be surface run and kept below 1800mm.*
- h) A garden shed or glass house can be introduced, subject to council approval.*
- i) A built-in BBQ can be introduced but it must be reversible, i.e. temporary and removable.*

13. Can the external colour scheme be changed? Refer to policy section 7.18

Yes, the external painted elements used across the whole building can be repainted in a different colour scheme with reference to colour schemes appropriate to the

period. The paint type should match the existing. Oil paint is to be used on the external joinery.

- 14. Are there any external features of this property that need to be retained and conserved, e.g. door/window joinery, iron trim, fences, etc?** Refer to policy section 7.7

Yes, all existing doors, windows and exterior joinery are to be retained, unless otherwise stated.

- 15. Can the letterbox and house numbers be changed?** Refer to policy section 7.7
No, the existing house number and letterbox in the door cannot be changed.

- 16. Can a house name be added?** Refer to policy section 7.1
No, a house name cannot be added.

Interior Change

- 17. What interior spaces are significant and must not be changed?** Refer to policy section 7.8

The spaces are all significant and cannot be changed. This includes the height of the ceilings and the configuration of the staircase. See the site and floor plan at Figure A, at the FAQs.

- 18. Is it possible to add any additional internal space?**

Yes. The roof space of the buildings could be used for storage. This may require the existing roof and ceiling framing to be augmented. It must not be replaced.

- 19. Are there any possible locations for a new kitchen (other than where it is now)?**
Refer to policy sections 7.7, 7.8 and 7.10
No.

- 20. Are there possible locations for new bathrooms/en-suites?** Refer to policy sections 7.7, 7.8 and 7.10
No.

- 21. Can an internal lift or stair lift be inserted?** Refer to policy section 7.13
No. See also FAQ 6 above.

- 22. How can insulation for climate control or noise abatement be added?** Refer to policy section 7.14

- a) *The acoustic performance of windows in these houses can be upgraded in the following ways*
 - i) *For original windows of exceptional significance - on the inside of the window, install an inner sheet of glass set in a timber or metal frame OR a sheet of plastic fixed with magnetic strips. Either option must be able to be removed and must not be visible from the exterior.*
 - ii) *For 1990s windows (ie windows not of exceptional significance) – the existing glass can be replaced with thicker glass and the counterweights adjusted on the mechanism within the window frame to allow for the increased weight of the new glass.*
- b) *Roof voids could be insulated to the joist level and to the rafters when replacing the roof covering.*

- 23. Can any walls be removed or opened up?** Refer to policy section 7.8

No, walls cannot be removed in the existing building, except for the introduction of an external lift on the southern elevation. In this instance it would be acceptable for a new opening on each floor to be introduced.

24. Can existing flooring, floor finishes or floor coverings be removed or replaced?

Refer to policy section 7.18

- a) *Existing flooring*
 - i) *All timber floors must be retained.*
 - ii) *All stone or cement (as in A9 and B9) flooring must be retained.*
 - iii) *Tile flooring can be replaced.*
- b) *Floor finishes*
 - i) *On timber floors acceptable floor finish must not require heavy re-sanding to be removed and include 'pure Tung oil', water based sealants and paint. A black Japan stain can also be used. Not acceptable are 2 pack epoxy and polyurethane finishes and liming.*
 - ii) *Stone or cement flooring must be left unfinished or sealed with a water-based, breathable sealer.*
- c) *Floor coverings*

Existing coverings (i.e. carpets) can be removed. Any new covering must be reversible and not cause damage to the stone or timber underneath.

25. Do any internal colour schemes need to be retained? Refer to policy section 7.18

In 117A the finish of the walls of the laundry (room A1) are to be retained. The internal colour schemes can be changed. The residences are not required to be identical. However, current paint type applied must be continued, that is acrylic paint on the walls and ceilings, shellac on the joinery. Walls are not to be stripped prior to painting. The joinery is not to be stripped.

26. Are there any constraints on changing the internal lighting of the building? Refer to policy section 7.7 and 7.20

Light fittings and switches are not significant and can be changed using the existing outlets. False ceilings must not be installed to accommodate lighting.

27. Can additional power points be added? Refer to policy section 7.11

Yes, additional power points can be added to skirting boards.

28. Can air conditioning/heating systems be installed? If so what type and where?

Refer to policy section 7.14

- a) *External reverse cycle air conditioning units for heating and cooling can be placed on the roof terrace or in the backyard provided they are not visible outside the property and are below 1.8m. Conduits must be surface mounted on the walls and through grilles into the ceiling.*
- b) *Ceiling fans are acceptable.*
- c) *Gas and electrical fittings can be used in individual rooms including within the fireplaces. No sub floor ducted heating is permissible.*

29. Are there any internal fittings or features that need to be retained and cannot be modified e.g. fireplaces, early glazing, fitted furniture, original joinery, plaster cornices and early lath and plaster, etc? Refer to policy section 7.7

All the internal fittings and features are important and need to be retained. The exceptions are the kitchen, bathroom and laundry fitouts. These can be removed, replaced and updated.

30. Where are the rubbish bins to be kept? Refer to policy section 7.6

Rubbish bins for 117 and 117A should be kept in the space to the south of the building.

31. How can pictures and other fixtures be hung on the walls? Refer to policy section 7.10

Pictures are to be hung using existing picture rails. A new picture rail hanging system can be introduced at the ceiling and wall juncture.

Only limited changes can be made to the building as shown below, subject to approval.

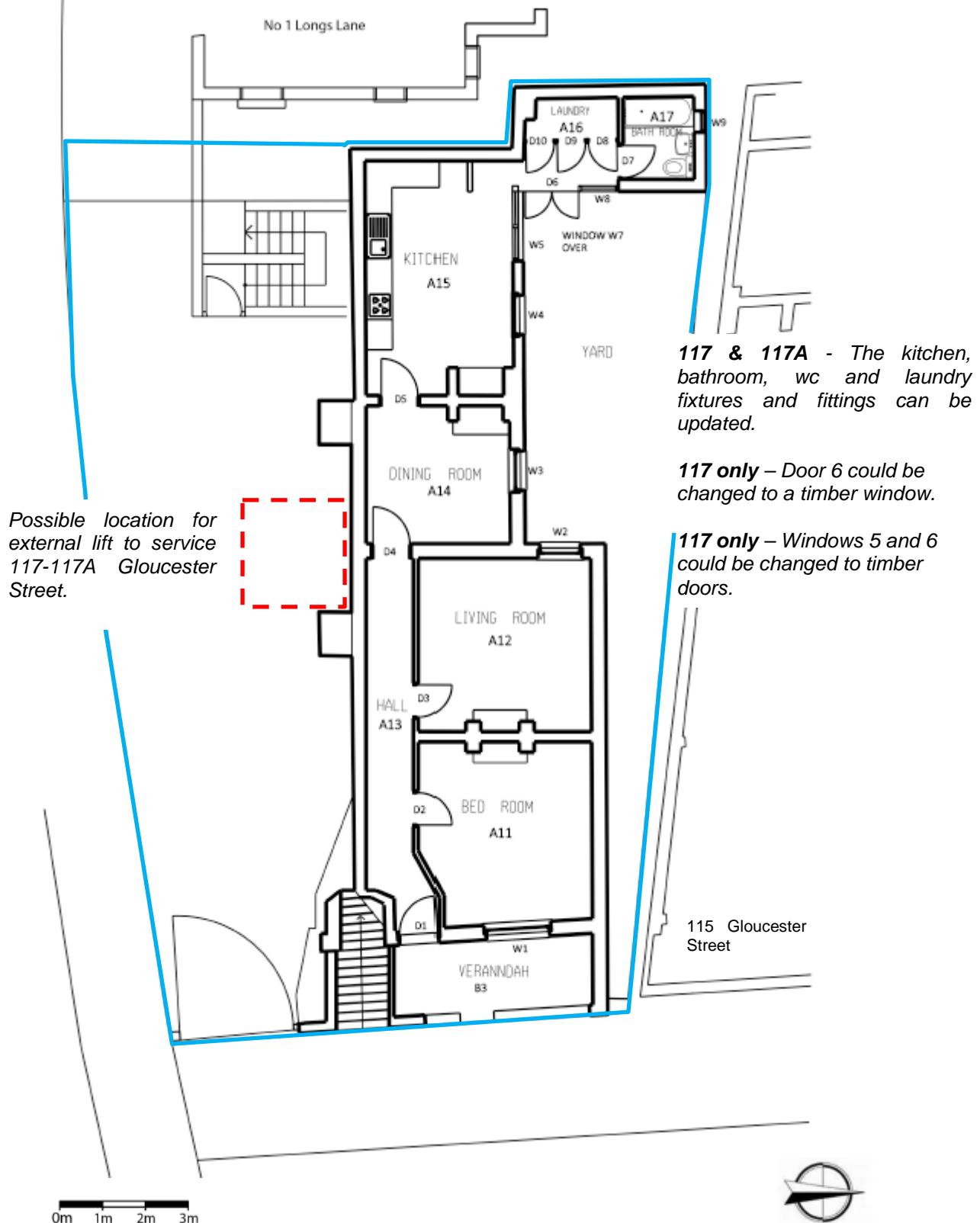


Figure A: Ground floor and site plan for 117 and 117A Gloucester Street showing possible changes. SHR heritage listing boundary shown in blue. Source: Sydney Harbour Foreshore Authority.

1 Introduction

1.1 Context of the Report

This report is based on a brief outlined in a letter of 8 September 2014 from the Sydney Harbour Foreshore Authority (the Foreshore Authority) to upgrade the CMP.

The (CMP) has been structured to fit within the framework of The Rocks Heritage Management Plan (adopted February 2002).¹ It conforms to the current guidelines of the New South Wales Heritage Council and has been prepared to a standard suitable for adoption by the Foreshore Authority.

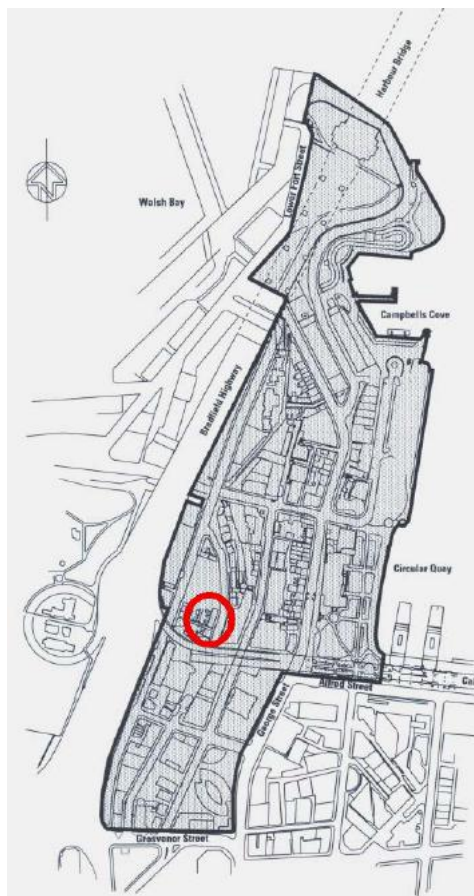


Figure 1: Location of 117-117A Gloucester Street within the context of The Rocks.

1.2 Objectives

The main objective of this CMP is to provide guidelines for the conservation, re-use, interpretation and management of the Tenement at 117-117A Gloucester Street to ensure that the cultural significance of the place is conserved.

¹ Godden Mackay Logan Pty Ltd, *The Rocks Heritage Management Plan* (2010), p.7. *The Rocks Heritage Management Plan*, adopted April 2012, is in three volumes. The *Rocks Heritage Management Plan* (2010) may be accessed at http://www.shfa.nsw.gov.au/sydney-Resource_centre-Publications-Heritage_publications.htm

1.3 Site Identification

The study area includes at the Tenements at 117-117A Gloucester Street and to it south a driveway, parking and street access for vehicles to the neighbouring properties at 1-3 Longs Lane. The study area (shown in red) is bounded to the east by Gloucester Street, to the north by the terrace at 115 Gloucester Street, to the south by the Cahill Expressway, and to the west by the two residences at 1-3 Longs Lane. (see Figure 2).

The tenement comprises two separate residential units known as 117 (ground floor) and 117A Gloucester Street (first and second floors). In this report, the entire building is referred to as the Tenement or No. 117-117A Gloucester Street.



Figure 2: Plan showing the study area for 117-117A Gloucester Street (outlined in red) and its location in the Longs Lane precinct in The Rocks (outlined in blue). Source: CLSP

The tenements at 117-117A Gloucester Street, The Rocks is owned by the Crown and vest in the Sydney Harbour Foreshore Authority. The site is part of Lot 21 Deposited Plan 1169304. (Refer to Figure 3). 117-117A Gloucester Street forms a part of the whole of Lot 21, which is known as the Longs Lane Precinct.

The Long's Lane precinct is primarily significant as a unique ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks. Longs Lane is a rare extant public right of way known to have existed from the first decade of the nineteenth century.

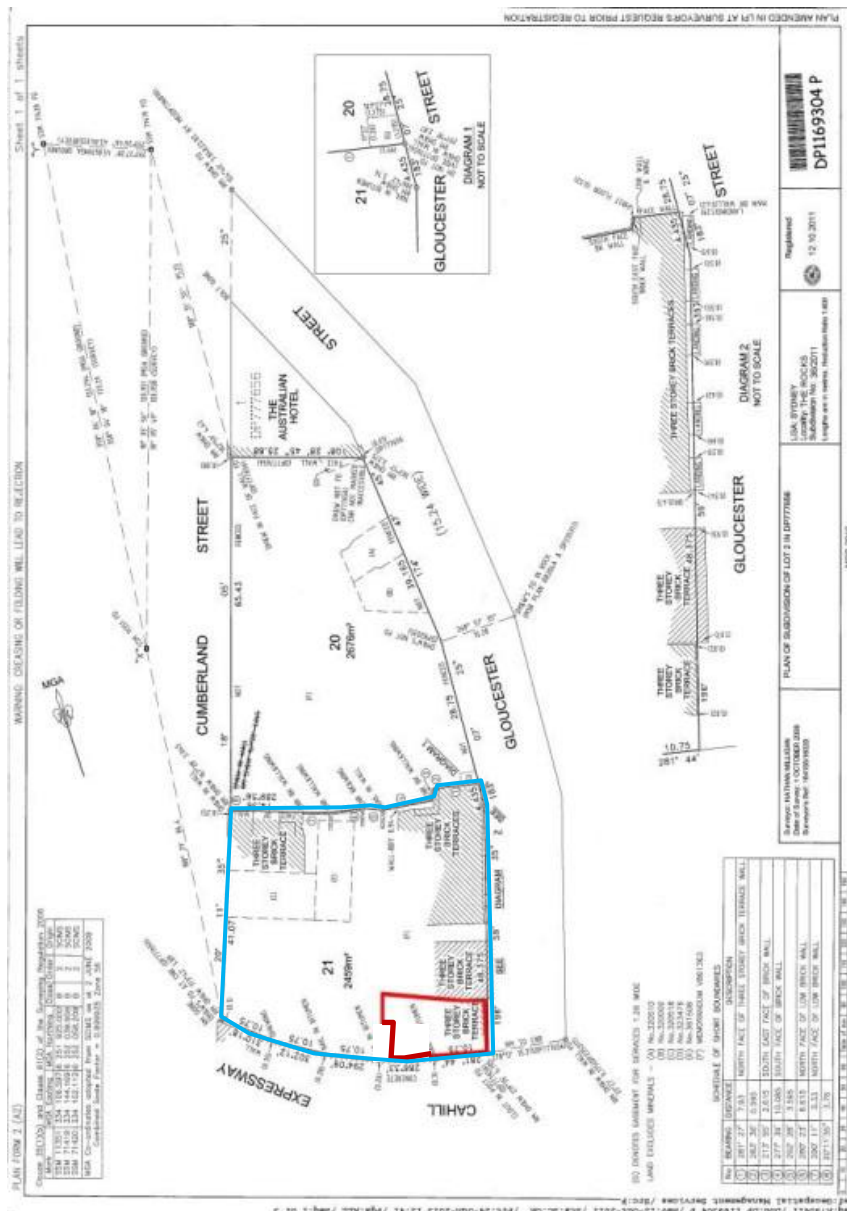


Figure 3: Deposited Plan No DP1169304P with the approximate location of the study area for 117-117A Gloucester Street indicated by red.

1.4 Listings

Statutory Listings

117-117A Gloucester Street is listed on the **State Heritage Register** as 'Tenements', Listing Number 01598, Gazette No 85, gazetted 10 May 2002.

<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053215>

The current SHR heritage listing boundary Plan 2756 is shown in Figure 4. The property description is Part of Lot 21 DP 1169304. The recommended SHR heritage listing boundary is shown in Section 4.3, Figure 78 matches that of the current SHR heritage listing boundary in Figure 4.

117-117A Gloucester Street is included on the Sydney Harbour Foreshore Authority **section 170 Heritage and Conservation Register**. http://www.shfa.nsw.gov.au/sydney-About_us-Our_heritage_role-Heritage_and_Conservation_Register.htm&objectid=118

117-117A Gloucester Street is included in the listing for the Longs Lane Precinct on the Sydney Harbour Foreshore Authority **section 170 Heritage and Conservation Register**.
http://www.shfa.nsw.gov.au/sydney-About_us-Our_heritage_role-Heritage_and_Conservation_Register.htm&objectid=176

117-117A Gloucester Street is included in the listing for The Rocks Conservation Area on the Sydney Harbour Foreshore Authority **section 170 Heritage and Conservation Register**. http://www.shfa.nsw.gov.au/sydney-About_us-Our_heritage_role-Heritage_and_Conservation_Register.htm&objectid=170

Non Statutory Listings

117-117A Gloucester Street is not included on the Register of the **National Trust of Australia (NSW)**, nor the **Register of the National Estate**.

The Long's Lane Precinct listing by the Register of the **National Trust of Australia (NSW)** and the **Register of the National Estate** does include 117-117A Gloucester Street.

117-117A Gloucester Street is included in the listing for The Rocks Urban Conservation Area on the Register of the **National Trust of Australia (NSW)**.

117-117A Gloucester Street is included in the listing for The Rocks Urban Conservation Area on the **Register of the National Estate**, Ref No. 1/12/036/0423.



Figure 4: Current SHR heritage listing boundary Plan 2756 Source: Heritage Division, Office of Environment and Heritage State Heritage Register database.

1.5 Building Description

The tenements at 117-117A Gloucester Street is a three-storey terrace-like building constructed as part of a large public housing development of 30 or so units on Gloucester, Little Essex and Cumberland Streets built by the Housing Board by 1914. The tenement building was designed by the Housing Board Principal Architect Foggitt in the Federation Free style and features decorative timber fretwork to the front verandahs. This building is a remnant of a much larger housing development that was demolished for the construction of the Cahill Expressway located to the south. 117-117A Gloucester Street is now part of the precinct known as the Long's Lane precinct.

The Long's Lane precinct is primarily significant as a unique ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks. Longs Lane is a rare extant public right of way known to have existed from the first decade of the nineteenth century.

The tenement comprises two separate residential units built as workers housing:

- 117 Gloucester Street is a two bedroom unit on the ground floor accessed via the front verandah with a single storey rear wing that houses the laundry and bathroom and small rear yard with a northern aspect within the site area.; and
- 117A Gloucester Street is a larger two bedroom unit over the first and second floors accessed via an external staircase with a laundry located on the rooftop or third floor and a rooftop terrace.

The building had been tenanted since its construction until the 1970s, when it was vacated and fell into disrepair. In the mid-1990s, following years of dereliction and occupation by squatters, the building was conserved and reconstructed by Sydney Cove Redevelopment Authority and has been rented as residential accommodation since this time.

1.6 Methodology and Structure

This Conservation Management Plan has been prepared in accordance with guidelines outlined in *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance*, 1999, known as *The Burra Charter*; the Heritage Division of the NSW Office of Environment and Heritage Guidelines on *Conservation Management Documents*, and James Semple Kerr's, *The Conservation Plan* (sixth edition) 2004.

The Burra Charter proposes processes and principles for the conservation of an item. The *NSW Heritage Manual* explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW. The key methodology of both documents is to identify the nature of any heritage significance as a basis for making decisions which will affect the future of the place. *The Conservation Plan* provides guidance on substance, structure and methodology for the writing of effective, site-specific conservation plans.

The initial sections of the CMP provide an analysis of the site and buildings, based on documentary and physical evidence. This analysis includes a historical summary, developing an understanding of the history of the site and place, together with a descriptive analysis of building components and elements. The cultural significance of the place is then defined.

A grading of significant elements and spaces has been provided to identify their differing levels of contribution to the significance of 117-117A Gloucester Street.

The following sections address various management issues, and the role and objectives of the relevant heritage authorities. They provide the framework for the formulation of the conservation policies and implementation guidelines.

1.7 Documentary and Photographic Sources

In preparing this report, documentary and photographic sources were consulted in order to gain an understanding of the history and evolution of the place. These are listed in Section 9. Photographs for this report were taken in May 2007 by Meg Quinlisk, Ron Brown, and Hector Abrahams of Clive Lucas, Stapleton & Partners.

External and internal photos taken in 2015 by SJA Construction Services for the Condition Assessment of these properties for the Sydney Harbour Foreshore Authority have been included in Section 3.0.

1.8 Terminology

The terminology used in this report, where referring to conservation processes and practices, follows the definitions as presented in *The Burra Charter*. Article 1 of the Burra Charter gives the following definitions² -

Place means site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including components, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so to retain its *cultural significance*.

Maintenance means the continuous protective care of the *fabric* and *setting* of a *place*, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Preservation means maintaining the *fabric* of a *place* in its existing state and retarding deterioration.

Restoration means returning the existing *fabric* of a *place* to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Reconstruction means returning the *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material into the *fabric*.

Adaptation means modifying a *place* to suit the existing use or a proposed use.

Use means the functions of a place, as well as the activities and practices that may occur at the place.

Compatible use means a use which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

² Australia ICOMOS Burra Charter 1999, p. 2. http://australia.icomos.org/wp-content/uploads/BURRA_CHARTER.pdf

Setting means the area around a *place*, which may include the visual catchment.

Related place means a place that contributes to the *cultural significance* of another place.

1.9 Authorship

The original version of this report was prepared in 2007 by Hector Abrahams and Ron Brown, architects, Meg Quinlisk, historian and conservation planner, and Kane Murdoch, historian, with assistance from Alison Henning, built heritage specialist, all of Clive Lucas, Stapleton & Partners.

The 2015 revision of this report, including the preparation of the assessment and statement of significance, which makes reference to the 2007 Plan, was prepared by Hector Abrahams, architect, Brianna Jessup, architectural graduate and Tonia Reed Abrahams, Project Manager, all of Hector Abrahams Architects and Meg Quinlisk, Consultant Historian.

Edits and revisions for the final version were completed by the Sydney Harbour Foreshore Miriam Stacy Heritage Officer, Bruce Baskerville Historian and Dr Wayne Johnson Historical Archaeologist. All authors have contributed to the preparation of the assessment and statement of significance and the preparation of the conservation policies.

The copyright of this CMP is vested in the Sydney Harbour Foreshore Authority.

1.10 Acknowledgments

The 2007 Conservation Management Plan in respect of 117-117A Gloucester Street, The Rocks, to which this current 2016 Plan makes reference, was prepared by Clive Lucas, Stapleton & Partners Pty Ltd.

The authors of the 2007 report wish to gratefully acknowledge the following people for their assistance with this report:

- Lynda Kelly, Archivist, Sydney Harbour Foreshore Authority.

The authors of the 2016 review wish to gratefully acknowledge the following people for their assistance with this report:

- Miriam Stacy, Heritage Officer – Contractor, Sydney Harbour Foreshore Authority
- Justin Hewitt, Project Manager, Sydney Harbour Foreshore Authority
- Elisha Long, Heritage Officer, Sydney Harbour Foreshore Authority
- Dr Noni Boyd, Australian Institute of Architects (NSW Chapter)
- Michael Zanardo, Studio Zanardo.

1.11 Limitations

This CMP update does not address pre-contact Aboriginal history or Aboriginal historical associations. In preparation of this CMP update, consultation was not undertaken with stakeholders or key knowledge holders or the Local Aboriginal Land Council.

2 Documentary Evidence

In order to understand the history and evolution of the place, evidence from documentary sources has been compiled and analysed in the sections below.

2.1 Indigenous Sydney - The Cadigal

The Aboriginal people who lived along the coastal area of Sydney were called (erroneously by the Europeans) the *Eora*, or coastal *Darug*. The Sydney area, including The Rocks, Darling Harbour and Pyrmont/ Ultimo formed the territory of a “clan” (subgroup) known as the *Cadigal*. Their word for The Rocks- or more specifically the shore where the hospital stood on George Street between Globe Street and Argyle Street was “*Tallawolodah*”. The peninsula of land which we now call Dawes Point, was “*Tarra*”, and Sydney Cove itself was “*Warrang*” or “*Warrane*”.

Due to the rugged outcrops of rock which later gave the “The Rocks” its name, it is unlikely there was any “permanent” occupation of the upper ridges. Flat stones by the water at Dawes Point were said to have been used by the Cadigal cooking fish.

From archaeological evidence, a campfire was excavated in 1989 on the site of the ANA Hotel in Cumberland Street, indicating that a small group of Cadigal had, some 500 years ago, stopped on the site and cooked a meal of rock oysters, bream, snappers and other shell fish, no doubt taking in the views over the harbour. In the 1870s it was recorded that a carving of a whale could be seen on the rock at Dawes Point, although this appears to have been buried in c. 1880 when the seawall was constructed.

2.2 Development of The Rocks

The Convict Settlement (1788-1820)

After the arrival of the Europeans in 1788 the upper ridges of The Rocks were quickly occupied by convicts who built rough huts to live in. The Rocks is one of the oldest surviving names for a European settlement in Australia, a colloquial name used to describe the western slope of Sydney Cove, a location initially referred to as being “on the Rocks”.³

The subdivision of The Rocks occurred in the absence of formal street alignments, with rows of cottages constructed to follow the naturally occurring rock shelves. The access paths to the houses eventually became streets. Each north-south street ran along the top of a rock shelf, in front of a row of houses. Evidence of this early phase of development remains at the rear of Susannah Place, in the excavated Cumberland Street site, beneath the Australian Hotel and in the current alignment of Gloucester Street. The pattern of rows was to dominate the development of the area until the mid-1820s.⁴

Formal titles to the land were not granted until the mid-1830s however long term leases were made prior to 1810.⁵ In the absence of formal grants and an informal process of land transfer, leasing and subdivision of allotments developed. The rapid, ad-hoc development of the area indicates that the convicts were allowed a high level of freedom of action;

³ page 232, *Gloucester Street, The Rocks: A study of its development and conservation*. Dr. Noni Boyd, Masters thesis submitted for Master of Science (Architecture, Conservation) University of Sydney, 1998

⁴ page 233, *Gloucester Street, The Rocks: A study of its development and conservation*. Dr. Noni Boyd, Masters thesis submitted for Master of Science (Architecture, Conservation) University of Sydney, 1998

⁵ p. 11, Godden Mackay, The Cumberland Street/Gloucester Street Site, Archaeological Investigation. Archaeological Assessment and Research Design. Unpublished report, April 1994

particularly once they had obtained their ticket of leave. Both women and men were able to transfer property. Evidence of the processes of subdivision and land transfer survives, in the Colonial Secretary's Papers and the Registers of Deeds and Grants held by the Land Titles Office.⁶

The gazettal of the street names, by Governor Macquarie in 1810, began a long tradition of the imposition of names relating to the Kings, Queens, Dukes or political figures, in The Rocks and in Sydney generally. In contrast the back lanes were named after local personalities, usually the landlords or property owners. Prior to 1810 the streets were not named; buildings in the vicinity were referred to as being "*on the Rocks*".⁷

Along George Street the Government built a hospital, dockyard and market place, and at the northern end of The Rocks an observatory, and, in 1791, a fort (Dawes Point Battery) were constructed. As the colony grew, the rough convict huts were replaced by modest houses, and also a few mansions.

As Sydney expanded in the 1790s the initial concentration of the colony's occupants in The Rocks thinned out, with those remaining consolidating larger areas around them. In 1809 the Government instituted a system of town leases, and new arrivals to the area registered the land they occupied and paid a fee to the Colonial Secretary.

The Port Town (1800-1900)

From c1810 the waterfront was extensively developed with wharves and warehouses, attracting merchants who built their houses, stores and shops along George and Argyle Streets. By the late 19th century The Rocks had become run down and overcrowded, and was considered a typical waterfront slum.

In 1900 an outbreak of bubonic plague in Sydney was used by the NSW Government as an excuse to clean the area up. The Government's Sydney Harbour Trust (after 1937 the Maritime Services Board) resumed the entire area and went on to demolish hundreds of houses considered to be uninhabitable.

Redevelopment (1900-current)

In the early 20th century, new construction in The Rocks focused on State Government Housing Board housing built as workers accommodation for the wharf and associated industries including warehousing, bond stores and factories (State Clothing Factory). Some private factories were also built in The Rocks at this period (Playfair's butchers, Bushell's, Cadbury's). Associated service buildings including hotels and public drinking houses built in the early 1900s include the Fortune of War on George Street and the Glenmore Hotel in Cumberland Street.

NSW Government offices (Housing Board, Department of Labour & Industry, In the 1960s it was planned to demolish all the buildings in The Rocks and build high-rise commercial buildings.

The local residents opposed the redevelopment with the support of the Builders Labourers Federation as part of Sydney-wide 'Green Bans' movement. Between 1971 and 1973 the Government gave in to their demands and it was decided that The Rocks would be re-developed in a means sympathetic to the historic nature of the buildings, whilst at the same time being economically viable.

⁶ page 233, *Gloucester Street, The Rocks: A study of its development and conservation*. Dr. Noni Boyd, Masters thesis submitted for Master of Science (Architecture, Conservation) University of Sydney, 1998

⁷ page 235, *ibid*

2.3 Development of the precinct

Early plans and images, such as Watling's (attrib.) c1800 painting *Sydney - Capital New South Wales* and Meehan's 1807 Plan of Sydney Town show that present-day Gloucester Street between Essex and Argyle Streets was closely settled along a defined building alignment. These dwellings are likely to have been flimsy timber houses, built by the occupants (convicts and free settlers).⁸ Part of Gloucester Street had been formed by 1807, and up to 1836 maps of the area show a number of small buildings in the area.

The earliest reference to Long's Lane is made in Meehan's 1807 map, where the present-day lines of Cumberland and Gloucester Streets are shown to have been formed with an interconnection along the alignment of Long's Lane.

By the mid-1880s the nature of the Rocks environment and Gloucester Street had been transformed by the construction of terraced housing.

Development within the precinct occurred predominantly in the 1880s and in the first decades of the 20th century.

See Section 2.10 Development of the site and its context, figures 40 to 48 for a series of plans showing the evolution of the Long's Lane precinct.



Figure 5: 1825 Plan of Sydney Town by GC Stewart (detail). The area of the Long's Lane precinct is indicated by the dashed red line. Long's Lane is named on this plan. Thorley / Thurston's *Black Dog* hotel and out building (bakehouse?) is shaded in blue. (Source: SRNSW Plan SZ469)

⁸ Lydon, 1993, p. 7.

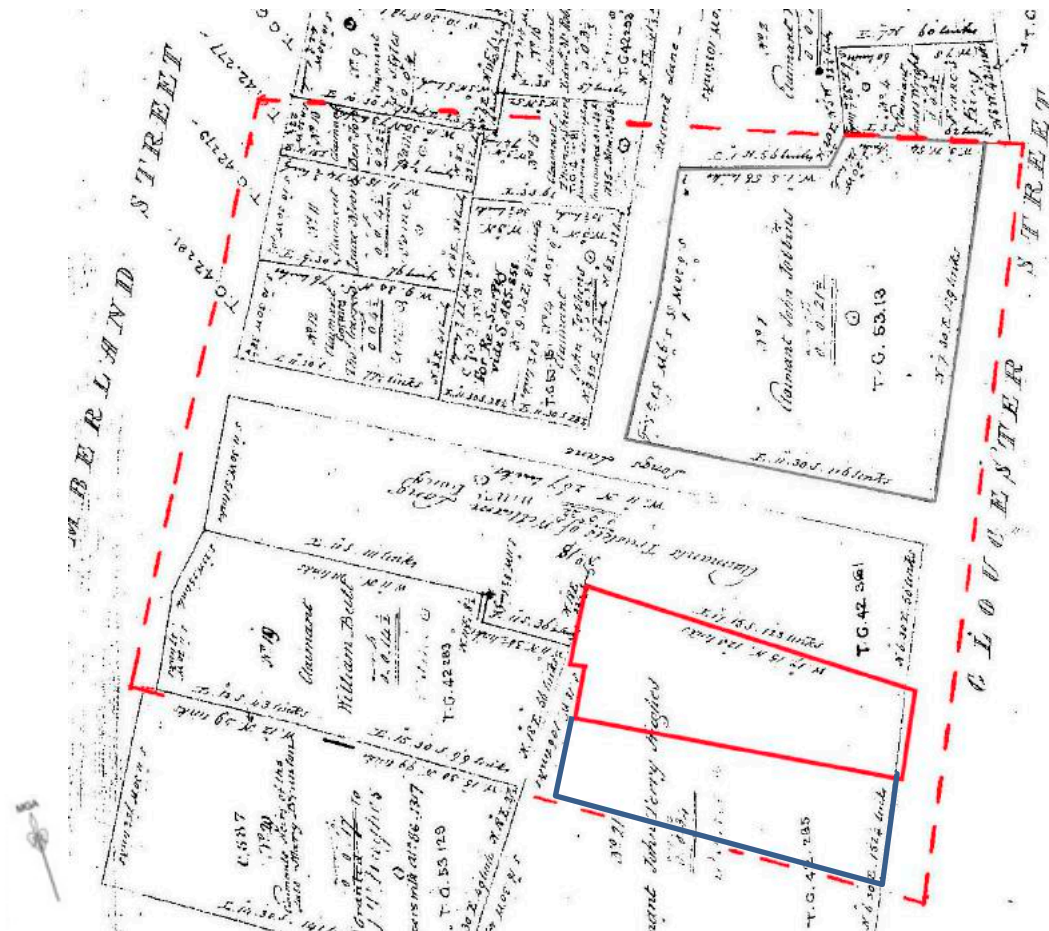


Figure 6: Plan of City Section 74, gazetted 19th January 1839. Longs Lane precinct indicated by red dashed line, 117-117A Gloucester Street allotment is outlined in red, with adjacent site area outlined in blue. Source: from a copy held by Sydney Harbour Foreshore Authority

2.4 Initial Development of the Site (1788-1900)

Immediately following European settlement of Sydney the ridge lines of The Rocks were the site of occupation by convicts of the First Fleet. This included the site of 117 Gloucester Street. The first known European occupant of the site was Samuel Thorley (1769-1826), a 3rd Fleet arrival in 1791 sentenced to 7 years transportation for burglary.

Thorley's property was first mentioned in June 1803⁹; a 14 years lease on 51 rods, situated in the centre of the block which was bounded by what was to become Gloucester Street, Longs Lane, Cumberland Street and Little Essex Street. It was here, and by this date, that Thorley was operating a pub known as the *Black Dog*. In 1804 the property was advertised for sale or lease, although Thorley was to remain there for some years to come. It is clear by the 1804 advertisement that the *Black Dog* was well established by that date:

*A Neat and commodious DWELLING HOUSE, Situate on the Rocks, formerly Known by the sign of the Black Dog, the Property of S. THORLEY, removed.
The house is substantially built, shingled and glazed throughout; convenient Back Residence, excellent Garden, and position for Trade Undeniable.*

⁹ State Records Authority of New South Wales: Registers of Land Grants and Leases; Series: NRS 13836; Item: 7/444; Reel: 2560

To a purchaser the Terms will be advantageous, and a moderate Credit allowed. (Sydney Gazette 4 Mar 1804, p4)

In 1813 Thorley again attempted to lease out his Rocks property, and was again unsuccessful, continuing to be granted spirit licenses up until at least 1817. A description of his holdings on the site appeared in the Sydney Gazette:

To be let with immediate possession, all that Dwelling House and Premises, situate in Cambridge-street [ie Gloucester Street], known by the Sign of the Black Dog: this situation is most desirable for Trade or Business having been in the Retail spirit line upwards of 10 years; together with an Oven and every other suitable Convenience for the Baking Business. Apply on the Premises. [Sydney Gazette 17 April 1813, p2]

William Lock Thurston (1786-1853), a baker, purchased the property in February 1818¹⁰, operating the *Black Dog*. Thurston had been sentenced to transportation to New South Wales along with his brothers Daniel and John in 1810.

Between 1818 and 1823 the property was subdivided as indicated in the Stewart Plan (Figure 5). John Terry Hughes (1802-1851), nephew of convict millionaire Samuel Terry, had become the owner of the south-eastern portion of the Thorley property (containing the *Black Dog* pub and the site of 117 Gloucester Street) in October 1831. Terry himself never lived on the site, which appears to have continued to have been occupied by Thurston until 1832. During this time the Gloucester Street frontage formed the front yard to the *Black Dog* (see Figure 5). A new *Black Dog* opened in 1834 on the corner of Gloucester Street and Essex Lane, now part of the site of the Cahill Expressway (Sydney Gazette, 9 January 1834).¹¹ The former pub and bake-house continued as a residence until the mid-century.

The formalisation of land claims in The Rocks commenced with grants made by Governor Darling in 1829 and continued for close to two decades.¹² Allotment 21 of section 74 was formally granted to John Terry Hughes in January 1839.

In 1848, William Todd, on behalf of George Cooper Turner and Oswald Bloxsome, purchased the allotment. In turn Bloxsome and Thomas Icton subdivided the land in 1853. Upon this subdivision Richard Wilde, or Wild, (1808-1872), purchased lots 7, 8, 9 and 10 for just over £2400.¹³

Maps drawn between 1823 and 1842 show the old *Black Dog* as an L-shaped structure on Allotment 21, at the south of the study area. It was demolished around c1853. In its place was constructed a single-storey, two-roomed iron-roofed building, owned by Richard Wilde. Wilde was a grocer as well as a publican, holding the license for the new *Black Dog* from 1851-69. The iron-roofed building to the south was enlarged or rebuilt with an upper storey by the 1880s (see Figure 17) and was occupied by various tenants, usually described as a grocer's. The study area itself remained largely vacant with the exception of a shed.

In October 1872 Richard Wilde died, leaving an unpaid mortgage held by Faulkner Hope Bartlett. The property was sold for the sum of £1850. The new owner was noted as Robert Read Hickson.

Despite a reference to the presence of stables in 1881, the property throughout this period and into the early twentieth century would more accurately be characterised as vacant land.

¹⁰ Registrar General, Deeds Registration Branch: Registers of Memorials, 1814-1832; Thurston to Hughes, 22 October 1831.

¹¹ In 1889 it became the *Ocean Wave* and survived until 1902.

¹² Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 28.

¹³ Clive Lucas Stapleton & Partners, 1991, *Long's Lane Precinct Conservation Analysis and Interim Conservation Guidelines* [referred to hereafter as CLSP], p 31.

A map from 1887 (Figure 7) records an extensive yard on the property, probably part of stables owned by cab proprietor Patrick Mahoney, from 1885 to 1902, who rented the building to the south from 1882 until 1902.¹⁴



Figure 7: (left) 1887 Trigonometrical Map of Sydney. (Source: Mitchell Library ZM). (Right) 1902 The Rocks Resumption map detail (Source: City of Sydney Archives). In both plans, the 117-117A Gloucester Street allotment is outlined by the solid red line with adjacent site area outlined in blue. The Long's Lane precinct is indicated by the dashed red line.

2.5 Urban renewal and site redevelopment

Government resumption, public health and clearance in Millers Point and The Rocks

During the mid to late 19th century, the wharves of Darling Harbour and The Rocks were a traditional place to pick up work.... In The Rocks, commercial wharves and warehouses were also in demand. ... The need to live close to one's place of work meant that demand for housing in The Rocks. Rents were high, and the largely absentee landlords showed little interest in maintaining their properties. ... cramming into their properties more and more two and three room tenements. ... The outward signs of decay had a detrimental effect on the appearance of The Rocks, influencing outsiders' perceptions of the area and its inhabitants, and earning it the reputation of a slum. By the end of the century social reformers and politicians with socialist ideologies were campaigning for a working-class utopia: The Rocks it was felt was ripe for redevelopment.¹⁵

Public health became an important health issue in the early 20th century. Following an outbreak of the plague in Sydney and The Rocks, the NSW government, under the Rocks Resumption Act (1901), resumed the area.¹⁶ Some buildings deemed to be sub-standard were demolished as part of the slum clearances in The Rocks. The Sydney Harbour Trust was formed in 1901 to manage the resumed land and oversee the reconstruction of

¹⁴ Sand Directory Listings, 1882-1932/3, cited in CLSP, Vol. 2, p 31.

¹⁵ Wayne Johnson, Convict colony to Workers' Paradise, from *Painting The Rocks*, p.33.

¹⁶ Volke thesis, *The Politics of State Rental Housing in New South Wales, 1900-1939*, cited in Perumal Murphy Alessi, *Terraces, Nos. 46-56 Gloucester Street, The Rocks Conservation Management Plan*, for the Sydney Harbour Foreshore Authority, 2005

Sydney's wharves and adjacent land,¹⁷ with the construction of purpose built workers' housing to be constructed.

In 1908, eleven disciples of urban reform comprised a royal commission. They decided what should be done to improve Sydney. ... 'Yes, they reported, we must 'resume and remodel slum areas' and 'provide sites for workmens' dwellings'. Ideally the workers should live in the suburbs, but where the waterside workers were concerned they should 'reside within easy reach of the wharves'.

Easy reach meant The Rocks and Millers Point. And some houses were built, often innovative and in many cases lived in by waterside workers. Here was the genesis for public housing in New South Wales.¹⁸

The proposal, coming from the members of the Rocks Resumption Board, to erect huge buildings for the accommodation of the people who earn their livelihood within the resumed areas and along their, foreshores, is not meeting with unmixed approval, either in the City Council or outside of it. The scheme is certainly grandiose enough in conception. Five storeys, the facades of stone; each tenement to consist of from two to five rooms, with lavatories, electric light, and all the 'most modern sanitary and other appliances' supposed to be so dear, to the heart of the working man. There will also, in the basements, be swimming baths, gymnasiums, libraries', lecture halls, and perhaps schools.' Each of these houses one is to extend its frontages along Windmill, Argyle, Kent, and Lower Fort streets, and the other to be situated at the base of the Observatory Reserve will, it is estimated, accommodate about 350 families, together with 500 single men, or, say, 4000 souls in all. And the Board ravers that these people will have better residential facilities than the world can show elsewhere under the same conditions.¹⁹

This proposal was rejected outright. In response the Government initiated and proposed three tenement buildings with separate 2-5 roomed residential accommodation and shared facilities. This early 20th century style of housing known as tenement housing, was the predecessor to multi-storey walk-up flat or apartment buildings that were built in Sydney from the mid-1920s onwards.

Urban Renewal in The Rocks

Within the inner Sydney areas compulsorily resumed by the State Government, the lower density, semi-detached forms advocated for garden suburbs could not be applied: the terrace and the tenement or industrial dwelling, similar to municipal housing in London and Manchester were, by necessity, employed.²⁰

The Rocks was to be the subject of a grand design, an ambitious social experiment that would incorporate many of the philosophies on town planning, engineering, architecture and sociology that had been debated in the late 19th century. ... The government architects designed innovative workers housing to replace the demolished buildings, such as tenements and boarding houses that would accommodate the families and single men employed on the waterfront and in related industries.²¹

¹⁷ Wayne Johnson, *ibid*, p.36.

¹⁸ Max Kelly, *Anchored in A Small Cove, A history and archaeology of The Rocks, Sydney*, p.97.

¹⁹ Tenement houses, newspaper article c1900 from

<http://trove.nla.gov.au/newspaper/article/113871539?searchTerm=tenement&searchLimits=-l-state=New+South+Wales||l-decade=190#>

²⁰ Noni Boyd, *No Sacrifice in Sunshine Walter Liberty Vernon Architect 1846-1914*, pages 474-475.

²¹ Wayne Johnson, *Ibid*, p.36.

The Sydney Harbour Trust inherited thousands of Rocks tenants along with the resumed properties. Private ownership was no longer an option, and all residents paid their weekly rents to the Trust. As the new tenements that had been planned in 1901 would require administration, a Royal Commission was held into affordable housing for workers in 1909 and the 1912 Housing Act established the Housing Board, with offices constructed in 1921 at 16–18 Grosvenor Street. The Board's job was to administer public housing and liaise directly with the Government Architect in the design of high quality, innovative and hygienic housing.

The designs for the structures came from the office of the Government Architect, drawing on current up-to-date principles in urban design and technology. A number of streets were realigned, straightening them or cutting and filling to reduce the steep grades. Although the majority of retail businesses in George Street remained, new shops – like corner stores – were constructed for the convenience of the occupants of the new housing in the back streets. Houses were fitted with bathrooms, indoor toilets and gas or electric lighting. Materials such as reinforced concrete and breezeblocks were used in construction.

The design of workers housing was to be a collaborative effort bringing together of dozens of planners, architects and engineers, who would apply their diverse principles and professional experiences. Non-traditional materials like concrete and steel were to be used in their buildings' construction. Shops, parks and kindergartens were all planned as part of the mix; and, most importantly, it was to be in consultation with the very people who would habit the new utopia.²² This did not happen.

The Government Architect's Office did design an unusual row of houses for the narrow and precipitous site at 46–56 Gloucester Street between 1908 and 1911. The row incorporates 16 residences; in effect, two rows of eight two-storey terraces stacked one atop the other. On the Gloucester Street level the lower terraces were entered at street level, and stairs took occupants to a lower floor. A stair from the street led to the first floor terraces, accessed by a verandah across the front of the building. Garbage chutes took waste from the rear of the buildings to yards on Cambridge Street.²³

Housing Board tenements in The Rocks

The 1912 Housing Act established the Housing Board to administer the public housing and liaise with the Government Architect in designing high-quality, innovative and hygienic housing.²⁴

From its establishment until its disbandment in 1927, the Housing Board was the first NSW government agency devoted to the construction of public housing. The Board constructed housing on cleared land to be leased to 'persons qualified under the Act' for business or residential purposes.²⁵ The Housing Board examined public housing initiatives in the UK and Europe, and incorporated those ideas in constructing tenement dwellings in The Rocks.²⁶

The first major development by the Housing Board in The Rocks was for some 30 units in a 'Shops and Dwellings' development along Gloucester, Cumberland and Little Essex streets designed by the Housing Board's Principal Architect William Foggitt. Foggitt's design

²² Wayne Johnson, *Chapter 14 Government ownership*, unpublished manuscript.

²³ Wayne Johnson, *ibid.*

²⁴ Wayne Johnson, *Convict colony to Workers' Paradise*, from *Painting The Rocks*, p.37.

²⁵ N.S.W. Government records agency listing.

²⁶ Perumal Murphy Alessi, *Terraces, Nos. 46-56 Gloucester Street, The Rocks Conservation Management Plan*, for the Sydney Harbour Foreshore Authority, 2005, p 18.

drawings were dated May 1913 and the building was completed by 1914. See Figures 9-12 over.

In addition to housing, the Board also sought to ensure a mix of housing and amenities with corner shops in the area.²⁷ Floor plans for this development show that a range of accommodation types were designed to accommodate the waterfront workers as part of the tenement development; with housing working men and their families; and boarding style accommodation for single men. An example of self-contained family accommodation is at 117-117A Gloucester Street and boarding house accommodation for single working men is at 140-142 Cumberland Street, The Rocks.

While the new tenements in The Rocks did not conform to the 'garden suburb' ideal, they were designed with such amenities as plumbing, and gas lighting and cooking. Rooms were spacious and well ventilated, laundries and clothes drying spaces were provided in yards and or on rooftops, and decorative architectural elements gave variety in design. While private yards were almost totally absent, public recreation spaces and parks were located nearby for children and adults alike.²⁸

This Housing Board development in The Rocks continued and developed the innovations of recently designed and constructed tenements in Millers Point; with improvements on the internal housing designs and room layouts, use of construction materials and newly introduced technologies initiated in the Government Architects Branch and the NSW Government Architect Vernon's designs for workmens' dwelling constructed at Millers Point in Munn Street, Dalgetty Street and High Street and particularly with reference to the form, materials and Federation Freestyle design used by Vernon for the Workmen's Dwellings in Lower Fort Street, Millers Point, completed in 1910.

As the photo in figure 8 below shows, the external form of 117-117A Gloucester Street with its Federation Freestyle terrace-like form and Queen Anne inspired decorative timberwork detailing to the front verandahs, differs markedly in style and form the remainder of the Housing Board development, which has a solid form and appearance due to its face brickwork and restrained Federation Free style detailing. It is not known why the external design of 117-117A Gloucester Street differs so greatly, but it has been suggested that it may have been designed to relate to the neighbouring pair of late Victorian terraces and filigree iron lacework at 113-115 Gloucester Street, The Rocks.

The design of 117-117A Gloucester Street and its mirror image (now demolished) were designed about a central common staircase. The terrace-like forms read as two separate terrace-like buildings in the streetscape, rather than as part of the larger development.

The tenements at 117-117A Gloucester Street with the decorative Queen Anne timberwork to the external front verandahs were different in style to the solid face brick massed form used in the remainder of the development, but in all other respects, the tenements at 117-117A were typical in the overall design of the building, the accommodation design and room layout, use of semi-enclosed staircase access to the upper floor tenements, incorporation of roof top laundry and terraces and minimally sized rear yard areas to the ground floor, as well as construction materials and methods used in the overall development.

²⁷ Boyd, N., Thesis, *Gloucester Street, The Rocks A Study of Its Development and Construction*, 1997, p. 153, cited in Perumal Murphy Alessi, op. cit.

²⁸ Boyd, N., Thesis, *Gloucester Street, The Rocks A Study of Its Development and Construction*, 1997, p. 153, cited in Perumal Murphy Alessi, op. cit.



Figure 8: A view of the recently completed workers' housing at Nos. 119-121 Gloucester Street and Little Essex Street, July 1914. Source: NSW Government Printer Series – Housing Board ML GPO 1 Still 32252

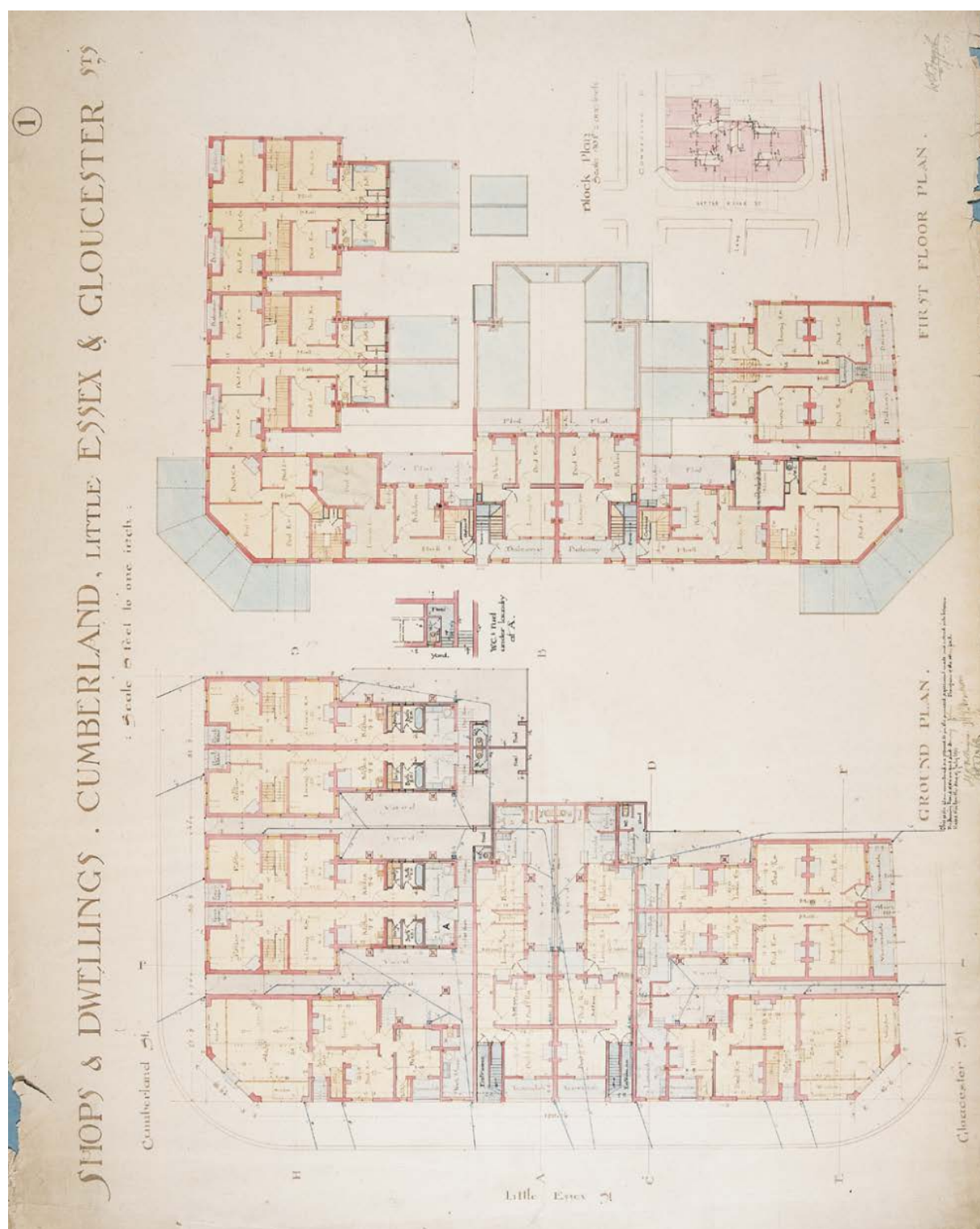


Figure 9: Ground and 1st floor plans for Shops & Dwellings, Cumberland, Little Essex & Gloucester Streets, The Rocks, Housing Board, Architect Foggitt dated May 1913. Source: State Records NSW, Plan No. 3132.

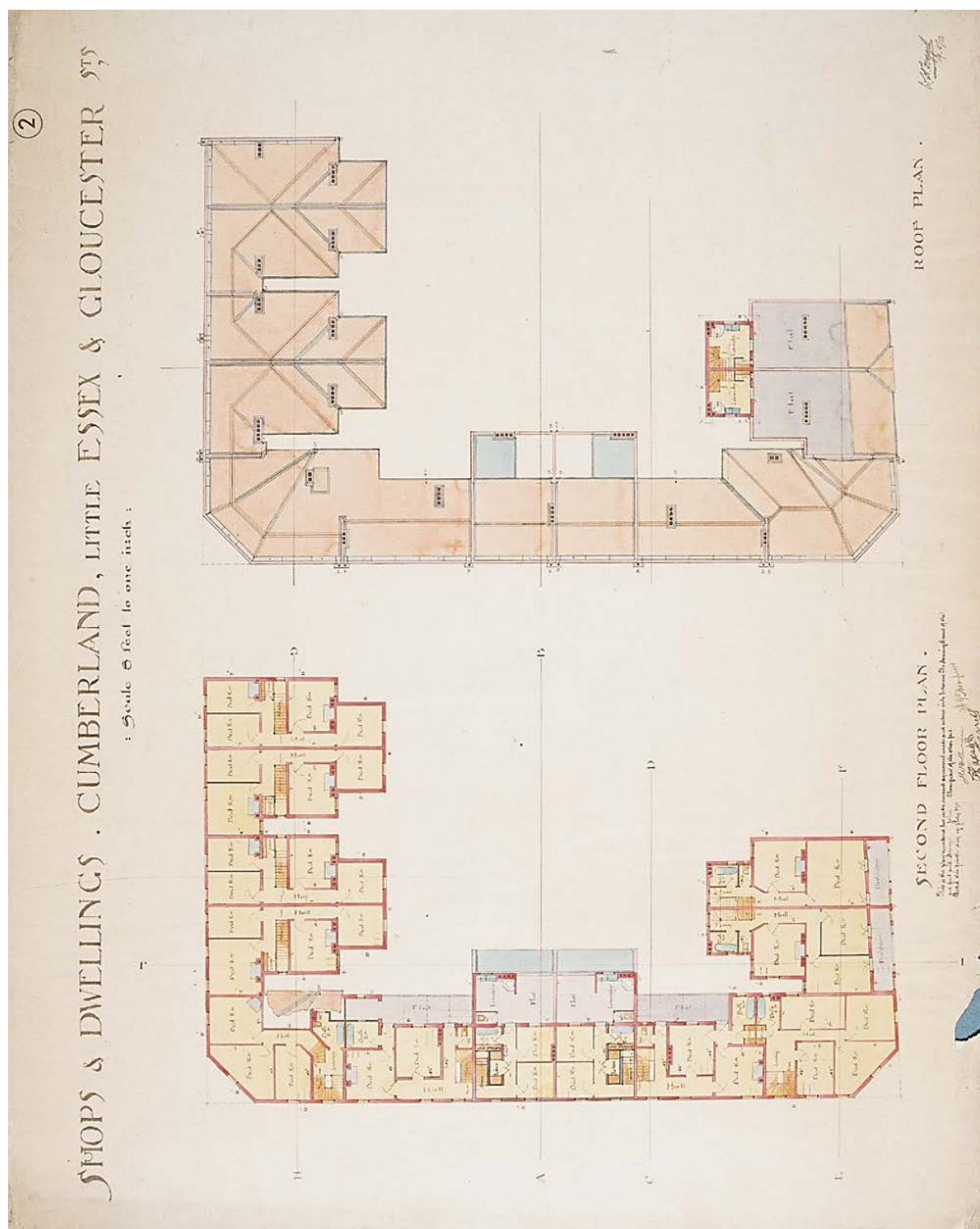


Figure 10:9 2nd and Roof plans for Shops & Dwellings, Cumberland, Little Essex & Gloucester Streets, The Rocks, Housing Board, Architect Foggitt dated May 1913. Source: State Records NSW, Plan No. 3133.

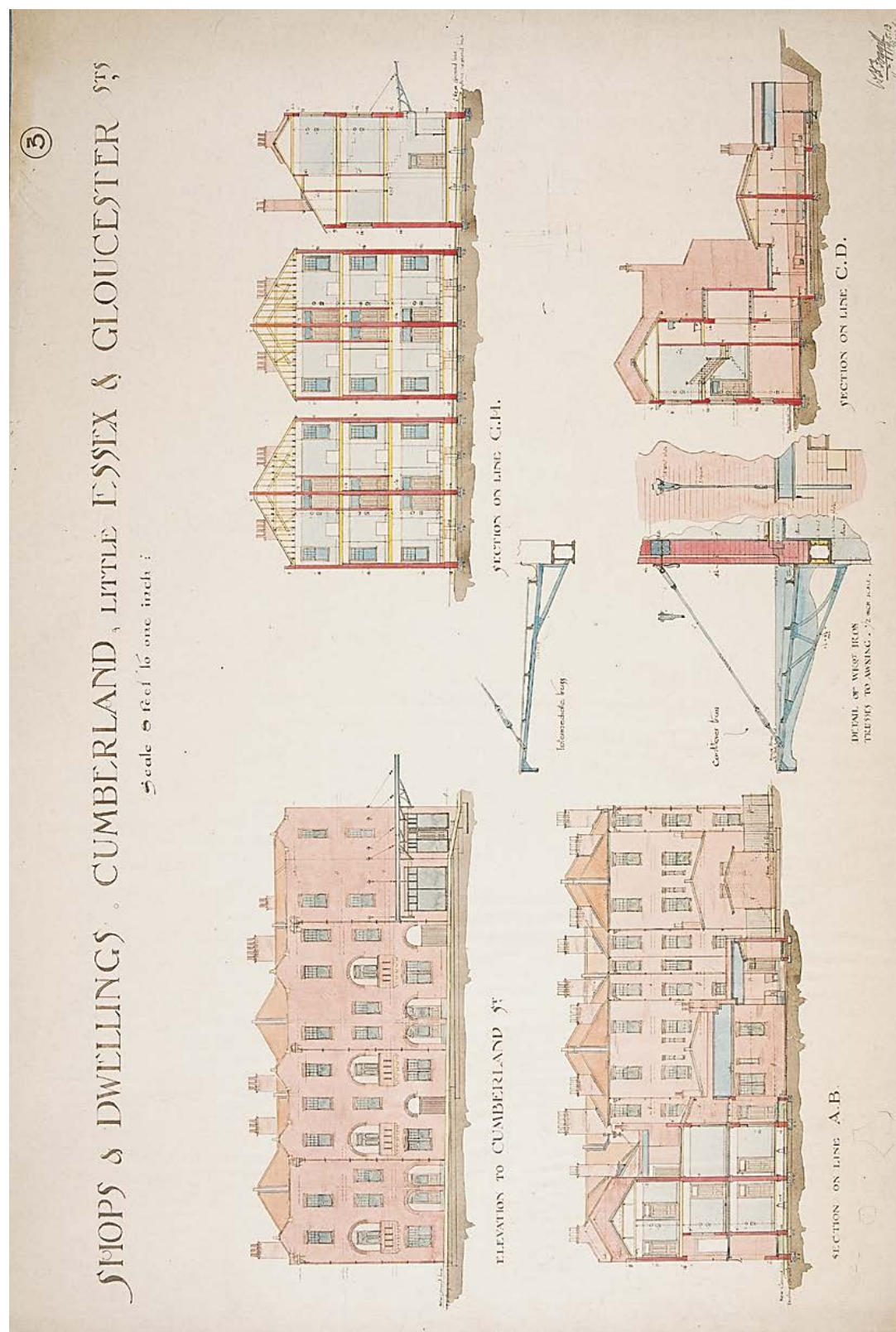


Figure 11: Cumberland Street elevations, section and details for Shops & Dwellings, Cumberland, Little Essex & Gloucester Streets, The Rocks, Housing Board, Architect Foggitt dated May 1913, Source: State Records NSW, Plan No. 3134

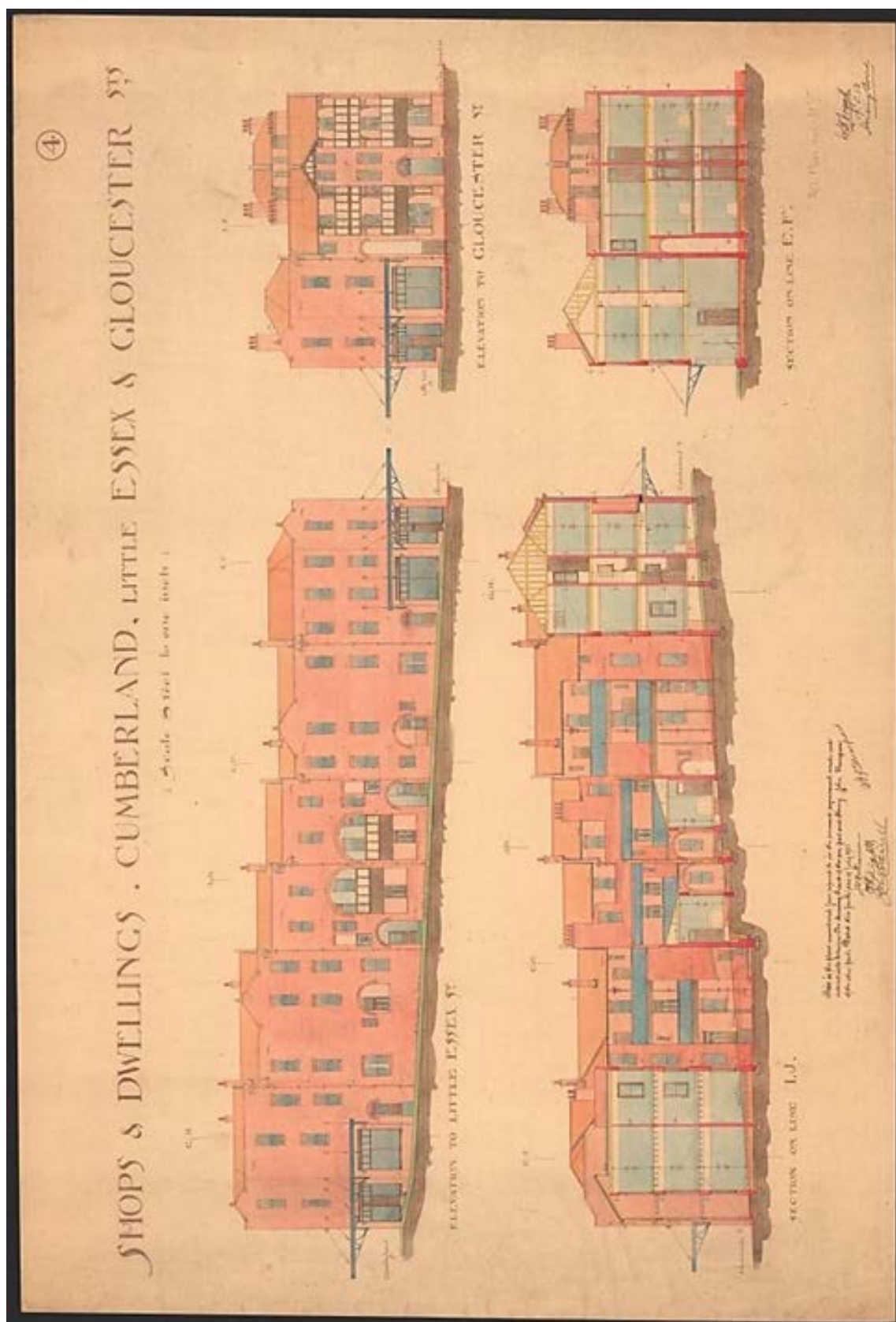


Figure 12: Essex and Gloucester Streets elevations and section for Shops & Dwellings, Cumberland, Little Essex & Gloucester Streets, The Rocks, Housing Board, Architect Foggitt dated May 1913, Source: State Records NSW, Plan No. 3135.

2.6 Ongoing use and changes to the site and building

The tenements have been occupied by tenants from its completion in 1914 until the 1970s when it fell into disrepair. From the late 1970s until the 1990s the buildings were vacant or occupied by squatters. Since the conservation works in the 1990s until the present, the tenements have continued to be let as rental properties under the management of a range of government agencies: initially by the Housing Board until its demise in 1927; then under the Maritime Services Board until the establishment of Sydney Cove Redevelopment Authority, and subsequent authorities including the Sydney Cove Authority and the Sydney Harbour Foreshores Authority.

Partial demolition for construction of the Sydney Harbour Bridge approach, 1956

A major change to the tenement building came in the mid-20th century with the construction of the Cahill Expressway over Circular Quay that necessitated the demolition of most of this Housing Board development in Gloucester / Essex / Cumberland Streets in 1956, with the buildings at 140-142 Cumberland Street and 117- 117A Gloucester Street retained.

From 1956, the remaining tenements now separate buildings in Cumberland and Gloucester Streets, have functioned as two separate buildings with separate dwellings let to workers and their families. Since the 1990s, 117-117A Gloucester Street has been let as two residences and the single men's boarding house accommodation at 140 and 142 Cumberland Street has been commercially leased for use as bed and breakfast accommodation.



Figure 13: Housing Board tenement building, extant part of this development in 2016, consisting of 140-142 Cumberland Street and 117-117A Gloucester Street, The Rocks. This building was largely demolished in 1956 for the Cahill Expressway. Source: Sydney Harbour Foreshore Authority, M Stacy.

Dereliction and redevelopment site 1970s – 1990s

No. 117-117A continued to be managed by the Maritime Services Board and was tenanted through to the 1970s, presumably with workers who lived and worked locally in the industrial factories or dockside on the waterfront at The Rocks or Darling Harbour when the last house was vacated and boarded up. Subsequently, squatters occupied the building during the 1980s. Many fixtures were stolen or demolished during this period.

The buildings were unoccupied and left to deteriorate. An environmental planning scheme for The Rocks known as the Sydney Cove Redevelopment Scheme (SCRA Scheme), prepared in the 1970s, shows the sites for these buildings and the Longs Lane precinct

generally, as part of a larger site zoned for demolition and designated for the construction of a large scale six to seven storey development.



Figure 14: Western elevation of 117-117A Gloucester Street (at right, indicated by the red arrow), 1978. The three-storey façade was the site of prominent advertising following the construction of the Cahill Expressway in 1958. Render was applied to this façade about that time in order to facilitate painted signage. Source: Sydney Harbour Foreshore Authority 48870 GLM24



Figure 15: 117-117A Gloucester Street and neighbouring terraces at 113-115 Gloucester Street and Jobbins Terrace at 103-111 Gloucester Street, 1987. Source: Sydney Harbour Foreshore Authority



Figure 16: 117-117A Gloucester Street (at left), c1970. The ground floor verandah was enclosed with sheets of corrugated iron and the front door of the house was boarded over. A mesh fence surrounded the site. See for the present appearance of the building. Source: Sydney Harbour Foreshore Authority 31820 GL49



Figure 17: 117-117A Gloucester Street, vacant and boarded up pre conservation building works, c1993. Source: Sydney Harbour Foreshore Authority.



Figure 18: View across the rear yards 107-111 Gloucester Street (at left), 113-115 Gloucester Street (centre), to 117-117A Gloucester Street far right, c1992-3. The windows of 117-117A Gloucester Street were boarded up as were the other buildings in the precinct, the rear wing of No. 117-117A was not demolished and rebuilt. Source: Clive Lucas Stapleton & Partners



Figure 19: 117-117A Gloucester Street, Front (East) and Rear (West) Elevations c1993. Source: Sydney Harbour Foreshore Authority



Figure 20: 117-117A Gloucester Street, Laundry and roof terrace c1993. Source: Sydney Harbour Foreshore Authority



Figure 21: 117-117A Gloucester Street, Laundry and roof terrace c1993. Source: Sydney Harbour Foreshore Authority



Figure 22: 117-117A Gloucester Street, Remains of lathe and plaster ceiling and underside floor joinery c1993. Source: Sydney Harbour Foreshore Authority



Figure 23: 117-117A Gloucester Street, Entry hall and staircase remains and kitchen, c1993. Source: Sydney Harbour Foreshore Authority



Figure 24: 117-117A Gloucester Street, Remains of interiors with fireplace, plaster ceiling and walls and paint scheme, c1993. Source: Sydney Harbour Foreshore Authority



Figure 25: 117-117A Gloucester Street. Dilapidation photos of first floor living room and front room windows, c1993. Source: Sydney Harbour Foreshore Authority



Figure 26: 117-117A Gloucester Street. Dilapidation photos of entry hall and staircase, c1993.
Source: Sydney Harbour Foreshore Authority

Conservation works, 1990s

Even though the buildings and sites in the Longs Lane precinct had been zoned for redevelopment as part of the SCRA scheme and left vacant and in deteriorating condition until the 1990s, a decision was made to retain and conserve the buildings by the Sydney Cove Authority.

During the early to mid-1990s, the Sydney Cove Authority progressively undertook major conservation works to conserve, restore and reconstruct the derelict residences and tenement buildings in the Longs Lane precinct. The photographic record of the state of the buildings in 1993 before works began shows the extent of internal damage and repairs that were required to make the buildings habitable. These photos also show the intact record and evidence of the buildings, their materials and colour schemes that were used to inform the conservation works.

Between 1994 and 1995, an extensive programme of conservation works was carried out on the building. The work comprised stabilisation, restoration of the front façade and roofs, cutting in damp proof courses, and re-construction of floors. Joinery, plastering, and other surface finishes were reconstructed on the basis of surviving original fabric.

The only internal change made at this time was to the ground floor tenement at 117 Gloucester Street, with the removal of the original bathroom and wall that separated the bathroom and kitchen and replacement with an enlarged kitchen and eating area facing onto the northern rear yard. The original ripple iron ceiling over the original bathroom is still intact. Changes were also made to the external wall and windows to the original bathroom and rear wing laundry were removed and replaced with the current casement windows and external door that opens onto the external rear yard. The original room for the toilet was redesigned and fitted out with a combined bathroom and toilet.

As part of the 1990s works, no internal or external changes were made to 117A Gloucester Street, retaining the original room layouts and functions with the updating of kitchen and bathroom fittings and fixtures. Section 2.7 over provides plans and more details on the changes made during these works.



Figure 27: 117-117A Gloucester Street. Scaffolding and conservation works underway in 1995.
Source: Sydney Harbour Foreshore Authority



Figure 28: 117-117A Gloucester Street. Replastered walls and chimney breast and repaired door joinery, 1995. Source: Sydney Harbour Foreshore Authority



Figure 29: 117-117A Gloucester Street. Replastered walls and chimney breast and repaired window joinery, ground floor rear kitchen, 1995. Source: Sydney Harbour Foreshore Authority



Figure 30: 117-117A Gloucester Street. Kitchens after conservation works, 1996. Source: Sydney Harbour Foreshore Authority



Figure 31: 117-117A Gloucester Street. Bathroom after conservation works, 1996. Source: Sydney Harbour Foreshore Authority



Figure 32: 117-117A Gloucester Street after conservation showing the restored window sashes in 1996 and 2007. Source: Sydney Harbour Foreshore Authority



Figure 33: Rear of 113-115 and 117-117A Gloucester Street during conservation works, 1995.
Source: Sydney Harbour Foreshore Authority



Figure 34: Typical fireplace in 117-117A Gloucester Street; (left) 1970s, (right) 2007. While the timber chimney pieces survive or were reconstructed as part of the conservation works in 1994, the tile firebox surrounds and iron grates have been removed and replaced. (Source: (left) Sydney Harbour Foreshore Authority 48991 GLM65, (right) Clive Lucas Stapleton & Partners).

2.7 Changes to the Fabric

The plans and images below show the changes to the internal and external fabric made during conservation works undertaken by the Sydney Cove Redevelopment Authority in 1994-5. The conservation works generally retained the external footprints and internal plan forms of the building and inserted updated kitchen, laundry, and bathrooms fixtures and fittings into the original spaces for each unit.

The original floor plans at figures 9-12, show that the ground floor unit (currently referred to as 117 Gloucester Street) consisted of two bedrooms in the front rooms, the living room next to the kitchen, pantry(?) and bathroom, laundry, WC and fuel store.

The initial use of these rooms and arrangement of service rooms has changed and evolved during the 20th century to the current uses shown on 2016 floor plan in figure 35.

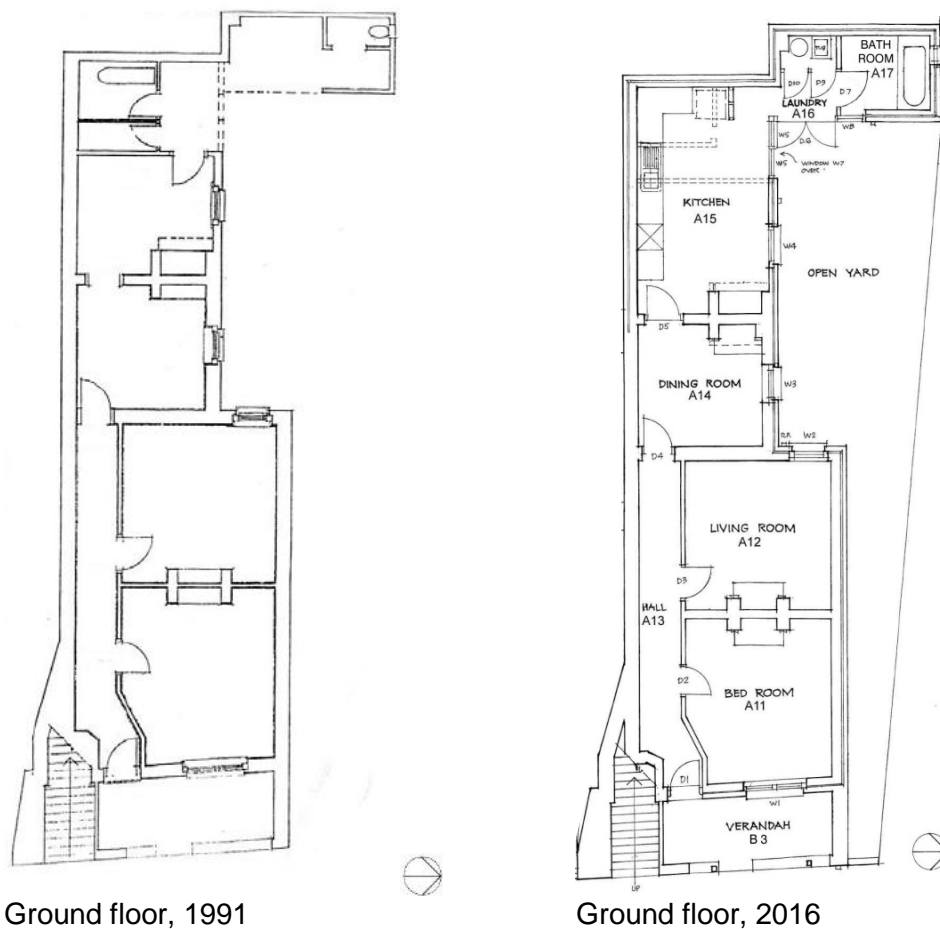
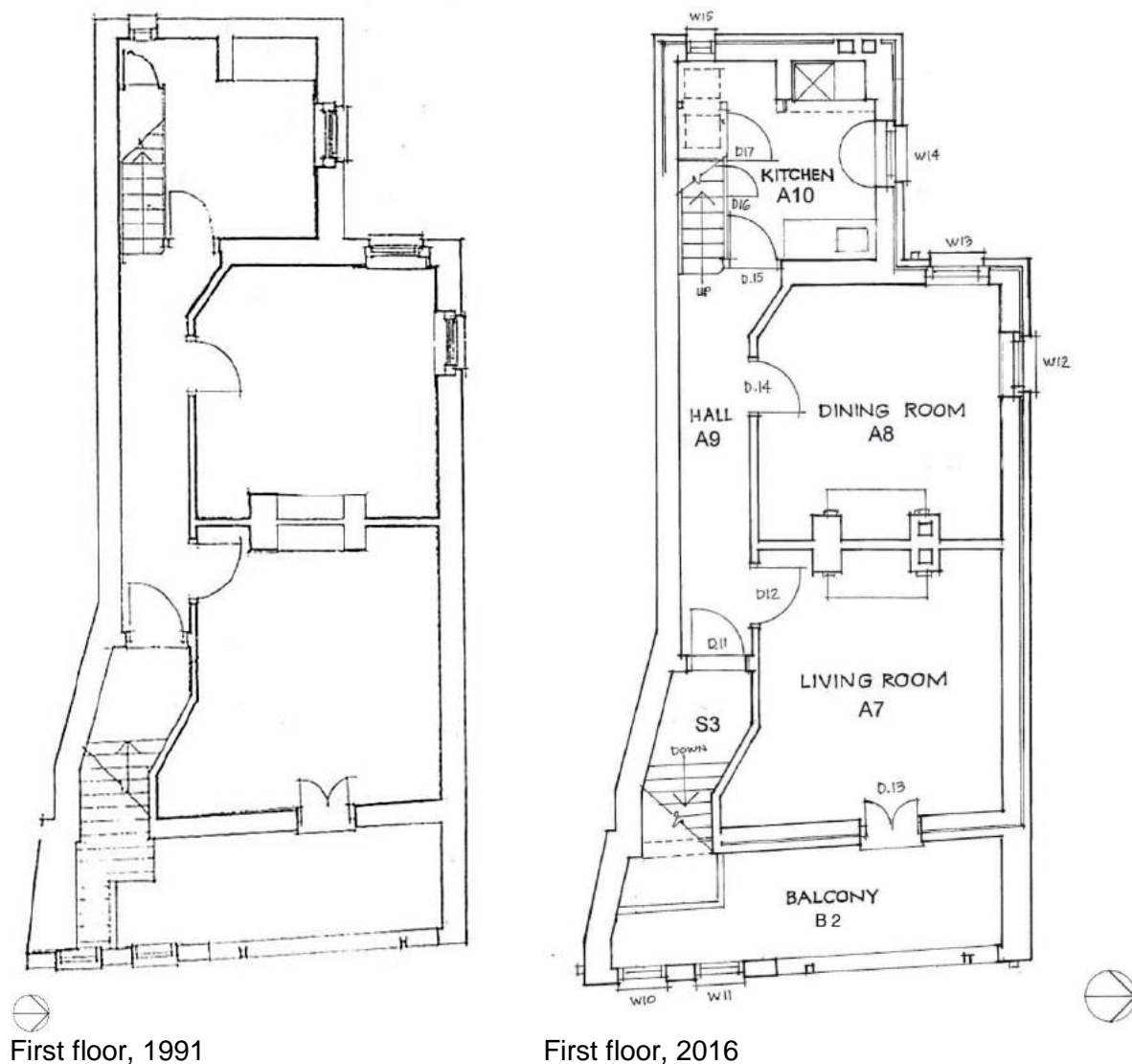


Figure 35: Comparison of plans, ground floor 117-117A Gloucester Street. Left: prior to conservation works (1991); Right: following conservation works (drawn 2007 and verified in 2016). While plan form of the front (east) portion of the ground floor remains intact, the rear wing was altered to create a larger kitchen (from the former kitchen and bathroom spaces), and to insert a laundry and bathroom in the western end of the building in a space which was added to the building in the mid-20th century.



First floor, 1991

First floor, 2016

Figure 36: Comparison of plans, first floor 117-117A Gloucester Street. Left: prior to conservation works (1991); Right: following conservation works (drawn 2007 and verified in 2016). On this level, minor changes were made to the front (east) stair hall in order to separate the first / second floor unit from the ground floor unit. A new kitchen fitout was inserted into the original kitchen area at the rear of the building.

The original floor plans and elevations at figures 9-12, show that the first and second floor unit (currently referred to as 117A Gloucester Street) consisted of a front bedrooms and the living room in next to the kitchen on this floor with an internal access stair to the second floor that contained a bathroom, and separate WC and two more bedrooms in the front rooms. A laundry is located on the third floor with an open roof top terrace.

The arrangement of these rooms has remained the same including the service rooms; however the original three bedroom unit has evolved during the 20th century to the current uses as shown in 2016 floor plans shown in figures 36, 37 and 38.

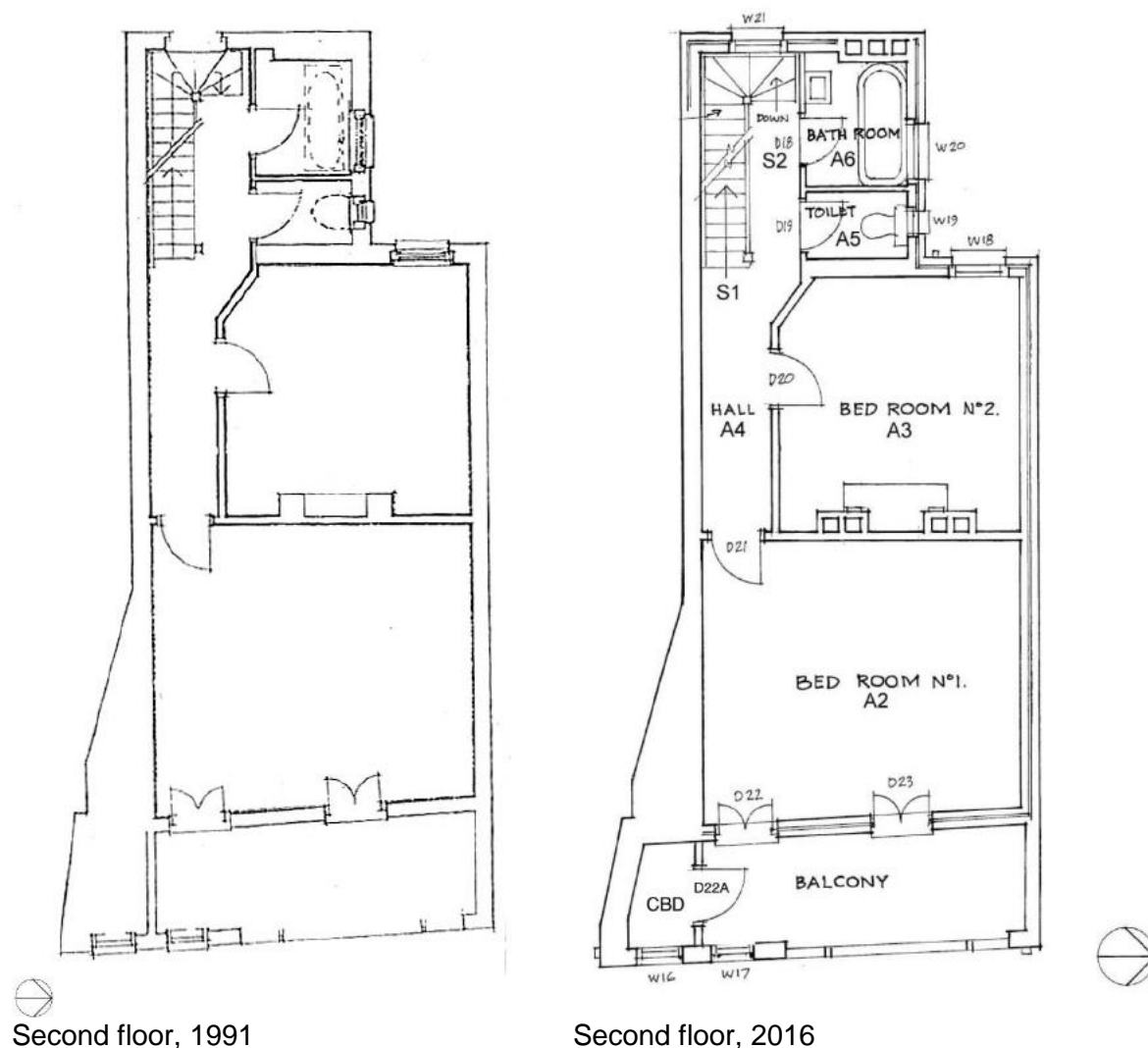
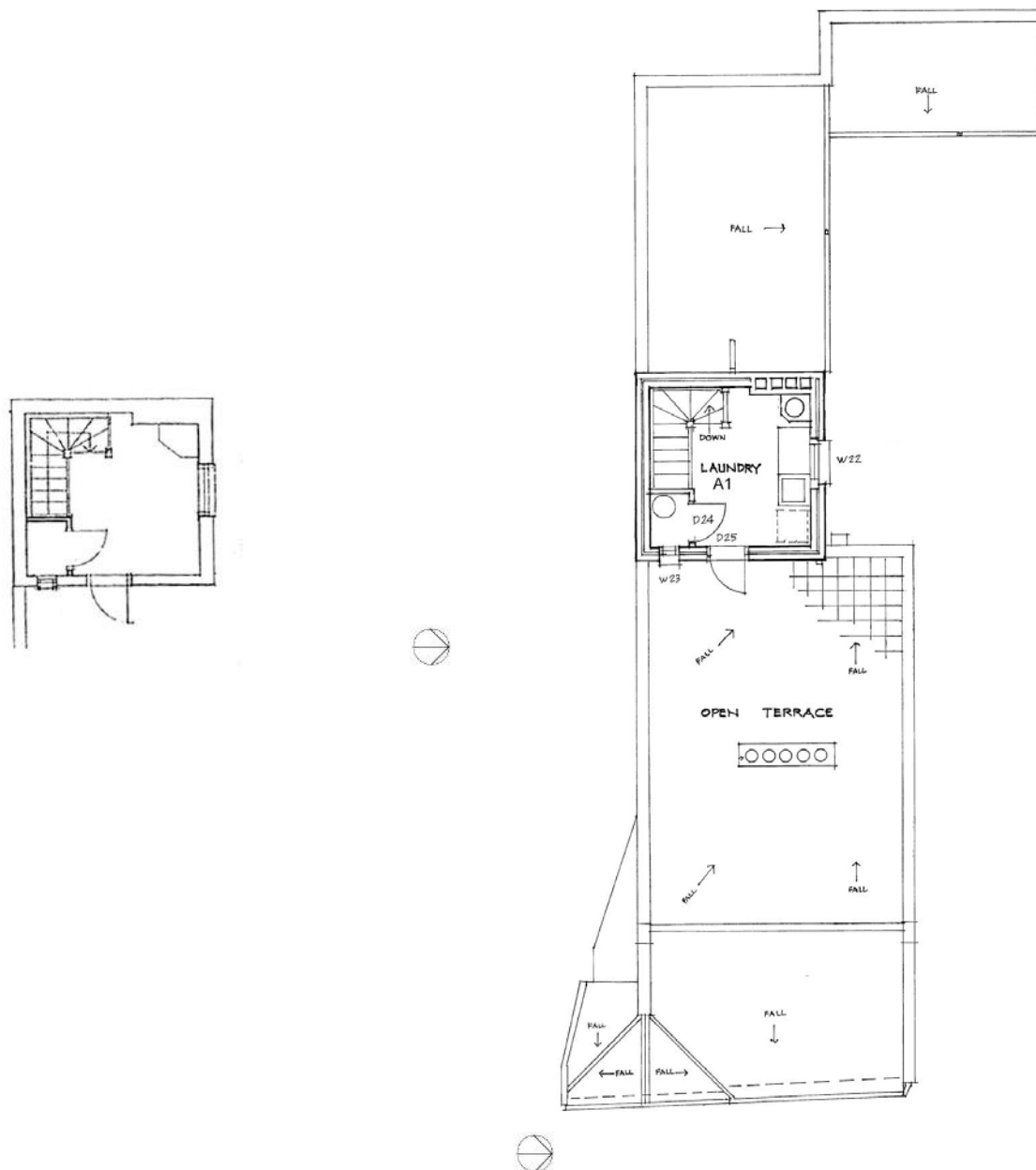


Figure 37: Comparison of plans, second floor 117-117A Gloucester Street. Left: prior to conservation works (1991); Right: following conservation works (drawn 2007 and verified in 2016). The plan form of this level is virtually intact, the only change being the removal of a timber partition screen from the south end of the balcony.



Third floor, 1991

Third floor, 2016

Figure 38: Comparison of plans, third floor 117-117A Gloucester Street. Left: prior to conservation works (1991); Right: following conservation works (drawn 2007 and verified in 2016). The conservation works involved refitting the rooftop laundry area with new laundry tubs along the north wall. The roof terrace was resurfaced as part of the work.

Tenanted residential housing, 1996 to 2016

From the completion of these major conservation works in 1995, to the present, 117 and 117A have been leased out as two separate residential premises occupied by tenants on short term leases.

There appears to have been no further changes to the fabric and the building has been well maintained.

2.8 Historic Themes

The Heritage Division of the Office of Environment and Heritage has developed a thematic framework for use in heritage assessment and management. The thematic framework identifies thirty-eight principal themes.²⁹ The organising principal for the thematic framework is the dynamism of human activity.

The State historical themes of Convicts, Towns suburbs and villages, Accommodation, and Government and Administration are relevant to the history and development of 117-117A Gloucester Street within the context of The Rocks.

The table below gives the state historical theme and a brief explanation of how the place relates to the theme.

Australian Historic Theme	State Historic Theme	Representations of historic themes at 117-117A Gloucester Street
Tracing the natural evolution of Australia	Environment – naturally evolved	Evidence of the sandstone outcrops in Gloucester Street that form The Rocks and after which The Rocks are named.
Peopling Australia	Convict	The site is, more generally, part of the ridge initially occupied by convict dwellings and known as The Rocks, indicated by the site location. Associations between the site and convict-era infrastructure are discernible in the documentary record.
Building settlements, towns and cities.	Towns suburbs and villages	<p>Historical associations with and potential archaeological evidence retained insitu of pre 1900 buildings and settlement prior to government resumptions, demolition and clearance.</p> <p>Government initiated town planning and urban renewal by designing and fitting in new development into existing amalgamated sites. New development designed to relate and fit in with the existing sense of character and layout of The Rocks.</p> <p>New public housing developments for Workers Dwellings were designed and constructed to provide a high standard of accommodation following the introduction of sanitation, plumbing and running water in The Rocks.</p> <p>Tenements – designed as rental accommodation by government for workers.</p> <p>As part of the Long's Lane precinct that contains buildings from four phases of development in Sydney (early Victorian, Victorian, Edwardian, and early 20th century). The extant residences show different approaches to residential accommodation (some as privately designed residences and others as government social housing) and how</p>

²⁹ Both the Australian Heritage Commission (national) and the NSW Heritage Office (state) have identified themes for research relating to places of heritage significance. <http://www.environment.nsw.gov.au/Heritage/aboutus/index.htm>.

		<p>these differed over time in terms of internal design and layout, the 'public face', service areas and use and inclusion of rear yards. They illustrate changing attitudes toward town planning, housing design and urban space across these eras. Within this context, 117-117A represents the early 20th century phase of development as government designed public housing for workers dwellings.</p>
Building settlements, towns and cities.	Accommodation	<p>117-117A Gloucester Street is an excellent and externally and internally largely intact example of the early 20th century move toward public housing, typifying the type of accommodation provided by the Government's public housing scheme as well as the arrangement and hierarchy of domestic spaces considered appropriate for tenement housing in the first decades of the 20th century.</p> <p>A range of workers dwellings were designed as part of the Housing Board development. The tenements at 117 and 117A contain two and three bedroom accommodation, each with a living room, kitchen, bathroom, separate WC and laundry. Both units had separate outdoor space; the ground floor unit accessed the rear yard; and first/second floor unit had access to a rooftop terrace.</p> <p>The government architect designed accommodation provided a state of the art high standard of housing with sanitation and plumbing as public housing for workers and their families.</p> <p>Designed as part of a high density urban architect designed development, 117-117A Gloucester Street provides maximum accommodation in small land area with well-designed and finished internal layout and rooms, innovative use of modern materials and internal kitchen, bathroom, WC and laundry.</p>
Governing	Government and Administration	<p>Part of initial and major government intervention and initiative to provide public housing for workers and their families.</p> <p>Part of earliest such initiative intervention in Sydney and Australia predating World War One.</p> <p>117-117A Gloucester Street is a remnant of a much larger social housing development designed and built by the Housing Board, the government's first department dedicated to the provision of social public housing for men and families who qualified for assistance and worked locally.</p> <p>The building reflects the increasing role of government in such areas as health and welfare of citizens in the early 20th century.</p> <p>The survival of the buildings is also a testament to the influence of the local resident action groups and the Green Bans movement of the 1970s in</p>

		<p>changing Government attitudes to retain and conserve historic buildings in The Rocks.</p> <p>117-117A Gloucester Street has been subject with successive waves of government intervention from the housing of convicts, to various urban renewal programs, and the construction of major public infrastructure such as the Sydney Harbour Bridge and Cahill Expressway. The resumptions of 1900 provided for single ownership by the State and the implementation of its strategic development priorities.</p> <p>The planned redevelopments of the 1970s were met with determined resistance by residents of The Rocks, supported by the Green Bans movement, which resulted in substantial revisions to broad scale demolition programs and the retention and conservation of some historic buildings. This remains evident in the planned survival of the building and its conservation in 1994-95, all authorised by a government agency, the Sydney Cove Redevelopment Authority.</p>
8 Developing Australia's cultural life	Domestic Life	<p>As a public housing project completed as workers dwellings in 1914, the housing shows progressive social housing designed as tenement housing. The housing has been owned and managed by the government as tenanted accommodation during the 20th century, and most recently as short term tenancies.</p> <p>The architectural design and planning, fixtures and fittings, sanitation and use of progressive materials and construction methods demonstrate that 117-117A Gloucester Street was part of a model housing development for working class people. It retains evidence of 19th century domestic service areas including kitchens and hearth, bathrooms, wcs and laundries with an outdoor area either as a rear yard or rooftop terrace.</p>
Marking the phases of life	Persons	<p>The first known European occupant of the site was Samuel Thorley (1769-1826), a 3rd Fleet arrival in 1791 sentenced to 7 years transportation for burglary.</p> <p>Thorley's property was first mentioned in June 1803; a 14 years lease on 51 rods, situated in the centre of the block which was bounded by what was to become Gloucester Street, Longs Lane, Cumberland Street and Little Essex Street. It was here, and by this date, that Thorley was operating a pub known as the <i>Black Dog</i>.</p> <p>117-117A Gloucester Street is a remnant of the first major development by the Housing Board in The Rocks consisting of some 30 units in a 'Shops and Dwellings' development along Gloucester, Cumberland and Little Essex streets designed by the Housing Board's Principal Architect William</p>

		<p>Foggitt with drawings dated May 1913 and completed in 1914.</p> <p>Prior to this role, Foggitt was the assistant to WL Vernon the NSW Government Architect, for the Government Architects Branch. The Government Architects Branch (GAB). GAB was instrumental in establishing public housing tenement projects in Millers Point for the Sydney Harbour Trust, including the design of tenement workers dwellings in High Street, Dalgetty Street, Munn Street and Lower Fort Street, Millers Point. Vernon and GAB introduced current up-to-date principles in urban design and technology inspired from public housing projects in the United Kingdom and Europe.</p> <p>Vernon is also known as a strong advocate in the use and development of the Australian Federation Free Style design in public buildings and housing in NSW.</p>
--	--	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

2.9 Analysis of History in Context

The development of this area of The Rocks, now referred to as the Long's Lane precinct, occurred in several phases.

Between 1800 and the 1850s, the previously ad hoc nature of settlement was formalised with legal tenure to allotments established through town grants. Between the 1850s and 1880s, speculators maximised the full potential of their city holdings in a period of marked building activity. The Jobbins Terrace in Gloucester Street is an example of this stage of speculative investment development.

In the 1880s and 1890s, the area was intensely redeveloped as the less substantial structures from the early half of the century were demolished, making way for substantial two and three storey buildings. 113-115 Gloucester Street is an example of the development of this period.

From 1900, following the State government's resumption of the area, a general clearance of buildings and areas considered to be unhealthy was undertaken. Major redevelopment with hygienic sanitation and new housing for local workers was built by the Housing Board at the newly cleared sites. More than 30 brick tenement dwellings were constructed in Cumberland, Gloucester, and Little Essex Streets between 1912 and 1924.³⁰ 117-117A Gloucester Street and 140 and 142 Cumberland Street are indicative remnants from this phase of early 20th century redevelopment.

During the 20th century, several physical changes occurred in the precinct. During the 1920s, as part of the construction of the Sydney Harbour Bridge, Cumberland Street was straightened and graded, and Gloucester Street partially realigned. In the 1950s, construction of the Cahill Expressway required the demolition of several streets of housing in the precinct, including the majority of the Housing Board tenement dwelling complex at Cumberland, Gloucester and Little Essex Streets. Cumberland Street was also lowered at this time to enable access under the newly constructed Cahill Expressway overpass.

Over the course of these phases, the housing accommodation in the Long's Lane precinct has remained as tenanted residences. No. 117-117A Gloucester Street continues to be occupied by tenants since its construction in 1914.



Figure 39: Post construction of the Cahill Expressway, Long's Lane precinct was an isolated group, as viewed from the new AMP Building in 1962. 117-117A Gloucester Street circled in red. Source: City of Sydney Archives CRS 268/2453

³⁰ Blackmore, p.1 27.

2.10 Development of the Site and its context

The diagrams below give an indication of the development of the site at 117-117A Gloucester Street as well as its context in the development of the Long's Lane precinct.

In each of the diagrams below, new work is indicated in pink, while existing structures are shaded in grey. The subject site at 117 Gloucester Street is outlined in black and neighbouring site to the south is outlined in dashed black.

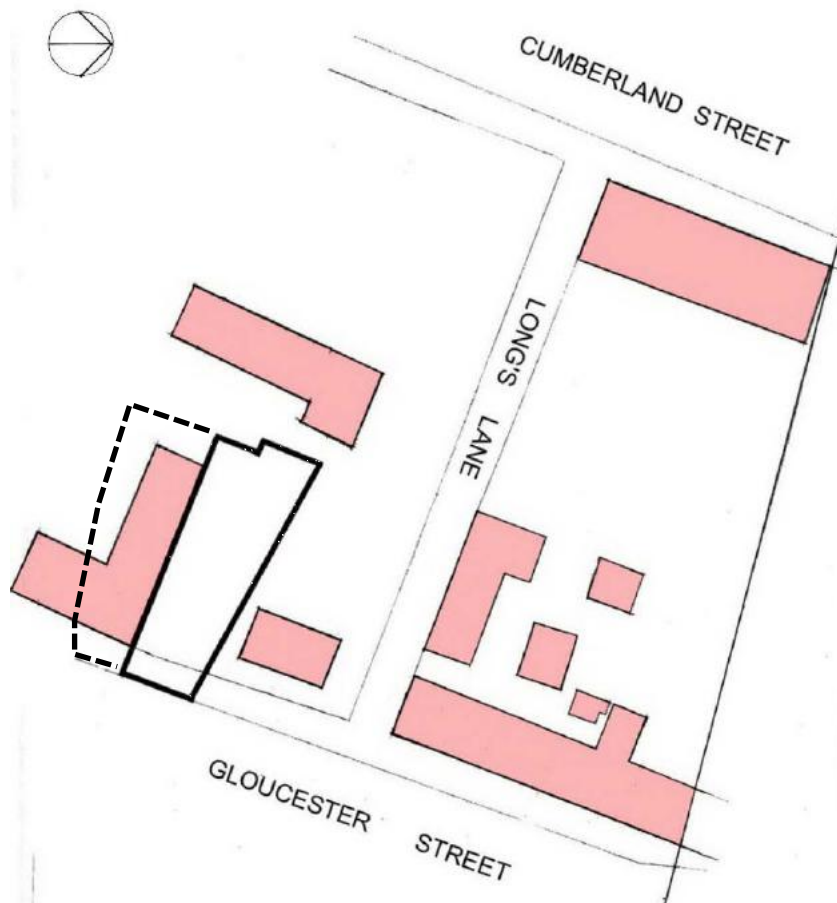


Figure 40: c1823. Based on the Harper/ Stewart plans. The building line along Gloucester Street is well established by this time. The subject site was vacant at this time. The adjacent site (dashed line) was largely occupied by the original Black Dog hotel.

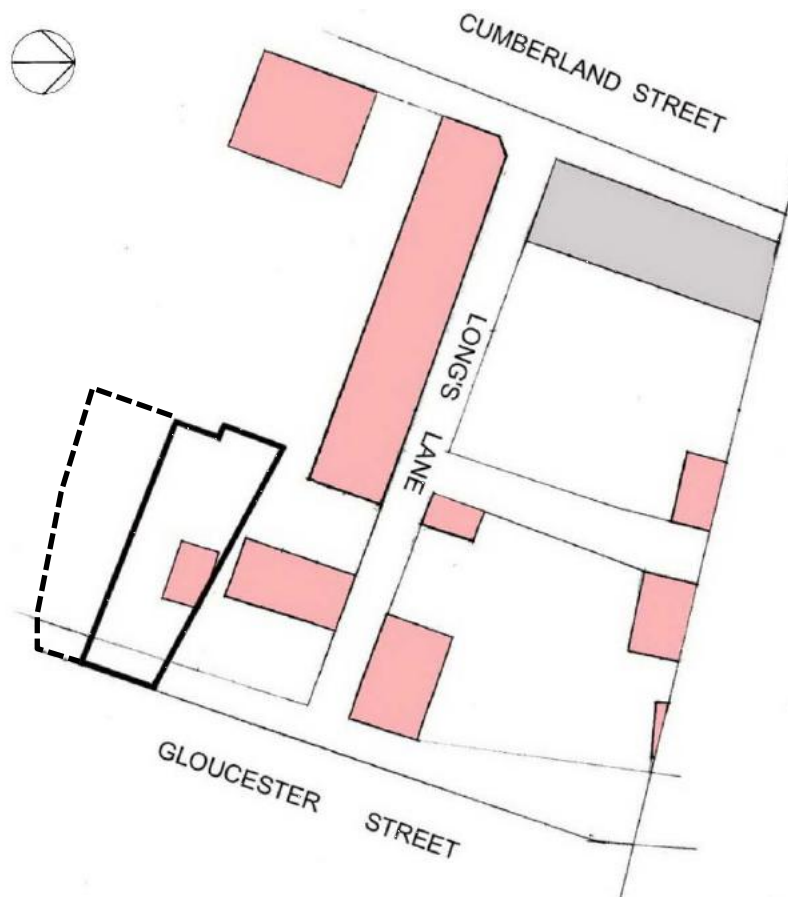


Figure 41: 1855-65: By 1850, the subject site was largely vacant with only a single minor structure, possibly a shed or stables, situated in the area in the 1850s-60s Trigonometrical Surveys (Sydney Council). The site of the original Black Dog is vacant.

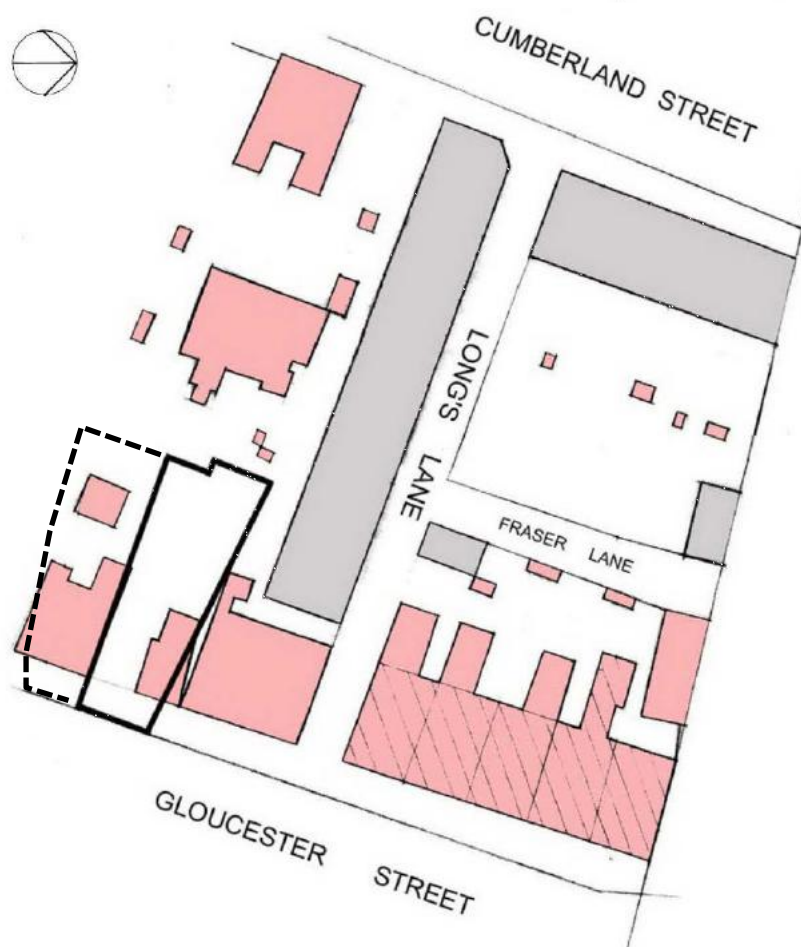


Figure 42: c1865 (Trig Survey, Sydney Council): The rapid development of the precinct between 1850 and 1865 is apparent in this plan, with the adjacent curtilage occupied by a building. The subject site is still largely vacant.

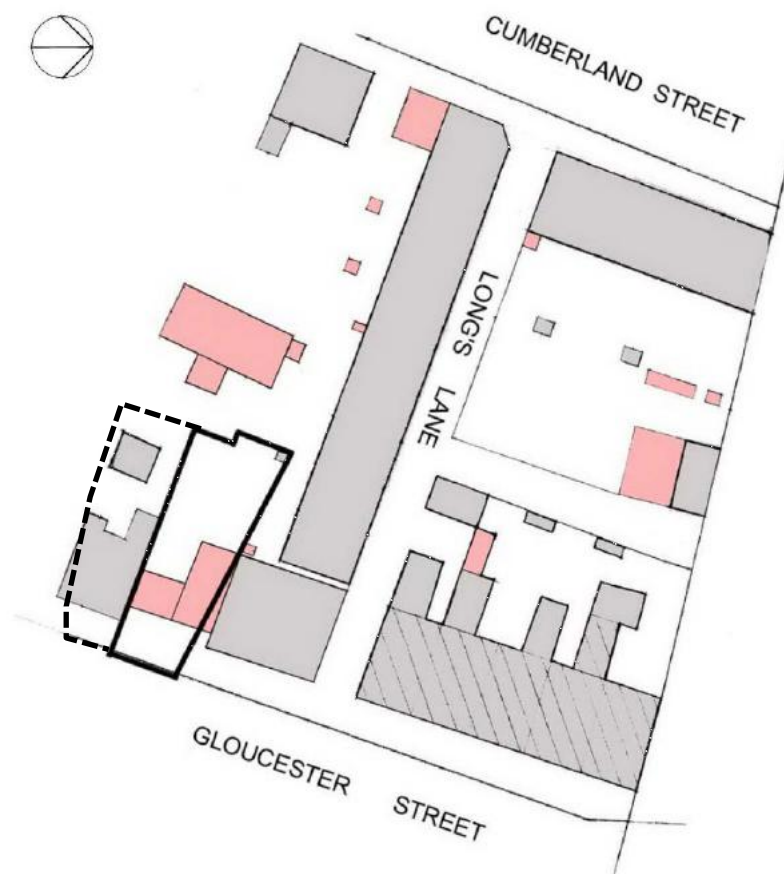


Figure43: c1880 (Percy Dove Plans): Although some infill development took place on the subject site by this time, the site continued to be largely vacant with only two small buildings situated on it.



Figure 44: Photo of the buildings constructed in the later 19th century, dated 1901. Current 117-117A Gloucester Street circled in red. The 3-storey building to the south is the new (1834) Black Dog hotel. The verandahed house was in existence c1865 on what is now the vacant site between 117 Gloucester and the Cahill Expressway. The building with the pitched roof, on the site of 117 Gloucester Street, appears to be an adaption of the timber/ iron-roofed structure that appeared around c1850. Source: Bertie collection, Sydney Harbour Foreshore Authority.



Figure 45: c1887 (Metropolitan Detail Series, Mitchell Library): By this time, 113-115 Gloucester Street was constructed to the north of the subject site, which was vacant.

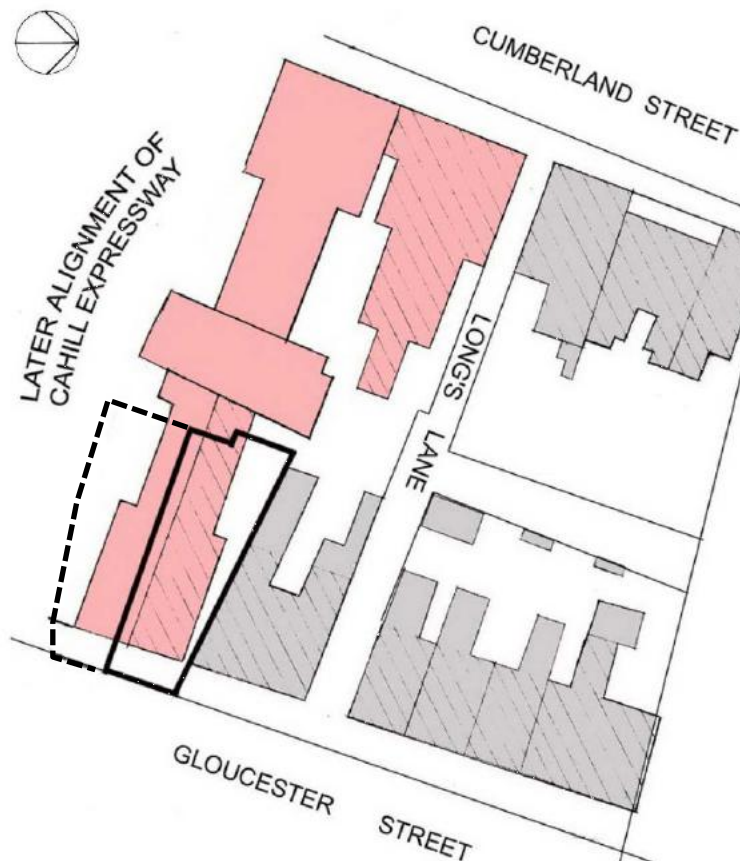
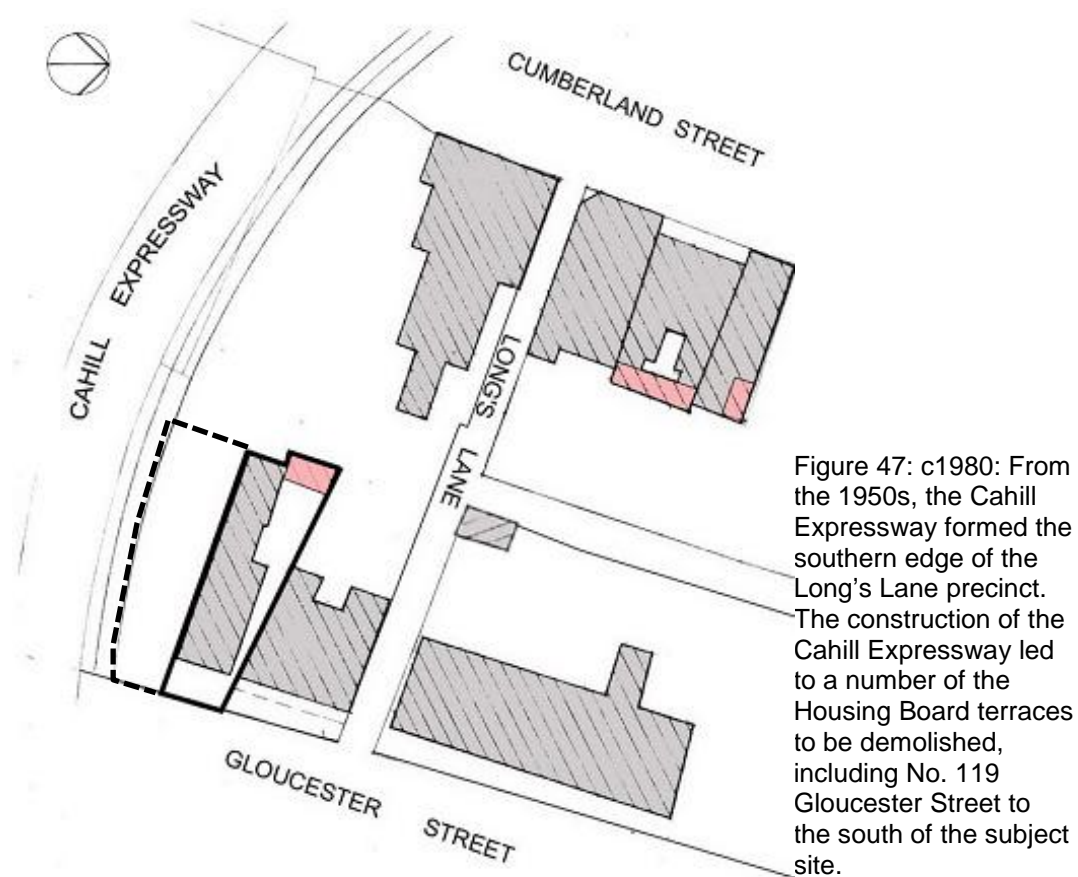


Figure 46: c1915: In 1912, the Housing Board constructed a substantial amount of terrace housing in the precinct, continuing to Little Essex Street. This development includes the subject site at 117-117A Gloucester Street, which was part of a terrace that continued to the south.



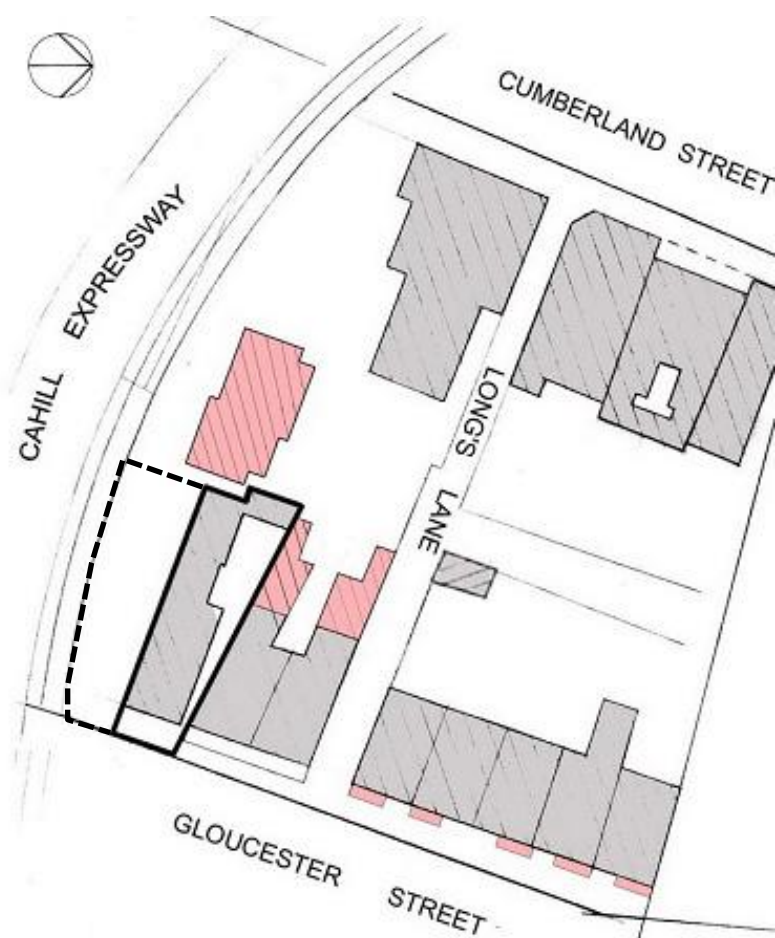


Figure 48: 2007. New infill housing was constructed in 1996 to the southwest of the subject site, with access to Gloucester Street via the curtilage to the subject site.

3 Physical Evidence

The aim of this chapter is to describe 117-117A Gloucester Street in detail in order to facilitate the understanding of the place. The place itself is a good source of information on the number of changes that have been carried out during its lifetime. Non-intrusive investigation has been used to investigate the fabric.

This chapter builds on the historical evidence outlined in the previous section, in order to understand why, when and how these alterations were made.

3.1 The Rocks Conservation Area

The site is located within The Rocks Conservation Area. The Rocks is sited on a rocky promontory extending into Sydney Harbour and generally bounded by Sydney Cove/ Circular Quay to the east and the southern approach of the Sydney Harbour Bridge to the west. It covers some 21 hectares in area and falls steeply to the east, in a series of sandstone escarpments, giving the important harbour views that enhances the area.

The topography which gave the area its name, and provided the early building materials, influenced the street pattern which is now overlaid and traversed by steps and pedestrian walkways and lanes. The conservation of The Rocks from the 1970s has reinforced these diverse streetscapes, laneways and pedestrian links.

Today the built context is characterised by a mix of residential and commercial buildings ranging from important buildings by significant architects, to more humble shops, cottages and terraces, mostly dating from the 19th and 20th centuries. The area has a strong maritime character with warehouses and bond stores remaining, in addition to philanthropic buildings and accommodation for seamen. The area also retains a large amount of public open space including Dawes Point Park, with its early fortifications and archaeological remains, Foundation Park, West Circular Quay, First Fleet Park, the public domain around the Museum of Contemporary Art, Overseas Passenger Terminal, Campbells Cove, Park Hyatt and the Hickson Road Reserve.

The Rocks also contains some late 20th commercial and resident infill development. It is the overall character and diversity which contributes to the significance of the area.

3.2 Street and Streetscape Description

117-117A Gloucester Street is a three-storey tenement building located at the southern end of Gloucester Street in The Rocks. Gloucester Street is entered off Cumberland Street and the northern section is terminated by the Cahill Expressway. The tenement building at 117-117A now forms part of the precinct known as the Long's Lane precinct. The Long's Lane precinct is an unique ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks. Longs Lane is a rare extant public right of way known to have existed from the first decade of the 19th century.

117-117A Gloucester Street is situated on the western side of Gloucester Street and contributes to the terraced character of the streetscape, established by Jobbins Terrace at 103-111 Gloucester Street and the neighbouring terraces at 113-115 Gloucester Street. Occupying the last allotment on Gloucester Street before the Cahill Expressway overpass, the three storey tenement building at 117-117A Gloucester Street is less noticeable in the Gloucester Street streetscape due to its remote location adjacent to the expressway and the larger scaled 1980s building opposite.



Figure 49: Gloucester Street looking south towards the city and Cahill Expressway, 2016 Source: Sydney Harbour Foreshore Authority, M Stacy



Figure 50: Current streetscape context. Gloucester Street looking south towards Cahill Expressway. From the south; tenements at 117-117A Gloucester Street (obscured from view), terraces at 113-115 Gloucester Street, Longs Lane and Jobbins Terrace at 103-111 Gloucester Street, The Rocks, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.



Figure 51: Current streetscape context for 117-117A Gloucester Street at the south end of Gloucester Street which is terminated by the Cahill Expressway, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.

Views and Vistas

The Burra Charter states that conservation requires the retention of an appropriate visual setting and other relationships that contribute to the cultural significance of the place. This section examines the visual setting of 117-117A Gloucester Street which is particularly important to its significance.

The tenements were built in the early 20th century as part of a large scale three storey infill housing development. The building was sited on the road alignment and built to address the street frontage of Gloucester Street. There are views to the north towards the Sydney Harbour Bridge and north/west over Longs Lane. There are partial views east from the rooftop terrace of 117-117A Gloucester Street, due to the height of the building and its location on the ridgeline of The Rocks. The 1980s on the eastern side of Gloucester Street obscure views towards Sydney Cove, Circular Quay and lower sections of the city. The views from inside the tenement are very limited due to the limited window openings and locations on the front (east) elevation, lack of windows on the southern (party wall) elevation and limited windows on the side or northern elevation, and limited windows facing towards the rear or west elevation. See Figure 52.

Views from the ground floor of the tenement are limited due to existing development and the orientation of the front facing windows onto Gloucester Street.

The building is visible in its context, particularly from the south from the Cahill Expressway and from elevated vantage points such as the tall buildings nearby, e.g., the Shangri-La Hotel. The taller three storey section and western elevation of the building is a local landmark feature that is often captured in views and photos of the Long's Lane precinct.



Figure 52: Views from 117-117A Gloucester Street, 2016. Looking NE towards the Sydney Harbour Bridge; looking SE towards Circular Quay; looking NW over Longs Lane towards Cumberland Street. Source: Sydney Harbour Foreshore Authority, M Stacy.

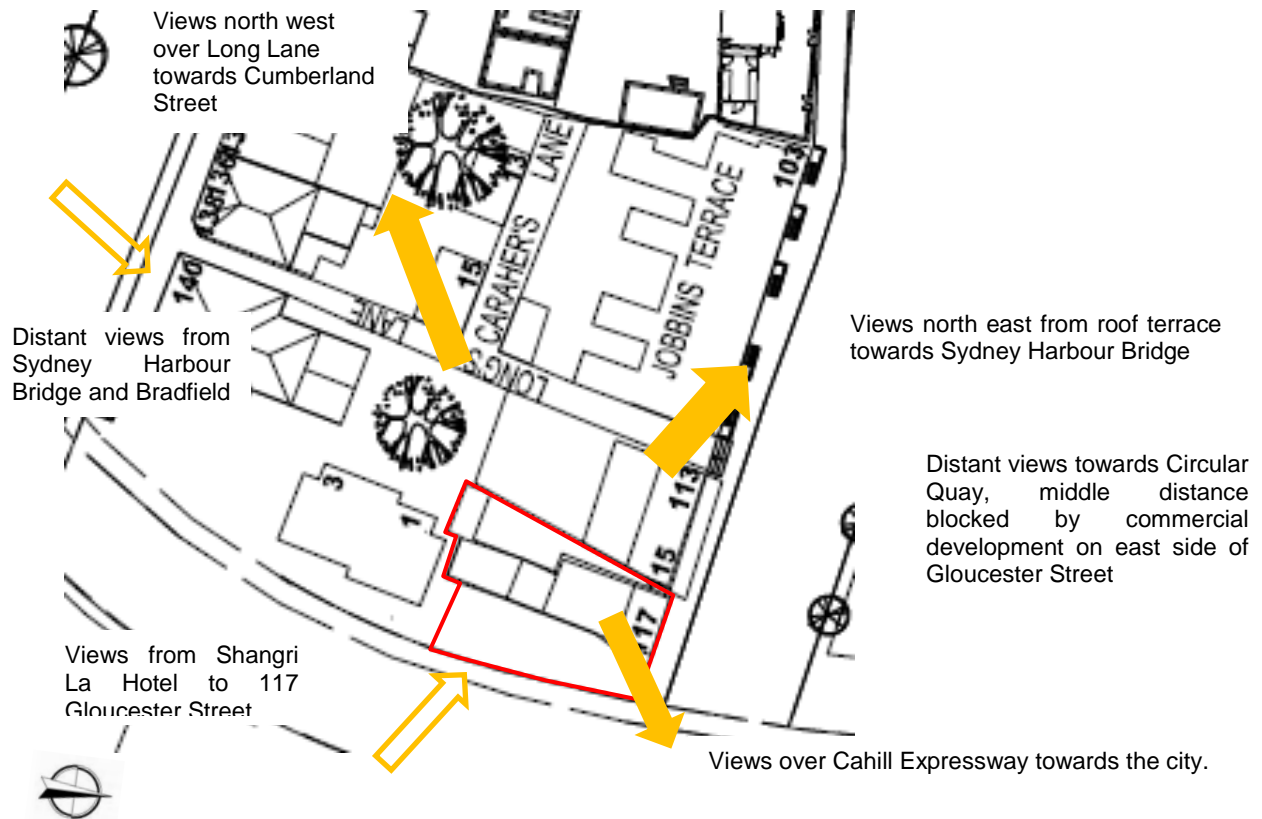


Figure 53: Views to and from 117-117A Gloucester Street, The Rocks. Source: Sydney Harbour Foreshore Authority.

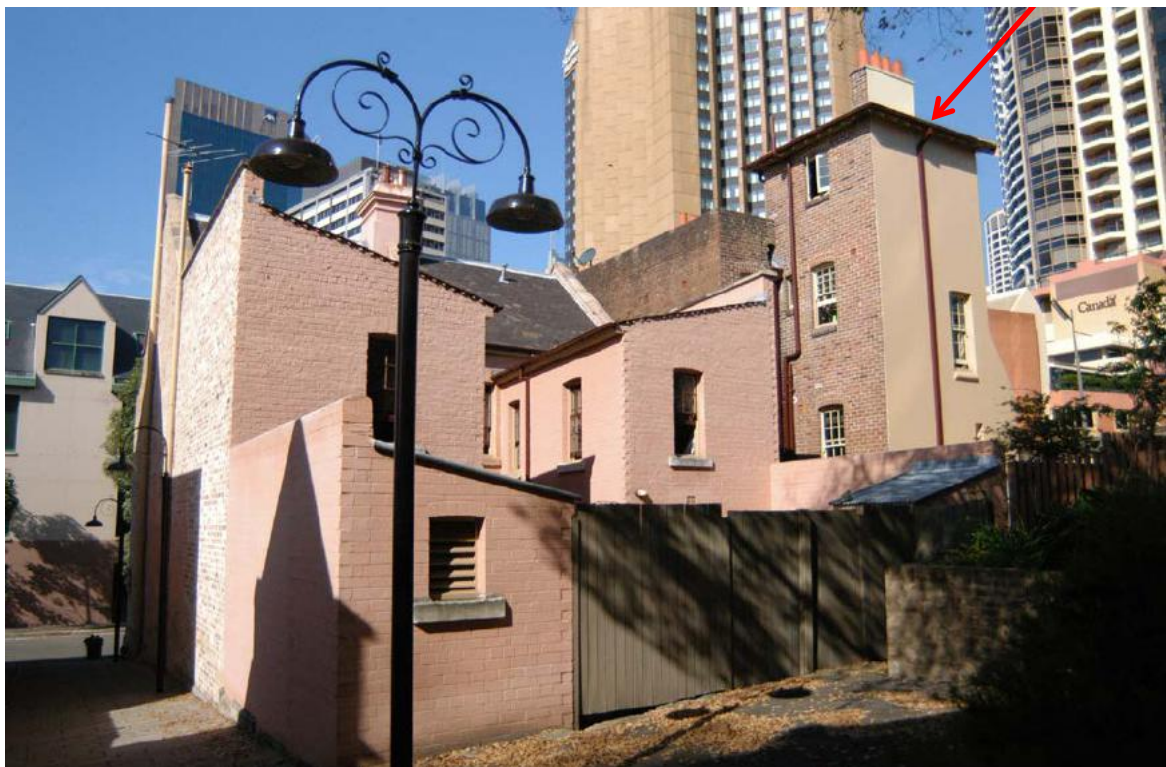


Figure 54: View from Longs Lane towards rear of 113-115 Gloucester Street and the three-storey rear view of 117-117A Gloucester Street (at right of image, indicated by the red arrow), 2015. Source: Sydney Harbour Foreshore Authority.

3.3 Building Description

The tenement housing at 117-117A Gloucester Street is a three-storey terrace-like building constructed as part of a large public housing development of 'shops and dwellings' with 30 or so units on Gloucester, Little Essex and Cumberland Streets built by the Housing Board and completed by 1914. It was designed by the Housing Board Principal Architect Foggitt in the Federation Free style and features decorative Queen Anny style timber fretwork to the front verandahs.

The tenement building at 117-117A Gloucester Street and its mirror image (now demolished) were designed about a central common staircase. The terrace-like forms read as two separate terrace-like buildings in the streetscape, rather than as part of the larger development. The mirror-imaged building of the same design was demolished for the construction of the Cahill Expressway located to the south. 117-117A Gloucester Street is now part of the precinct known as the Long's Lane precinct.

The Long's Lane precinct is primarily significant as a unique ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks. Long's Lane is a rare extant public right of way known to have existed from the first decade of the nineteenth century.

Designed in the Federation Free Style, the tenement building strongly portrays the design ideals of the NSW Government Architect Vernon, where Foggitt worked as his assistant, prior to his role as the Principal Architect of the Housing Board.

This Housing Board development in The Rocks continued and developed the innovations of recently designed and constructed tenements in Millers Point; with improvements on the internal housing designs and room layouts, use of construction materials and newly introduced technologies initiated in the Government Architects Branch and the NSW Government Architect Vernon's designs for workmen's dwelling constructed at Millers Point in Munn Street, Dalgetty Street and High Street and particularly with reference to the form, materials and Federation Freestyle design used by Vernon for the Workmen's Dwellings in Lower Fort Street, Millers Point, completed in 1910.

It is not known why the external design of 117-117A Gloucester Street with its Queen Anne decorative timber work, differs so greatly from the exterior of the remainder of the development, but it has been suggested that it may have been designed to relate to the neighbouring pair of late Victorian terraces and filigree iron lacework at 113-115 Gloucester Street, The Rocks.

In all other respects, the tenements at 117-117A Gloucester Street were typical in the overall design of the building, the accommodation design and room layout, use of semi-enclosed staircase access to the upper floor tenements, incorporation of roof top laundry and terraces and minimally sized rear yard areas to the ground floor, as well as construction materials and methods used in the overall development.



Figure 55: Front (east) elevation of 117-117A Gloucester Street, and side (north) and rear (west) elevations from Longs Lane, 2016. Source: Sydney Harbour foreshore Authority

The tenement at 117-117A Gloucester Street comprises two separate residential units comprises: 117 Gloucester Street which is a two bedroom unit on the ground floor accessed via the front verandah with a single storey rear wing that houses the laundry and bathroom and small rear yard with a northern aspect within the site area.; and 117A Gloucester Street which is a larger two bedroom unit over the first and second floors accessed via an external staircase with a laundry located on the rooftop or third floor and a rooftop terrace.

While drawing on public housing models from Europe and the UK, the design of the building emphasises its Australian location in the provision of verandahs and flat roof terraces, the predominant use of structural timber in the verandahs, face brick and the use of Australian motifs such as the waratah incorporated into the plaster vents. The aesthetic value of the building has been revealed and can now be better understood through 1994-5 reconstruction and conservation works.



Figure 56: 1914 photo taken on the completion of the construction, shows the tenements at 117-117A Gloucester Street in the context of the original tenement housing development that was largely demolished in 1956 for the construction of the Cahill Expressway. . Source: NSW Government Printer Series – Housing Board ML GPO 1 Still 32252

A fabric survey was undertaken in September 2015 and confirmed in April 2016 for the whole building and every space inspected. The fabric is identified according to its age and major phases in the development of the building, as identified in the history above. The term 'original' is used in the fabric survey to denote fabric which dates to 1914. The term 'reconstructed 1994' denotes fabric which was reconstructed in the 1990s to original 1914 detail.

The tables below summarise the information gained from this survey.

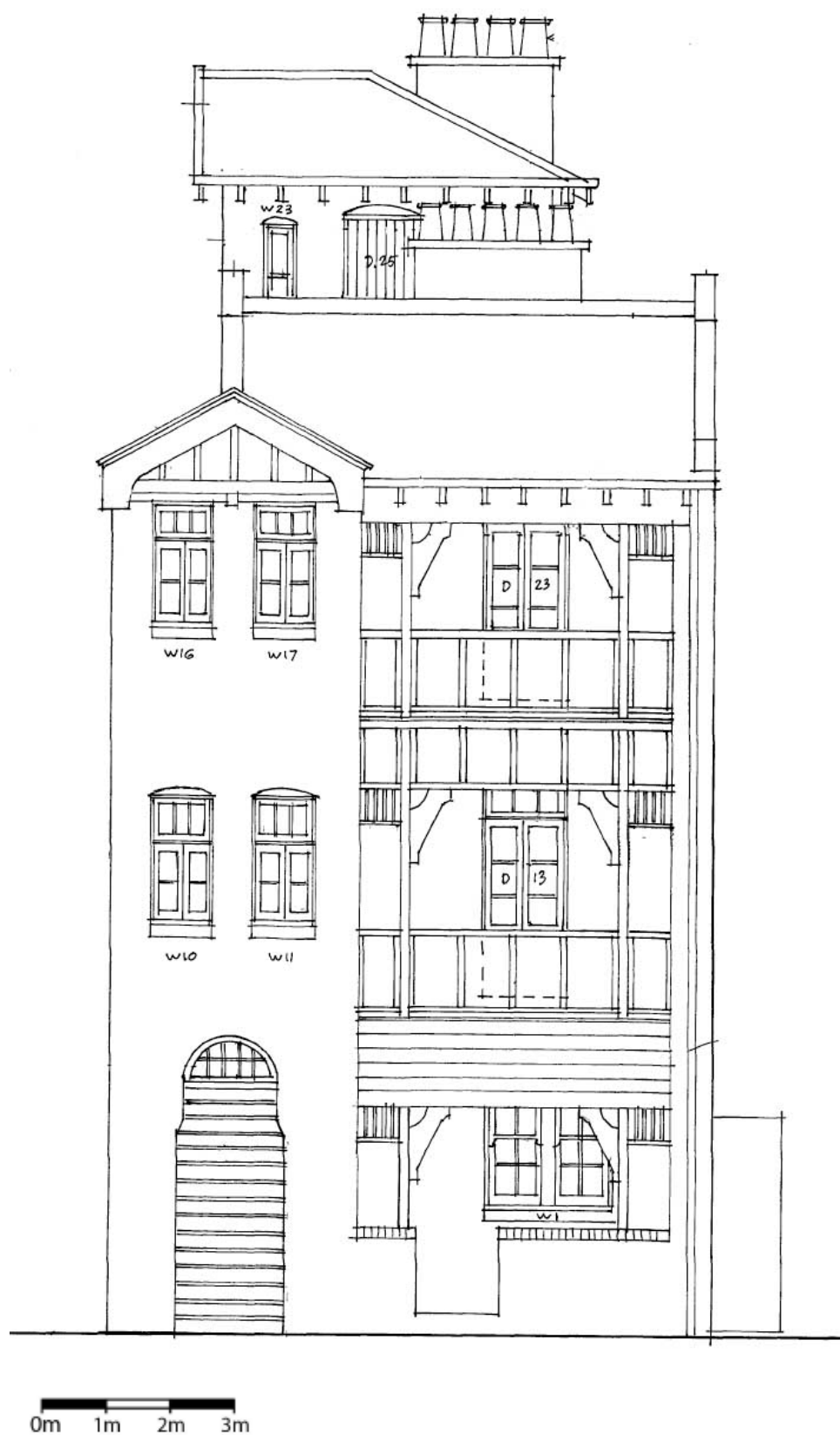


Figure 57: 117-117A Gloucester Street – Front (East) elevation. Source: CLSP

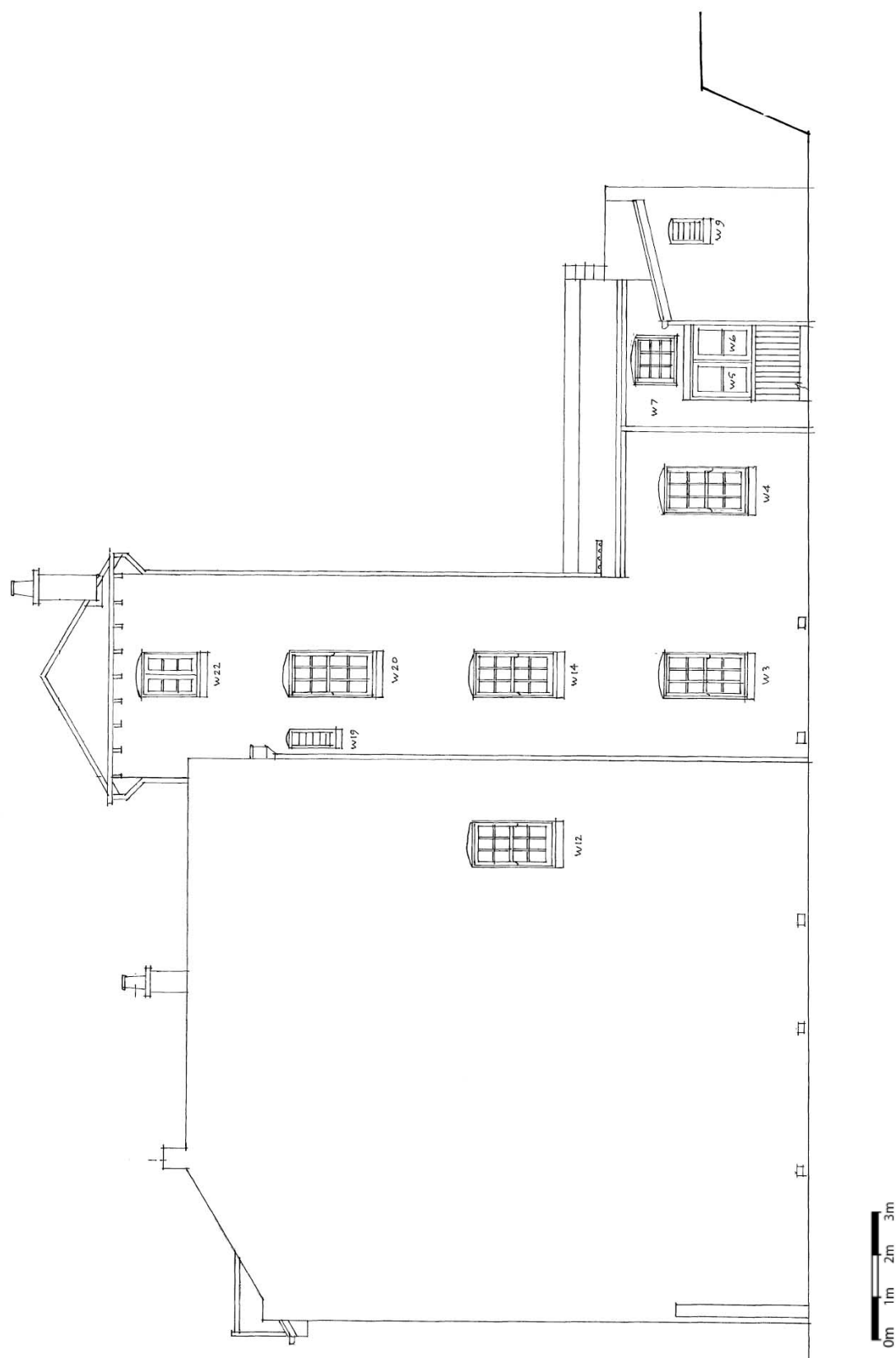


Figure 58: 117-117A Gloucester Street – North elevation. Source: CLSP.

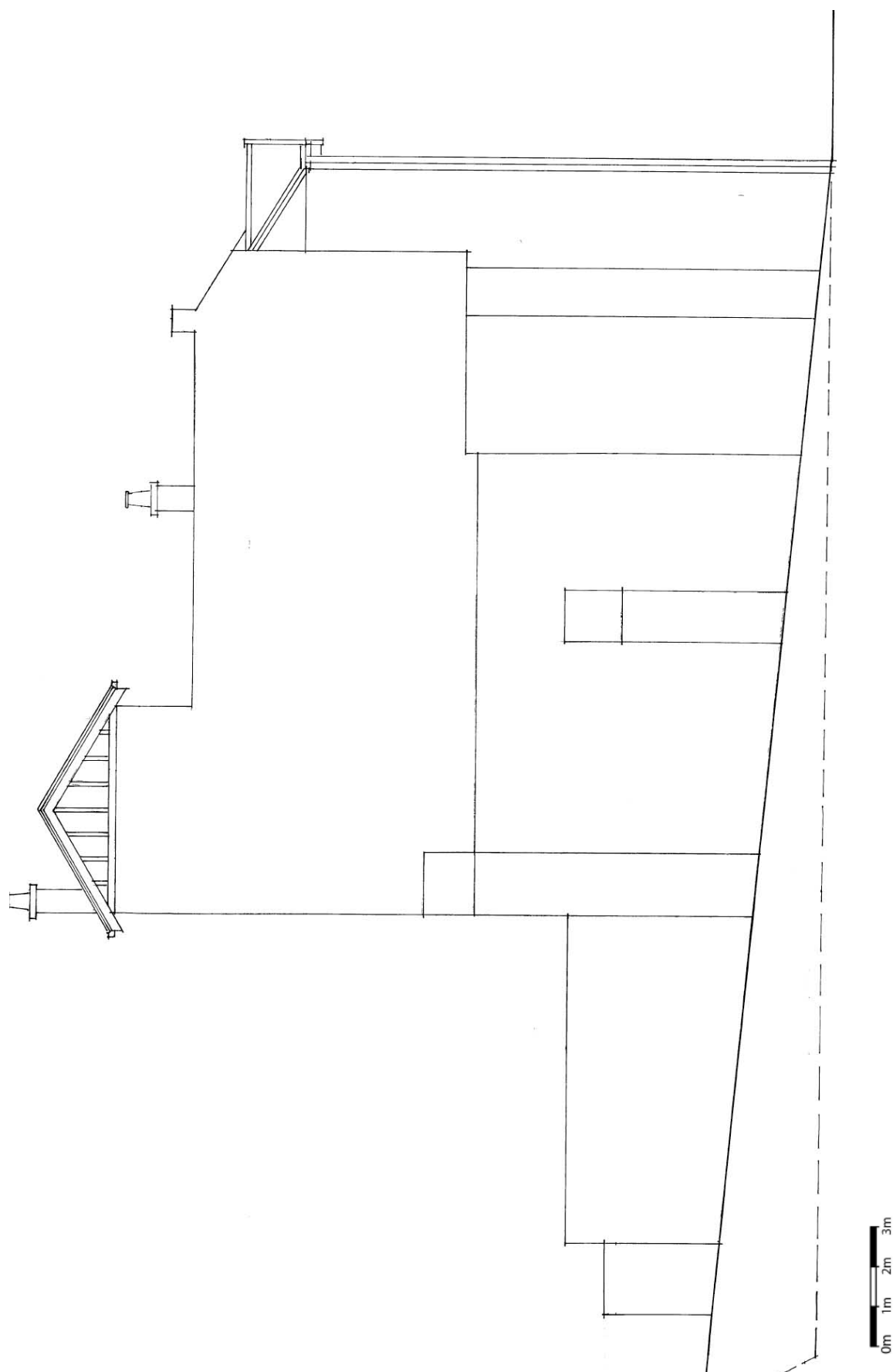


Figure 59: 117-117A Gloucester Street – South elevation. Source CLSP

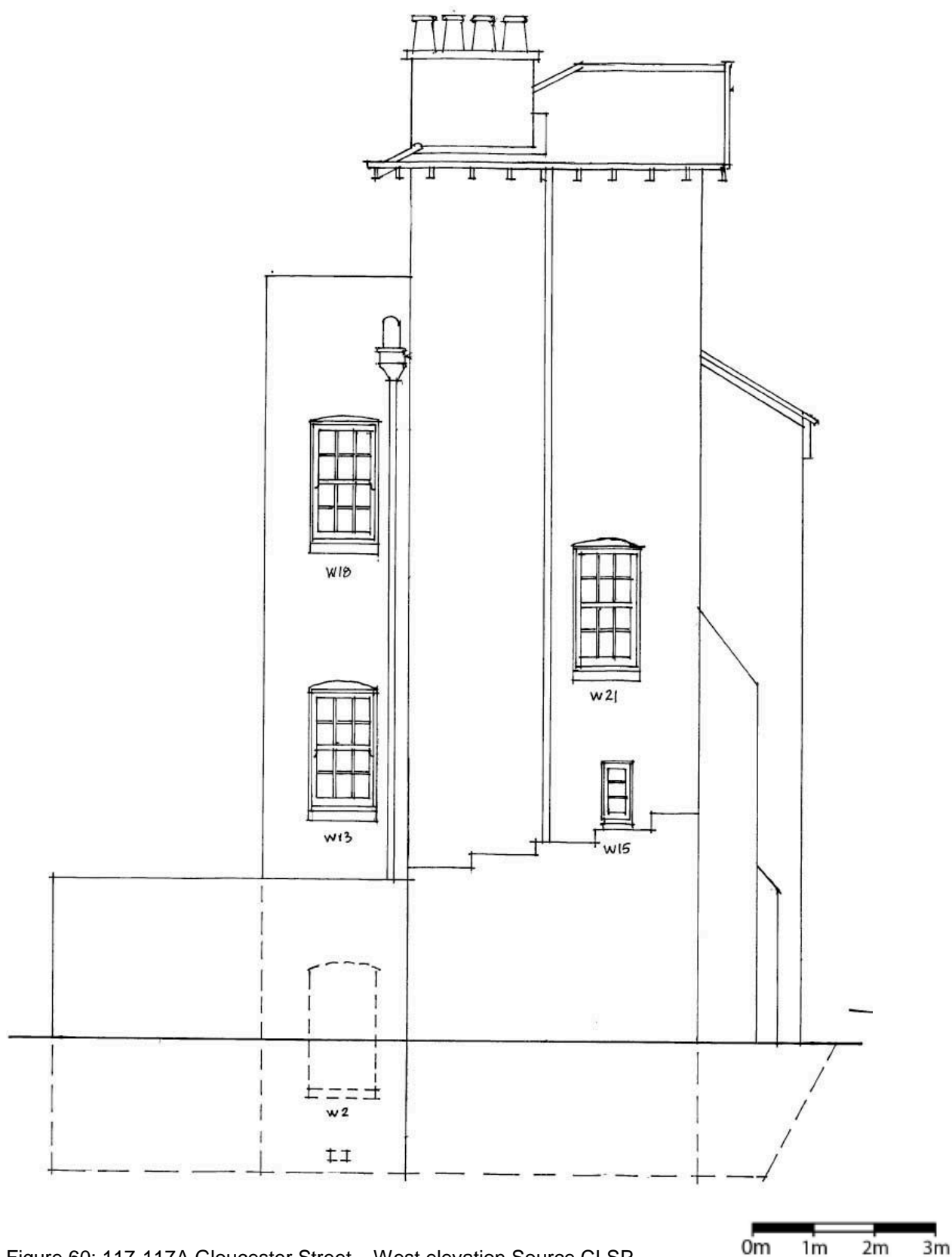


Figure 60: 117-117A Gloucester Street – West elevation Source CLSP

117-117A Gloucester Street - External fabric



Figure 61: Rear yard, casement windows to kitchen (A15), double hung sash windows to A14 and A12, single rear wing with Laundry (A16) and Bathroom (A17), external walls and passage between 117 and 115 Gloucester Street window, 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.

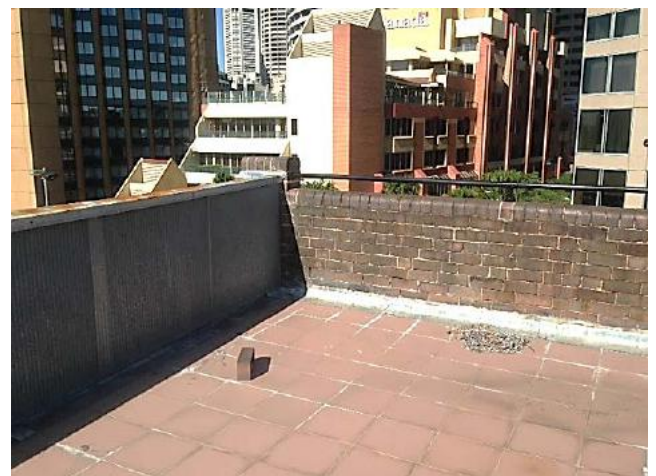


Figure 62: Exterior of Laundry (A1) and open rooftop terrace, chimney stack and chimney pots, tiled roof, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

Identification of Fabric 117-117A GLOUCESTER STREET - EXTERIOR		
Element	Description	Date
Roof		
Roof generally	Flat section, galvanised steel roof sheeting (see also separate listing for Roof Terrace – Third Floor), chimneys and chimney pots	1990s
	Sloped section, Marseilles terracotta pattern tiles	Reconstructed 1994
Rainwater goods generally	Metal quad gutters, rectangular metal downpipes	1990s
East Elevation		
Fascia	Timber fascia, battens, and bargeboards to gable	Reconstructed 1994
Wall	Face brick, evidence of former building to south in brickwork.	Original
Verandahs generally	100mm timber posts, timber handrails, brackets, shingling to ground floor	Original/ Reconstructed
	Timber and compressed cement balustrade infill, timber valance and brackets	Original
Other	Window sills – bullnose brick	Original
	Window heads – brick arches	Original
External steps to 117A	Concrete steps and landing with steel pipe handrails	Original
Brick arch opening over external steps	Face brick arch opening	Original
North Elevation		
Wall	Face brick	Original
Other	Metal underfloor vents	1990s
	Windowsills – bullnose brick	Original
	Window heads – brick arches	Original
South Elevation (see Figure)		
Wall	Brick walls	Original
	Render to brick walls	c1950
	Timber battened compressed cement sheet to top gable	Reconstructed 1994
West Elevation (see Figure)		
Wall	Brick walls	Original
	Render to brick walls	c1950
Other	Metal underfloor vents	1990s

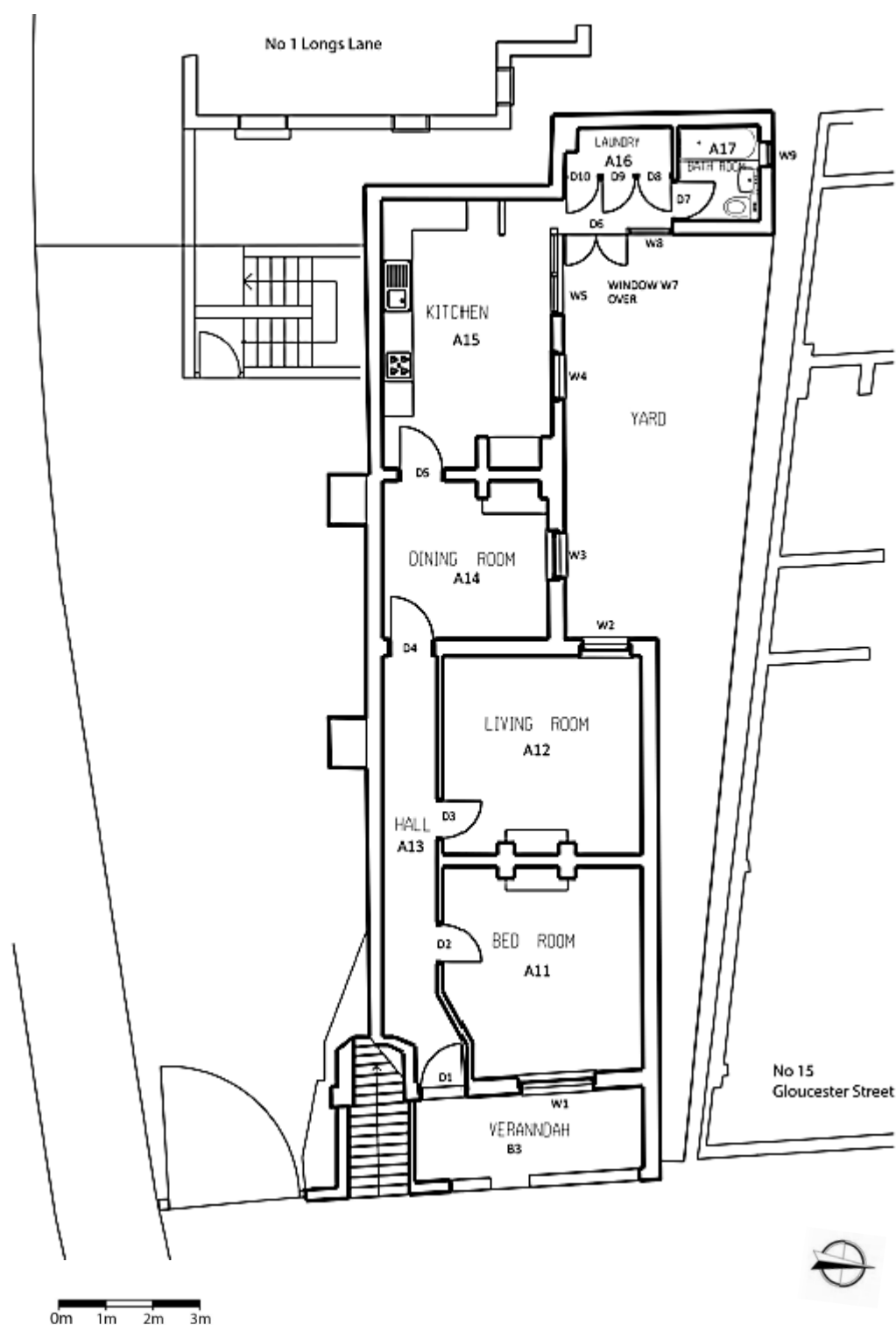


Figure 63: 117-117A Gloucester Street – Site plan and ground floor plan. Source: Sydney harbour Foreshore Authority

117 Gloucester Street –Ground floor fabric



Figure 64: Verandah and entry (B3), 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

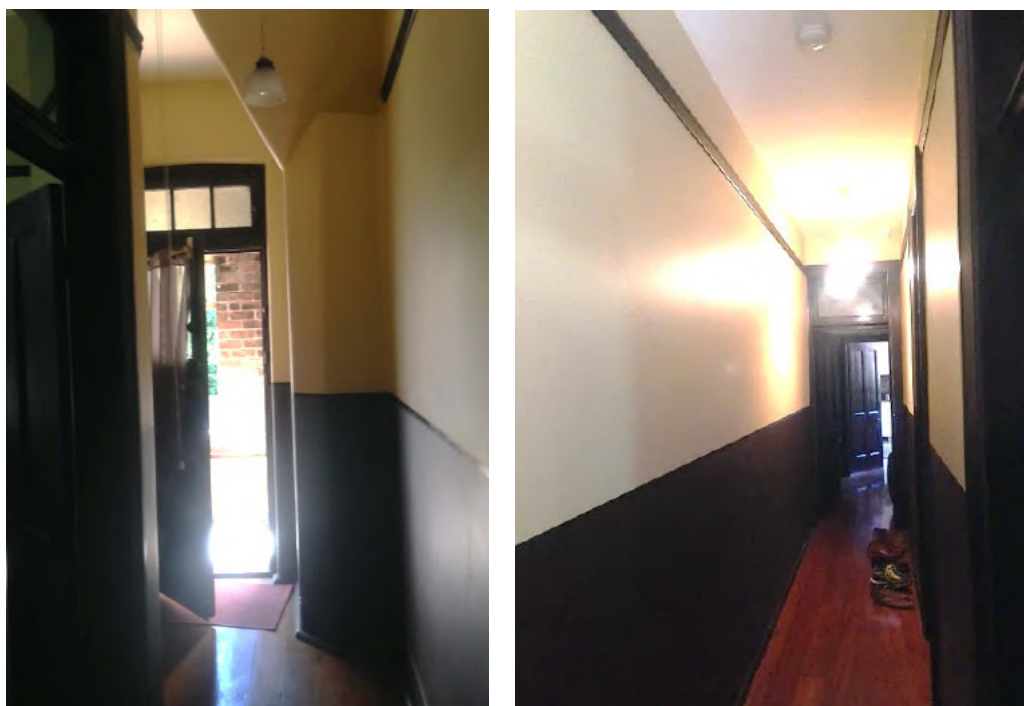


Figure 65: Hall (A13), Front door, hallway and internal door 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

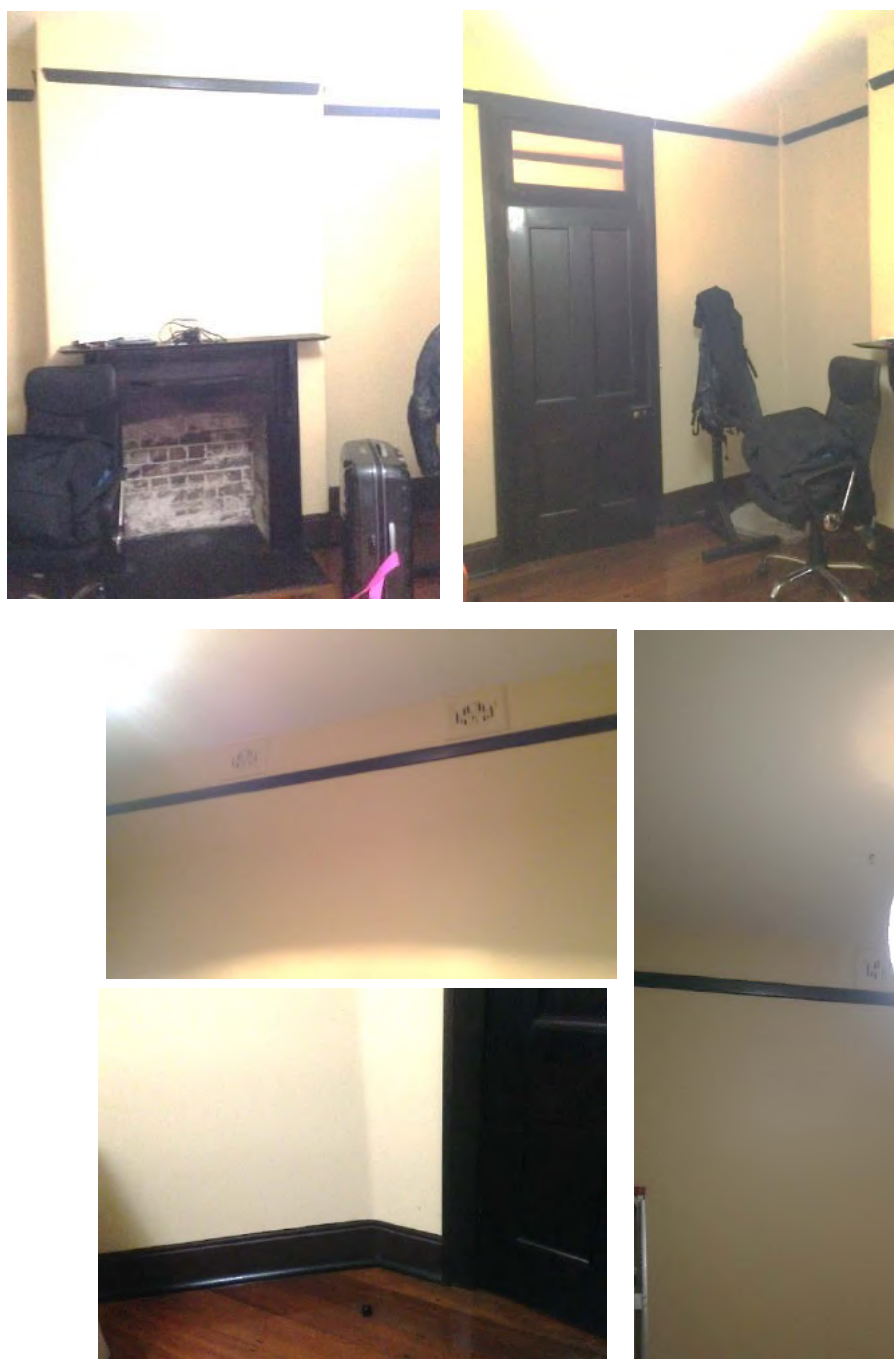


Figure 66: Bedroom (A11) fireplace, door, skirting, picture rail and wall air vents pendant light, 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy



Figure 67: Living Room (A12) fireplace, door, double hung sash window, picture rail and pendant light, 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

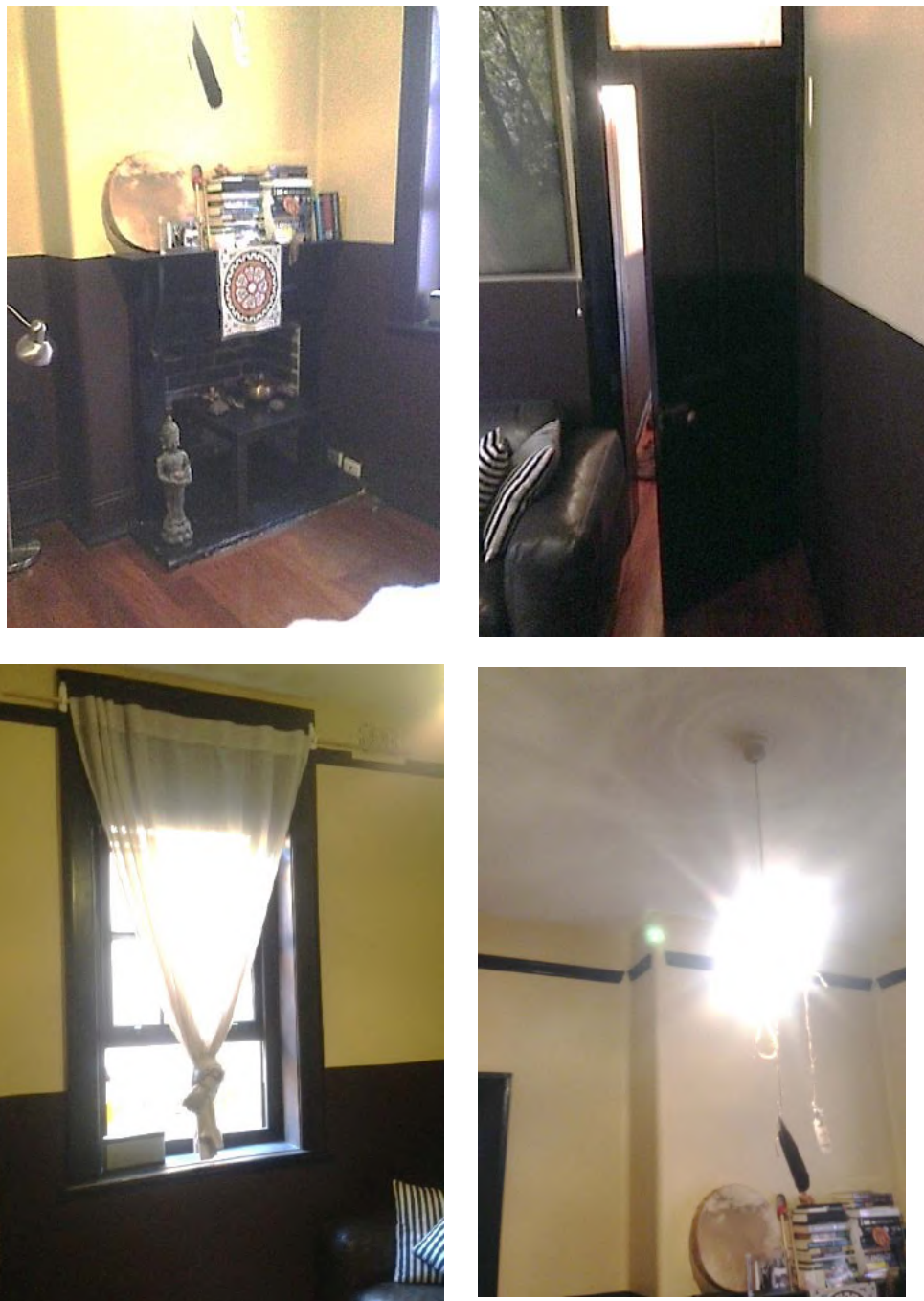


Figure 68: Dining Room (A14), fireplace, internal door, double hung sash window, picture rail and pendant light 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy



Figure 69: Kitchen (A15) kitchen hearth, internal door, double hung sash window, modern kitchen and pendant light, external casement windows, 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy



Figure 70: Laundry (A16) and Bathroom (A17), modern fitouts, external casement window, 117 Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

Identification of Fabric

117-117A GLOUCESTER STREET – GROUND FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
Front Verandah B3		
Ceiling	Underside of timber verandah floor above	Reconstructed 1994
Wall	Face brick	Original
Floor	Cement	Original
Other	Timber verandah posts, brackets, fretwork, shingled balustrade, and timber handrail	Reconstructed 1994
Hall A13		
Ceiling	Set cement render over concrete	Original
Wall	Set plaster	Original
	Picture rail	Reconstructed 1994
Skirting	200mm incised skirting	Original
	38mm quad	1990s
Floor	130mm hardwood boards.	Reconstructed 1994
Door D1	Frame and architrave	Original
	Timber framed fanlight 3 pane textured glass, fixed multi-pane textured glass	Original
	Two panel half glazed timber door and hardware	Reconstructed 1994
Door D4	3 pane clear glass	Reconstructed 1994
Front Room A11		
Ceiling	Set plaster over concrete	Original
Cornices	Set square	Original
Wall	Set plaster	Original
	Picture rail	Reconstructed 1994
Skirting	200mm incised skirting	Original
	38mm quad	1990s
Floor	130mm hardwood flooring	Reconstructed 1994
	Rendered hearth	Original
Door D2	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Window W1	Timber double hung twin sash, six pane sashes with horns	Original
Other	Chimney piece	Reconstructed 1994
	Firebox	Original
Living Room A12		
Ceiling	Set Plaster over concrete	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Walls	Set plaster	Original
	Picture rail	Reconstructed 1994
Skirting	200mm incised skirting	Original
	38mm quad	1990s
Door D3	Frame and architrave	Reconstructed
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Window W2	Timber double hung	Original
	Six pane sashes with horns	Reconstructed
Floor	130mm hardwood	Reconstructed 1994
	Rendered hearth	Original
Other	2 no. plaster vents in north wall	Original
	Fireplace	Reconstructed

Identification of Fabric

117-117A GLOUCESTER STREET – GROUND FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
Dining Room A14		
Ceiling	Set plaster over concrete	Reconstructed
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Picture rail	Original
Skirting	200mm incised skirting	Original
	38mm timber quad	1990s
Floor	130mm hardwood boards	Reconstructed 1994
	Rendered cement hearthstone	Original
Door D4	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Window W3	Timber double hung, six pane sashes with horns	Original
Other	Timber chimney piece	Original
Kitchen A15		
Ceiling	Ripple iron with timber battens	Original
	Set plaster over concrete	Reconstructed 1994
Cornices	Plaster Set square to ripple 38mm timber ovolo	Original
Wall	Set render	Original
	Picture rail	Original
	Painted brick (western half of room)	Original
Skirting	200mm incised skirting (east)	Original
	38mm timber quad (west)	1990s
Door D5	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Window W4	Timber double hung, six pane sashes with horns	Original
Window W7	Timber paired casement sash	Original
Window W5	Timber triple casement sash	1990s
Floor	100mm hardwood boards	Reconstructed 1994
	Cement rendered hearth stone	Original
Other	Plaster vent in North wall	Original
	Timber chimney piece	Reconstructed 1994
	Kitchen fitout	1990s
Laundry A16		
Ceilings	Ripple iron	Reconstructed 1994
Cornices	31mm ovolo	Reconstructed
Wall	Face brick (west and north)	Reconstructed
	Face brick (south)	Original
Skirting	Terracotta tile	1990s
Floor	Terracotta tile	1990s
Door D6	French doors fully glazed, mortice lock	1990s
Doors D8, D9, D10	Flush timber four panel routed face	1990s
Bathroom A17		
Ceilings	Ripple iron	Reconstructed 1994
Cornices	31mm ovolo	Reconstructed
Wall	Set plaster	1990s
Floor	Terracotta tile	1990s
Skirting	Terracotta tile	1990s
Door D7	Four panel timber door, rimlock.	Reconstructed 1994
Window W8	Timber framed fixed, frosted glass louvres	Original

Identification of Fabric

117-117A GLOUCESTER STREET – GROUND FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
Other	Bathroom fitout	1990s

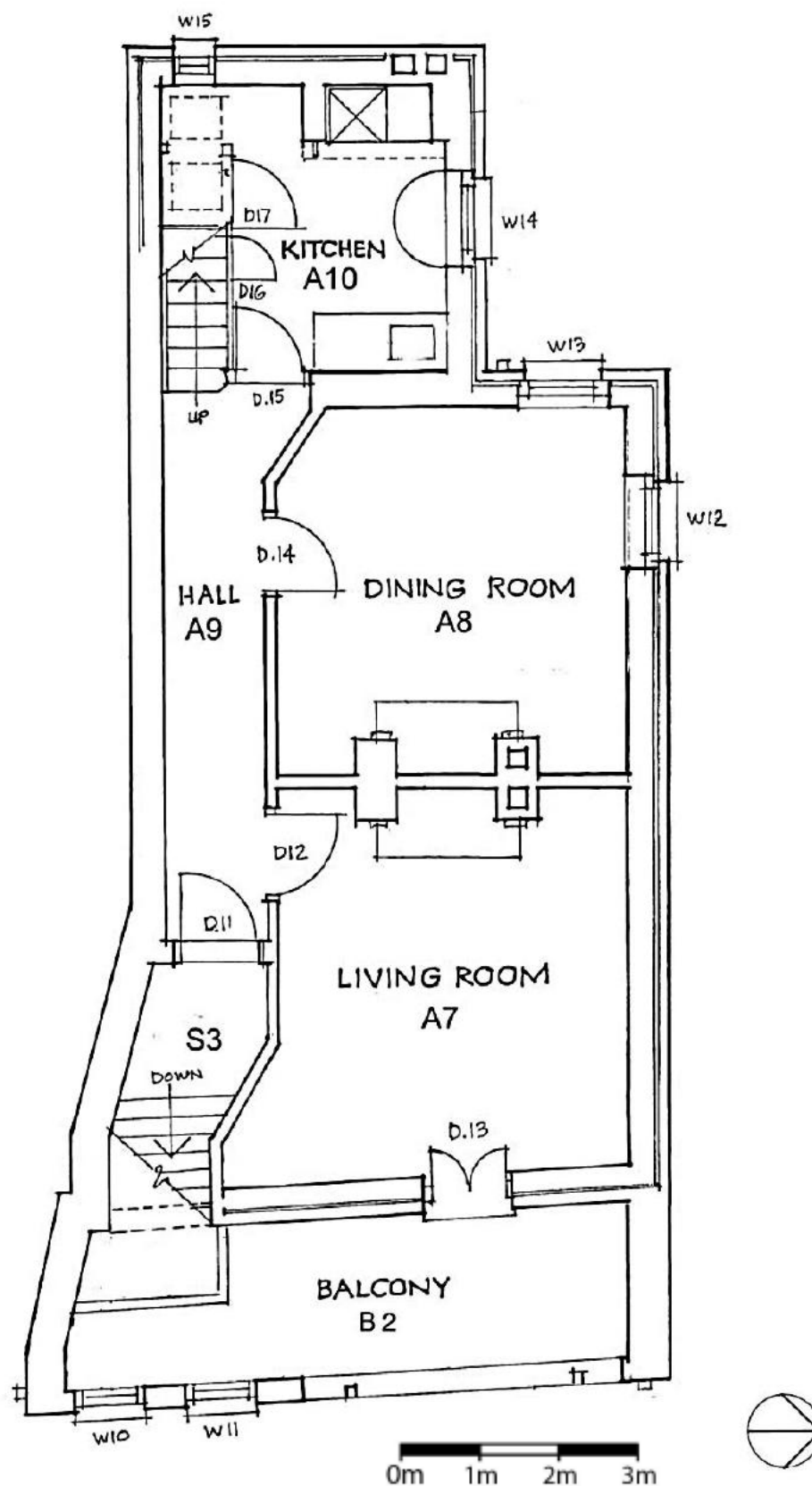


Figure 71: 117-117A Gloucester Street – First floor plan Source CLSP

117 Gloucester Street –First floor fabric

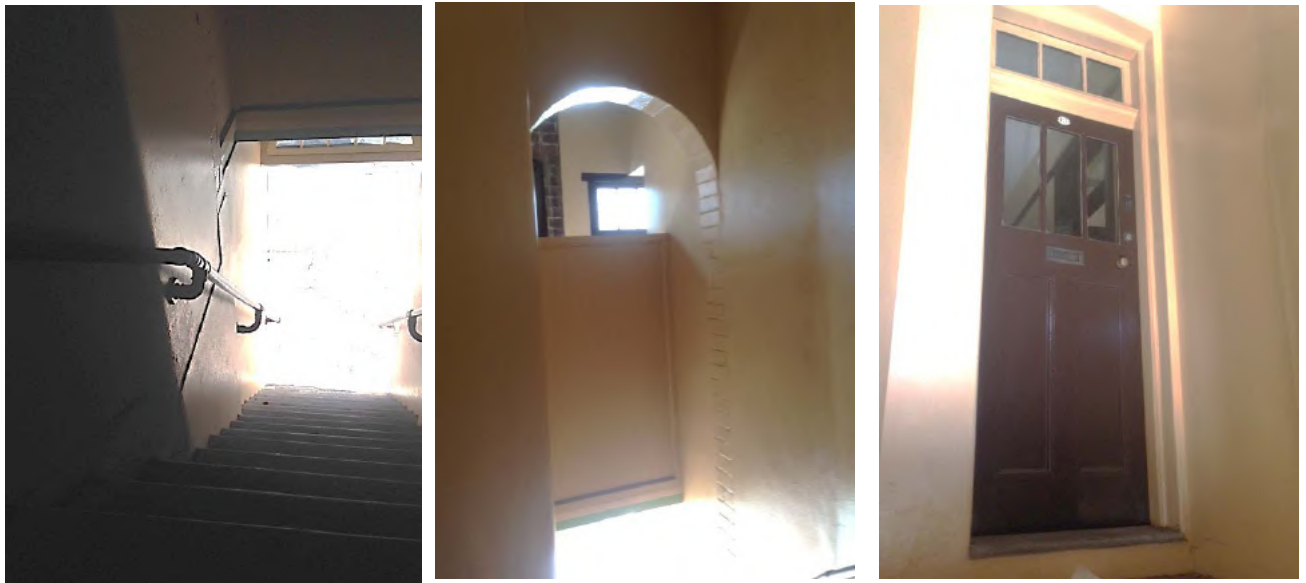


Figure 72: External entry steps, landing (S3) and external entry door to 117A Gloucester Street, 2016.
Source: Sydney Harbour Foreshore Authority, M Stacy

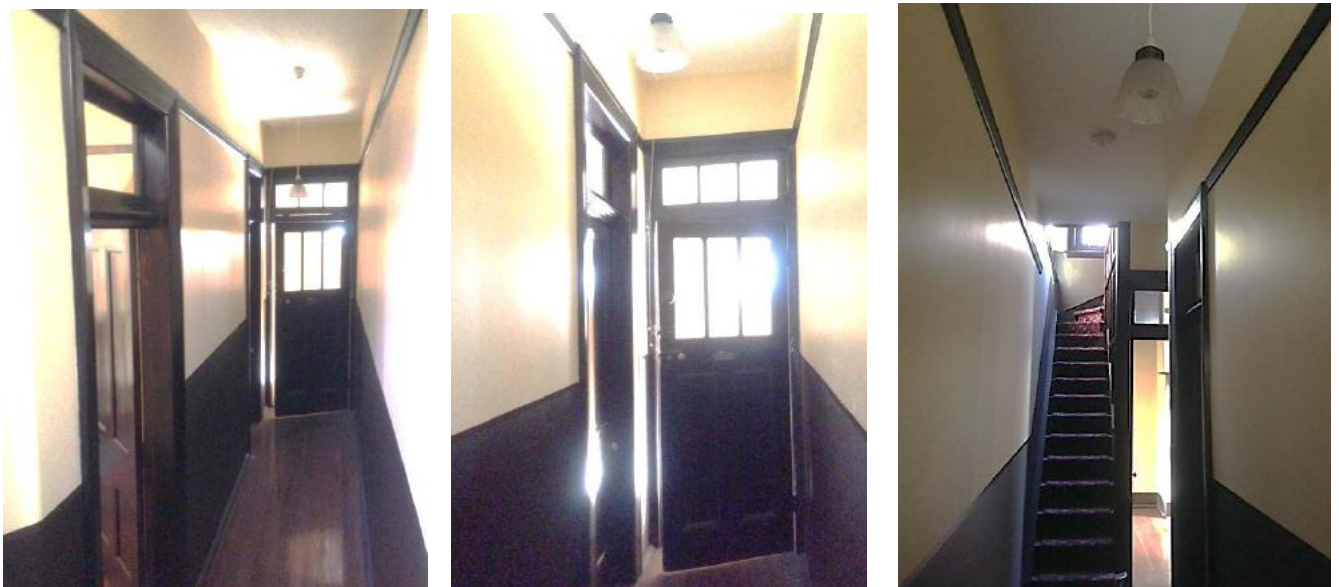


Figure 73: Hall (A9) internal doors, pendant light and external entry door, internal staircase to 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.

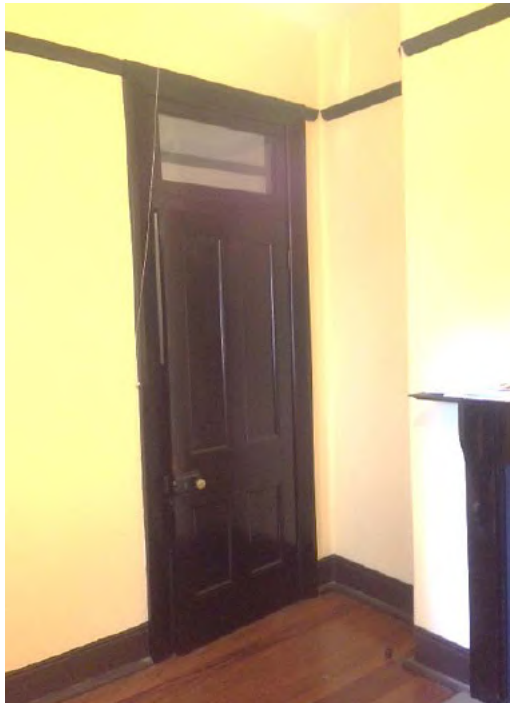
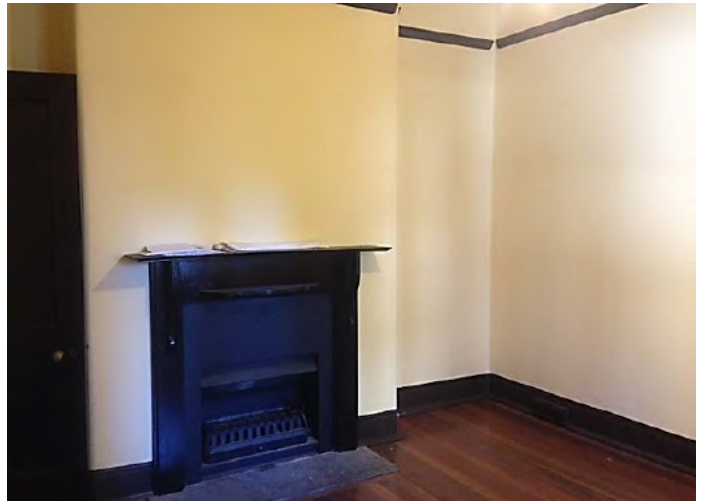


Figure74: Living Room (A7) French doors to front verandah, fireplace and internal door to 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.



Figure 75: Balcony (B2) front verandah decorative timberwork, enclosure over external entry stairs, french doors, floor substructure to balcony over to 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.



Figure 76: Dining Room (A8) fireplace, double hung sash windows and internal door to 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.



Figure 77: Kitchen (A10) hearth and mantelshelf, double hung sash windows and kitchen fitout, small window, timber stairs and internal door to 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.



Figure 78: Hall (A4) top of internal stairs and hall outside bath and WC, and internal stairs to level 3 laundry and rooftop, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.

Identification of Fabric

117-117A GLOUCESTER STREET – FIRST FLOOR

Element	Description	Date
Verandah B2		
Ceilings	Exposed structure of timber floor above	Reconstructed 1994
Wall	Face brick	Original
	Rendered and painted brick at south end	1990s
Floor	85mm timber boards	Reconstructed 1994
Skirting	19mm timber quad	1990s
Windows W10 and W11	Timber double casement sash, two pane Three pane glazed fanlight over, Architrave (W11 only)	Original
Other	Timber posts, balustrades, handrail, frieze panel to verandah, fitted timber screen at southern end	Original
Front Room A7		
Ceiling	Set plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Floor	85mm hardwood boards	Reconstructed 1994
	Rendered cement hearth stone	Original
Wall	Set plaster	Original
	Picture rail Timber	Original
Door D12	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Door D13	Frame and architrave	Original
	French doors, panelled, half glazed, fanlight over, mortice lock	Reconstructed 1994
Skirting	200mm incised skirting	Original
	38mm timber quad	1990s
Other	2 no. plaster vents in east wall	Original
	Edwardian style chimney piece	Reconstructed 1994
	Hearth stone rendered cement	Original
Hall A9		
Ceiling	Set plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Picture rail	Original
Skirting	200mm incised skirting	Original
	38mm timber quad	1990s
Door D11	Frame and architrave	Original
	Two panel half glazed timber door and hardware	Reconstructed 1994
Floor	85mm hardwood boards	Reconstructed 1994
Dining Room A8		
Ceiling	Set plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Picture rail	Original
Skirting	200mm incised skirting	Original
	38mm timber quad	1990s
Floor	85mm hardwood boards	Reconstructed 1994
	Hearth stone rendered cement	Original
Door D14	Frame and architrave	Original

Identification of Fabric

117-117A GLOUCESTER STREET – FIRST FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Windows W12 and W13	Timber double hung, six pane sashes with horns	Original
Other	Edwardian style chimney piece	Reconstructed 1994
	Vertical boarding	1990s
Kitchen A10		
Ceiling	Plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Picture rail	Original
Skirting	200mm incised skirting	Original
	38mm timber quad	1990s
Floor	85mm hardwood boards	Reconstructed 1994
Door D15	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Door D16	Flush panel timber door	1990s
Door D17	Jib door, flush panel, timber	1990s
Window W14	Timber double hung, six pane sashes with horns	Original
Window W15	Timber double hung, two pane sashes with horns	Original
Other	Kitchen fitout generally	1990s
	Staircase	Reconstructed 1994
	Brick chimney breast and cement hearth	Original
	Shelf over chimney breast	Reconstructed 1994
	Waratah pattern vent on north wall	Original

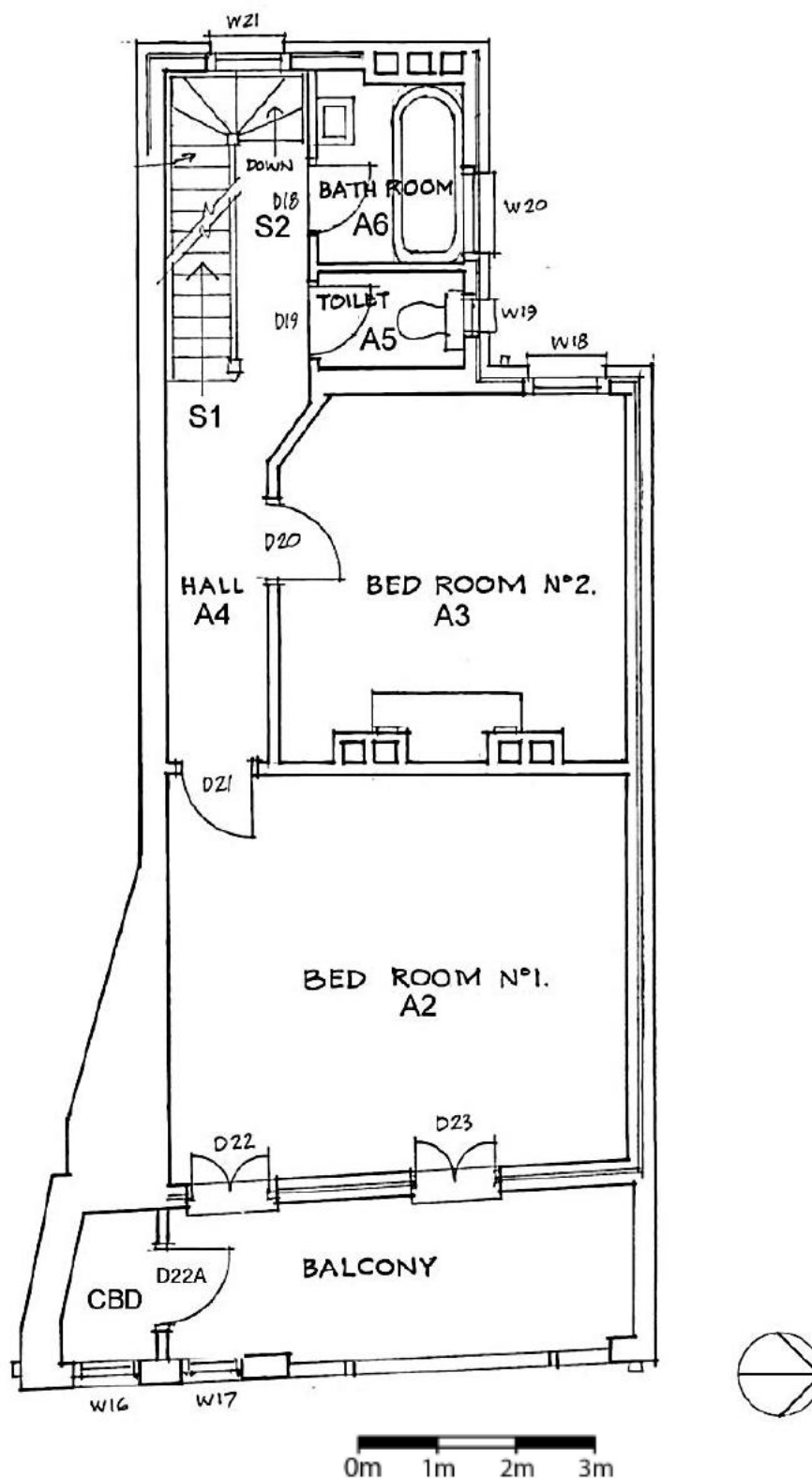


Figure 79: 117-117A Gloucester Street – Second floor plan. Source: CLSP

117 Gloucester Street – Second floor fabric



Figure 80: Toilet (A5) and Bath Room (A6) cast iron bath with ripple iron shower screen over, double hung sash window, air vent and light fitting, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

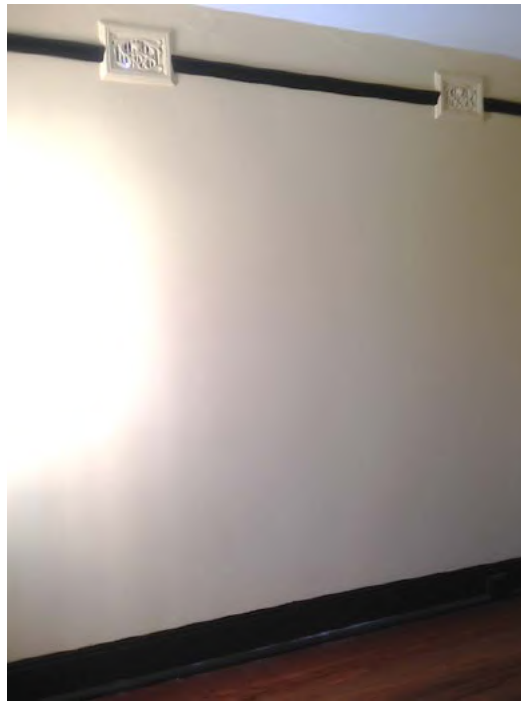


Figure 81: Bedroom #2 (A3) fireplace without grate, air vents and picture rails, double hung sash window, internal door, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

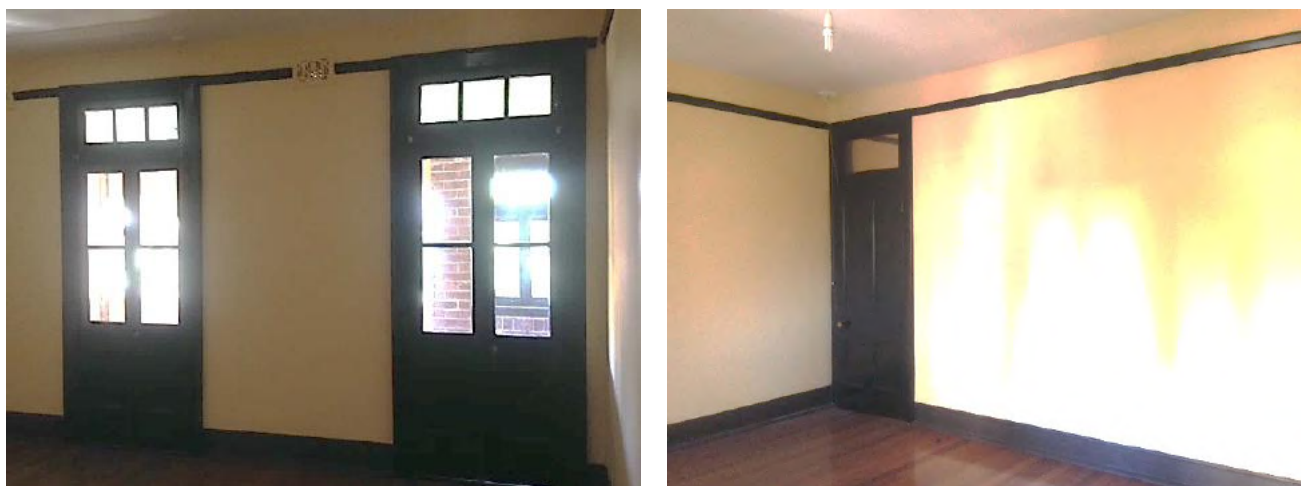


Figure 83: Bedroom #1 (A2) French doors to balcony (B1), air vents and picture rails, internal door, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy



Figure 84: Balcony (B1) front verandah decorative timberwork, enclosure over external entry stairs, french doors, ceiling, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy.

Identification of Fabric

117-117A GLOUCESTER STREET – SECOND FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
Verandah B1		
Ceilings	Plywood and timber battens	Reconstructed 1994
Wall	Face brick	Original
Floor	85mm timber tongue and groove boards	Reconstructed 1994
Windows W16 and W17	Timber double casement sash, two pane. Three pane glazed fanlight over	Original
Door D22A	Solid frame, ledged and sheeted leaf	Reconstructed 1994
Other	Timber balustrade, verandah posts	Original
	Cupboard at south end with door D22A	Reconstructed 1994
Front Room A2		
Ceiling	Plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Timber picture rail	Original
Skirting	180mm incised skirting	Original
	38mm timber quad	1990s
Floor	85mm timber boards	Reconstructed 1994
Door D21	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Door D22	Frame and architrave	Original
	French doors panelled, half glazed, fanlight 3 pane over, mortice lock	Reconstructed 1994
Door D23	Frame and architrave	Original
	French doors fully glazed, fanlight 3 pane mortice lock	Reconstructed 1994
Hall A4		
Ceiling	Plaster and timber battens	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
	Picture rail	Original
Skirting	185mm incised skirting	Original
	38mm timber quad	1990s
Floor	85mm boards	Reconstructed 1994
Window W21	Timber double hung, six pane sashes with horns	Original
Other	Timber staircase	Original
Bedroom A3		
Ceiling	Plaster	Reconstructed 1994
Cornices	Set square	Reconstructed 1994
Wall	Set plaster	Original
Skirting	185mm incised skirting	Original
	38mm quad	1990s
Floor	85mm tongue and groove boards	Reconstructed 1994
Door D20	Frame and architrave	Original
	Four panel timber door with single pane fanlight over, rimlock	Reconstructed 1994
Window W18	Timber double hung, six pane sashes with horns	Original
Other	2 original plaster vents north wall	Original
	Chimney piece	Reconstructed
	Firebox and cement hearth	Original

Identification of Fabric
117-117A GLOUCESTER STREET – SECOND FLOOR

<i>Element</i>	<i>Description</i>	<i>Date</i>
Lavatory A5		
Ceiling	Plaster	Reconstructed 1994
Wall	Face brick (north and east)	Original
	Set plaster (west and south)	Original
Skirting	38mm timber quad	1990s
Floor	Linoleum finish over timber boards	1990s
Door D19	Frame and architrave	Original
	Four panel timber door, rimlock	Reconstructed 1994
Window W19	Timber framed fixed,	Original
	Clear glass louvres	1990s
Bathroom A6		
Ceiling	Plaster	Reconstructed 1994
Wall	Set plaster	Original
Floor	Linoleum finish over timber boards	1990s
Door D18	Frame and architrave	Original
	Four panel timber door rimlock	Reconstructed 1994
Window W20	Timber double hung, six pane sashes with horns	Original
Other	Bathroom fitout generally	1990s
	Enamel cast iron bath, resurfaced	Original

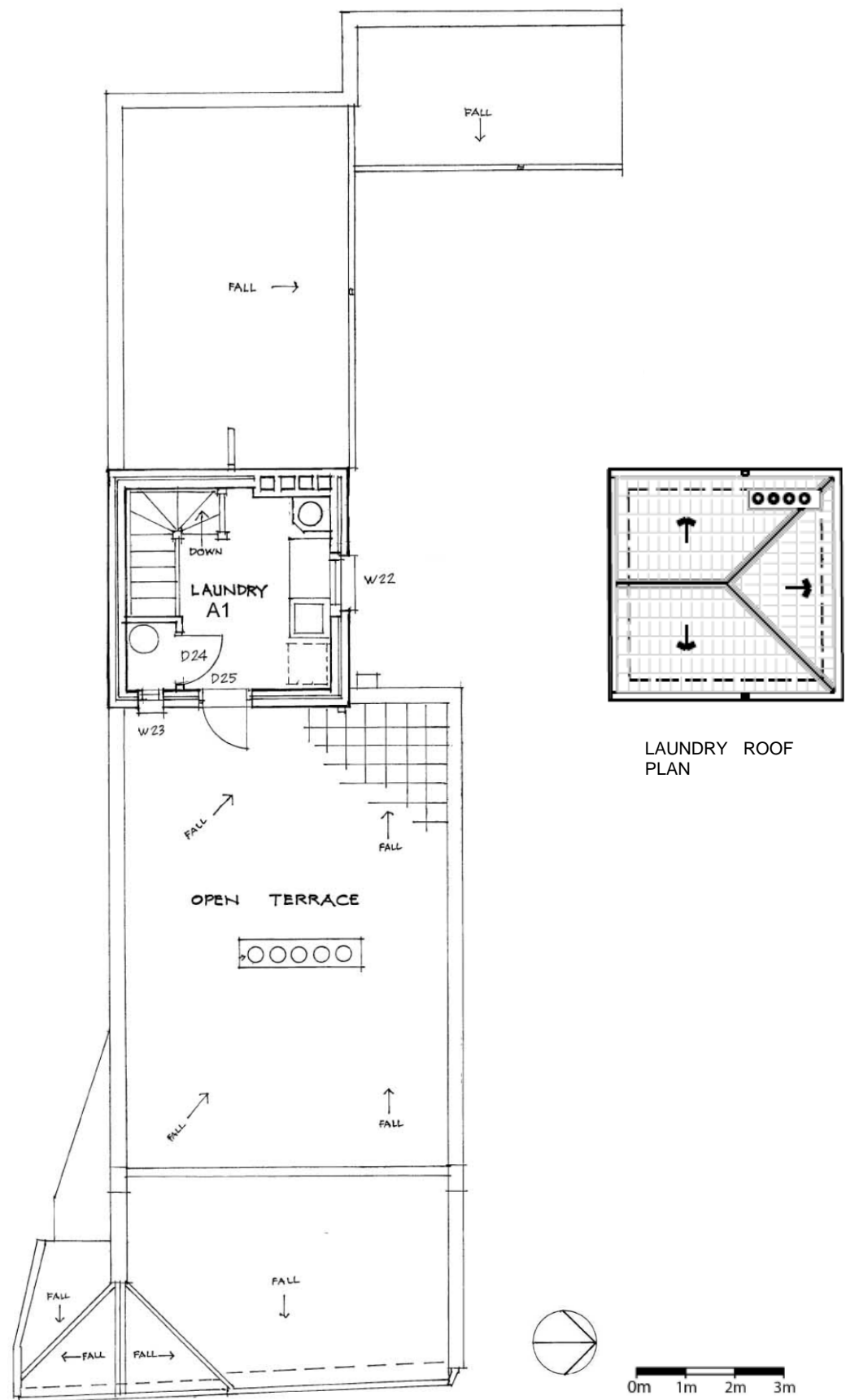


Figure 85: 117-117A Gloucester Street – Third floor plan and laundry roof plan Source CLSP

117A Gloucester Street – Third floor fabric



Figure 86: Laundry (A1) Internal stairs, laundry tub and water heater, external door to rooftop and cupboard, cupboard door, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

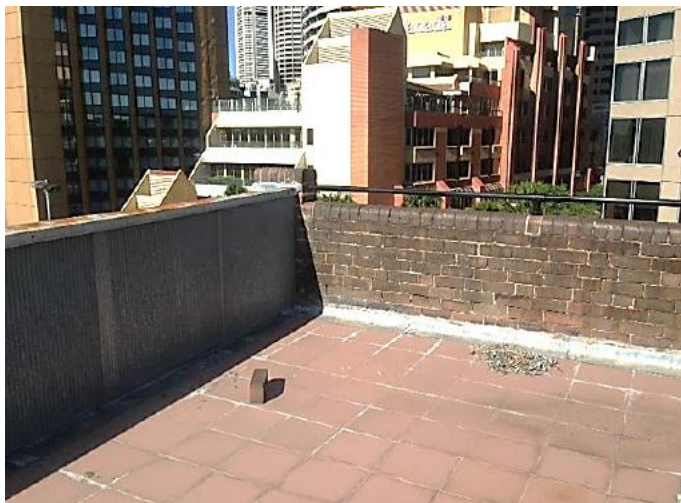


Figure 87: Open root terrace and Laundry (A1) external door to rooftop from laundry, chimneys and terrace, 117A Gloucester Street, 2016. Source: Sydney Harbour Foreshore Authority, M Stacy

Identification of Fabric 117-117A GLOUCESTER STREET – THIRD FLOOR		
<i>Element</i>	<i>Description</i>	<i>Date</i>
Laundry A1		
Ceiling	Ripple iron	Original
Cornices	31mm ovolo	Original
Wall	Face brick painted	Original
Floor	Linoleum finish over timber boards.	1990s
DoorD24	Frame and architrave	Original
	4 panel leaf	Reconstructed 1994
Door D25	Framed and architrave	Original
	Sheet timber door	Reconstructed 1994
Windows W22 and W23	Timber double and single casement three pane sash	Original
Roof terrace		
Wall	Face brick balustrade with bullnose coping (north, south, part west)	Original
	Galvanised ripple iron balustrade with galvanised steel capping	1990s
Floor	Vitrified clay tiles with lead flashing to perimeter	1990s
Other	Chimney pots	Reconstructed 1994

3.4 Movable heritage items

There are no known items of movable heritage associated with the tenements at 117-117A Gloucester Street, The Rocks.

3.5 Assessment of Archaeological Potential

Prior to settlement in 1788, the coastal area of Sydney was occupied by the Cadigal or Cadi people. Due to the rapid development of Sydney, the archaeological evidence in respect of Aboriginal occupation is scant. Aboriginal middens were used as sources of lime in the early development of the Colony, and Aboriginal sites were destroyed as building, roads and associated infrastructure were constructed. Therefore it is possible that sub-surface evidence of Aboriginal occupation may be found below the extant structures.

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan in 1991* and in subsequent archaeological excavations in the rear yard areas of 113-115 Gloucester Street in 1994.

The findings of the archaeological investigations in the vicinity are summarised in the report, 'Identification and Management of Archaeological Issues for the Long's Lane Precinct Conservation Works, The Rocks, Sydney, 1991-1998', prepared by the Sydney Cove Authority.

The archaeological investigations in 1994 provided evidence of an early drainage line between 115 and 117-117A Gloucester Street, however only the rear yard of 115 Gloucester Street was disturbed in this excavation and not 117-117A Gloucester Street. Further archaeological excavation of the study area was not carried out; excavation in the site of 117-117A did not extend below the removal of debris that had accumulated under the floorboards post c1980 which allowed sufficient subfloor ventilation under the reinstated floor.

Given the wealth of information obtained from in-depth archaeological investigations at the adjacent sites of Jobbins Terrace and The Rocks Big Dig Site, there is high potential for additional archaeological material to remain on the site of 117-117A Gloucester Street and the neighbouring vacant site to the south towards the Cahill Expressway. The potential archaeological resource of the site is of State significance, due to the uncertain nature of the early occupation of the site and the rarity of archaeological sites in Sydney that have been found to contain evidence of pre-1820s European activity.

Summary of potential

117-117A and its site and neighbouring vacant site to the south towards the Cahill Expressway are identified as an area with the potential for high archaeological sensitivity. Sections 2.3 and 2.8:

- There may be evidence of Aboriginal occupation.
- The sub-floor areas of 117-117A were not disturbed during conservation works undertaken in 1994 and there is a high potential for deposits of State significance remaining *in situ*.
- Prior to the current building, a c1850s stables building and two small buildings dating from the 1850s-1880s were recorded on this site. There may be evidence of these previous buildings and their occupation remaining on the site.
- The below ground areas of the vacant site south of 117-117A towards the Cahill Expressway also has high potential for deposits of State significance remaining *in situ*. This was the site of the *Black Dog* hotel from c1803-1850, and a house c1865-1902. (See sections 2.3-2.8)

- The archaeological investigations undertaken in 1994 on the neighbouring Cumberland Street Big Dig Site (YHA), and rear yards to Jobbins Terrace at 103-111 Gloucester Street in 1991-2 provided a wealth of information.
- The archaeological material excavated in 1996 at the adjacent site of 1-3 Longs Lane alongside the Cahill Expressway provided c1830s evidence for the yard of the *Black Dog* hotel (a shallow well) and for c1840 terrace houses located on Longs Lane.
- As there was little evidence of any disturbance of archaeological remains in the immediate vicinity of the Cahill Expressway during works to 1-3 Longs Lane, it is considered that the high archaeological potential extends across the whole site right up the edge of the Cahill Expressway.

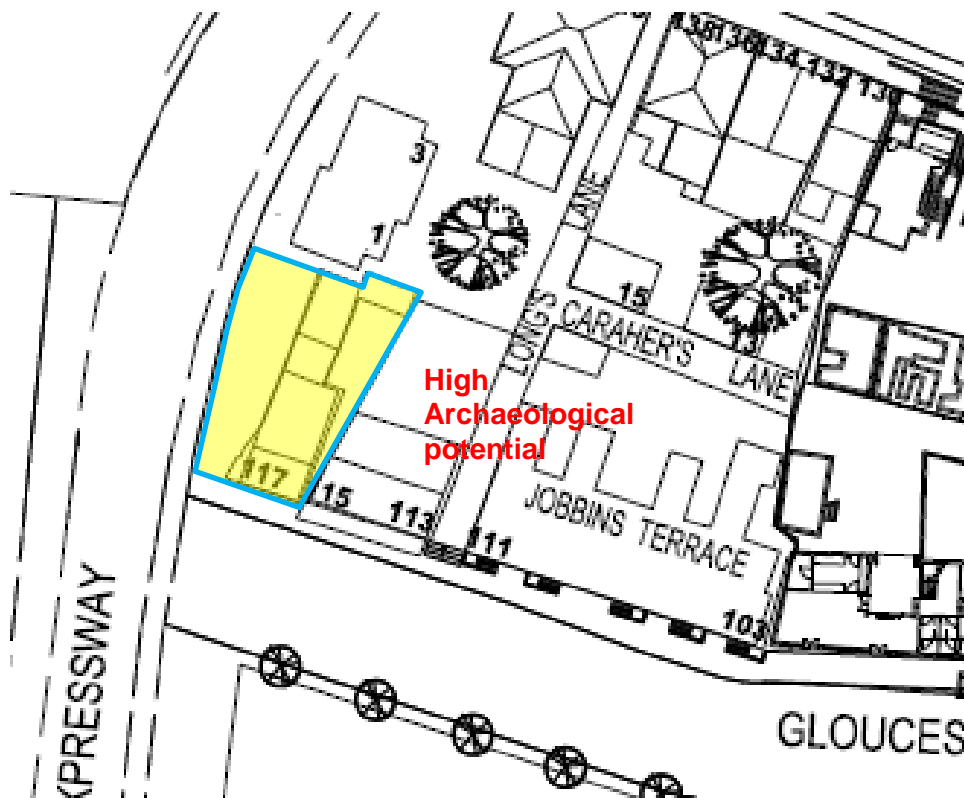


Figure 88: Archaeological Zoning Plan for 117-117A Gloucester Street and the vacant site south of this towards the Cahill Expressway, The Rocks, all of the site and building has high potential. Source: Sydney Harbour foreshore Authority

4 Assessment of Cultural Significance

4.1 Comparative Analysis

This analysis compares the tenements at 117-117A Gloucester Street, The Rocks to tenement housing designed and built in The Rocks and Millers Point in the early 20th century by government architects as government public housing projects. It also includes other buildings designed by Foggitt and the Housing Board in The Rocks and other contemporary Housing Board projects in Sydney and NSW.

Defining terrace housing and tenement housing

A **terrace** or **terrace house** is a form of residential architecture in which a series of dwellings, either identical in plan or a mirror image, are built in a row with common dividing walls and repeated architectural details, with a single entrance at ground level.³¹

The typical Sydney terrace house of the late Victorian era has its origins in the townhouses and the more modest rows of urban worker's housing and barrack housing built in Great Britain during the Georgian era.³² The Rocks and Millers Point are significant as one of few areas in Sydney, and Australia, where the direct transplantation of the standard London town house can be observed in surviving buildings.³³

Whereas a **tenement** is a separate private dwelling built as part of a large building that was rented out to a tenant. A tenement has its own front door that may be accessed via a shared staircase and may contain other shared facilities.

Tenement housing proposed for The Rocks in 1902 were described as huge buildings for the accommodation of the people who earn their livelihood within the resumed areas and along their, foreshores, ... (of multi-storeys) ... each tenement to consist of from two to five rooms, with lavatories, electric light, and all the 'most modern sanitary and other appliances' supposed to be so dear, to the heart of the working man. There will also, in the basements, be swimming baths, gymnasiums, libraries', lecture halls, and perhaps schools.³⁴

Tenement buildings in Sydney were generally built by the government as workers rental accommodation and are now more commonly referred to as flats. Tenements can be considered as the precursor to flat or apartment buildings that have been built more commonly as speculative developments across Sydney from the interwar period onwards.

Workers' housing typology

A typological study of workers' housing from the first decades of the 20th century has been developed by Michael Zanardo as part of his forthcoming PhD. It takes into account workers' housing constructed by the Sydney Harbour Trust, the NSW Department of Public Works, the Housing Board and the City of Sydney. Workers' housing from the first decades of the 20th century includes the following characteristics:³⁵

- walk-up height
- high site coverage

³¹ Rice, J., *Terrace Houses in The Rocks – A Comparative Analysis and Assessment of Significance*, 2014, p8.

³² Rice, J., *ibid*, p8.

³³ Rice, J., *ibid*, p1.

³⁴ <http://trove.nla.gov.au/newspaper/article/113871539?searchTerm=tenement&searchLimits=-state=New+South+Wales&ll-decade=190#> downloaded 22 April 2016.

³⁵ Zanardo, Michael., *Future Affordable Housing Typologies for Sydney: Learning from Local Precedent*, 2009 Housing Researchers Conference refereed conference proceedings, city Futures Research Cnetr, Kensington, NSW 2009.

- use of roof space and balconies rather than ground space for drying, etc
- divisible into separate buildings
- internally divisible to allow sub-letting
- minimal common circulation space
- zero front setback

At the time of construction, the early workers housing blocks erected by the NSW State Government, and subsequently the Sydney Municipal Council, were considered to be highly experimental building typologies employing innovative building technologies, the likes of which had not been seen before in Australia. These projects transformed existing housing types to provide site specific solutions to the problems of urban housing, accommodating larger populations and delivering more shared amenity than the standard Georgian townhouse or the Victorian terrace house types they replaced.

The design of these projects were concerned with delivering greater density to sites within existing urban areas, improving the quality of light and air to each of the dwellings, and contributing positively to making the streetscape and defining the broader public domain.³⁶

Comparative State Heritage Register listings for tenements (and terraces)

A search of the State Heritage Register database shows that there are 82 'terraces' currently included on the State Heritage Register (SHR). It should be noted that this database includes 'tenements' under the 'terrace' type'. 42 of the State Heritage Register listed 'terrace' properties are located in Millers Point, 26 State Heritage Register listed properties are in The Rocks and the remainder are located in inner Sydney suburbs (five terraces in Sydney, two in Randwick, one in Surry Hills, two in Potts Point and one in Redfern) and regional NSW (one terrace in Windsor, Orange, Newcastle, East Maitland, and two in Kiama).

Two tenement buildings at 46-56 Gloucester Street, The Rocks and 18-20A Munn Street, Millers Point are incorrectly recorded as 'terrace' (rather than tenement).

A further search of the SHR database revealed four additional tenement developments (currently recorded as seven individual SHR listings) in Millers Point variously recorded as 'residences', 'flats' or 'duplexes'.

- Millers Point contains the majority of the State Heritage Register listed properties with 41 terraces and *four tenements developments* located at 18-20A Munn Street; 2-36 & 38-72 & 74-80 High Street; 7-13 Dalgetty Terrace; and 30-42 Lower Fort Street & 2-4 Trinity Avenue, Millers Point.
- The Rocks contains the second highest number of State heritage Register listed properties with 25 terraces and three tenements located at 117-117A Gloucester Street; 140-142 Cumberland Street; and 46-56 Gloucester Street, The Rocks.
- The remaining State Heritage Register listed 'terrace' properties are located in inner Sydney suburbs and NSW regional centres.

In summary, all of the known government designed and built State Heritage Register listed tenement buildings are located in Millers Point and The Rocks.

³⁶ Michael Zanardo, *Lessons from the Past, what early workers' housing in Sydney can teach us*, Architecture bulletin, 'History informing the Future' Autumn 2014, page 12.

Summary of extant Government designed tenement housing in Millers Point and The Rocks

<i>Date built</i>	<i>Name and address</i>	<i>Built for</i>	<i>Designed by</i>	<i>Heritage Act Listing</i>	<i>Similarities to 117-117A Gloucester St</i>	<i>Differences to 117-117A Gloucester St</i>
1907-08	7-13 Dalgetty Terrace tenement housing, Millers Point	Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Part of Millers Point conservation area SHR Individual SHR listing	Two storey walk-up with central external staircase to tenement flats. Similar external design in terrace style, Federation Freestyle with Queen Anne decorative timber fretwork. Internal sanitation, plumbing and water. Internal layout not known.	Three storey walkup flats with semi enclosed central staircase to upper tenement.
1909-1910	Munn Street tenement housing, 18-20A Munn Street, Millers Point	Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Part of Millers Point conservation area SHR Individual SHR listing	Two storey walk-up with central external staircase tenement flats. Similar external design in terrace style, Federation Freestyle with Queen Anne decorative timber fretwork. Internal layout not known.	Three storey walkup flats with semi enclosed staircase to upper tenement.
1910	Workers' Housing, tenement housing at 30-42 Lower Fort Street and 2-4 Trinity Avenue, Millers Point	Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Part of Millers Point conservation area SHR Individual SHR listing	Three storey walk-up external staircase to tenement flats. Similar internal room plan, sanitation and kitchen, bathroom, laundry facilities. Internal layout shown in architectural plans, similar in design.	Medium density development. Face brick external design in Federation Freestyle very similar in external form and internal floor plan to 140-142 Cumberland Street and most of Housing Board development in The Rocks, <i>but different in external architectural design to 117 Gloucester St.</i> Comprised of smaller one and two room

						accommodation with kitchen and bathroom facilities at the rear of the development.
1910	Workmens' Dwellings, tenement housing at 46-56 Gloucester Street, The Rocks.	Rocks Resumption managed by Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Individual SHR listing	Three storey walk-up external staircase at both ends of tenement flats. Similar external design in terrace style. Similar use of face brickwork designed as a terrace row. Federation Freestyle, restrained external decorative detailing. Internal layout not known.	Three storeys onto Gloucester Street and four storeys to the rear onto Cambridge Street. Each flat was over two floors, ie two flats located in each 'terrace' bay. External staircases located at either end of terrace row with access to first floor separate tenement flat across front verandah.
1910-1917	Workmens' Dwellings, tenement housing at 2-36 &, 38-72, & 74-80 High Street, Millers Point	Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Part of Millers Point conservation area SHR Individual SHR listing	Two storey walk-up with central external staircase tenement flats. Similar external design in terrace style, Federation Freestyle with Queen Anne decorative timber fretwork. Internal layout not known. Major development with three rows of tenements and a childcare centre. External courtyard and rooftop terrace provided to each tenement.	Three storey walkup flats with semi enclosed staircase to upper tenement.
1914	Workmens' Dwellings, tenement housing Gloucester Street, Little Essex Cumberland Street, The Rocks <i>(**117-117A Gloucester Street and 140-142 Cumberland Street, The Rocks are the only extant</i>	Rocks Resumption managed by Sydney Harbour Trust	Housing Board, Principal Architect Foggitt	Individual SHR listings	Three storey walkup tenement flats. Internal staircase to a range of boarding house accommodation for single working men. Part of the same Housing Board development. Face brickwork Federation	Workers dwellings for men and families with two and 3 bedroom self-contained flats vs boarding style accommodation for single men. Internal vs semi enclosed staircase access. 1117-117A has terrace

	<i>remnants of this large development.)</i>				Freestyle, Brick arched openings and verandah detailed. Medium density urban renewal project in The Rocks.	style appearance. Federation Freestyle with Queen Anne decorative timber fretwork to verandahs.
--	---------------------------------------------	--	--	--	------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------

Other extant Government Architect Branch designed housing in The Rocks

<i>Date built</i>	<i>Name and address</i>	<i>Built for</i>	<i>Designed by</i>	<i>Heritage Act Listing</i>	<i>Similarities to 117-117A Gloucester St</i>	<i>Differences to 117-117A Gloucester St</i>
1910	Shop and dwelling and model factory, 182 Cumberland street corner of Essex Street, The Rocks	Sydney Harbour Trust	Government Architects Branch, NSW Government Architect Vernon	Individual SHR listing	First floor flat dwelling over a shop and factory. Designed in the Federation Freestyle.	Built as part of a multi-purpose shop, housing and factory development in The Rocks.

Other Housing Board buildings in The Rocks

<i>Date built</i>	<i>Name and address</i>	<i>Built for</i>	<i>Designed by</i>	<i>Heritage Act Listing</i>	<i>Similarities to 117-117A Gloucester St</i>	<i>Differences to 117-117A Gloucester St</i>
1917	Ajax Building	Sydney Harbour Trust	Housing Board Principal Architect, Foggitt	S170 local heritage listing	-	Two storey commercial warehouse building. Innovative use of concrete and steel construction.
1920-21	Resumed Properties Branch and Housing Board building government office building 16-18 Grosvenor Street, The Rocks	Resumed properties Branch and Housing Board	Housing Board Principal Architect, Foggitt	Individual SHR listing	Use of face brickwork.	Original three storey (with a later fourth storey addition) commercial office building designed in the Interwar period. Restrained ornamentation.

Other contemporary Housing Board housing developments in Sydney

<i>Date built</i>	<i>Name and address</i>	<i>Built for</i>	<i>Designed by</i>	<i>Heritage Act Listing</i>	<i>Similarities to 117-117A Gloucester St</i>	<i>Differences to 117-117A Gloucester St</i>
-------------------	-------------------------	------------------	--------------------	-----------------------------	-----------------------------------------------	----------------------------------------------

1912-1920	Suburban Workers' housing, Daceyville	Housing Board	Housing Board Principal Architect, Foggitt	Botany Bay LEP local heritage listing	Federation Freestyle with Queen Anne decorative timber fretwork. Housing for workers and their families.	Free standing single storey and duplex public housing built as a new garden suburb development.
c1920	Suburban Workers' housing, Bunnerong	Housing Board	Housing Board Principal Architect, Foggitt	-	Public housing.	Free standing single storey, interwar designed cottages built in new suburban release areas.
c1920	Suburban Workers' housing, Gladesville	Housing Board	Housing Board Principal Architect, Foggitt	Unclear but possible Hunters Hill LEP local heritage listing	Public housing.	Free standing single storey, interwar designed cottages built in new suburban release areas.

Government Architects' role in urban renewal in Millers Point and The Rocks

Vernon served as the NSW Government Architect from 1890 to 1911. During this time he was influential in the design of many Sydney's public buildings and the early public housing projects in Millers Point and The Rocks undertaken by the Government Architects Branch (GAB). Vernon's assistant at this time was William Henry Foggitt, who then went on to be appointed Principal Architect for the Housing Board.³⁷ Vernon's influence is strongly evident in the designs for the newly formed Housing Board established in 1912.

The NSW Government Architect Vernon received his architectural training in England and migrated to Australia in the 1880s. (He) was a proponent of the European Arts and Crafts movement, translating it for Australian conditions and architectural designs which included verandahs, breezeways and sheltered courtyards. Brick, terracotta tiles, timber, stone and concrete all featured prominently in (his) buildings which became synonymous with the Federation movement at the end of the 19th century.³⁸

The urban renewal being undertaken in London was well known internationally. The NSW Government Architect Walter Liberty Vernon visited the architectural office of London County Council in 1897 and was shown recently completed work, as well as projects still on the drawing board. He is known to have visited the site of the former Millbank Prison that was being redeveloped as an Art Gallery and public housing.³⁹

In the Rocks Resumed Area, town planning ideas were employed for reasons of public health and to improve the quality of the townscape. The redevelopment did include model factories, commercial buildings, shops and public buildings, substantial groups of model workers' housing were also built from 1906 until 1912 designed by the Government Architect.

The buildings designed to be inserted into existing streetscapes by the Government Architects Branch (GAB) were carefully composed so that their facades and their overall form added to the character of the townscape. Complex forms were employed for which there was no precedent and each building responded both to the character of the site and to the range of functions that were contained within. The Federation Free Style buildings designed by the GAB as part of the planned improvement of the city of Sydney are still in use today, although in many cases the scale of the surrounding townscape has altered.⁴⁰

The extensive land resumption and the accompanying urban renewal was unprecedented in Australia. The Government Architect was closely involved in the urban renewal within the Rocks Resumed area. In conjunction with the rebuilding of the adjacent wharves by the Sydney Harbour Trust, this was the largest project of its type undertaken anywhere in Australasia.⁴¹

The urban renewal of Millers Point and The Rocks was undertaken 'little by little', with blocks of workers' housing carefully interspersed within the existing housing stock.

³⁷ Wayne Johnson, Sir John Sulman and Walter Liberty Vernon, from *Painting The Rocks*, p109.

³⁸ Wayne Johnson, *ibid*, p109.

³⁹ Noni Boyd, W. L. Vernon, NSW Government Architect, *Report Submitted By, in Connection with his recent visit to the United Kingdom and the Continent of Europe*. p.1. in *The Rocks Resumed Area – A Summary of the Managing Agencies & Sources of Archival Material*, April 2011, p.6.

⁴¹ Ib Boyd, N., Thesis, *Gloucester Street, The Rocks A Study of Its Development and Construction*, 1997, p. 153, cited in Perumal Murphy Alessi, *op. cit.* p496.

Vernon oversaw the designs of the model workers' housing, commercial buildings and factories for the resumed area.⁴²

The sheer number of workers needing to be re-housed resulted in the abandonment of the two-storey terrace form (which as of similar scale and character to the English garden city examples) and the construction of multi-storey industrial dwellings in Lower Fort Street in Millers Point and Gloucester Street in The Rocks.⁴³

NSW Government Architect - Vernon's public housing designs in The Rocks

The Government Architects Branch under NSW Government Architect Vernon, designed a range of buildings are designed in the Federation Free Style and this style has been used for a wide range of housing including terrace houses, tenements, model factories and shop houses in The Rocks.⁴⁴

Of particular note and relevance to this CMP are Vernon's public housing designs and those of his assistant William Henry Foggitt, that featured prominently in The Rocks and Millers Point and are still extant:

- Workmen's Dwellings, Terrace at 46-56 Gloucester Street, 1910;
- Shop and dwelling and model factory at 182 Cumberland Street corner of Essex Street 1911;

The Government Architect's Branch did design an unusual row of houses for the narrow and precipitous site at 46–56 Gloucester Street between 1908 and 1911. The row incorporates 16 residences; in effect, two rows of eight two-storey terraces stacked one atop the other. On the Gloucester Street level the lower terraces were entered at street level, and stairs took occupants to a lower floor. A stair from the street led to the first floor terraces, accessed by a verandah across the front of the building. Garbage chutes took waste from the rear of the buildings to yards on Cambridge Street.⁴⁵



Figure 89: Workmens' Dwellings, 46-56 Gloucester Street, The Rocks designed by Government Architects Branch, NSW Government Architect Vernon, built 1910. Source: Sydney Harbour Foreshore Authority, M Stacy.

⁴² Noni Boyd, *No Sacrifice in Sunshine Walter Liberty Vernon Architect 1846-1914*, page 480.

⁴³ Noni Boyd, *ibid*, pages 489-490.

⁴⁴ Noni Boyd, *ibid*, pages 497.

⁴⁵ Wayne Johnson, *Chapter 14 Government ownership*, unpublished manuscript.



Figure 90: Shop and dwelling and model factory at 182 Cumberland Street corner of Essex Street, The Rocks designed by Government Architects Branch, NSW Government Architect Vernon, built 1910. Source: Sydney Harbour Foreshore Authority M Stacy.

NSW Government Architect – Vernon’s public housing in Millers Point

In addition to rebuilding the wharves and creating the new access road the Sydney Harbour, by 1911 the Sydney Harbour Trust had built the first of a series of workmens’ flats in Dalgety Terrace (1907-08), Munn Street (1909-1910) and High Street (intermittently from 1910 – 1917) as well as a new commercial area at the western end of Argyle Place containing shops and a restaurant for waterside workers.⁴⁶

These examples of tenement housing designed for the Sydney Harbour Trust, were generally designed as terrace-like buildings in the streetscape, and are not readily recognisable as tenements, until close inspection. The tenements appear as terraces in design with separating party walls, use a similar layout with gable roofs. The differentiating feature is the introduction of a central external staircase access to the first floor accommodation. Many of the tenements in Millers Point also feature decorative Federation Queen Anne styled timberwork to the front verandahs.

⁴⁶ Noni Boyd, SR Maps 364-381 formerly AO Maps 364-381 in The Rocks Resumed Area – A Summary of the Managing Agencies & Sources of Archival Material, April 2011, p.24



Figure 91: 7-13 Dalgetty Terrace, Millers Point, tenement housing, designed by Government Architects Branch, NSW Government Architect Vernon, built 1907-8. Source: Sydney Harbour Foreshore Authority, M Stacy 2016.



Figure 92: 18-20A Munn Street tenement housing, Millers Point, designed by Government Architects Branch, NSW Government Architect Vernon, built 1909-10. Source: Sydney Harbour Foreshore Authority, M Stacy 2016.

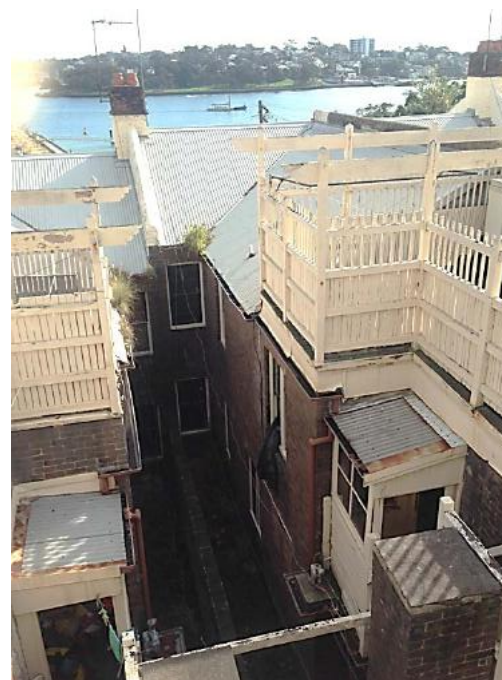


Figure 93: 2-36 & 38-72, & 74-80 High Street, Millers Point, tenement housing designed by Government Architects Branch, NSW Government Architect Vernon, built 1910-17. Source: Sydney Harbour Foreshore Authority, M Stacy 2016.

NSW Government Architect - Vernon's design for 'Workmens' Dwellings', Lower Fort Street, Millers Point

The Government Architects Branch designed some workers dwellings in the Lower Fort Street at the same time as the block in Gloucester Street, a European influence can also be seen. In the *cité ouvrière* in the Rue de Prague the continuous Parisian street frontage established by Haussmann was abandoned, allowing side windows. Gardens were established in the centre of the block. Vernon did not employ a continuous frontage in the Lower Fort Street blocks in order that windows could be provided to all four elevations. The proximity of the blocks to each other is also more reminiscent of European examples, such as the co-operative housing in Amsterdam built just before World War I, than the English examples where the blocks were more widely spaced.⁴⁷

The provision of external stairs and walkways to access flats was not new; Henry Roberts had long been employing external walkways in his model housing designs in London. An exposed walkway was considered healthier than an enclosed corridor.⁴⁸

In the Lower Fort Street industrial dwellings ... a European influence can also be seen. ... The proximity of the blocks to each other is also more reminiscent of European examples, such as the co-operative housing in Amsterdam built just before World War I, than the English examples where the blocks were more widely spaced.⁴⁹

⁴⁷ Noni Boyd, *ibid*, pages 495-496.

⁴⁸ Noni Boyd, *ibid*, pages 492.

⁴⁹ Noni Boyd, *No Sacrifice in Sunshine Walter Liberty Vernon Architect 1846-1914*, page 493.



Figure 94: Workers' housing at 30-42 Lower Fort Street and 2-4 Trinity Street, Millers Point, tenement housing designed by Government Architects Branch, NSW Government Architect Vernon, built 1910. Source: Sydney Harbour Foreshore Authority, M Stacy 2016.

Lower fort Street built in 1910 was described as 'each flat is light, well ventilated, private and spacious, A hygienic inside toilet was included and areas provided for drying clothes, Yet there is a communal sense of well, a balance of provide and public spaces, providing excellent inner-city living.⁵⁰

⁵⁰ Kelly, *ibid*, p. 97.

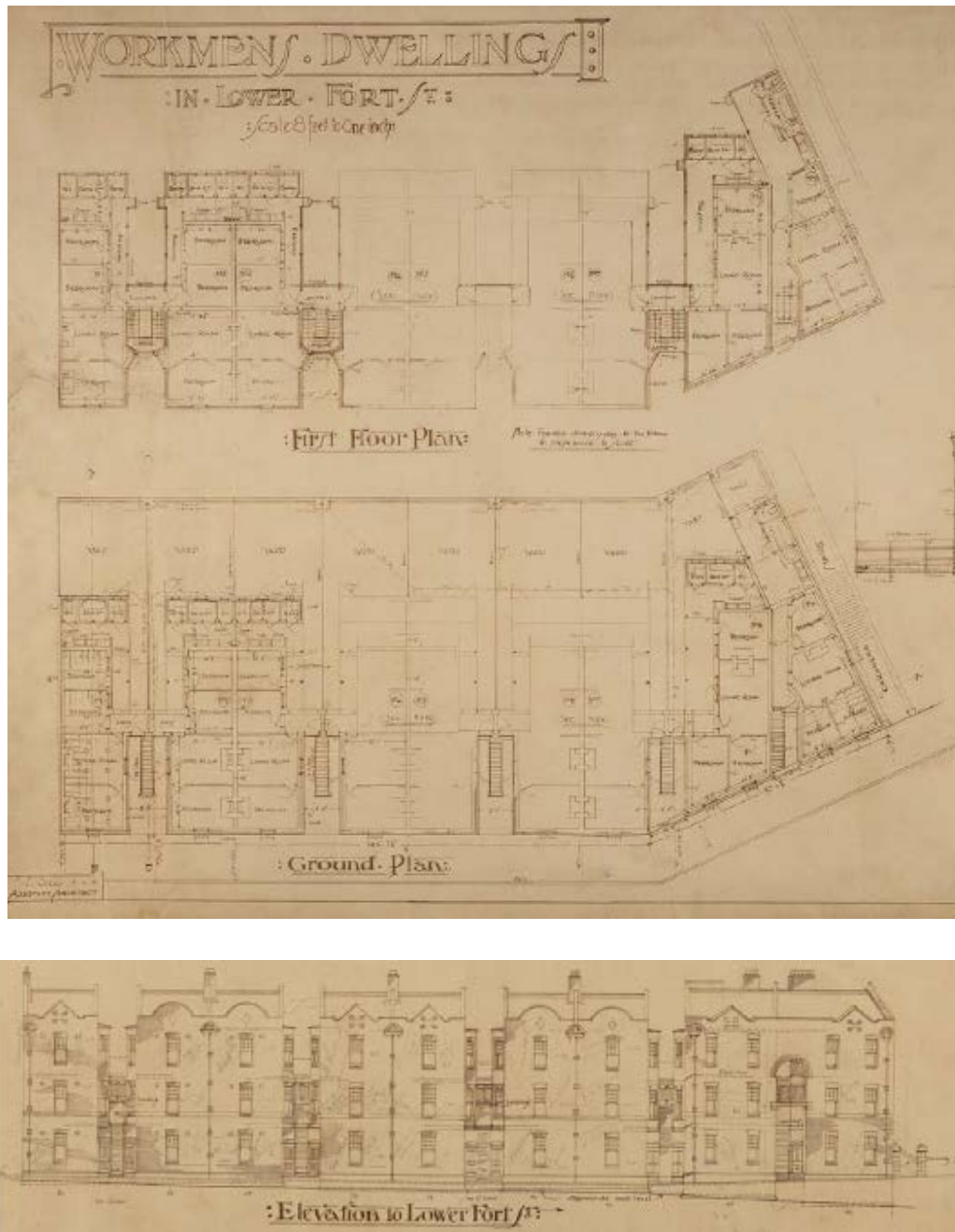


Figure 95: Plans and elevation for Workmen's Dwellings, 30-42 Lower Fort Street and 2-4 Trinity Street, Millers Point designed by the Government Architects Branch, NSW government Architect, Vernon, built 1910.

Note that the floor plan layout is very similar in overall organisation, room layout and external street façade design and materials used for the later Housing Board development at Cumberland, Gloucester and Little Essex Street, The Rocks. The differences are it consists of smaller one and two room accommodation with kitchen and bathroom facilities at the rear of the development.

Source: Noni Boyd, *No Sacrifice in Sunshine Walter Liberty Vernon Architect 1846-1914*, page 480.

Other Housing Board buildings in The Rocks

There are two other Housing Board buildings surviving in The Rocks directly attributed to William Henry Foggitt, as Principal Architect, both are commercial buildings, being:

- NSW Housing Board building at 16-18 Grosvenor Street, The Rocks, built as a government office built 1920-21.
- The Ajax Building, a warehouse built 1917 an innovative design by William Henry Foggitt by the recently formed NSW Housing Board, believed to be the first building in Sydney constructed with a reinforced concrete skeleton, a method to become standard in building construction.⁵¹



Figure 96: Resumed Properties Branch and Housing Board building government office building 16-18 Grosvenor Street, designed by Housing Board Principal Architect, Foggitt built 1920-21. Source: Sydney Harbour Foreshore Authority, M Stacy, 2016.



Figure 97: Ajax Building, 23 George Street, The Rocks. An innovative warehouse building designed by Housing Board Principal Architect, Foggitt built 1917. Source: Sydney Harbour Foreshore Authority S170 Register.

⁵¹ Wayne Johnson, *Convict Colony to Workers' Paradise Transforming The Rocks*, from *Painting The Rocks*, p 41.

Other contemporary Housing Board public housing at Daceyville, Gladesville and Bunnerong

Following the completion of the public housing development in The Rocks, the Housing Board went on to construct free standing cottages as suburban workers' housing at Daceyville (1912-1920), Gladesville (c1920), and Bunnerong (c1920).

Designed to be the opposite of crowded, unhygienic inner-city Sydney, Daceyville's planners looked overseas for ideas. Britain's Garden City Movement was a major source of inspiration, as shown by the suburb's alternative name – Dacey Garden Suburb. Born out of the ills of the nineteenth-century industrial city, the 'garden city' movement was an exercise in 'environmental determinism' that aimed at improving the morality, health and respectability of citizens by providing them with self-contained towns of ordered, visually pleasing streetscapes. They believed in single-family homes and abundant green spaces which together merged the best elements of city and country life.⁵²

In total, three street layouts were produced for Daceyville, with each improving on the previous one. The second plan was drawn up by John Sulman and John Hennessy in 1912. Construction started in 1912, but due to concerns about extravagance, the NSW Housing Board architect William Foggitt stepped in and revised Daceyville's design blueprint in 1914. Daceyville was completed in 1920, with on a fraction of the intended housing being built.⁵³

The houses were designed as free standing cottages as Interwar Bungalows with Queen Anne timber features, face brick construction with pebblecrete wall finishes and chimneys

Public housing developments by the Housing Board in Gladesville and Bunnerong were undertaken in the interwar period c1920. These housing developments were laid out in streets of public housing and exemplify suburban town planning principles; with individual house allotments each with a free standing single storey Interwar cottages of face brick construction on a stone foundation and feature pebblecrete decorative under gable areas.



Figure 98: Daceyville housing designed by Housing Board Principal Architect, Foggitt built 1912-1920 <https://en.wikipedia.org/wiki/Daceyville>, Wikipedia, downloaded April 2016.

⁵² <http://dictionaryofsydney.org/entry/daceyville>, Daceyville by Samantha Sinnayah, downloaded April 2016.

⁵³ Ibid.

Comparative Summary

The tenement building at 117-117A Gloucester Street is one of only four buildings (tenement housing at 117 Gloucester Street and 140-142 Cumberland Street, an office building and a warehouse) built in The Rocks by the Housing Board and designed by its Principal Architect Foggitt, between 1912 and 1927.

117-117A Gloucester Street survives as one of only two remnants parts (the other part being 140-142 Cumberland Street) of a large Housing Board purposed designed workers housing built as a Shops and Dwellings tenement development located on Gloucester, Cumberland, and Little Essex Streets, in The Rocks, most of which was demolished in 1956 for the construction of the Cahill Expressway.

Of the public housing built in New South Wales by the Housing Board, the Cumberland Street, Gloucester Street and Essex Street, The Rocks development is the only surviving example of a Housing Board's urban public housing tenements, designed for the single and working men and their families as high density infill and urban renewal development.

117-117A Gloucester Street is therefore an intact example of one of the earliest government designed and built medium density urban public housing developments in NSW, that were the first developments of their type in Australia, modelled on UK and European public housing.

As a new building form in Australia, the tenements at 117-117A Gloucester Street retain and demonstrate the innovative construction methods and materials such as the use of concrete and steel, innovative architectural design and development of housing models for workers housing and introduction of the external staircase access to the upper floors. 117-117A demonstrates a model housing layout with running water and kitchen, bathroom, WC and laundry facilities that addressed concerns for improved hygiene and sanitation.

However, the tenements at 117-117A Gloucester Street were also different in their external design and detailing from the remainder of the larger Housing Board development. 117-117A makes a feature of its decorative timber joinery and fretwork designed in the Federation Queen Anne style, particularly notable in the timber columns, brackets, and valances to the verandahs, which are more suburban and more Australian Federation style in character. The subtle design differences between 117-117A may reflect the architect's response on Gloucester Street to the verandahed neighbouring pair of terrace buildings at 113-115 Gloucester Street, The Rocks.

Completed in 1914, 117-117A Gloucester Street is the latest example of a workers tenement building in The Rocks and Millers Point. Its design is derived from earlier workers housing tenement housing developments built between 1908 and 1910 by Government Architects Branch and NSW Government Architect Vernon who was assisted by Foggitt. Relevant comparative examples of tenement housing are located in Gloucester Street, The Rocks and in High Street, Dalgetty Street and Munn Street, Millers Point.

All of the tenement buildings in Millers Point and The Rocks have been in government ownership and management since their construction and have been leased as social housing accommodation. They currently survive in a remarkably externally and internally intact condition.

4.2 Assessment of Significance

The following assessment of heritage significance is an update based on the CMP and comparative analysis and has been taken from the State Heritage Register listing for the 'Tenements', Listing Number 01598, Gazette No 85, gazetted 10 May 2002.

<http://www.environment.nsw.gov.au/heritageapp/ViewHeritageItemDetails.aspx?ID=5053215>

The assessment has been prepared utilising the current evaluation criteria established by the New South Wales Heritage Council.

Historical Significance

Criterion (a) – An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)

The historical significance of the **tenements at 117-117A Gloucester Street** is demonstrated by:

117-117A Gloucester Street is historically significant as a key component in the evolution of the Long's Lane precinct, which is a unique ensemble in The Rocks of 19th and early 20th century residential buildings, laneways, and rear yards.

117-117A Gloucester Street is of historical significance in its own right as one of two surviving parts of a large public housing development built by the Housing Board as workers dwellings fronting Gloucester, Cumberland, and Little Essex Streets, in The Rocks. (The other surviving part is at 140-142 Cumberland Street, The Rocks.) The Housing Board was the first agency in NSW to be established solely for the purpose of building and managing public housing and reflects the social and political concerns of government in the welfare of citizens in the early 20th century and provision of hygienic and healthy housing for workers and their families.

117-117A Gloucester Street as part of the Housing Board tenement housing development is an intact example of an early 20th century government designed and built medium density urban public housing development in NSW, modelled on UK and European public housing that were the first of their type in Australia.

As a new building form in Australia, the tenements at 117-117A Gloucester Street retain and demonstrate the innovative construction methods and materials such as the use of concrete and steel, innovative architectural design and development of housing models for workers housing and introduction of the external staircase access to the upper floors. 117-117A demonstrates a model housing layout with running water and kitchen, bathroom, WC and laundry facilities that addressed concerns for improved hygiene and sanitation.

The history of 117-117A Gloucester Street's decline into dereliction, and the occupation of the building by squatters and zoning as a redevelopment site, prior to the government decision to undertake conservation works in the early 1990s, reflects the changing social context of The Rocks over the course of the 20th century. The decision of the State government to restore the building for residential purposes demonstrates the prevailing political will and public funding dedicated to the conservation of heritage in the post-Green Bans period in The Rocks

117-117A Gloucester Street meets this criterion at the STATE level.

Historical Association

Criterion (b) – An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)

The associational significance of the **tenements at 117-117A Gloucester Street** is demonstrated by:

The site is associated with the Samuel Thorley who was its first known known European occupant. Thorley arrived as a convict on the 3rd Fleet in 1791. Thorley's property was first mentioned in June 1803; as a lease situated in the centre of the block bounded by what was to become Gloucester Street, Longs Lane, Cumberland Street and Little Essex Street. Thorley operated a pub known as the *Black Dog*.

117-117A Gloucester Street is associated with the Housing Board Principal Architect William Foggitt, who was the architect for the major public building 'shops and dwellings' development in Gloucester, Essex and Cumberland Street, in The Rocks. It is significant as one of a small number of buildings constructed under the Housing Act of 1912 by the Housing Board, the first agency to be established in NSW to deal directly with the provision of public housing in NSW.

William Foggitt is best known for his work on the redesign of Daceyville Garden Suburb in 1914, the flagship project of the Housing Board, established by the first labour government of NSW. Prior to this role, Foggitt was the assistant to WL Vernon the NSW Government Architect, for the Government Architects Branch. Vernon and the Government Architects Branch introduced current up-to-date principles in urban design and technology inspired from public housing projects in the United Kingdom and Europe.

Foggitt and the Housing Board are associated with the Government Architects Branch who were instrumental in establishing public housing tenement projects in Millers Point for the Sydney Harbour Trust. Notable projects include the design of tenement workers dwellings in High Street, Dalgetty Street, Munn Street and Lower Fort Street, Millers Point. Vernon's influence is strongly evident in the designs for the newly formed Housing Board, including Foggitt's public housing designs in The Rocks.

As such, 117-117A Gloucester Street is part of a historically significant collection of early 20th tenement workers housing developments in the Rocks and Millers Point associated with the government resumptions, slum clearance and provision of public housing with improved sanitation and standards of accommodation for waterside workers.

It is also associated with early 20th century urban renewal and high density infill housing projects in Millers Point and The Rocks that were seminal in Australia as the earliest of their kind and unique in Sydney and New South Wales and possibly Australia.

The tenements have maintained a continuing historical activity in The Rocks of providing workers rental accommodation for uses associated with the site's harbourside location and waterside warehousing and industry in the 20th century and ongoing rental accommodation in the late 20th and early 21st century.

117-117A Gloucester Street meets this criterion at the STATE level.

Aesthetic Significance

Criterion (c) – An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area natural history (or the cultural or natural history of the local area))

The aesthetic significance of the **tenements at 117-117A Gloucester Street** is demonstrated by:

The tenements at 117-117A Gloucester Street demonstrate workers model housing built as the major public housing project in The Rocks by the Housing Board established by the 1912 Housing Act. The Housing Board administered public housing and liaised with the Government Architect in designing high-quality, innovative and hygienic social housing between 1912 and 1927.

The tenements at 117-117A Gloucester Street are externally and internally intact examples of purpose designed and built model workers housing. The model designs for the structures came from the office of the Government Architect, drawing on current up-to-date principles in urban design and technology incorporating contemporary international approaches to town planning, engineering, architecture and sociology debated in the late 19th century.

The workers housing tenement development at Cumberland, Gloucester and Little Essex Street was the largest urban renewal and infill project undertaken in The Rocks in the early 20th century. It was an innovative medium density infill design that responded to the urbanised and special location of The Rocks. The development used new technology and non-traditional materials like concrete, steel and breezeblocks in its construction.

This public housing development was comprehensive in its design concept, incorporating facilities including corner shops for the convenience of the occupants of the new housing in the back streets and addressing health concerns as social issues through state of the art design. The high standard of public housing and sanitation provided for the time including indoor plumbing and drainage with bathrooms, indoor toilets, laundries and lighting.

117-117A Gloucester Street is of aesthetic significance in showing the Federation Freestyle architectural style as it was applied to a new building type in the early 20th century. While drawing on public housing models from Europe and the UK, the design of the building emphasises its Australian location in the provision of verandahs and flat roof terraces, the predominant use of structural timber in the verandahs, face brick and the use of Australian motifs such as the waratah incorporated into the plaster vents. The aesthetic value of the building has been revealed and can now be better understood through 1994-5 reconstruction and conservation works.

117-117A Gloucester Street makes a contribution to the streetscape in the Longs Lane Precinct. The tenement complements the terraced character of Gloucester Street (including the Jobbins Terrace at 103-111 Gloucester Street, and the neighbouring terrace houses at 113-115 Gloucester Street, the Government Architect Branch designed tenement workers dwellings at 46-56 Gloucester Street, Susannah Place at 58-64 Gloucester St, and Baker's Terrace at 66-72 Gloucester Street).

117-117A Gloucester Street also makes a substantial contribution to the aesthetic significance of the Long's Lane Precinct as an ensemble of 19th and early 20th century buildings, associated laneways, and rear yards.

117-117A Gloucester Street meets this criterion at the STATE level.

Social Significance

Criterion (d) – An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons

The social significance of the **tenements at 117-117A Gloucester Street** is demonstrated by:

As part of The Rocks area, 117-117A Gloucester Street is likely to be held in some esteem by the individuals and groups who are interested in Sydney's history and heritage, and The Rocks past and more recent history in particular.

The tenements at 117-117A Gloucester Street as part of the first public housing projects in Australia are associated with the earliest Government social housing in Australia and form part of a historically significant collection of early 20th tenement workers housing developments in the Rocks and Millers Point that have since their construction in 1914, for over a century, provided purpose designed and constructed rental housing for workers, with improved sanitation, hygiene and health outcomes and a high standard of rental accommodation.

It has potential to be important to a community's sense of place, in this case residents of The Rocks and Millers Point and their descendants who participated in the resident action and social movements of the 1970s known as the Green Bans, and their supporters in the Builders Labourers Federation. They were able to influence urban renewal proposals of the day in ways that lead to the development of tourism as a local industry that could support conservation of historic buildings and provide employment opportunities for local people, and which transformed community perceptions of The Rocks as a *place* from a paradigm of degrading slums to that of the 'birthplace of the nation'. Other tourism developments of the period in The Rocks, such as the revival of Australia Day celebrations in The Rocks in 1975, also contributed to this changing sense of place.

117-117A Gloucester Street meets this criterion at the STATE level.

Research Significance

Criterion (e) – An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

The research significance of the **tenements at 117-117A Gloucester Street** is demonstrated by:

117-117A Gloucester Street is a valuable example of the Federation Freestyle architectural style as it was applied to a tenement building: being a new building type in Australia used for public housing during the first decades of the 20th century. As an intact example of tenement housing, it contributes substantially to the understanding of the evolution of housing, in particular public housing designed and constructed by government agencies, in NSW. It demonstrates the internal floorplan design and layout for workers housing in early 20th century and the use of materials and technology.

The archaeological resource at 117-117A Gloucester Street is of high potential research significance as a rare example of a site complementing the findings of previous archaeological investigations of adjacent sites in order to form a valuable resource for understanding the 19th century (particularly pre-1820s) European activity in The Rocks area,

and in particular the Long's Lane precinct and the early 19th century hotel known as the Black Dog.⁵⁴

The tenements at 117-117A Gloucester Street are of technical significance as examples of late 20th century conservation work and demonstrate careful consideration and approach to building fabric conservation where the reconstructed fabric has been strictly based on extant material and constructed using traditional materials and techniques.

117-117A Gloucester Street meets this criterion at the STATE level.

Rarity

Criterion (f) – An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)

The rarity of the **tenements at 117-117A Gloucester Street** is demonstrated by:

The site contains high archaeological potential for State significant relics related to the pre-1820 period of European activity. The archaeological remains can reveal information about the early decades of European settlement in Australia which is a rare resource and may also include evidence of Aboriginal occupation.

117-117A Gloucester Street is rare as one of two remnants of a much larger development which was demolished in the mid-20th century, the other remnant being 140 and 142 Cumberland Street. They are the only extant parts of an early 20th century large scale medium density urban infill workers housing tenement development constructed and managed by the Housing Board in The Rocks.

Together with 46-56 Gloucester Street, the tenements at 117-117A Gloucester Street form part of a very small group of buildings constructed for public housing by the Housing Board in The Rocks, between 1912 and 1927. These examples in The Rocks along with the surviving tenements in Millers Point are unique as the earliest and only examples of tenements in Sydney and NSW designed and built by government as public housing in the early 20th century. They are also rare for their use as rental accommodation since their construction, and external and internal intactness and excellent condition.

The Long's Lane Precinct rare in The Rocks and Sydney as an ensemble of 19th and early 20th century buildings, associated laneways, and rear yards which is rare (probably unique) in the Sydney region and NSW.

117-117A Gloucester Street meets this criterion at a STATE level. The Long's Lane precinct meets this criterion at a STATE level.

Representativeness

Criterion (g) – An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or cultural or natural environments (or a class of the local area's cultural or natural places; or cultural or natural environments)

117-117A Gloucester Street is a good representative example of early 20th century tenement housing within the context of the Long's Lane precinct, itself a representative area of 19th and early 20th century townscape in The Rocks, complete with intact rear yards and laneways.

⁵⁴ Johnson, Wayne (Sydney Cove Authority), *Identification and Management of Archaeological Issues for the Long's Lane Precinct Conservation works, The Rocks, Sydney 1991-1998*, p.11.

As most of the housing Board development has been demolished, the surviving remnants of this 'shops and workers dwellings' tenement development are intact and representative examples of key housing typologies. The tenements contain characteristics of the early approach to workers' housing and are therefore important in understanding the history of New South Wales' social/public housing on the whole, and continue to be relevant representative examples of an important building typology.

117-117A Gloucester Street meets this criterion on a LOCAL level. The Long's Lane precinct meets this criterion on a STATE level.

4.3 Statement of Significance

The tenements at 117-117A Gloucester Street are of significance for their historical, associational, aesthetic, social, research, rarity and representativeness values.

117-117A Gloucester Street is a place of significant human activity and are evidence of the increasing role played by the NSW government social welfare in the early 20th century. Designed as workers housing by William Foggitt, the Principal Architect for the newly formed Housing Board and built in 1914, 117-117A Gloucester Street (and 140-142 Cumberland Street) survive as part of a major 'Shops and Workers Dwellings' development of 30 or more tenements at Cumberland Street, Gloucester Street and Little Essex Street in The Rock.

The tenement development in The Rocks was part of a major government initiative for the resumption, slum clearance and instigation of major urban renewal and public housing programs in The Rocks and Millers Point. As such the tenements at 117-117A Gloucester Street are rare and representative examples of a small intact group of the earliest government designed and built public housing tenements, in Sydney and NSW and the first tenement developments of their type in Australia.

Although designed by Foggitt (the Principal Architect for the Housing Board), the public housing development in The Rocks was influenced by earlier public housing schemes in Millers Point and The Rocks designed by the Government Architects Branch and the NSW Government Architect Vernon, and modelled on UK and European public housing schemes.

The tenements at 117-117A Gloucester Street demonstrate innovative construction methods and materials including the use of concrete and steel, state of the art architectural design and model layout for workers housing, with running water and plumbing, and well-designed internal kitchens, bathrooms, WCs and laundries. They demonstrate early 20th century concerns for health and improvements to hygiene and sanitation.

117-117A Gloucester Street is of aesthetic significance as an intact example of the Federation Freestyle and its application to a tenement building. While drawing on public housing models from Europe and the UK, the architectural design of the building emphasises its Australian location with the introduction of verandahs and flat roof terraces, the use of structural timber in the verandahs, face brick and Australian motifs such as the waratah incorporated into the plaster vents.

117-117A Gloucester Street makes a contribution to the late 19th and early 20th century streetscape of The Rocks and the Longs Lane Precinct which is a rare late 19th and early 20th century townscape, complete with paved flagstone laneways and rear yards intact. The tenement complements the terraced character of Gloucester Street particularly Jobbins Terrace at 103-111 Gloucester Street, and the neighbouring terrace houses at 113-115 Gloucester Street, The Rocks.

As part of the Longs Lane Precinct, it has potential to be important to a community's sense of place, in this case residents of The Rocks and Millers Point and their descendants who participated in the resident action and social movements of the 1970s known as the Green Bans, and their supporters in the Builders Labourers Federation. They were able to influence urban renewal proposals of the day in ways that lead to the development of tourism as a local industry that could support conservation of historic buildings and provide employment opportunities for local people, and which transformed community perceptions of The Rocks as a *place* from a paradigm of degrading slums to that of the 'birthplace of the nation'. Other tourism developments of the period in The Rocks, such as the revival of Australia Day celebrations in The Rocks in 1975, also contributed to this changing sense of place.

4.4 Curtilage

The recommended SHR heritage listing boundary for the tenements at 117-117A Gloucester Street is the northern side boundary to 115 Gloucester Street, the front boundary onto Gloucester Street to the east, extending south to the wall of the Cahill Expressway, and the rear boundary to the west to 1-3 Longs Lane duplex (shown bounded by the red line in Figure 99). The recommended SHR heritage boundary agrees with the current SHR heritage listing boundary Plan 2756 shown in Figure 4.

A slightly larger historic curtilage is shown highlighted in grey on Figure 99, extending into the area now occupied by the new building at 1-3 Longs Lane to the west of 117-117A Gloucester Street.

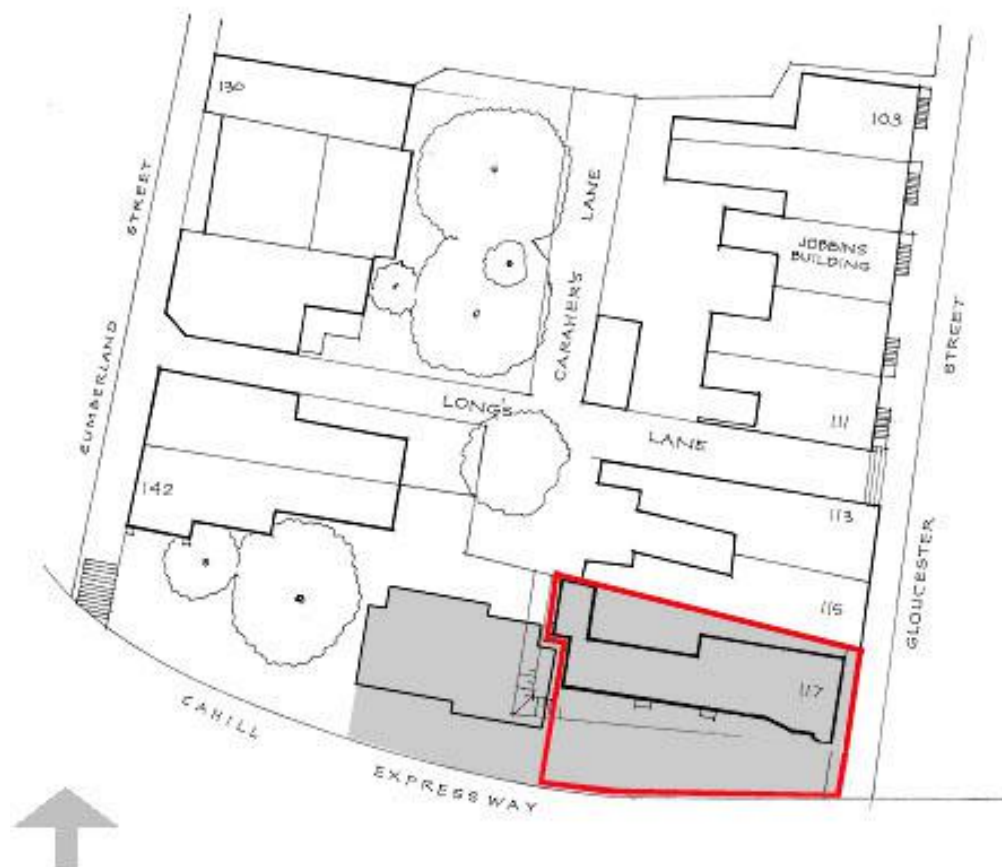


Figure 99: Minimum heritage SHR heritage listing boundary shown by the red outline, and the historic curtilage, shaded in grey.

5 Grading of Significance

Grading reflects the contribution the element makes to overall significance of the item, and the degree to which the significance of the item would be diminished if the component were removed or altered. 117-117A Gloucester Street has been assessed to determine a relative grading of significance into five levels. This process examines a number of factors, including:

- Original design quality
- Degree of intactness
- Relative age and authenticity (original, replaced)
- Extent of subsequent alterations
- Association with important people or events
- Ability to demonstrate a rare quality, craft or construction process

The standard five-grade system has been applied to assess individual contribution of each element to the overall significance of the item. This system is a valuable planning tool, and assists in the development of a consistent approach to the treatment of different elements. The various grades of significance generate different requirements for retention and conservation of individual spaces and the various elements. The following grades of significance have been defined:

EXCEPTIONAL SIGNIFICANCE

Includes fabric that makes the greatest direct contribution to the item's significance. In the grading of significance below, *Exceptional* significance refers to all original (1912) fabric and spaces of particular historic and aesthetic value.

Elements identified as being of Exceptional significance must be retained and conserved *in situ*. Any work, which affects the fabric or external appearance of these elements, must be confined to Preservation, Restoration, Reconstruction as defined by *The Burra Charter*.

HIGH SIGNIFICANCE

High significance refers to reconstructed fabric where that reconstructed fabric has been thoroughly researched and executed and is integral to the interpretation of the place.

This category also includes the extant fabric from the early phases of construction and the early elements which make an important contribution to the significance of the item.

Finally, this category includes the sub-floor remains for their archaeological potential.

Elements identified as being of High significance must also be retained, restored and conserved *in situ*, subject however to other relevant factors including technological feasibility of proposed works. Minor intervention into fabric including Adaptation and Alteration as defined by *The Burra Charter* is permissible, provided that level of significance of each element is retained, with an aim not to remove or obscure significant fabric, and giving preference to changes which are reversible.

MODERATE SIGNIFICANCE

Includes building fabric and relationships that are supportive of the overall significance of the item and have some heritage value, but do not make an important or key contribution to that significance. Also included are elements which have been sympathetically introduced in order to allow the building to be used in a viable way.

Where the fabric is of Moderate significance a greater level of intervention is permissible. Adaptation and relocation to components of these elements and spaces is acceptable

provided that it protects the overall cultural significance of the item. Such work must take place within defined work programs and must not be the product of general maintenance or sporadic alterations.

LITTLE SIGNIFICANCE

These are components generally of neutral impact on the building's significance and includes most of the fabric associated with unsympathetic alterations and additions made to accommodate changing functional requirements.

Elements assessed as being of little significance are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item must be confined to areas where the fabric is of little significance.

INTRUSIVE

Includes fabric which adversely affects the significance of the place, or fabric created without respect for the intangible values of the building. Removal of elements of this category would directly increase the overall heritage value of the item.

Elements identified as Intrusive can reduce or obscure the overall significance of the place. The preferred option is for their removal, conversion to a more compatible form, or replacement in a way which helps to retain the overall significance of the item. These works must be done without damage to adjacent fabric of significance. These items need not be addressed immediately.

This grading has been established as a tool to assist in developing appropriate conservation measures for the treatment of 117-117A Gloucester Street and its elements. Good conservation practice encourages the focussing on change or upgrading of historical buildings to those areas or components which make a lesser contribution to significance. The areas or components that make a greater or defining contribution to significance must be left intact or changed with the greatest care and respect.

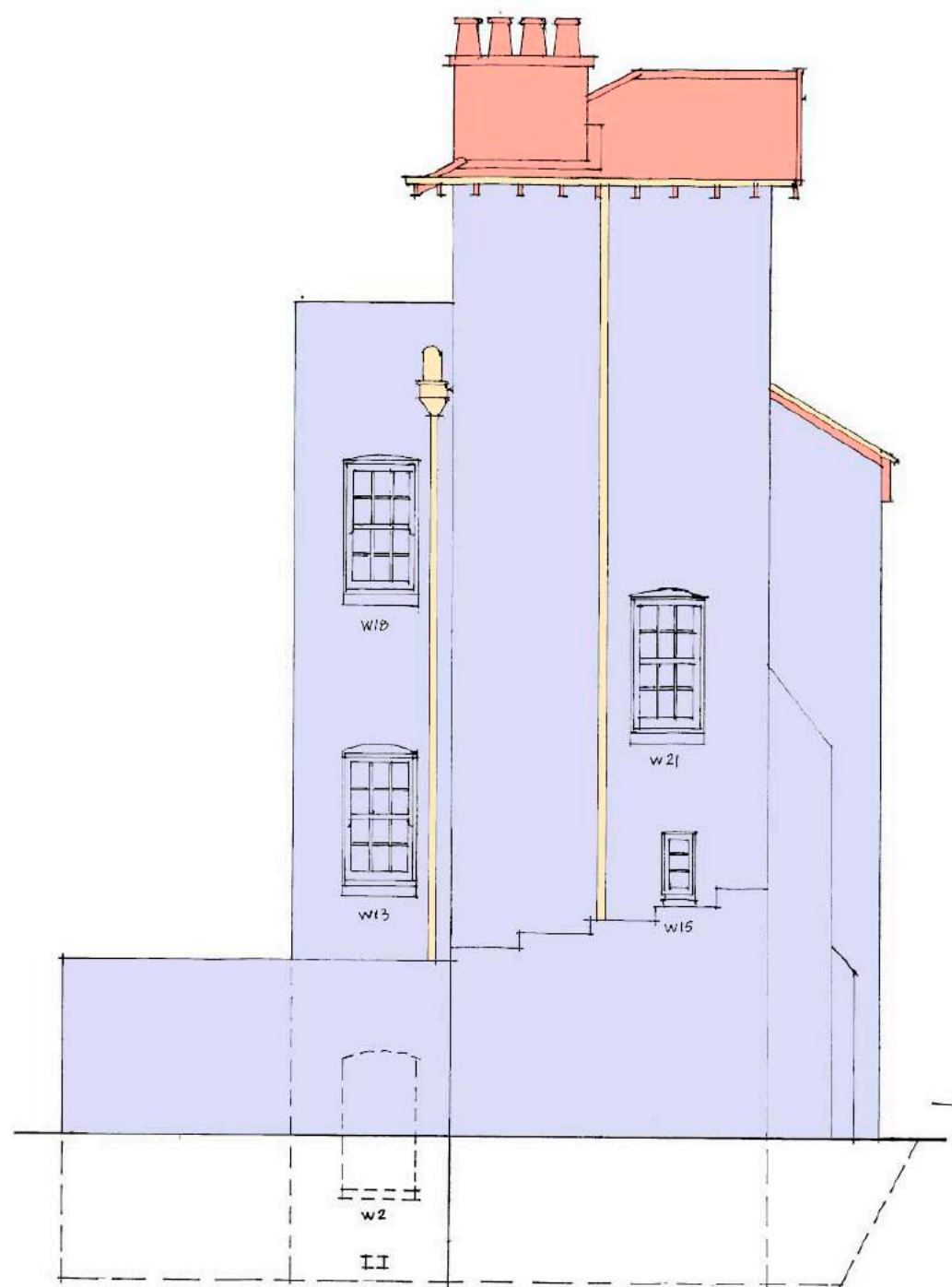
5.1 Grading of Significant Elements

External Elements

Grading of Significant Elements 117-117A GLOUCESTER STREET - EXTERIOR		
Element		Significance
Generally		
Roof generally	Flat section, galvanised steel roof sheeting (see also separate listing for Roof Terrace – Third Floor)	High
	Sloped section, Marseilles pattern tiles	High
Rainwater goods generally	Metal quad gutters, rectangular metal downpipes	Moderate
Fascia	Timber fascia, battens, and bargeboards to gable	High
East Elevation (see Figure)		
Wall	Face brick, evidence of former building to south in brickwork.	Exceptional
Verandahs generally	100mm timber posts, timber handrails, brackets, shingling to ground floor	High
	Timber and compressed cement balustrade infill, timber valance and brackets	Exceptional
Other	Windowsills – bullnose brick	Exceptional
	Window heads – brick arches	Exceptional
	Modifications to stairs, entry and verandah to stabilise exterior façade following demolition of southern portion	Moderate
North Elevation (see Figure)		
Wall	Face brick	Exceptional
Other	Metal underfloor vents	Moderate
	Windowsills – bullnose brick	Exceptional
	Window heads – brick arches	Exceptional
South Elevation (see Figure)		
Wall	Brick walls	Exceptional
	Render to brick walls	Little
	Timber battened compressed cement sheet to top gable	High
	Buttressing and modifications to stabilise external southern wall following demolition of southern portion.	Moderate
West Elevation (see Figure)		
Wall	Brick walls	Exceptional
	Render to brick walls	Little
Other	Metal underfloor vents	Moderate



Figure 100: 117-117A Gloucester Street – East elevation grading of significant elements and fabric



Key to Levels of Significance

- Exceptional
- High
- Moderate
- Little

0m 1m 2m 3m

Figure 101: 117-117A Gloucester Street – West elevation grading of significant elements and fabric

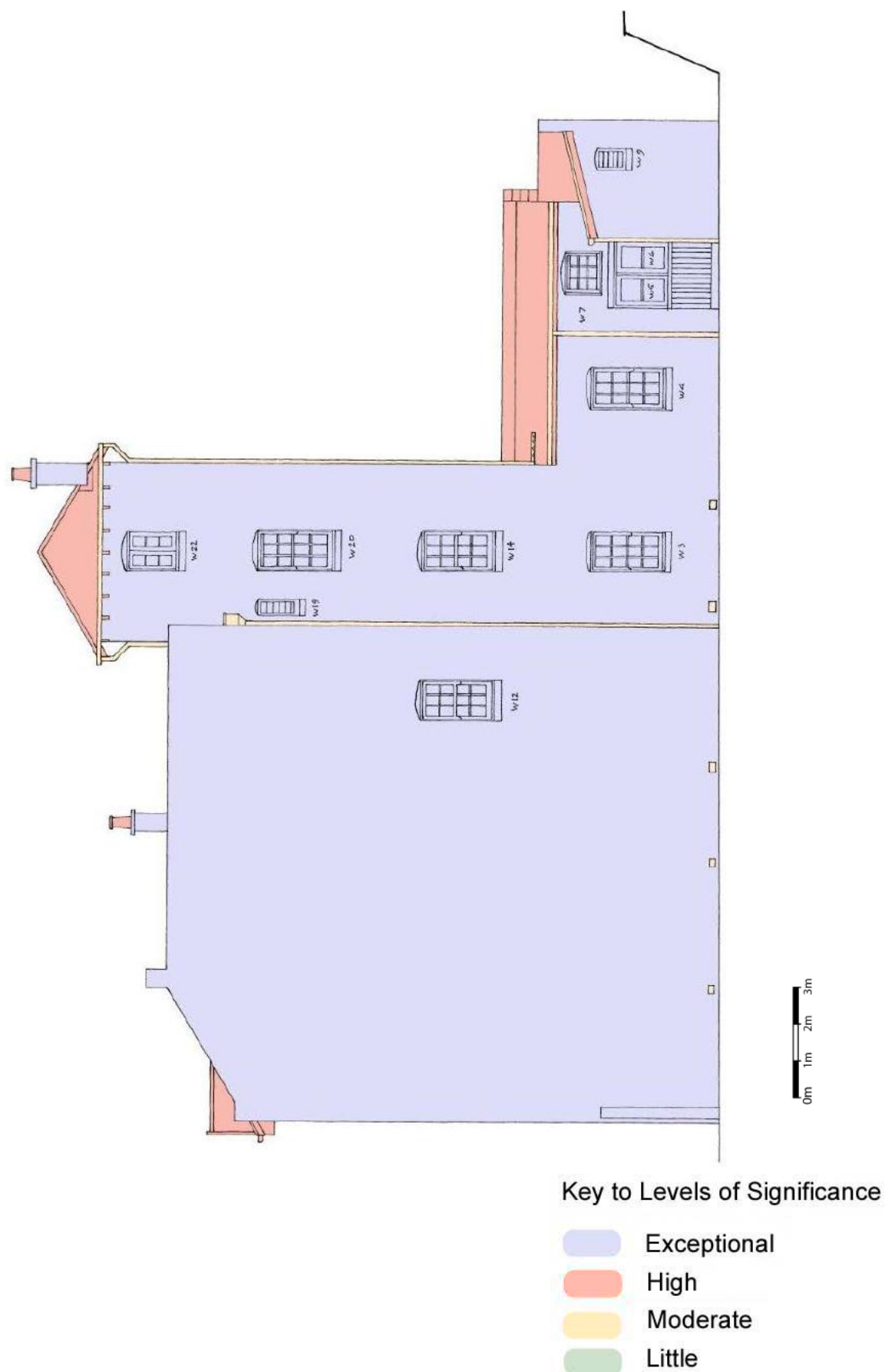


Figure 102: 117-117A Gloucester Street – North elevation grading of significant elements and fabric

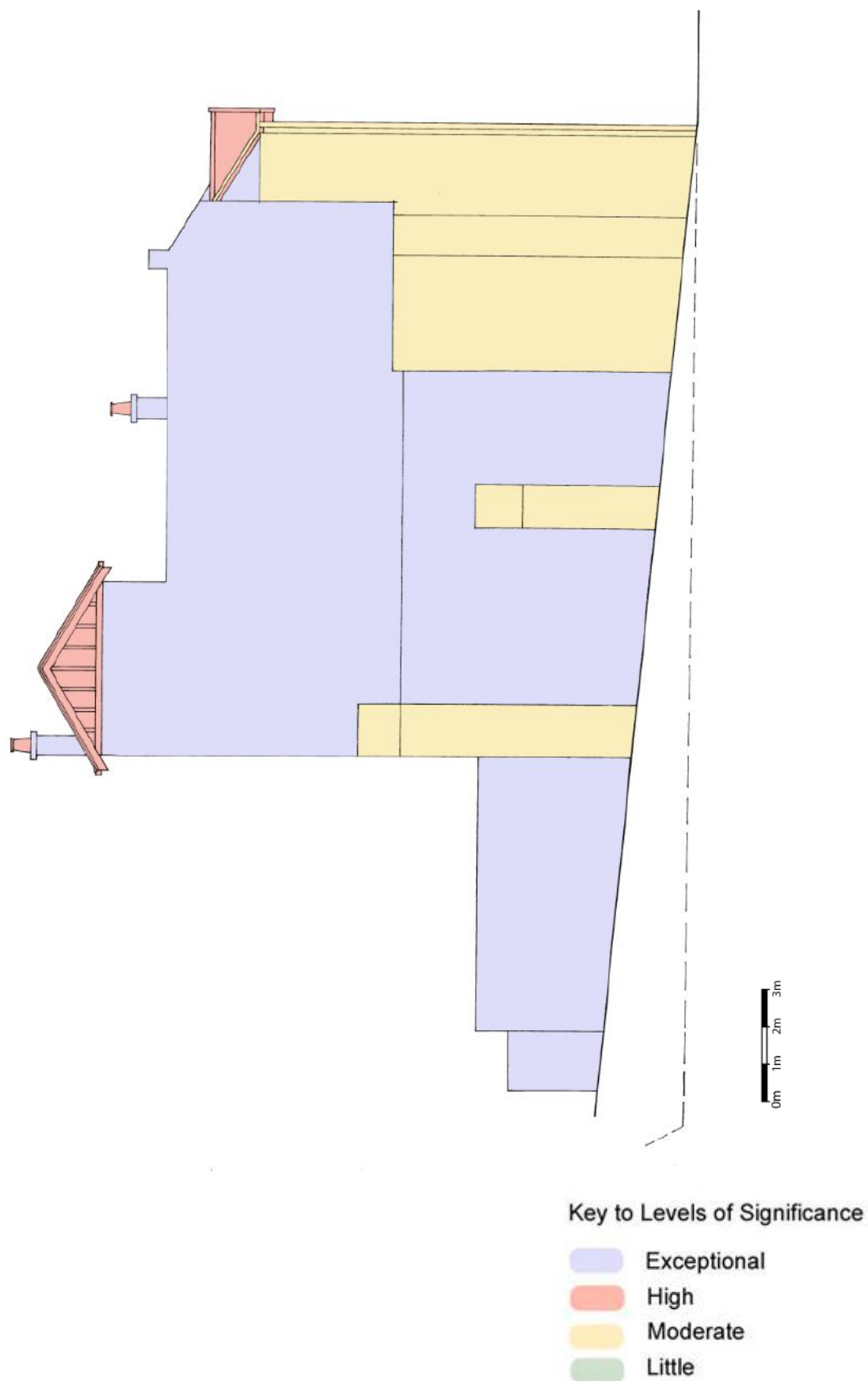


Figure 103: 117-117A Gloucester Street – South elevation grading of significant elements and fabric

Site area and internal elements

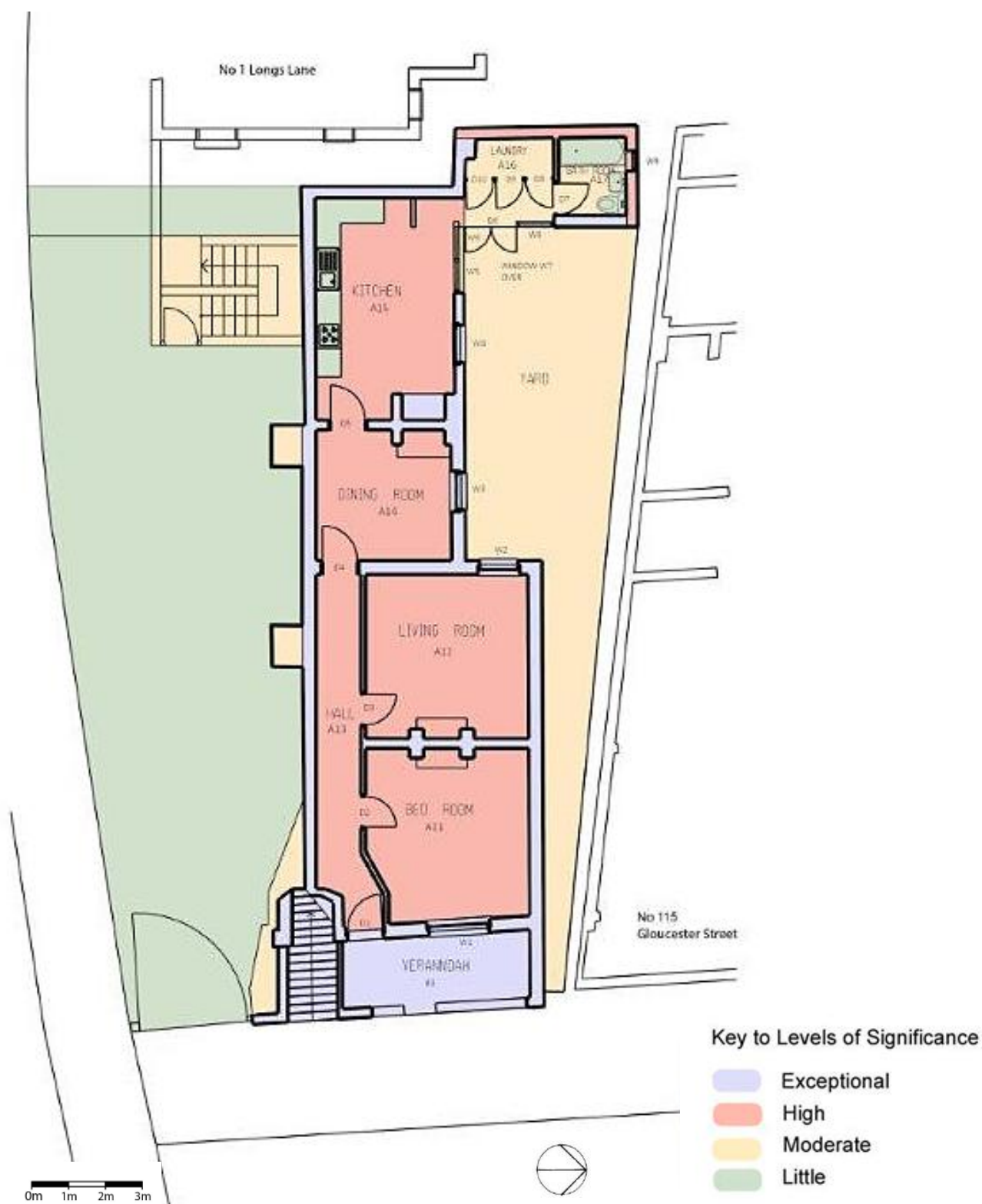


Figure 104: 117-117A Gloucester Street – Ground floor grading of significant elements and fabric

Grading of Significant Elements

117-117A GLOUCESTER STREET – GROUND FLOOR

Element	Description	Significance Ranking
Site area		
Rear yard (117 Gloucester Street) and vacant site next to Cahill Expressway	Potential archaeological deposits	High
	Brick paving	Moderate
	Potential archaeological deposits	High
	Rear yard to 117 Gloucester Street with brick paving	Moderate
	Steps to 1-3 Longs Lane	Moderate
	Bitumen driveway to 1-3 Longs Lane	Low
	Fence, c1990s	Moderate
Archaeological potential for the rear yard and vacant site	Refer to Section 3.5 and Archaeological Zoning Plan at Figure 88.	High
Abutments to stabilise southern wall to 117 Gloucester Street	Added following demolition of tenement to south	Moderate
Front Verandah B3		
Ceiling	Underside of timber verandah floor above.	High
Wall	Face brick	Exceptional
Floor	Cement	Exceptional
Other	Timber verandah posts, brackets, fretwork, shingled balustrade, and timber handrail	High
Hall A13		
Ceiling	Set cement render over concrete	Exceptional
Wall	Set plaster	Exceptional
	Picture rail	High
Skirting	200mm incised skirting	Exceptional
	38mm quad	Moderate
Floor	130mm hardwood boards.	High
Door D1	Frame and architrave	Exceptional
	Timber framed fanlight 3 panes obscured glass, fixed multi-pane glass	Exceptional
	Two panel half glazed timber door and hardware	High
Front Room A11		
Ceiling	Set plaster over concrete	Exceptional
Wall	Set plaster	Exceptional
	Picture rail	High
Skirting	200mm incised skirting	Exceptional
	38mm quad	Moderate
Floor	130mm hardwood flooring	High
	Rendered hearth	Exceptional
Door D2	Frame and architrave	Exceptional
	Four panel timber door with single pane fanlight over, rimlock	High
Window W1	Timber double hung twin sash, six pane sashes with horns	Exceptional
Other	Chimney Piece	High
	Hearth	Exceptional
	Firebox	Exceptional

Grading of Significant Elements

117-117A GLOUCESTER STREET – GROUND FLOOR

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Living Room A12		
Ceiling	Set Plaster over concrete	High
Walls	Set plaster	Exceptional
	Picture rail	High
Skirting	200mm incised skirting	Exceptional
	38mm quad	Moderate
Door D3	Frame and architrave	High
	Four panel timber door with single pane fanlight over, rimlock	High
Window W2	Timber double hung	Exceptional
	Six pane sashes with horns	High
Floor	130mm hardwood	High
	Rendered hearth	Exceptional
Other	2 no. plaster vents in north wall	Exceptional
	Fireplace	High
Dining Room A14		
Ceiling	Set plaster over concrete	Exceptional
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Skirting	200mm incised skirting	Exceptional
	38mm timber quad	Moderate
Floor	130mm hardwood boards	High
	Rendered cement hearthstone	Exceptional
Door D4	Frame and architrave	Exceptional
	Four panel timber door with single pane fanlight over, rimlock	High
Window W3	Timber double hung, six pane sashes with horns	Exceptional
Other	Timber chimney piece	Exceptional
Kitchen A15		
Ceiling	Set plaster over concrete and Ripple iron with timber battens	Exceptional
Cornices	Set square to plaster, 39mm timber ovolo	Exceptional
Wall	Set render	Exceptional
	Picture rail	Exceptional
Skirting	Painted brick (western half of room)	Exceptional
	200mm incised skirting (east)	Exceptional
Door D5	38mm timber quad (west)	Moderate
	Frame and architrave	Exceptional
Window W4	Four panel timber door with single pane fanlight over, rimlock	High
	Timber double hung, six pane sashes with horns	Exceptional
Window W7	Timber paired casement sash	Exceptional
Window W5 & 6	Timber triple casement sash	Moderate
Floor	100mm hardwood boards	High
	Cement rendered hearth stone	Exceptional
Other	Plaster vent in north wall	Exceptional
	Timber chimney piece	High
	Kitchen fitout	Little
Laundry A16		
Ceilings	Ripple iron	High
Cornices	31mm ovolo	High
Wall	Face brick (west and north)	High

Grading of Significant Elements

117-117A GLOUCESTER STREET – GROUND FLOOR

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
	Face brick (south)	Exceptional
Skirting	Terracotta tile	Moderate
Floor	Terracotta tile	Moderate
Door D6	French doors fully glazed, mortice lock	Moderate
Doors D8, D9, D10	Flush timber four panel routed face	Moderate
Bathroom A17		
Ceilings	Ripple iron	High
Cornices	31mm ovolo	High
Wall	Set plaster	Exceptional
Floor	Terracotta tile	Moderate
Skirting	Terracotta tile	Moderate
Door D7	Four panel timber door, rimlock.	High
Window W8	Timber framed fixed, frosted glass louvres	Exceptional
Other	Bathroom fitout	Little

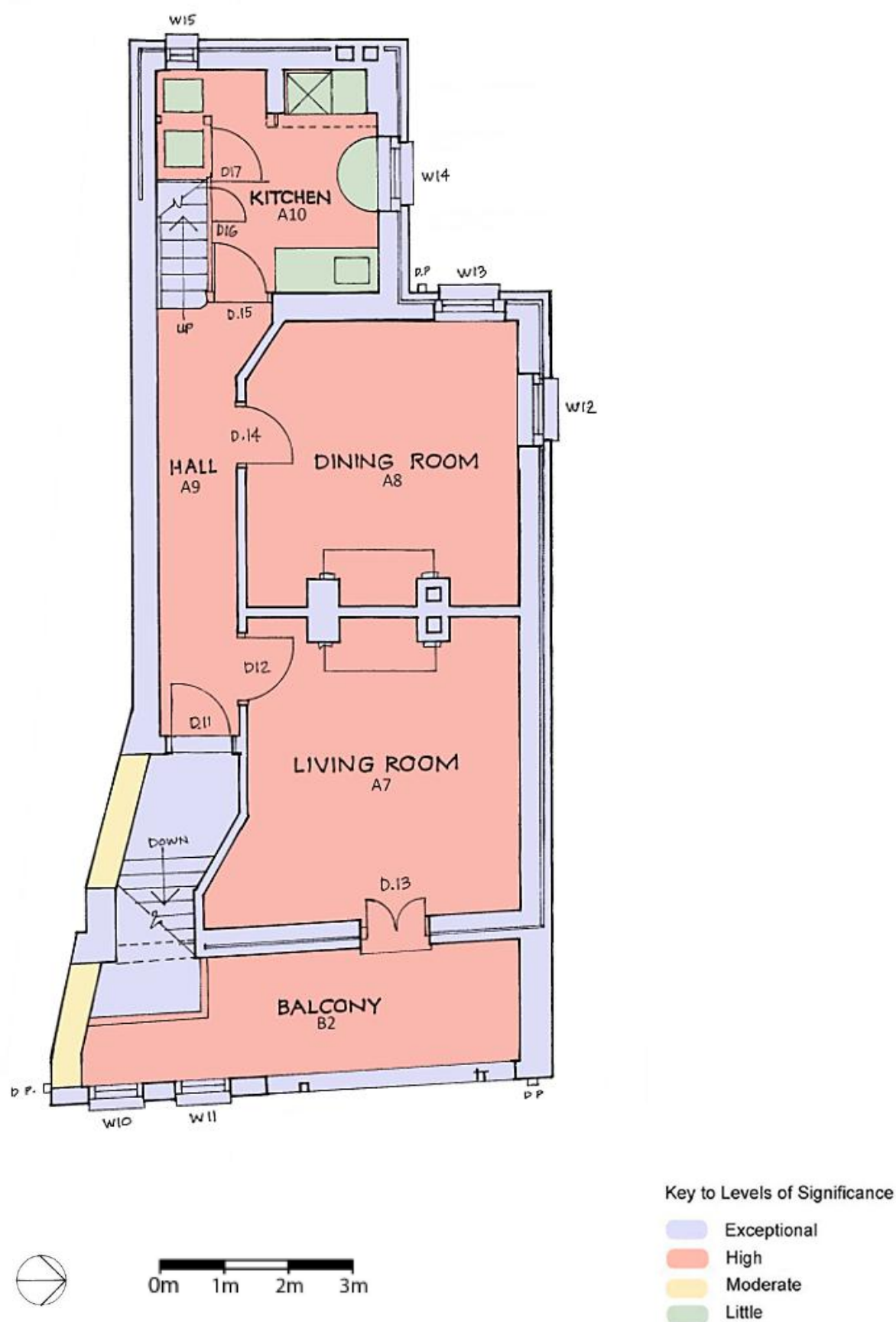


Figure 105: 117-117A Gloucester Street – First floor grading of significance

Grading of Significant Elements

117-117A GLOUCESTER STREET – FIRST FLOOR (see Figure 47)

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Generally		
Infill to external wall southern wall to 117 Gloucester Street	Added following demolition of tenement to south	Moderate
Verandah B2		
Ceilings	Exposed structure of timber floor above	High
Wall	Face brick	Exceptional
	Rendered and painted brick at south end	Moderate
Floor	85mm timber boards	High
Skirting	19mm timber quad	Moderate
Windows W10 and W11	Timber double casement sash, two pane. Three pane glazed fanlight over. Architrave W11 only	Exceptional
Other	Timber posts, balustrades, handrail, frieze panel to verandah, fitted timber screen at southern end.	Exceptional
Front Room A7		
Ceiling	Set plaster	High
Floor	85mm hardwood boards	High
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Door D12	Frame and architrave	Exceptional
	Four panel timber door with single pane fanlight over, rimlock	High
Door D13	Frame and architrave	Exceptional
	French doors, panelled, half glazed, fanlight over, mortice lock	High
Skirting	200mm incised skirting	Exceptional
	38mm timber quad	Moderate
Other	2 no. plaster vents in east wall	Exceptional
	Edwardian style chimney piece	High
	Hearth Stone cement	Exceptional
Hall A9		
Ceiling	Set plaster	High
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Skirting	200mm incised skirting	Exceptional
	38mm timber quad	Moderate
Door D11	Frame and architrave	Exceptional
	Two panel half glazed timber door and hardware	High
Floor	85mm hardwood boards	High
	Hearth stone rendered cement	Exceptional
Other Stair	Timber	Exceptional
Dining Room A8		
Ceiling	Set plaster	High
Cornices	Set square	High
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Skirting	200mm incised skirting	Exceptional
	38mm timber quad	Moderate

Grading of Significant Elements

117-117A GLOUCESTER STREET – FIRST FLOOR (see Figure 47)

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Generally		
Infill to external wall southern wall to 117 Gloucester Street	Added following demolition of tenement to south	Moderate
Floor	85mm hardwood boards	High
Door D14	Frame and architrave	Exceptional
	Four panel timber door with single pane fanlight over, rimlock	High
Windows W12 and W13	Timber double hung, six pane sashes with horns	Exceptional
Other	Edwardian style chimney piece	High
	Hearth stone cement	Exceptional
	Vertical boarding infill	Intrusive
Kitchen A10		
Ceiling	Plaster	High
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Skirting	200mm incised skirting	Exceptional
	38mm timber quad	Moderate
Floor	85mm hardwood boards	High
Door D15	Frame and architrave	Exceptional
	Four panel timber door with single pane fanlight over, rimlock	High
Door D16	Flush panel timber door	Moderate
Door D17	Jib door, flush panel, timber	Moderate
Window W14	Timber double hung, six pane sashes with horns	Exceptional
Window W15	Timber double hung, two pane sashes with horns	Exceptional
Other	Kitchen fitout generally	Little
	Brick chimney breast and cement hearth	Exceptional
	Shelf over chimney breast	High
	Waratah pattern vent on north wall	Exceptional

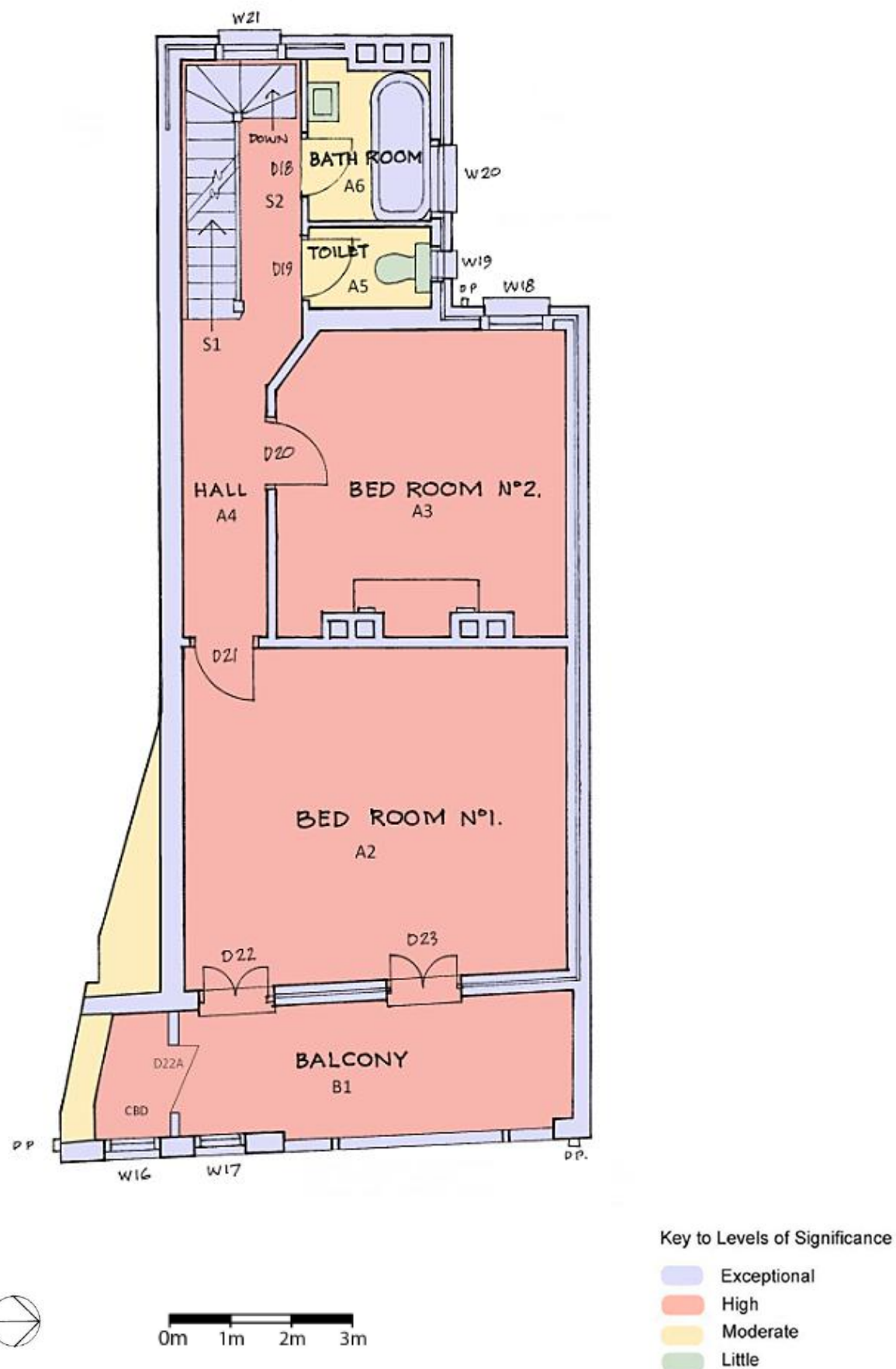


Figure 106: 117-117A Gloucester Street – Second floor grading of significance.

Grading of Significant Elements

117-117A GLOUCESTER STREET – SECOND FLOOR

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Generally		
Infill to external wall southern wall to 117 Gloucester Street	Added following demolition of tenement to south	Moderate
Verandah B1		
Ceilings	Plywood and timber battens	High
Wall	Face brick	Exceptional
Floor	85mm timber tongue and groove boards	High
Door to screen on verandah	Ledged and sheeted timber door, V-jointed T&G sheeting	High
Windows W16 and W17	Timber double casement sash, two pane. Three pane glazed fanlight over	Exceptional
Other	Timber balustrade, verandah posts Cupboard at south end with Door D22A	Exceptional High
Front Room A2		
Ceiling	Plaster	High
Wall	Set plaster	Exceptional
	Timber picture rail	Exceptional
Skirting	180mm incised skirting	Exceptional
	38mm timber quad	Moderate
Floor	85mm timber boards	High
Door D21	Frame and architrave	High
	Four panel timber door with single pane fanlight over, rimlock	High
Door D22	Frame and architrave	High
	French doors panelled, half glazed, 3 pane fanlight over, mortice lock	High
Door D23	Frame and architrave	Exceptional
	French doors fully glazed, 3 pane fanlight over, mortice lock	High
Hall A4		
Ceiling	Plaster and timber battens	High
Wall	Set plaster	Exceptional
	Picture rail	Exceptional
Skirting	185mm incised skirting	Exceptional
	38mm timber quad	Moderate
Floor	85mm boards	High
Window W21	Timber double hung, six pane sashes with horns	Exceptional
Other	Timber staircase	Exceptional
Bedroom A3		
Ceiling	Plaster	High
Wall	Set plaster	Exceptional
Skirting	185mm incised skirting	Exceptional
	38mm quad	Moderate
Floor	85mm tongue and groove boards	High
Door D20	Frame and architrave	High
	Four panel timber door with single pane fanlight over, rimlock	High

Grading of Significant Elements

117-117A GLOUCESTER STREET – SECOND FLOOR

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Window W18	Timber double hung, six pane sashes with horns	Exceptional
Other	2 plaster vents north wall	Exceptional
	Chimney Piece	High
	Firebox and cement hearth	Exceptional
Lavatory A5		
Ceiling	Plaster	High
Wall	Face brick (north and east)	Exceptional
	Set plaster (west and south)	Exceptional
Skirting	38mm timber quad	Moderate
Floor	Linoleum finish over timber boards	Moderate
Door D19	Frame and architrave	Exceptional
	Four panel timber door rimlock	High
Window W19	Timber framed fixed	Exceptional
	Clear glass louvres	Medium
Other	Toilet	Little
Bathroom A6		
Ceiling	Plaster	High
Wall	Set plaster	Exceptional
Floor	Linoleum finish over timber boards	Moderate
Door D18	Frame and architrave	Exceptional
	Four panel timber door rimlock	High
Window W20	Timber double hung, six pane sashes with horns	Exceptional
Other	Bathroom fitout generally	Little
	Enamel cast iron bath, resurfaced	Exceptional

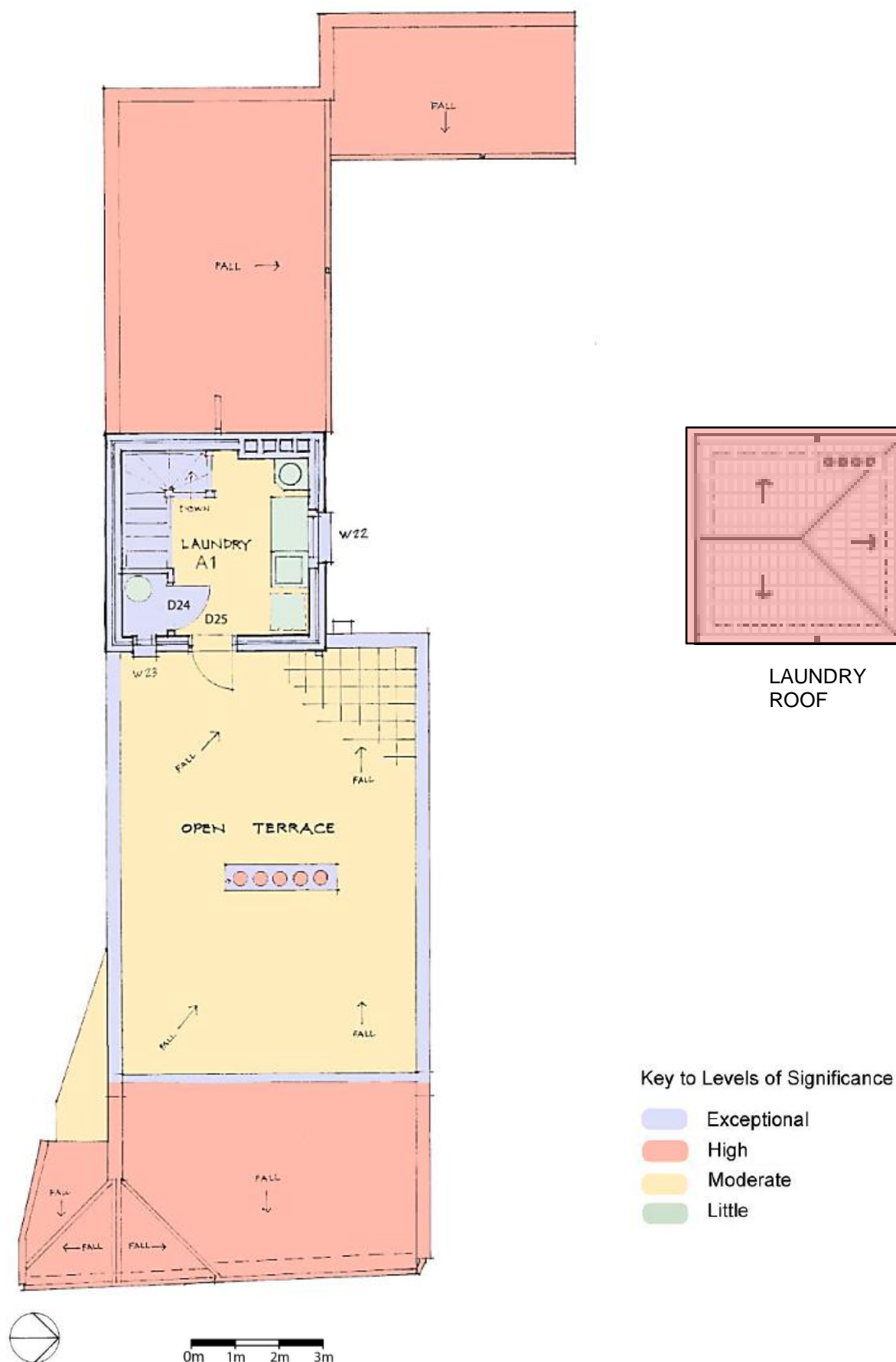


Figure 107: 117-117A Gloucester Street – Third floor and roof grading of significance.

Grading of Significant Elements

117-117A GLOUCESTER STREET – THIRD FLOOR and ROOF

<i>Element</i>	<i>Description</i>	<i>Significance Ranking</i>
Generally		
Infill to external wall southern wall to 117 Gloucester Street	Added following demolition of tenement to south	Moderate
Laundry A1		
Ceiling	Ripple iron	Exceptional
Cornices	31mm ovolo	Exceptional
Wall	Face brick	Exceptional
Floor	Linoleum finish over timber boards.	Moderate
Doors D24	Ledged and sheeted timber door, 'V' jointed T&G sheeting	Exceptional (frame and architrave) High (leaf)
Windows W22 and W23	Timber double casement three pane sash	Exceptional
Other	4 shelves in cupboard	Exceptional
	Timber staircase	Exceptional
	Fittings	Little
Roof terrace		
Wall	Face brick balustrade with bullnose coping (north, south, part west)	Exceptional
	Galvanised ripple iron balustrade with galvanised steel capping	Moderate
Roofs	Roof areas including roof to laundry	High
Floor	Vitrified clay tiles with lead flashing to perimeter	Moderate
Door D25	Framed and sheeted leaf	High
	Frame, architrave	Exceptional
Other	Chimneys	Exceptional
	Chimney pots	High

6 Constraints and Opportunities

This section outlines major issues for the conservation of the site. It takes into consideration matters arising from the statement of significance and procedural constraints imposed by cultural conservation methodology, such as that of the Australia ICOMOS *Burra Charter*, and identify all statutory and non-statutory listings that apply for the site and describe constraints and opportunities arising from these listings.

6.1 Issues Arising from the Cultural Significance of the Place

Considering the Statement of Significance, the following issues need to be addressed in the conservation guidelines:

- To maintain appropriate use of the building that is compatible with its historic residential use;
- To conserve the architectural qualities of 117-117A Gloucester Street. The conservation policies must inform decisions about future use and adaptation of spaces in order that the character, ambience and intent of the original design are kept;
- To ensure that 117-117A Gloucester Street continues to provide an appropriate setting for adjacent heritage buildings and makes a valuable contribution to the visual character of The Rocks, including its harmonious streetscape of buildings of diverse character and style; and,
- To manage all aspects of its significance, including its high potential for historical archaeological resources of State significance, in accordance with statutory processes.

6.2 Issues arising from the Condition of the Place

The overall the condition of the building appears to be sound and is unlikely to impose any major constraints for continued use and for further works in accordance with the conservation policies.

A detailed account of the fabric of 117-117A Gloucester Street is provided in Section 3. Only a few minor examples of defective or damaged fabric were identified during the current survey (2016). They do not warrant urgent attention and can be addressed within the scope of a properly managed maintenance program as described in Section 8.

6.3 Sydney Harbour Foreshore Authority

The Rocks area is managed by the Sydney Harbour Foreshore Authority (Foreshore Authority), constituted on 1 February 1999 under the Sydney Harbour Foreshore Act 1998. The primary functions of the Foreshore Authority, stated in its Act, are to:

- *Protect and enhance the natural and cultural heritage of the foreshore area;*
- *Promote, co-ordinate, manage, undertake and secure the orderly and economic development and use of the foreshore area, including the provision of infrastructure;* and,
- *Promote, co-ordinate, organise, manage, undertake, secure, provide and conduct cultural, educational, commercial, tourist, recreational, entertainment and transport activities and facilities.*

6.3.1 Sydney Harbour Foreshore Authority Policies

The Authority has developed a suite of policies to guide the detailed management of places, and these need to be considered in developing conservation policies, managing risks and managing the place. The principal policies that will need to be considered, depending upon the significance, character and uses of the place, are:

- [The Rocks Fitout Guide](#)
- [The Rocks Commercial Signage Technical Manual 2013](#)
- [The Rocks Signage Policy 2013](#)
- [The Rocks Wayfinding Signage Technical Manual 2013](#)
- [The Rocks Lighting Policy 2009](#)
- [Foreshore Authority Public Art Policy 2010](#)
- [Foreshore Authority Tree Policy 2013](#)
- [The Rocks and Circular Quay Outdoor Seating Policy 2012](#)
- Sustainability Policy (Draft) 2012
<http://www.shfa.nsw.gov.au/content/library/documents/E4915136-CCFE-EACB-C1954BE2C96873EF.pdf>
- Sustainability 2020 Strategy
<http://www.shfa.nsw.gov.au/content/library/documents/E480D450-A94D-A3A2-AD27B3BAE9BFA9C0.pdf>

Additional policy documents and technical manual can be accessed at
http://www.shfa.nsw.gov.au/sydney-Resource_centre-Policies_manuals_and_guides.htm

6.3.2 Foreshore Authority Requirements as Site Manager

Preferred and Compatible Uses

It is understood that the current ownership of the property by the Foreshore Authority will continue. The Foreshore Authority has indicated that the building may be leased for residential use on a long term basis.

Refer to: http://www.shfa.nsw.gov.au/sydney-Resource_centre-Frequently_asked_questions-Lease_management_in_The_Rocks.htm#3

'Loose Fit'

New uses selected for an existing building must adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration, rather than the opposite. All new work must be designed to be reversible (that is, it can be removed and the original features reinstated).

6.4 Heritage Management Framework

The principal statutory controls against which potential impacts on the significance of 117-117A Gloucester Street will be assessed include the following:

- Environmental Planning and Assessment Act, 1979 and associated planning instruments, policies, plans and guidelines;
- The Heritage Act 1977; and,
- The policies contained in this CMP.

Other controls, including the National Parks and Wildlife Act (NPW) Act 1979 and the NSW Government Total Asset Management (TAM) guidelines are considered in this Section.

It is essential that the Foreshore Authority and the approval authority are consulted in order to determine any approvals that may be required for the execution of any works. Approvals for works may be required under both the Environmental Planning and Assessment Act

(EPA) 1979 and the Heritage Act 1977. All statutory applications require the signature and consent of the landowner to enable lodgement. For 117-117A Gloucester Street the landowner is the Foreshore Authority, therefore all applications must be forwarded to the Foreshore Authority for endorsement prior to submission for development approval. Further information about the granting of landowner's consent can be sourced from the Foreshore Authority.

6.4.1 Environmental Planning and Assessment Act, 1979⁵⁵

In November 2008, the NSW Government announced widespread reforms to the State's planning portfolio effective from 1 December 2008. As part of the reforms, all development applications (DAs) previously assessed by the Foreshore Authority are assessed by the Minister of Planning or under delegation by The City of Sydney Council (the consent authority). The Minister for Planning is the consent authority for 'deemed' development with a capital investment value of more than \$10 million dollars.

Under the EP&A Act there are a number of Environmental Planning Instruments (EPIs), including the Sydney Cove Redevelopment Authority (SCRA) Scheme, as well as State and Regional Plans and Policies, Development Control Plans and Guidelines that require reference for 117-117A Gloucester Street, which are identified and discussed further in Section 6.5.

6.4.2 New South Wales Heritage Act⁵⁶

State Heritage Register (SHR)

117-117A Cumberland Street is listed on the *NSW State Heritage Register* (SHR No. 01598). This listing recognises the site as being of State significance and provides statutory protection under the *NSW Heritage Act (1977)*.

Under Section 57(1) of the *Heritage Act*, Heritage Council approval is required for any of the following works to the item:

- (a) *demolish the building or work,*
- (b) *damage or despoil the place, precinct or land, or any part of the place, precinct or land,*
- (c) *move, damage or destroy the relic or moveable object,*
- (d) *excavate any land for the purpose of exposing or moving the relic,*
- (e) *carry out any development in relation to the land on which the building, work or relic is situated, the land that comprises the place, or land within the precinct,*
- (f) *alter the building, work, relic or moveable object,*
- (g) *display any notice or advertisement on the place, building, work, relic, moveable object or land, or in the precinct,*
- (h) *damage or destroy any tree or other vegetation on or remove any tree or other vegetation from the place, precinct or land.*

Demolition of a whole State Heritage Register item is *prohibited* under the Heritage Act. An element of a State Heritage Register item may be demolished if it does not contribute to the significance of the item, but approval cannot be given for the whole item to be demolished.

To gain approval for any of the above works an application must be made to the Heritage Council (known as a Section 60 Application). Authority has been delegated to the Foreshore Authority to determine Section 60 applications for minor works which do not materially affect the significance of the item. The Foreshore Authority can advise applicants whether applications can be assessed under delegation, or whether they need to be approved by the

⁵⁵ <http://www.legislation.nsw.gov.au/maintop/view/inforce/act+203+1979+cd+0+N>

⁵⁶ <http://www.legislation.nsw.gov.au/maintop/view/inforce/act+136+1977+cd+0+N>

Heritage Council. Section 60 application forms are available from the NSW Heritage Council, or from the Foreshore Authority for minor works.

S170 Heritage and Conservation Register

Section 170 of the *Heritage Act* requires a 'government instrumentality' such as the Foreshore Authority to 'establish and keep a register entitled the *Heritage and Conservation Register*. The register must be reviewed annually, and amended if necessary.

The register must contain items, under the ownership or control of the Foreshore Authority, that are or could be listed in the *NSW State Heritage Register* or could be subject to an Interim Heritage Order, or which are listed as an item of environmental heritage in an environmental planning instrument.

Under Section 170A of the *Heritage Act* the Authority must provide a minimum of 14 days' notice to the Heritage Council before removing any item from the Register, transferring ownership of any item, ceasing to occupy or demolish any item. The Authority must also maintain and manage the item in accordance with any principles or guidelines for State owned heritage assets approved by the Minister or the Heritage Council (see also s6.4.1 NSW Government TAM Guidelines).

Sydney Harbour Foreshore Authority has prepared a Section 170 Register, which has been endorsed by the NSW Heritage Council. Those items on the Section 170 Register assessed as being of State significance (94 items) were listed on the State Heritage Register in May 2002 (see below). Subsequent additions and revisions to listings in the s170 Register have been made from time to time.

Archaeological Management

The Heritage Act 1977 provides statutory protection to relics, archaeological artefacts, features and deposits.

Part 4 of the Act refers to items and places listed on the SHR or which are the subject of an Interim Heritage Order (IHO). Section 60 also requires an application for an excavation permit for historical archaeological resources identified as having state significance issued by the Heritage Council, or in accordance with a gazetted Exemption under Section 57(2) of the Act. The Heritage Act defines an archaeological relic as being any deposit, artefact, object or material evidence that:

The Heritage Act defines a 'relic' as –

Any deposit, object, artefact or material evidence

- 1. which relates to the settlement of the area that comprises New South Wales, not being an Aboriginal settlement, and*
- 2. is of state or local heritage significance.*

Under Section 57(1) of the Heritage Act, Heritage Council approval is required to move, damage, or destroy a relic listed on the State Heritage Register or subject to an Interim Heritage Order, or to excavate or disturb land which is listed on the State Heritage Register or subject to an Interim Heritage Order, and there is reasonable knowledge or likelihood of relics being disturbed.

A Section 60 application is required to disturb relics on an SHR listed site. The Foreshore Authority has delegation to approve minor Section 60 applications that extends to archaeological works within the curtilage of an item.

Standard Exemptions for works to SHR listed items

Under Section 57(2) of the *Heritage Act*, the Minister may make exemptions from approval otherwise required under Section 57(1) for works to State Heritage Register items (see above). Such exemptions are intended to streamline the approvals process. There are two types of exemptions:

1. *Standard exemptions: apply to all State Heritage Register items and cover maintenance and repair and minor alterations.*
2. *Site specific exemptions: apply only to an individual State Heritage Register item and cover individually specified activities.*

The current Schedule of Standard Exemptions was gazetted in 2006 and revised in 2009, and contains guidelines to determine whether particular works will be covered by a standard exemption. In this case, an Exemption Notification Form (not a Section 60 application) must be completed providing sufficient detail to determine whether the proposed works meet the standard exemption guidelines. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications, and forms are available from the Authority.

For details of the standard exemptions, refer to:

<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/standardexemptions.pdf>

There are no site specific exemptions currently in place or proposed in this CMP for this site and buildings.

Minimum Standards of Maintenance and Repair

Section 118 of the *Heritage Act* provides for the regulation of minimum standards for the maintenance and repair of State Heritage Register items. These standards were regulated in 1999 and apply to all State Heritage Register items. The minimum standards cover the following areas:

- Weatherproofing
- Fire protection
- Security
- Essential maintenance

An inspection to ensure that the item is being managed in accordance with the minimum standards must be conducted at least once every year (or at least once every 3 years for essential maintenance and repair standards). For details of the minimum standards see <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>

Failure to meet the minimum standards may result in an order from the Heritage Council to do or refrain from doing any works necessary to ensure the standards are met. Failure to comply with an order can result in the resumption of land, a prohibition on development, or fines and imprisonment.

6.4.3 NPW Act

Under Section 89A of the National Parks and Wildlife Act 1979, it is an offence for a person to destroy, deface, damage or desecrate an Aboriginal Object or Aboriginal Place without the prior issue of an Aboriginal Heritage Impact Permit (AHIP). The Act requires a person to take reasonable precautions and due diligence to avoid impacts on Aboriginal Objects. AHIPs may only be obtained from the Office of Environment and Heritage. It is also an offence under the Section 86 NPW Act to disturb or move an Aboriginal Object on any land, without first obtaining a permit under Section 90A of the NPW Act.

6.4.4 NSW Government TAM Guidelines

The Total Asset Management Manual prepared by NSW Government's Asset Management Committee requires that: "Sustainable management of heritage values must be treated by an agency as part of its core business". Similarly, TAM Guidelines for Government Agencies prepared by NSW Treasury require 'planning use of heritage assets to maximise their service delivery while protecting their cultural values'.

While protection of built heritage in The Rocks area is part of the core business of the Foreshore Authority, these TAM Guidelines can be interpreted to indicate that the retention of heritage value overrides the financial feasibility of the ongoing reuse of items. The cultural importance of The Rocks is widely recognised as paramount, and in any eventual situation where retention of heritage significance could collide with the financial feasibility of the project, the importance of retention of the heritage significance shall be given a priority.

The Heritage Council's [Heritage Asset Management Guidelines](#) (2004) contains guidelines for State Agencies to better frame heritage management within the existing legislative and policy structure defined in the Government's TAMS Policy, the Heritage Act and the Burra Charter.

6.5 Environmental Planning Instruments (EPIs)

There are three main EPIs under the Environmental Planning and Assessment (EPA) Act 1979 that are applicable to The Rocks:

6.5.1 State Environmental Planning Policy (SEPP) (State and Regional Development) 2011⁵⁷ and State Environmental Planning Policy (Major Development) 2005⁵⁸

Under the SEPPs, 117-117A Gloucester Street is an environmentally sensitive area of State significance, being on land in The Rocks and as a place and building listed on the State Heritage Register under the Heritage Act 1977.

Pursuant to the EPA Act, the SEPP (Major Development) applies to capital works over \$10million. Development under \$10million requires approval under Part 4 of the Environmental Planning and Assessment Act.

The NSW Planning Minister is the consent authority for state significant development and major development, as described in the State Environmental Planning Policy (State and Regional Development) 2011 and the State Environmental Planning Policy (Major Development) 2005.

⁵⁷ <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+511+2011+cd+0+N>
⁵⁸ <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+194+2005+cd+0+N>

6.5.2 Sydney Regional Environmental Plan (SREP) (Sydney Harbour Catchment) 2005⁵⁹

The Rocks is included in the 'Foreshores and Waterways Area' defined in the SREP. Accordingly any development must be considered in terms of the criteria set out in Division 2 of SREP. The SREP has limited application to 117-117A Gloucester Street, as The Heritage Provisions in Part 5 of the SREP are not applicable to sites that are not listed as a heritage item in the SREP. Particular provisions of the plan apply to the Foreshores and Waterways areas, which encompass the subject site.

The SREP also requires the consideration of potential to impact on archaeological or potential archaeological sites and relics.

The Rocks is also included as a 'Strategic Foreshore site' on Sheet 1 of the SREP, for which a Master Plan (deemed DCP) is required. However this only applies to the City Foreshores area if the Minister directs, and as yet there has been no such direction.

The NSW Planning Minister is the consent authority for the Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005. The City of Sydney or the Central Sydney Planning Committee is the consent authority for development not covered by the Planning Minister.

6.5.3 Sydney Cove Redevelopment Authority (SCRA) Scheme⁶⁰

The SCRA Scheme is the principal environmental planning instrument applicable within The Rocks. It contains planning controls via the Building Site Control Drawing Key Map and a series of related Building Site Control Drawings. These drawings set out "permitted uses" on land to which the SCRA applies. The drawings include "building site plans" which identify heritage buildings, easements and access requirements. The drawings also include "building envelopes", which depict the maximum permissible building envelope of the various sites within The Rocks. These envelopes specify height limits (in RLs). The Key Map also contains explanatory notes on the permitted uses.

For 117-117A Gloucester Street the existing main roof terrace is at RL37.5 and the roof over the laundry is at RL40.3 metres. The current SCRA scheme has development potential to RL45 over the main building part of the south of the site and to RL65 metres to the south of the site and rear of the site (i.e. an additional 27 metres over the highest roof ridge line).

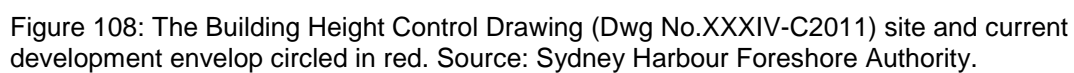
The City of Sydney or the Central Sydney Planning Committee is the consent authority for development, unless development that has a capital investment value of more than \$10 million, in which case The NSW Planning Minister is the consent authority.

Figure 87 shows the Building Site Control Drawing XXXIV-C 2011 that proscribes the additional development envelope over this building and site. It is recommended that the Building Site Control Drawing be amended to remove the current development envelope and updated according to Section 7.10 New Works Policy 21.

Due to the proximity of the site to the Cahill Expressway, the final building envelope can only be determined after consultation with the Roads and Maritime Service.

⁵⁹ <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+590+2005+cd+0+N>

⁶⁰ http://www.cityofsydney.nsw.gov.au/data/assets/pdf_file/0006/128436/SydneyCoveRedevelopmentAuthorityScheme-optimised-part-2.pdf



6.6 Development Control Plans and Guidelines

6.6.1 Sydney Harbour Foreshores and Waterways Area DCP 2005⁶¹

Sydney Harbour Foreshores and Waterways Area DCP 2005 has been prepared to support the SREP (Sydney Harbour Catchment) 2005. The DCP provides detailed design guidelines for development and criteria for natural resource protection for the area identified as Foreshores and Waterways area. The DCP applies to all development proposals within the Foreshores and Waterways Area identified in SREP (Sydney Harbour Catchment 2005).

The heritage provisions of DCP are not relevant to 117-117A Gloucester Street as the site is not listed as a heritage item under the SREP 2005.

6.6.2 The Rocks Heritage Management Plan (RHMP)⁶² and Heritage Policy 2010⁶³

In recognition of the importance of heritage conservation in the area, The Rocks Heritage Management Plan (adopted in February 2002, updated 2010) has been prepared to provide a basis for understanding and conserving the heritage value of The Rocks and to assist in preparing individual CMPs for heritage buildings within The Rocks. The Rocks Heritage Policy articulates the Foreshore Authority's vision for The Rocks.

6.6.3 The City of Sydney Development Control Plan (DCP) 2012⁶⁴

The City of Sydney DCP 2012 applies to all land as designated on the DCP map, which includes The Rocks. Currently The Rocks is not identified as a Locality, Specific site or Specific area in the DCP. However the General Provisions, including Heritage, Development Types and certain Schedules apply.

6.6.4 NSW Heritage Council - Design in Context⁶⁵

The guideline is published by the NSW Heritage Council and the RAIA. The guideline establishes six criteria for assessing new development in a heritage conservation area or adjacent to a heritage item; character; scale; form; siting; materials; and, detailing.

6.6.5 NSW Heritage Council - New Uses for Heritage Places⁶⁶

The guideline is published by the NSW Heritage Council and the RAIA. The guideline contains principles that encourage careful and sympathetic designs and interpretation in the adaptation of historic places and sites. The guidelines identify principles that are relevant to 117-117A Gloucester Street, which includes the need to: understand significance; find a use and level of change appropriate to significance; ensure that change is reversible; conserve relationships between settings and views; provide for long term management and viability; and, reveal and interpret the place.

6.7 Approvals

Landowner's consent

Before any application is submitted to a consent authority, the consent of the Foreshore Authority, as landowner, for submitting an application must be obtained first. Obtaining consent from the Foreshore Authority is **not** an approval for the works, only consent to

⁶¹ <http://www.planning.nsw.gov.au/sydney-harbour-foreshores-area-development-control>

⁶² <http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>

⁶³ <http://www.shfa.nsw.gov.au/content/library/documents/0B97AE99-BE6D-D5A2-2DB9A05719183F85.pdf>

⁶⁴ <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>

⁶⁵ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

⁶⁶ <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/NewUsesforHeritagePlaces.pdf>

submit an application. A consent authority will not be able to consider an application unless it has the landowner's consent.

Consent Authorities

There are a range of consent authorities to which applications for work will need to be submitted. These are described in the preceding sections, and are summarised as follows:

Consent Authority	Works or activities for which that consent authority is responsible
<ul style="list-style-type: none"> Minister for Planning 	<ul style="list-style-type: none"> Variation to SCRA Scheme Works with a capital investment value above \$10 million May direct preparation of a master plan (a deemed DCP) for a Strategic Foreshore Site (which includes most of The Rocks)
<ul style="list-style-type: none"> Minister for Ports and Maritime Administration 	<ul style="list-style-type: none"> Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks), if so specified in an EPI.
<ul style="list-style-type: none"> Sydney Harbour Foreshore Authority 	<ul style="list-style-type: none"> Landowner's Consent (to lodge an application) Minor works to an SHR item, under a Heritage Council delegation Additions/removals/revisions to its s170 Register listings Notifying the Heritage Council of the transfer, ceasing to occupy, or demolition of any item in its s170 Register Implementing TAM Guidelines for assets in the SHFA portfolio
<ul style="list-style-type: none"> Heritage Council 	<ul style="list-style-type: none"> Works other than minor works to any SHR or IHO item Standard and site-specific exemptions from approvals for SHR items Listings/de-listings/revisions to SHR items Approval to disturb, move, damage or destroy relics Minimum Standards of Maintenance
<ul style="list-style-type: none"> City of Sydney 	<ul style="list-style-type: none"> Works with a capital investment below \$10 million Any development (see s6.5.2 for exclusions) in the Sydney Opera House World Heritage Buffer Zone (which includes most of The Rocks) unless the Minister is specified as the consent authority in an EPI. Principal Certifying Authority for accredited private certifiers
<ul style="list-style-type: none"> Accredited Private Certifiers 	<ul style="list-style-type: none"> Issue of Construction Certificates and/or Occupation Certificates

6.8 Building Codes

National Construction Code of Australia and Access Requirements

The National Construction code (NCC), incorporating the Building Code of Australia (BCA) is a national set of building regulations with some state specific variations. The performance requirements of the BCA are mandatory, although the introductory section of the Code makes clear that not all requirements will apply to a given case. The Code also includes 'deemed to satisfy' requirements which are accepted as meeting the performance requirements. However, The Code Also makes provision for alternative solutions to meet the performance requirements, subject to satisfactory verification.

An assessment of compliance of 117-117A Gloucester Street with the NCC has not been carried out for this report. It should be noted, however, that any Development Application /Construction Certificate application would need to comply, or be deemed to comply with the NCC. In general, when considering the NCC in heritage buildings, proposals must ensure that significant fabric and spatial qualities are not compromised while full NCC compliance is achieved and public safety is assured.

Building Code of Australia (BCA)

The Code is implemented in NSW through the *Local Government Act 1993*. Generally, minimum standards are required to be reached in building works.

Clauses 93 and 94 of the *Environmental Protection and Assessment Regulation 2000* require a consent authority to take into consideration whether the fire protection and structural capacity of an existing building will be appropriate to its proposed use. Issues may include compliance with fire resistance, egress provisions, and provision of facilities; structural requirements; and health and amenities standards depending on use. A consent authority, in determining an application, may consider whether it is appropriate for an existing building to be brought into partial or total conformity with the BCA.

In general, when considering the BCA in **heritage buildings**, proposals must ensure that significant fabric and spatial qualities are not compromised while full BCA compliance is achieved and public safety is assured. Design must focus on responding to the spirit and intent of the BCA if strict compliance would adversely affect the significance. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance must be avoided.

Methods of complying with fire safety which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure extant finishes.

More information on the Code can be downloaded here: <http://www.abcb.gov.au/en/ncc-products/NCC%20Digital%20Download.aspx>

Disability Access Requirements Access to premises for people with disabilities, as well as being covered by the BCA, is also controlled by the Commonwealth Disability Discrimination Act (DDA) 1992. Compliance with the BCA does not necessarily signify compliance with the DDA. Compliance with the DDA can be triggered by a complaint lodged with the Australian Human Rights Commission. In 2010 the Commonwealth published the Disability (Access to Premises – Buildings) Standards. Compliance with these standards must ensure that the requirements of the Act are met.

The DDA makes it illegal to discriminate on the basis of a person's disability. The Act does not apply to private dwellings, but does apply to buildings which are expected to be used by the general public.

Heritage buildings are not exempt from meeting the requirements of the DDA. The preparation of an access action plan assists in preventing or defending a complaint under DDA. The defence of unjustifiable hardship is also available, and the Australian Human Rights Commission has ruled that heritage significance may be taken into account in this regard.

Consultation with the Heritage Division of the NSW Office of Environment and Heritage Fire Access Services Advisory Panel (FASAP) may also assist in achieving appropriate compliance solution. <http://www.environment.nsw.gov.au/heritage/index.htm>

The NSW Building Professionals Board has also established an Access Advisory Committee to consider referred applications for exemptions to the Premises Code on the basis of unjustifiable hardship.

6.9 Non-statutory Listings and Community Groups

National Trust of Australia

117-117A Gloucester Street is not included on the Register of the National Trust of Australia (NSW).

The Long's Lane Precinct listing by the Register of the National Trust of Australia (NSW) includes 117-117A Gloucester Street.

117-117A Gloucester Street is included in the listing for The Rocks Urban Conservation Area on the Register of the National Trust of Australia (NSW).

Listing on the Register of the National Trust carries no statutory implications. The Trust's opinions however, are usually sought when major proposals are being formulated in heritage precincts or in relation to heritage buildings.

Register of the National Estate

117-117A Gloucester Street is not included on the Register of the National Estate.

The Long's Lane Precinct listing by the Register of the National Estate includes 117-117A Gloucester Street.

117-117A Gloucester Street is included in the listing for The Rocks Urban Conservation Area on the Register of the National Estate, Ref No. 1/12/036/0423.

Listing on the Register of the National Estate carries no statutory implications for items not in the ownership of the Commonwealth Government; however, it is indicative of the high cultural values of the place.

Non-inclusion of a place Register of the National Estate does not imply the place is of no cultural significance. The place may have as yet unrecognised cultural significance, or non-inclusion may reflect administrative policy, inactivity, or lack of resources.

6.10 Australia ICOMOS Burra Charter

The *Australia ICOMOS Burra Charter*,⁶⁷ known as *The Burra Charter*, is widely accepted in Australia as the underlying methodology by which all works to sites/buildings, which have been identified as having national, state and local significance, are undertaken.

Because 117-117A Gloucester is of demonstrated cultural significance, procedures for managing changes and activities at the complex must be in accordance with the recognised conservation methodology of the *Burra Charter*.

Principles of the Burra Charter

In dealing with the built fabric, the conservation principles of *The Burra Charter* should be adopted. The relevant principles are established in the Articles of *The Burra Charter* as follows:

⁶⁷ *The Burra Charter: The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance* 1999. http://australia.icomos.org/wp-content/uploads/BURRA_CHARTER.pdf

Cautious Approach (Article 3)

All conservation work should be based on a respect for the original fabric, should involve the minimum interference to the existing fabric, and should not distort the evidence provided by the fabric

Location (Article 9)

A building or work should remain in its historical location.

Contents (Article 10)

Contents, fixtures and objects contributing to the cultural significance of a place should be retained at that place.

Change (Article 15)

The contribution of all periods to the place must be respected, unless what is removed is of slight cultural significance and the fabric which is to be revealed is of much greater cultural significance.

Removed significant fabric should be reinstated when circumstances permit.

Adaptation (Article 21)

Adaptation is acceptable where it does not substantially detract from the cultural significance of the place and involves the minimal change to significant fabric.

New Work (Article 22)

New work may be acceptable where it does not distort or obscure the significance of a place.

New work should be readily identifiable as such on close inspection.

Use and Conserving Use (Article 7 and Article 23)

Where the use of a place is of cultural significance it should be retained. A place should have a compatible use.

Modifying or reinstating a significant use may be appropriate and a preferred form of conservation.

Managing Change (Article 27)

Existing fabric, use, associations and meaning should be recorded before disturbance occurs.

Disturbance of Fabric (Article 28)

Minimal disturbance of fabric may occur in order to provide evidence needed for the making of decisions on the conservation of the place.

Responsibility for Decisions (Article 29)

The decision-making procedure and individuals responsible for policy decisions should be identified.

Direction, Supervision and Implementation (Article 30)

Appropriate direction and supervision should be maintained at all stages of the work.

Records (Article 32)

A record should be kept of new evidence and future decisions and made publicly available.

Removed Fabric (Article 33)

Removed significant fabric should be catalogued and protected in accordance with its cultural significance. Where possible it should be stored on site.

7 Conservation Policies

In light of the cultural significance of the houses, considering the constraints and opportunities on the conservation, the following policies are made to conserve them

The policies address issues of use, looking after the important fabric and guiding change. They anticipate and manage change. Each policy is followed by some guidelines that elaborate the policy.

7.1 Best Practice Heritage Management

Background

One of the main functions of The Sydney Harbour Foreshore Authority is to protect and enhance the natural and cultural heritage of the foreshore area. *The Rocks Heritage Management Plan* <https://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf> was prepared and adopted in April 2010 in recognition of the important heritage values of the area. Though not a statutory planning document, its aim is to provide a foundation for the understanding and conserving of these heritage values and to assist in the preparation of individual Conservation Management Plans for heritage properties and sites in the area. As a government agency and owner of a heritage item the Foreshore Authority is obliged to the place manage in accordance with State Owned Heritage Management Principles <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/stateagencyheritageguide.pdf>

It is crucial that all significant physical fabric is appropriately conserved and managed in accordance with recognized conservation methodology. The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (The Burra Charter 2013) has been widely accepted across Australia as the underlying methodology by which all works to heritage buildings and sites are undertaken. The definitions and terms of the Burra Charter are explained in Section 1.8.

The site and buildings at 117-117A Gloucester Street has been assessed as being of State significance and is therefore worthy of protection in accordance with current best practice.

The significance is also expressed in its intangible sense of place, its meaning and associations as an extant residence in a group from the late nineteenth century to the early twentieth century.

The Long's Lane precinct must be managed as a whole and the general and specific conservation policies must be used in conjunction with one another.

The long term conservation of the tenement building at 117-117A Gloucester Street requires the implementation of both management and conservation strategies to provide for the retention and enhancement of their cultural significance. The aims and policies of this CMP are to be disseminated to and implemented by the owner and occupants. The CMP is also to be used to assess the impact of any proposed modifications to significant fabric, prior to granting development consent.

This CMP is to be formally reviewed at regular intervals, especially if any work is proposed. Appropriate professional advice is to be obtained to assist in reviewing and/or amending specific policies when required.

117-117A Gloucester Street historically was situated on its own allotment and was then later located within a much larger allotment that comprised the Long's Lane Precinct bounded by Cumberland and Gloucester Streets and the Cahill Expressway and the former "big dig" site.

Future subdivision may be an acceptable as a way of managing individual buildings it is important that the Long's Lane precinct be managed as an integrated whole, rather than as a group of individual buildings and sites.

Policy 1

Adopt the Statement of Significance as the basis for heritage management and all decisions and seek to retain the values identified in the Statement of Significance.

Guidelines

- Prepare heritage impact statements when changes are proposed to the use or fabric of the place
- Incorporate this conservation management plan into the Total Asset Management Manual
http://www.treasury.nsw.gov.au/_data/assets/pdf_file/0015/5109/tam_manual.pdf
- Ensure that compliance with this conservation management plan is included in any lease over the place, and consider non-compliance as a material breach.
- Conservation of the place is to recognise the site's layered history within the Long's Lane Precinct and the relative contribution of all development phases to the significance of the site. Conservation is to retain the historic evidence that distinguishes the different phases of the site's development including the pre 1880s work, the 1880s buildings and early 20th century tenement construction and later 1990s repairs.

Policy 2

In recognition of its state significance, 117-117A Gloucester Street must be managed to ensure best practice long term conservation outcomes in accordance with statutory procedures and recognised planning and heritage principles, guidelines and methodologies.

Policy 3

117-117A Gloucester Street, comprising two individual residences must continue to be managed as a single entity to ensure consistent and appropriate long term management of the whole building and its heritage fabric including its presentation and external paint colour scheme, external form and materials, and shared services including rainwater disposal.

Guidelines

- Refer to the Australian ICOMOS Charter for the Conservation of Places of Cultural Significance Burra Charter 2013.
- Ensure the conservation of the place, using all the processes for care of the place including maintenance, preservation, restoration, adaptation and interpretation to retain the cultural significance embodied in their fabric, use and associations.
- The approach to the building fabric and contents is to be one of minimal intervention consistent with the place's conservation.
- Change may be necessary to retain cultural significance, but it is undesirable where it reduces cultural significance (Burra Charter Article 15.1).

- Ensure that changes, which reduce cultural significance, are reversible and are reversed when circumstances permit (Burra Charter Article 15.2). Reversible changes must be temporary. Non-reversible change should only be used as a last resort and are not prevent future conservation action.
- While it is proposed that 117-117A Gloucester Street will sit on its own allotment, management of the buildings and site is to be considered within the context of the Long's Lane Precinct as an integrated whole.

7.2 Asset Management

7.2.1 Sydney Harbour Foreshore Authority responsibilities

Background

117-117A Gloucester Street, as part of The Rocks, is owned by the Crown vested in the Sydney Harbour Foreshore Authority (the Foreshore Authority). The Foreshore Authority has overall responsibility for the management of the place.

Additional responsibilities derived from the NSW Government's Total Asset Management (TAM) Guidelines are also recognised.

This CMP is the primary tool for the management of the houses and is to be coordinated and referred to in other relevant documents addressing the same property, including any current Maintenance Plans and TAM Plans. All the relevant asset management documents were included in the preparation of this CMP.

The current SCRA scheme includes Building Site Control Drawing XXIV-C 2011 that shows a development envelope over the site and building.

Policy 4

The Sydney Harbour Foreshore Authority shall retain management of 117-117A Gloucester Street as a single entity within the overall context of The Rocks precinct.

If there is a change in ownership and/or management, 117-117A Gloucester Street must continue to be managed as a single entity within the overall context of The Rocks precinct.

Guidelines

- A program of regular monitoring is to continue, covering both the physical changes within 117-117A Gloucester Street and issues raised by residents of the buildings. Findings of monitoring are to be incorporated, where relevant, into management decisions.
- Conserve the site and building at 117-117AS Gloucester Street and continue to manage the Long's Lane Precinct (including 117-117A Gloucester Street) as an integrated whole. Include in this management the site's existing interrelationship and setting in the Precinct, the terrace itself, its planning, its original features, rear wing as well as its spatial and functional relationships and archaeology.
- Ongoing and regular maintenance is essential for the site and buildings, refer to section 7.21 policies and guidelines and section 8.0

Policy 5

Use this Conservation Management Plan as a basis for the future management of the building. This CMP is also to be applied within the broader context of other heritage management and asset management documents, including statutory requirements.

Policy 6

The Authority is to ensure that its own statutory framework reflects the findings of this CMP. Specifically the SCRA scheme Building Site Control Drawing XXIV-C 2011 is to be updated to: identify the place as a State Heritage Register listed item; remove the current development envelope; and include a development envelope consistent with this CMP as set out in Section 7.10 New Works Policy 21.

Due to the proximity of the site to the Cahill Expressway, the final building envelope can only be determined after consultation with the Roads and Maritime Service.

Guidelines

- The Authority is to include findings of this CMP in the Authority's asset management systems and plans, particularly TAM Plans and Maintenance Plans for 117-117A Gloucester Street.
- Apply this Conservation Management Plan during any refurbishment and conservation works.
- Refer to the following documents:
 - The Rocks Heritage Management Plan (April 2010)
<http://www.shfa.nsw.gov.au/content/library/documents/7A93098E-C368-9BBB-34657CE1392DF8B9.pdf>
 - State-Owned Heritage Management Principles
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/stateagencyheritageguide.pdf>
 - Minimum Standards of Maintenance and Repair
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/info/minimumstandards.pdf>

Policy 7

All parties responsible for management of 117-117A Gloucester Street are to have access to this conservation management plan and associated documents.

Guidelines

- The Authority is to make parts of this Conservation Management Plan (e.g., the statement of significance, policies, and implementation sections) a publicly accessible document, while respecting the right to privacy of the buildings' residents.
- The CMP is to be made available and distributed to:
- The Sydney Harbour Foreshore Authority, in particular those staff responsible for day to day management and planning to the place. Make this CMP publicly available on the Foreshore Authority's website.
- Form part of and inform any Leasehold agreements; including any updates to CMPs from time to time
- Tenants
- City of Sydney Library
- Heritage Division, Office of Environment and Heritage
- State Library of NSW

Policy 8

The Conservation Management Plan must be frequently reviewed and updated every 5 to 10 years, taking account of changes in legislation, proposed changes in use or management, or proposed alteration works.

Guidelines

- Update the CMP every 5-10 years unless more frequent reviews are made necessary for proposed changes to the place. The Foreshore Authority should remain responsible for updating of the CMP.
- Use the most recently endorsed CMP as a reference.
- Procedures for review of the CMP and inspecting the condition of the houses are to be specifically included in future lease terms for the houses.
- CMP reviews are to be based on The Burra Charter and guidelines provided by the Heritage Division, Office of Environment and Heritage.
- Reviews are to take into account any other relevant legislation, planning frameworks, appropriate literature and widely recognised conservation practices and procedures.
- Reviews are to be undertaken by experienced heritage professionals in conjunction with relevant ownership and management representatives.

7.3 Documenting Change

Background

Archival records as well as the systematic recording of work at the site are valuable resources to support and ensure the proper overall management of heritage sites. They record the environment, aesthetics, technical skills and customs associated with the creation and use of heritage items before they are altered, removed or lost either by development, incremental change or deterioration.

Well-managed records enhance the understanding of the heritage item, its significance and the impact of change as part of the conservation and management process. The reasoning behind the selection of a particular conservation approach and the methodology and the scope of each major conservation project are to be recorded and archived. This recording of the methodology, and the scope of works, must preferably be undertaken by a heritage professional, and will form the basis of future documentation for repair and maintenance works. These records including copies of all consultant reports are to be retained.

There is an existing substantial amount of recording of 117-117A Gloucester Street already in the Foreshore Authority's archives, including comprehensive photographs and records from the 1990s conservation works. This recording is to continue in accordance with heritage obligations under the Heritage Act.

Policy 9

Continue to acquire, collate, maintain and archive the drawings, schedule of works, photos and specifications from the 1990s work and any future works including the reasoning for particular works. These records are to be placed in the Foreshore Authorities' archival storage repository.

As-built records on completion of future works are to be provided to the Foreshore Authority by those undertaking the works.

Guidelines

- Continue the Foreshore Authority's policy of regular photographic recording, before, during and after changes to the fabric.
- All changes to significant fabric must be recorded in accordance with recording guidelines issued by the Heritage Division, Office of Environment and Heritage - How to prepare Archival Records of Heritage Items 1998.
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infoarchivalrecords.pdf> and the Photographic Recording of Heritage Items Using Film or Digital Capture 2006
<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf> prepared by the Heritage Division, Office of Environment and Heritage.

7.4 Appropriate Conservation Skills and Experience

Background

Maintaining and making changing to houses of cultural importance requires the involvement of people with relevant skills and experience. These skills and experience differ from those that apply to new buildings or to the renovation of houses that do not have such cultural importance.

Policy 10

Appropriate conservation skills and experience must be employed for documentation and supervision within project teams and the undertaking of maintenance, conservation and adaptive reuse works for 117-117A Gloucester Street.

Guidelines

- Appropriate professional skills and experience assembled to work on the detailed conservation of the buildings could include, as appropriate, researchers, historians, archaeologists, conservation architects, structural engineers, building code compliance advisers, materials conservation specialists and cost planners. Building contractors, project managers and trades personnel who are experienced with working on historic buildings are to be selected to work on the project.

7.5 Ownership, Participation and Approvals

Background

117-117A Gloucester Street came under Government ownership as part of the resumptions in The Rocks and Millers Point following the plague outbreak in 1901. The site has remained in Government ownership and is now owned and managed by Sydney Harbour Foreshore Authority.

The condition of 117-117A Gloucester Street is evidence of the benefits of its long-term government ownership and management. Under single government ownership there is a consistent and holistic approach to conservation of fabric and built forms. If the site and the area were in private ownership and control, the integrity of the cultural significance of the area may be at risk, regardless of statutory controls, due to the pressure of high inner city property values and redevelopment expectations (upgrading and gentrification).

Notwithstanding the discussion above, this CMP recognises that there may be future pressure for change of ownership as the needs of public institutions change over time and some sites are made surplus to government requirements. These changes can threaten conservation of significance by bringing about unsuitable changes to the site. Where public

ownership is no longer feasible, responsibility for caring for the heritage values of the site are to be passed to the new owner.

Policy 11

Key agencies, including the Sydney Harbour Foreshore Authority, Department of Planning and Environment, City of Sydney, and the Heritage Council of New South Wales, will use this CMP in decision making about this heritage asset.

Policy 12

If ownership or use for this site and building change, the management principles set out in this Conservation Management Plan, shall be used to guide its ongoing conservation and management.

Guidelines

- Effective implementation of this plan requires agreement of objectives, processes and actions by the relevant authorities including the site owners, the Sydney Harbour Foreshore Authority, Department of Planning and Environment and the NSW Heritage Division and NSW Heritage Council.
- Under current legislation (April 2016) any proposed development including alterations and additions on the site including repairs and maintenance, may require one or more of the following consents and approvals:
 - Consent from the landowner, the Foreshore Authority.
 - Under the Heritage Act, Approval under delegation from the Foreshore Authority for minor works.
 - For other than minor works, approval from the Heritage Council of NSW by means of a s60 application.
 - Development approval from the City of Sydney for projects with a capital value under \$10 million.
 - Development consent from the Minister of Planning for projects with a capital value of over \$10 million, or which exceed the building envelope limits in the Sydney Cove Redevelopment Authority Scheme
 - Appointment of a Principal Certifying Authority (PCA).
 - Construction Certificates approval
 - Occupation Certificate approval

The Foreshore Authority is the owner of the land and building in The Rocks, and the consent of the Authority is required prior to lodging an application for works. This part of the process is separate from approving the works, and the landowners consent to lodge an application does not present the approval to actually undertake the works. Prior to granting owner's consent to a proposal, the Foreshore Authority in its capacity as land owner and manager, be satisfied that there are no adverse heritage impacts associated with the proposal. Where necessary a Heritage Impact Assessment and adequate documentation of the proposed works are required to assess the owner's consent applications.

There are provisions for exemptions under s57 (2) of the Heritage Act which enables certain works to be carried out without the requirement for an approval by the NSW Heritage Council. These exemptions include minor repair and maintenance works and painting to an approved colour scheme. If proposed works are covered by a standard exemption, an Exemption Notification Form with sufficient detail provided to determine whether the proposed works meet the standard exemption guidelines is to be completed and submitted. The Foreshore Authority has delegation from the Heritage Council to approve standard exemption applications. For details of the standard exemptions, refer to the Heritage Division

former NSW Heritage Office publication *Standard Exemptions for Works Requiring Heritage Council Approval* 2009.

There are no site specific exemptions for 117-117A Gloucester Street and none are recommended in this CMP.

Policy 13

Works must not be undertaken to the site and buildings at 117-117A Gloucester Street without the required statutory approvals and consent from the landowner.

Policy 14

Works to 117-117A Gloucester Street are to fully comply with all the relevant Foreshore Authority Policies applicable to development in The Rocks.

Policy 15

If private lease or ownership or use of 117-117A Gloucester Street site and building occurs, the management principles set out in this Conservation Management Plan, shall guide its ongoing conservation and management as a single entity to ensure its long term conservation.

Guidelines

- Refer to the Foreshore Authority's Landowners Consent Supplementary Guide <http://www.shfa.nsw.gov.au/content/library/documents/A8D06A3F-0D3B-E978-A5AE5CA6EC529C01.pdf>
- All new work will comply with the Foreshore Authority Policies including: Lighting, Signage, Disabled Access, Telecommunications, Commercial Outdoor Seating, and Building Ventilation Installation.
- Prior to the lodgement of applications and the commencement of works the proponent is to liaise with The Foreshore Authority's heritage architect and obtain the consent of the Sydney Harbour Foreshore Authority as landowner.
- The Foreshore Authority shall not give landowner's consent unless it is satisfied that an application is consistent with the applicable Policies and will not result in adverse impact on the significant of the place within the overall context of The Rocks precinct.
- Undertake initial pre-application discussions with other consent authorities to determine requirements and nature of approvals.
- Refer to the City of Sydney's Sydney Development Control Plan 2012 <http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>
- Refer to the NSW Heritage Council's Standard Exemptions for Works Requiring Heritage Council Approval <http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/standardexemptions.pdf>

7.6 Current and Potential Future Use

Background

117-117A Gloucester Street was occupied by leasehold residential tenants since its construction in 1912 to the 1980s. The plan form of the building is largely intact to its original configuration. The conservation works in the 1990s reconstructed missing fabric and introduced new elements, including modern kitchens, in order to make the building habitable after a long period of decay and vandalism.

The Australia ICOMOS Burra Charter 2013 states in Article 1.11 *Compatible Use means a use which respects the cultural significance of a place. Such use involves no, or minimal impact on cultural significance.*

It is appropriate therefore for the residences to continue to be used as residential accommodation. Should such residential use not be possible, compatible uses that involve no or minimum change to the significant fabric, and respect the associations and meanings embodied in the place (compatible uses) are essential and may include offices or commercial uses, subject to being able to meet building code and accessibility compliance and all appropriate approvals.

Policy 16

117-117A Gloucester Street should continue to be used for residential accommodation purposes, comprising one, two or three units.

Policy 17

Any other uses must be selected which have a no or minimum impact on the significant fabric and spatial arrangement of the buildings. Compatible uses include the use of individual spaces for offices or professional consulting rooms.

Guidelines

- Possible uses for these properties, in order of preference, are two separate dwellings; Single dwelling; short term accommodation, such as Bed and Breakfast subject to building and access compliance or a guest house or boarding house, or office or professional consulting rooms, subject to building and access compliance.
- Adaptation of the buildings' interior is to ensure that the original fabric or significant architectural and spatial features are retained and interpreted.
- The detailed requirements of any new uses should not generate undue changes to the existing fabric, and is to respect and work within the existing architectural framework.
- Any new uses selected for the existing buildings shall adopt the principle of "loose fit", where the new use is adjusted as necessary to work within the available spatial and architectural configuration of the buildings.
- The introduction of new services and associated fittings in order to continue the viable use of the buildings, or as part of an approved new compatible use, is to be carried out with no or minimum of disruption to the fabric and spaces.
- Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance are not appropriate and must be avoided.
- Upgrading to comply with current and future DDA requirements for future commercial uses, may present some challenges.
- The Authority must ensure that this document and any subsequent recording and investigations are carried out in a manner which provides an accurate record of the changes to the significant fabric of the houses.

7.7 Conservation of Significant Fabric

Background

Article 3 of The Burra Charter indicates that conservation is based on a respect for the existing fabric of a place and involves the least possible physical intervention in order not to distort the evidence provided by the fabric.

Much of the building fabric of 117-117A Gloucester Street, both internally and externally, is of exceptional and high significance and to be treated with great care. Some of the fabric in 117-117A Gloucester Street was reconstructed in the 1990s on the basis of original and early fabric which was extant on the site at the time of the works, thus creating a record of the previous appearance of the buildings' elements and spaces. This reconstructed fabric is of value for its role in interpreting the history of the buildings to the public and is therefore of significance itself.

The significant fabric is to be conserved in accordance with recognised conservation principles and procedures such as those included in the Australia ICOMOS Burra Charter. Such conservation includes maintenance, preservation and interpretation including restoration and reconstruction.

Policy 18

The following fabric must be retained and conserved as it is the significant fabric:

- ***All fabric introduced before 1995***
- ***All fabric recorded in this report as a reconstruction***
- ***All fabric reconstructed (in the future) in accordance with these policies.***

Notwithstanding the above, the following fabric can be adapted:

- ***117- Door 6 could be changed to a timber window.***
- ***117 – Windows 5 and 6 could be changed to timber doors***

Policy 19

All of the significant internal fixtures and fittings are important and need to be retained and cannot be modified, including the fireplaces, early glazing, fitted furniture, original joinery, plaster cornices and early lath and plaster.

Guidelines

- Where repairs or alterations are required, new material is to closely match original, reconstructed, or adjacent materials.
- All of the existing kitchen, bathroom and laundry fit-outs can be removed, replaced and updated.
- Intervention into any building fabric is to respect the integrity of the extant material, be carefully controlled, and be limited to that required by the proposed works.
- All timber floors are to be retained. All stone or cement floors (as in A9 and B) are to be retained. Tile flooring can be replaced.
- Existing floor coverings, ie carpets, can be removed. Any new covering are to be reversible and not cause damage to the stone or timber underneath.
- The conservation of particular materials requires due consideration and the expertise of appropriately experienced personnel. The Heritage Division, Office of Environment and Heritage (OEH) 'Maintenance Series' provides general advice as to the cause, treatment and remediation of various traditional building materials. These publications can be sourced from the OEH website.

7.8 Conservation of Significant Spaces

Background

The building at 117-117A Gloucester Street is significant as a remnant, along with 140 and 142 Cumberland Street, of early urban social housing in Australia. They are important and rare examples of this particular type of terrace.

Policy 20

The building form and plan and internal spaces of 117-117A Gloucester Street contribute to its significance and interpretation and must be conserved as part of the on-going use and management of the buildings.

Guidelines

- The use of particular rooms may change but the plan form is to be retained.
- No internal walls can be removed or opened up.
- The existing verandahs and balconies cannot be enclosed.
- The fabric analysis included in 7.7 and 7.9 should also be considered.

7.9 Element Specific Policies

Background

In addition to general policies applicable to all areas of the site, a strategic direction for management of individual elements was considered appropriate to the level of significance of each element and the condition of fabric. This is developed in further detail in actions outlined in Chapter 8.

Policy 21

Generally, surviving historic built fabric and reconstructed fabric must be retained and conserved in accordance with the levels of significance identified in Section 5 of this CMP.

Guidelines

The following schedule contains conservation policy statements for specific individual elements of 117-117A Gloucester Street. Generally, the reconstructed elements dating to 1996 were executed to a high standard and were based on extant original and early fabric which was present on the site at the time of the works. Even though the reconstructed fabric is of a relatively recent date, it has interpretive significance and is to be retained.

Conservation Policies for significant elements 117-117A GLOUCESTER STREET - EXTERIOR		
Element	Significance	Policy
Generally		
Form of roof	Exceptional	Retain. Fixtures such as television aerials, satellite dishes and the like must not be affixed.
Galvanised steel roof sheeting	Moderate	Retain and conserve.
Marseilles pattern tiles	High	Retain and conserve.
Face brick balustrade with bullnose coping to roof terrace	Exceptional	Retain and conserve.
Galvanised ripple iron balustrade with metal capping to roof terrace	Moderate	May be retained or changed.

Floor covering to roof terrace - vitrified clay tiles	Moderate	May be retained or changed.
Form and fabric of rainwater goods	Moderate	Retain and conserve.
Brick window sills and heads	Exceptional	Retain and conserve.
Form and fabric of chimneys	Exceptional	Retain and conserve.
Chimney pots	High	Retain and conserve.
Metal underfloor vents	Moderate	Retain and conserve.
Rear and side yard – potential archaeological deposits	Exceptional	Retain and conserve
Rear yard paving	Moderate	May be retained or changed.
East Elevation		
Form and fabric of walls	Exceptional	Retain and conserve.
Pattern of fenestration	Exceptional	Retain.
Form and fabric of verandahs	Exceptional/ High	Retain and conserve.
Modifications to stairs, entry and verandah to stabilise exterior façade following demolition of southern portion	Moderate	May be retained or changed.
North Elevation		
Form and fabric of walls	Exceptional	Retain and conserve.
South Elevation		
Form of walls	Exceptional	Retain and conserve.
Render to brick walls	Little	May be retained or changed.
Buttressing and modifications to stabilise external southern wall following demolition of southern portion.	Moderate	May be retained or changed.
West Elevation		
Form of walls	Exceptional	Retain and conserve.
Render to brick walls	Little	May be retained or changed.

Conservation Policies for significant elements

117-117A GLOUCESTER STREET - INTERIOR

Room No.	Fabric Description	Significance	Policy
Ceilings			
A13, A11, A14	Set plaster / render over concrete	Exceptional	Retain and conserve.
A2, A3, A12, A7, A9, A8, A10, A5, A12	Plaster	High	Retain and conserve.
A4, A6	Plaster / timber battens	High	Retain and conserve.
A15, A16, A17, A1	Ripple iron / timber battens	High	Retain and conserve.

Conservation Policies for significant elements 117-117A GLOUCESTER STREET - INTERIOR			
Room No.	Fabric Description	Significance	Policy
B1	Plywood / timber battens	High	Retain and conserve.
Cornices			
A16, A17, A1, A5	Ovolo	High	Retain and conserve.
A1	Ovolo	Exceptional	Retain and conserve
Walls			
A13, A11, A12, A14, A15, A16, A17, A7, A9, A8, A10, A2, A4, A3, A5, A6	Set plaster	Exceptional	Retain and conserve.
B2, A15	Rendered / painted brick	Moderate	Retain and conserve.
B3, A16, B2, B1, A5, A1	Face brick	Exceptional	Retain and conserve.
Skirtings			
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3	Incised skirting (generally 200mm)	Exceptional	Retain and conserve.
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3, A5	38mm timber quad	Moderate	May be retained or changed. Removal appropriate to reconstruct appearance of original 200mm incised skirting.
B2	19mm timber quad	Moderate	May be retained or changed to reconstruct appearance of original 200mm incised skirting.
A16, A17	Terracotta tile	Moderate	May be retained or changed when updating fitout.
Floors			
A13, A11, A12, A14, A15, B2, A7, A9, A8, A10, B1, A2, A4, A3	Timber floorboards	High	Retain and conserve.
B3	Cement	Exceptional	Retain and conserve.
A16, A17	Terracotta tile	Moderate	May be retained or changed.
A5, A6, A1	Linoleum over timber boards	Moderate	May be retained or changed.
Roof terrace	Vitrified clay tiles	Moderate	May be retained or changed.
Doors			
Door assemblies throughout	Architraves and frames	Exceptional	Retain and conserve.
D6, D13, D22, D23	Glazed French doors	High	Retain and conserve.

Conservation Policies for significant elements			
117-117A GLOUCESTER STREET - INTERIOR			
<i>Room No.</i>	<i>Fabric Description</i>	<i>Significance</i>	<i>Policy</i>
D1, D2, D3, D4, D5, D12, D13, D14, D15, D21, D22, D20, D19, D18	Timber framed fanlights	Exceptional	Retain and conserve.
D1, D11	Two-panel half glazed timber doors	High	Retain and conserve.
D2, D3, D4, D5, D7, D12, D14, D15, D21, D20, D19, D18	Four-panel timber doors	High	Retain and conserve.
D8, D9, D10, D16, D17	Flush timber doors	Moderate	May be retained or changed.
D24, D25	Timber ledged and sheeted V-jointed board door	Exceptional	Retain and conserve.
Windows			
W7, W8, W10, W11, W16, W17, W22, W23	Timber casement windows	Exceptional	Retain and conserve.
W10, W11, W16, W17	Three pane glazed fanlights over casement windows	Exceptional	Retain and conserve.
W1, W2, W3, W4, W12, W13, W14, W18, W20, W21, W15	Timber double hung, two/six pane sashes with horns	Exceptional	Retain and conserve.
W5, W6	Timber casement	Moderate	May be retained or changed.
W9 (Room A17), W19	Timber framed fixed, frosted glass louvres	Exceptional	Retain and conserve.
Other			
A15, A7, A8,	Timber chimneypiece	High	Retain and conserve.
A12, A14, A15, A9, A8, A10	Cement rendered hearth	Exceptional	Retain and conserve.
A10, A4	Timber staircase, balusters, handrail	Exceptional / High	Retain and conserve.
A10	Brick chimney breast	Exceptional	Retain and conserve.
A10, B1	Timber shelving / cupboard	Moderate	May be retained or changed.
A12, A15, A7, A10, A3	Plaster vents	Exceptional	Retain and conserve.
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4	Picture rails	Exceptional / High	Retain and conserve.

Conservation Policies for significant elements			
117-117A GLOUCESTER STREET - INTERIOR			
<i>Room No.</i>	<i>Fabric Description</i>	<i>Significance</i>	<i>Policy</i>
Bathroom / lavatory fitouts			
A17, A6, A5	Ceramic tile wall, skirting, floor; tile splashback, shower recess, basin, laundry tub, mirror, vanity, w.c.	Little	Sympathetic fitout. Replace with similar new fitout when required.
A6	Enamel cast iron bath	Exceptional	Retain and conserve.
Kitchen fitouts			
A15, A10	Timber kitchen cabinetry and benchtops, sink, appliances	Little	Sympathetic fitout. Replace with similar new fitout when required.
A10	Shelf over chimney breast	High	Retain and conserve

7.10 New Work

Background

Because of the heritage significance and external and internal intactness of the existing buildings, there is limited scope for new work within the existing residences at 117-117A Gloucester Street, except to support the ongoing historic use as domestic accommodation. Generally any changes for domestic living is to be at the level of amenity such as services, gardening, providing security and interior decoration. In principle, the buildings should continue to be lived in as they are. Any changes for domestic use will be visible, but are not to affect the form and spatial integrity of the buildings or obscure significant fabric.

The residential building at 117-117A Gloucester Street, is a remnant of a much larger residential tenement building that was demolished for the construction of the Cahill Expressway (see Section 2.5 and figs.9 to 12). The land area is included within the SHR heritage curtilage for 117 Gloucester Street and is currently part of the site for the two residences at 1-3 Longs Lane and provides driveway access and parking for these residences.

Due to the limited site area and setback requirements from Cahill Expressway over the open site area to south of the building, additions may not be possible apart from the addition of external lift to provide accessible access on the southern side of the building, subject to approvals. Refer to site plan (Figure A).

The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct. 117-117A Gloucester Street is part of Building Control Drawings XXXIV-C 2011 under the SCRA Scheme. The current building envelope should be reviewed in light of the recommendations of this CMP.

Any proposal to alter the existing SCRA scheme building envelope will require approval from the Minister for Planning.

Policy 22

Due to the limited site area and setback requirements from Cahill Expressway over the open site area to south of the building, it may be possible to add an external lift to provide accessible access to the southern side of the building, subject to approvals. Refer to site plan at Figure A.

Due to the proximity of the site to the Cahill Expressway, the final building envelope can only be determined after consultation with the Roads and Maritime Service.

Amend the SCRA scheme accordingly. Refer to policy 6.

Guidelines

- The guideline *Design in Context* published by the NSW Heritage Council and the RAI A should be referenced for any future design for this site. It establishes six criteria for assessing new development in a heritage conservation area or adjacent to a heritage item; character; scale; form; siting; materials; and, detailing.
- Further site specific development guidelines may need to be prepared to guide future development and may include further controls. The front elevations should include clear horizontal lines/zones which respond to the major features, such as the base courses, cornices, parapets window openings and fenestration patterns.
- All new work is to comply with the Foreshore Authority Policies for Lighting, Signage, and Disabled Access.

Policy 23

The introduction of new fabric including an external lift is to be undertaken in such a manner that it does not result in a lessening of the cultural significance of the place. New work must be capable of being removed without damage to significant fabric and spaces in accordance with the principles of reversibility and loose fit.

Guidelines

- In consideration of the changes for amenity that are normal to domestic occupation, the following changes do not affect significance, in particular do not affect the form and spatial layout of the houses or the significant fabric.
- The introduction of an external lift on the southern side of the building (see figure A) will be subject to approval, and compliance with statutory requirements including the City of Sydney DCP 2012. Any accessible access is to be compatible with and not to detract from the heritage significance of the existing building at 117-117A Gloucester Street. Refer also to Section 7.13 Accessibility policies and guidelines.
- Fix satellite dishes to the roof terrace or to the walls of the rear wing, provided they are below the gutter line, so as not to be visible from Longs Lane or Gloucester Street.
- Attach metal security screens to ground floor windows and doors. Screens are to be non-decorative and as plain as possible (so as to not detract from the character of the buildings). The screens are to be fixed inside the window openings and not to the face of the wall.
- External security cameras if required may be surface mounted above head of door height, in the front verandah space (so as to remain discrete) or low down on the rear wing walls, so as to not be seen in Longs Lane.
- Door bells and intercoms may also be mounted on the front wall near the front door or the rear fence near the rear gate. No attempt should be made to hide conduits on the exterior; they should be neatly surface mounted.
- In consideration of the need for storage in houses, the roof space of the buildings could be used for storage. This may require the existing roof and ceiling framing to be augmented. It must not be replaced.

- Where there is no evidence of the original detail, it is not necessary or appropriate to invent a period detail unless the original character of the space is to be recreated and the new element is required to blend in.
- Careful detailing will ensure minimal damage to the significant fabric and will allow for reversibility.
- Introduction of new fixings for fitting shelves or picture hanging systems pictures are to be technologically compatible with the existing substrate.
- No new verandahs or balconies can be introduced to the existing building.
- No dormers or skylights can be introduced to the existing building.

7.11 Integration of Services

Background

Adaptations of existing fabric for practical reasons such as installation of new services and the need to meet statutory requirements may be required in order to continue the viable use of the buildings, and to satisfy the changing needs of the occupants of the buildings.

Policy 24

The extension or alteration of existing services in 117-117A Gloucester Street must not have a detrimental impact to the significance of the building components.

Guidelines

- Any proposed upgrading of services is to be carefully planned. The preparation of schematic layouts is not sufficient: service routes are to be planned so as not to damage the significant fabric or disrupt significant spaces.
- Any upgrading of services is subject to the proper approval process.
- Services are to be surface-run. The visual effect of surface mounted cabling can be reduced by careful location and planning.
- Areas previously modified for services are to be re-used in preference to modifying intact fabric.
- Digital cabling should be introduced at existing electrical connections.
- The surface mounting of services is preferable to chasing services into significant fabric.
- Additional power points can be added to skirting boards.
- Light fittings and switches are not significant and can be changed using existing outlets. False ceilings may not be installed to accommodate lighting.
- Brackets or fixings for services are to be made into mortar joints where possible and are not to damage significant fabric.
- Externally mounted air-conditioning, ventilation equipment, water heaters, television aerials, satellite dishes, or service components should be hidden when fixed to the buildings and not visible from the street frontages.
- Ceiling fans may be installed with surface-run conduits.
- See also Sustainability policies and guidelines.

7.12 Ordinance Compliance

Background

The *National Construction Code (NCC) incorporating the Building Code of Australia (BCA)* is the operative building ordinance in New South Wales.

In proposals for new work, key issues of NCC compliance such as fire resistance, egress provisions, and provision of disabled access and facilities are to be addressed. It is essential that the cultural values of the building are not degraded by inappropriate responses to meeting ordinance requirements.

Policy 25

Approaches to compliance with building ordinances for the conservation and upgrading and re-use programs of the various building components of 117-117A Gloucester Street must focus on responding to the spirit and intent of the ordinances if strict compliance would adversely affect the significance.

Guidelines

- Conservation and on-going use programs are not to place undue stress on the building fabric in order to meet excessive requirements of ordinance compliance.
- Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rating material, which may obscure or remove extant finishes.
- Future upgrades of the buildings are to take into consideration any newly developed approaches for the implementation of fire safety standards that do not harm the existing significant fabric.
- When dealing with disability access issues, refer to the document “Access to Heritage Buildings for People with Disabilities” prepared by E.J. Martin (Cox), August 1997.
- Methods of complying with access guidelines are to focus on changes to less significant spaces and fabric. In this case the opportunity to add to the building to the south is an opportunity to provide compliant access throughout the place.

7.13 Accessibility

Background

The Commonwealth Disability Discrimination Act (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the Act requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA Act does not require equitable access to be provided to single dwellings, although occupants may wish to provide it for their own use. If change of use is proposed, other than as single dwellings, it is likely the DDA Act will apply, and heritage places are not exempt from it, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship.

Policy 26

An equitable access solution to the front of the property at 117-117A Gloucester Street cannot be achieved without unacceptable major intervention into significant building fabric.

It may be possible to add an external lift to provide accessible access to the southern side of the building, subject to approvals. Refer to site plan (Figure A) and Policy 21.

To enable accessible access and access to a new lift in a southern addition, a new minimally sized opening may be introduced on each floor of 117-117A Gloucester Street.

Guidelines

- Upgrading to comply with current and future DDA requirements for future commercial uses presents some challenges.
- It is acknowledged that the introduction of a lift for accessible access into the southern elevation contravenes the general approach to retain and conserve fabric of exceptional significance *in situ* as set out in Section 5. However the introduction of a lift in accordance with Sections 7.10 and 7.13 policies and guidelines subject to detailed design, may be considered an acceptable impact that supports the overall heritage significance and use of the building and will be assessed on its merits as part of the development process through appropriate heritage impact assessment and approval processes.

7.14 Sustainability

Background

In 2009 the Authority adopted a Sustainability Policy. The policy is currently being reviewed and updated. By 2020, the Authority aims to reduce the carbon footprint of its precincts by 80% compared to 2001 levels and:

- reduce potable water consumption by 80 per cent compared to 2001 levels
- recycle or compost 80 per cent of all waste generated in its precincts
- Procure 80 per cent of all products from recycled or sustainable sources.

In its aim for a socially inclusive and sustainable community the Authority:

- Acknowledges its responsibility to protect heritage buildings and their cultural significance on behalf of the people of NSW.
- Aims to provide improved tenant amenity through improved air quality, comfort levels and natural light, in ways that support heritage considerations.

In line with this Policy the Authority has adopted a Sustainable Development Fit-out Guide which aims to reduce the environmental impact of new construction and building fit-outs. It has been shown that the implementation of the measures outlined in the Fit-out Guide reduce operational costs and improve indoor environmental quality (IEQ) and occupant satisfaction.

Policy 27

All applications for building modifications and fit-outs are to demonstrate measures which work toward the objectives of the Authority's Sustainability Policy.

Guidelines

- The factors contributing to discomfort are to be identified and quantified before the development of any solutions.
- Building users and Managers need to understand the impacts that the 'use' of the building will place on the existing thermal properties of the building. If the use will increase the levels beyond that which can be managed by passive solutions, and the required modifications present an unacceptable level of intervention, the use may not be supported.

- Sustainable and passive solutions be investigated and implemented to demonstrate and measure their effectiveness before the need for mechanical ventilation, in supplementing existing passive measures, be substantiated.
- Proposals are to address the sustainability and conservation objectives of Sydney Harbour Foreshore Authority.
- Solar panels can be introduced to the houses and are to be mounted on the roof terrace and hidden behind the parapet so as not to be visible from the street frontages.

7.14.1 Passive Design Solutions

Background

Historically, buildings were designed, constructed and sited to maximise the effectiveness of passive solutions, using the seasons to provide for thermal comfort needs. Historic buildings also often have thermal properties that need little modification to maintain good thermal comfort levels for the majority of operational hours.

117-117A Gloucester Street is cavity full brick construction with enclosed sub-floor spaces and double-hung windows. The roof space of the pitched roof is probably not insulated. Were it insulated, the building is able to provide a good standard of thermal comfort without much use of active solutions such as air-conditioning.

Studies have indicated that the implementation of passive measures can result in a 50% decrease in energy consumption within historic buildings. This figure is reflective of the inherent thermal properties of many historic buildings.

The following passive measures can improve thermal comfort, though must consider the potential impacts to both the interpretation of the building in the streetscape and the potential impact to the fabric of the building.

- Roof and ceiling insulation can reduce heating and cooling costs by up to 45%, and can often be introduced with little impact on significant fabric. Some estimates indicate a summer heat reduction of up to 12 degrees from the introduction of ceiling batts alone.
- Bulk insulation, which is inert, can most readily be introduced into existing ceiling cavities. Reflective and composite insulation must be considered if associated conservation works involve the replacement of, or extensive repairs to roofs.
- Technological advancements in glass tinting have seen the development of clear film which can keep out up to 60% of heat and 99% of ultra-violet radiation.
- Air movement can play an important role in thermal comfort levels and is proven to be more energy efficient than air conditioning within a closed building envelope. Fans can be used to increase air movement and maximise natural ventilation. Fans enhance summer thermal comfort and can also save on heating energy in winter.

Policy 28

Full and mixed mode mechanical ventilation systems in heritage buildings will only be considered by Sydney Harbour Foreshore Authority, if it can be demonstrated that passive solutions and the inherent properties of the building envelope cannot provide comfortable thermal environments throughout the majority of the seasonal calendar.

Guidelines

- Ensure that ceiling fans do not adversely impact, visually and/or materially, on significant fabric such as ceiling roses, pressed metal, light fittings, etc.
- Select energy efficient products.

- Seek advice to ensure that the placement of fans does not result in chaotic air movement, low ceiling pressure zones against the ceiling and undifferentiated air pressure in other parts of the building.
- The acoustic performance of windows in these houses can be upgraded in the following ways:
 - For original windows of exceptional significance - on the inside of the window, install an inner sheet of glass set in a timber or metal frame OR a sheet of plastic fixed with magnetic strips. Either option is to be able to be removed and is not be visible from the exterior.
 - For 1990s windows (ie windows not of exceptional significance) – the existing glass can be replaced with thicker glass and the counterweights adjusted on the mechanism within the window frame to allow for the increased weight of the new glass.
- Insulation of the roof space can be placed at the level of the ceiling joists. Should the roofs be re-tiled, insulation could be added to the level of the rafters using a breathable product.

7.14.2 Mechanical Solutions to supplement Passive Design

Policy 29

Mechanical solutions, following the implementation and analysis of passive solutions, are to be designed and selected in consideration of the heritage significance of the place and the objectives of the Sustainability Policy. The design of mechanical solutions is to be supported by an options analysis demonstrating that the proposal presents the least impact to the significant fabric of the place and accounts for ongoing energy consumption.

Guidelines

- Careful system selection and implementation is integral to the success of any mechanical heating, cooling and ventilation (HVAC) system. This is even more critical with heritage buildings, where mechanical systems are often coupled with passive systems, and often have a significant visual and physical impact on the building.
- Refer to the Foreshore Authorities Sustainable Development Fit-out Guide and the Green Building User Guide for criteria relating to the installation and alteration of mechanical ventilation systems.
- Consider the physical and visual impact the system will have on the heritage value of the building.
- External reverse cycle air conditioning units for heating and cooling could be placed in the backyard provided they are not visible outside the property and are below 1.8m. Conduits are to be surface mounted on the wall and through grilles into the ceiling.
- Ceiling fans are acceptable.
- Gas and electrical fittings can be used in individual rooms including within the fireplaces.
- No sub floor ducted heating is permissible.
- Mechanical systems are to be designed to supplement existing passive measures. This will ensure that any necessary mechanical system are not overloaded, operate efficiently and in turn reduce energy consumption.

7.15 Archaeological Resources

Background

The archaeological potential of the site was assessed in *The Rocks and Millers Point Archaeological Management Plan* in 1991 and in subsequent archaeological excavations made to the rear yard areas prior to carrying out conservation works to the buildings in 1994-6. The findings of the archaeological investigations are summarised in the report, 'Identification and Management of Archaeological Issues for the Long's Lane Precinct Conservation Works, The Rocks, Sydney, 1991-1998', prepared by the Sydney Cove Authority.

The archaeological material excavated in 1994 provided evidence of an early drainage line between 115 and 117-117A Gloucester Street. Further archaeological excavation of the study area was not carried out but a watching brief was implemented during the conservation works in 1994.

Given the wealth of information obtained from in-depth archaeological investigations at the adjacent sites of Jobbins Terrace and The Rocks Big Dig Site, there is high potential for additional archaeological material of state significance to remain on the site of 117-117A Gloucester Street. The archaeological resource of the site is of State significance, due to the uncertain nature of the early occupation of the site and the rarity of archaeological sites in Sydney that have been found to contain evidence of pre-1820s European activity.

The s170 Heritage and Conservation Register listing for 117-117A Gloucester Street sets out recommendations for managing archaeological resources on this site.

Policy 30

Archaeological assessment by a suitably qualified and experienced archaeologist must be carried out prior to the commencement of any works. The aim of this archaeological assessment is to gather information about the previous layouts and character of the site, to inform future conservation, interpretation and upgrading work, and to determine if any archaeological investigation or approvals are likely to be required. Preference is for the retention of the archaeological resources insitu.

Policy 31

Any ground disturbance must be undertaken by a qualified archaeologist in conjunction with a formal research design. Appropriate permits must be sought from the NSW Heritage Council prior to the commencement of works.

Policy 32

An appropriate on-site investigation strategy (an archaeological methodology and Research Design) must be prepared and submitted to the NSW Heritage Council as supporting documentation for any excavation permit applications.

Policy 33

An application for an excavation permit must be made under Section 60 of the Heritage Act 1977 (NSW) for any proposed excavation works within the boundary of the place/study area.

Policy 34

All ground disturbance associated with future development of the site in areas not previously investigated through archaeological excavation must be undertaken, consistent with the proposed archaeological methodology and any conditions of the

archaeological approval which may include archaeological monitoring or salvage excavation. The progress of such excavation work must be appropriately documented (in written and photographic form).

Policy 35

Suitable clauses must be included in all contractor and subcontractor contracts to ensure that onsite personnel are aware of their obligations and requirements in relation to the archaeological provisions of the NSW Heritage Act. These contracts must also specify obligations which need to be met under the National Parks and Wildlife Act 1974 relating to Aboriginal objects or places.

Policy 36

In the event that historical archaeological relics are exposed on the site, they must be appropriately documented, according to the procedures outlined in the archaeological methodology accompanying the application for an Excavation Permit. Should any unexpected archaeology be uncovered during excavation works the Heritage Council must be notified in accordance with Section 146 of the Heritage Act. Works must stop and a suitably qualified and experienced archaeologist must be brought in to assess the finds. Depending on the results of the assessment, additional approvals may be required before works can recommence on site.

Policy 37

Subsurface disturbance must be restricted where possible to reduce the impact on archaeological remains at this site.

Policy 38

Where works are proposed to be carried out in close proximity to known or probable archaeological relics able to be retained in situ, strategies must be put in place to ensure that construction work and/or heavy machinery do not disturb or damage those relics.

Guidelines

117-117A and its site and neighbouring vacant site to the south towards the Cahill Expressway are identified as an area with the potential for high archaeological sensitivity, See Sections 2.3, 2.8 and 3.5 including Figure 76 Archaeological Zoning Plan.

- There may be evidence of Aboriginal occupation. See Section 7.16
- The sub-floor areas of 117-117A were not disturbed during conservation works undertaken in 1994 and there is a high potential for deposits of State significance remaining insitu.
- Prior to the current building, a c1850s stables building and two small buildings dating from the 1850s-1880s were recorded on this site. There may be evidence of these previous buildings and their occupation remaining on the site.
- The below ground areas of the vacant site south of 117-117A towards the Cahill Expressway also has high potential for deposits of State significance remaining in situ. This was the site of the *Black Dog* hotel from c1803-1850, and a house c1865-1902. (See sections 2.3-2.8)
- The archaeological investigations undertaken in 1994 on the neighbouring Cumberland Street Big Dig Site (YHA), and rear yards to Jobbins Terrace at 103-111 Gloucester Street in 1991-2 provided a wealth of information.
- The archaeological material excavated in 1996 at the adjacent site of 1-3 Longs Lane alongside the Cahill Expressway provided c1830s evidence for the yard of the *Black Dog* hotel (a shallow well) and for c1840 terrace houses located on Longs Lane.

- As there was little evidence of any disturbance of archaeological remains in the immediate vicinity of the Cahill Expressway during works to 1-3 Longs Lane, it is considered that the high archaeological potential extends across the whole site right up the edge of the Cahill Expressway.

7.16 Aboriginal Objects and Places

Background

Aboriginal objects and places are protected under clauses of the NSW National Parks and Wildlife Act 1979.

Policy 39

Any potential Aboriginal object or place encountered on the site must be conserved in accordance with the requirements of the NSW National Parks and Wildlife Act 1979.

Guidelines

- There may be evidence of Aboriginal occupation on the site.
- In the event an Aboriginal object is unexpectedly discovered during works to this site, work shall immediately cease in the affected area and the Sydney Harbour Foreshore Authority and the NSW National Parks and Wildlife Service will be contacted for advice.
- Should disturbance be required where an Aboriginal object has been identified, an application for a permit under Section 90A of the National Parks and Wildlife Act will be required for prior to any disturbance or movement.
- The requirements for assessment and consultation including consultation with the Aboriginal community consultation as set out under the NPW Act and should be implemented.

7.17 Setting and Views

Background

117-117A Gloucester Street is a three-storey tenement building located at the southern end of Gloucester Street in The Rocks, and located in the Long's Lane precinct. The Long's Lane precinct as the immediate setting for 117-117A Gloucester Street provides an unique setting as part of an ensemble of 19th and early 20th century residential buildings, laneways and rear yards in The Rocks. Longs Lane is a rare extant public right of way known to have existed from the first decade of the nineteenth century.

117-117A Gloucester Street is situated on the western side of Gloucester Street and contributes to the terraced character of the streetscape which is established primarily by the Jobbins Terrace at 103-111 Gloucester Street.

As a three storey building with a rooftop terrace and laundry, 117-117A Gloucester Street has significant views to the north over neighbouring rooftops towards the Sydney Harbour Bridge and east towards Circular Quay. Occupying the last allotment on Gloucester Street before the Cahill Expressway overpass, 117-117A Gloucester Street has limited views south that are restricted by the Expressway and the building is made less noticeable within the streetscape by its remote location adjacent to the expressway and the larger scaled 1980s commercial buildings opposite. Key views and setting are included in figure 21.

Policy 40

The current setting and visual connections for 117-117A Gloucester Street as part of the Longs Lane precinct and key views along Gloucester Street, north to the Sydney Harbour Bridge and east towards Circular Quay and surrounding streetscape context must be maintained, as shown in figure 21.

Guidelines

- No additional street furniture, parking meters, parking signs, or bicycle racks should be installed in the Long's Lane precinct or on Gloucester Street immediately in front of 117-117A Gloucester Street.
- No new additional permanent fabric or street furniture should be added to the laneways that will be visible from the place.
- The laneways are to continue to be a public right-of-way.

7.18 Painting

Background

Regular painting forms an essential part of maintenance for a number of building materials, especially timberwork, and can extend their service life. Surfaces including stone and face brickwork that were never intended to be painted generally must not be painted.

Policy 41

117-117A Gloucester Street was designed to be presented with a common external colour scheme. While historic schemes are appropriate for the exterior of the building, they are not required. The external painted elements can be repainted in a different colour scheme with reference to colours appropriate to the period. To maintain consistency, a common exterior colour scheme must be applied across the whole building.

Policy 42

While historic schemes are appropriate for the major internal spaces such as the stairs, contemporary colour schemes may be used throughout. The internal colour scheme for the building interiors of 117 and 117A Gloucester Street can be changed and are not required to be identical. However, the finish of the walls in the laundry (room A1) must be retained.

Policy 43

New painting must be applied without disturbing the existing paint layers, unless these layers are loose, flaking or blistering.

Policy 44

Existing surfaces originally intended to be left unpainted (such as face brick and stone) must remain unpainted.

Guidelines

- Undertake research into original and subsequent colour schemes.
- Continue to use compatible exterior paint types and finishes. Continue to use Shellac on internal joinery.
- The traditional limewash used on masonry may be substituted with modified limewash of the same colour on exposed ledges such as chimney tops, or the top of parapet walls,

- Continue the use of compatible paint types and finishes to the interior of the buildings: with acrylic paint on the walls and ceilings and shellac on the joinery. Walls and joinery are not to be stripped prior to painting.
- On timber floors, a range of floor finishes are acceptable as long they do not require heavy re-sanding to be removed. Acceptable finishes include; Tung oil and water based sealants. A black Japan stain can also be used. Not acceptable are 2 pack epoxy and polyurethane finishes and liming.
- Stone or cement flooring is to be left unfinished or sealed with a water-based, breathable sealer.

7.19 Landscaping / Plantings

Background

Generally, gardening work does not require approval. However, if landscaping works involve more than normal garden works (i.e. paving, garden beds and plantings), and excavation of 500 mm or deeper is required (e.g. for drainage works), then approval from the Heritage Council of NSW is required and an archaeologist may need to be involved with the works. Trees should not be planted close to the houses as there is the potential for damage to the foundations.

Policy 45

Landscaping is acceptable providing it is appropriate for the area and does not damage building fabric (e.g. the activity of tree roots) and retains a visual connection between the rear yard and Longs Lane.

Removal of trees requires the approval of the NSW Heritage Council and the Council of the City of Sydney.

Guidelines

- The character of the rear yards is to be retained as open areas, with the present brick paving retained. The visual connections between the rear areas in Long's Lane must be retained, with only outbuildings and fences separating the public and private spaces.
- The paling fence can be rebuilt in unpainted hardwood only. No treated pine, colorbond or painted finish is to be used.
- Landscape are to be preceded by an investigation of the substrate and any paving, early footings, drains, cisterns or other water storage features and cess pits identified. Any significant surviving features, including early paving, are to be retained and incorporated into the landscaping of the rear yards.
- Any landscaping work which disturbs or removes soil and which may result in the disturbance of archaeological resources, such as excavation to lay paving or plant trees may require approval if the work is not covered under the Heritage Act's Standard Exemption for Excavation. Landscape maintenance is covered by a Standard Exemption. Refer to Archaeology Policies in Section 7.15.
- Garden beds may be built up on the ground surface of the rear yards. Elements such as trellises mounted on the walls, glass houses, freestanding sheds, BBQ structures, sun shades and the like do not affect the significance of the buildings provided they are reversible and do not affect the bitumen surface of the yards or the solid brick walls of the house.
- A garden shed or glass house can be introduced, subject to approval.
- No permissible works include
 - Trees – no new trees are to be planted in the ground.
 - No vines to be grown on the front of the house.

- No irrigation system is to be used near the walls of the house. Garden taps can be added – piping is to be surface run and kept below 1800mm.
- The following changes can be made without consent:
 - Garden surface – the existing surface is to remain. Removable raised garden beds or pots can be introduced without seeking approval.
 - Trees no higher than 3 metres could be grown in raised beds or pots.
 - Trellis – up to 2 metres above ground could be placed in pots against the back walls.
 - Sun sails, umbrellas and awnings are acceptable provided they are below the 1st floor window level in the back yard.
 - Window boxes and pots on the front verandahs are acceptable.
 - A temporary and removable BBQ can be introduced.

7.20 Signage and external lighting

Background

The Foreshore Authority encourages well-designed and positioned signs to assist leases/tenants to promote their business and reflect and reinforce the heritage values of The Rocks. Well-designed and targeted signs deliver a clear understanding of a business and encourage dialogue between commercial operators and patrons of the precinct.

Policy 46

External signage and lighting must be minimal. There is a very limited opportunity for introducing new lighting to the front of the terrace and any additional lighting or alternative lighting, if required, must be in harmony with the overall character of the place and complement the historic precinct. All new lighting design must comply with the Foreshore Authority's The Rocks Lighting Policy.

Guidelines

- All new work is to comply with the Foreshore Authority [The Rocks Lighting Policy 2009](#)
- For external lighting, the following is recommended:
 - Front porch - plain surface mounted lights can be mounted on wall with the wiring in the cavity. Lighting should be paired – i.e. for both houses. Detector switches are acceptable.
 - Rear of house – plain fittings on rear walls, kept low. Detector switches are acceptable.
- External floodlighting is not permissible.

Policy 47

Signage must be in harmony with the overall character of the place and complement the historic character of the buildings and precinct.

Guidelines

- All new external signage is to comply with the Foreshore Authority's [The Rocks Signage Policy 2013](#) and Commercial Signage Technical Manual for The Rocks and in particular guideline B 'Facades to Wide Streets').
<http://www.shfa.nsw.gov.au/content/library/documents/F0817C1F-016C-5AEF-8ABC3D8DA271B324.pdf>
- Signs about the presence of security cameras are to be discretely located on the front wall and rear timber fence.

7.21 On-going Maintenance and Repair

Background

The nature of any building is that its fabric will deteriorate due to the effects of age, weather, vegetation incursion, and use. To ensure the on-going conservation of significant building fabric, a regular maintenance schedule is to be implemented with regular inspections and for remedial action taken where necessary.

Policy 48

As a necessary minimum, ongoing maintenance must include works that ensure that each element retains its current level of significance and not allow the loss of significance due to deterioration of fabric, as required under Section 119 of the NSW Heritage Act, which sets out minimum standards for the maintenance and repair of State Heritage Register items.

The significant fabric of 117-117A Gloucester Street is to be maintained by the implementation of the short, medium and long-term maintenance program outlined in Section 8.3 of this CMP.

Policy 49

Changes to the building and site must be photographically recorded in accordance with NSW Heritage Division guidelines for photographic recording, and the record be submitted to the Foreshore Authority for archiving.

Guidelines

- The building fabric and services need continuing care and maintenance.
- Inspection and maintenance works should be undertaken by those with professional knowledge and demonstrated experience with heritage buildings and materials of this nature.
- Maintenance work or repairs should not negatively impact on significant fabric unless absolutely unavoidable.
- The technology of materials and systems used in repair is to be identical to, or highly compatible with the technology of the fabric being conserved. For instance, use limewash over limewash, lime based mortar to repair lime based pointing, etc.

7.22 Interpretation

Background

Interpretation of historic places can reveal long-term connections which underpin the cultural significance of a place. To "interpret" a cultural place, in its geographic and physical setting, is to bring its history to life that can increase the public's understanding, and, through this extended understanding, provide an enhanced perception of the significance of the place.

Policy 50

The heritage significance of 117-117A Gloucester Street should be interpreted off-site by appropriate methods in a way which explains the building to the public while respecting the privacy of the building's occupants.

Guidelines

- One of the components of the conservation management of 117-117A Gloucester Street is to make the values of its cultural significance accessible to the public. Refer to Section 4 for heritage significance values and section 5 for significance of individual building elements.

- The most important part of the significance of the buildings at 117-117A Gloucester Street, is that along with 140 and 142 Cumberland Street, is as remains of the large urban tenement terrace built by the NSW Housing Board. All of the land on which the demolished parts of that terrace stood is now built over, except for the open ground immediately to the south of the tenement remnants.
- The history, significance and setting of the Long's Lane precinct, could be highlighted in interpretive material, such as a walking guide, produced by the Sydney Harbour Foreshore Authority.
- In making significance accessible, the Foreshore Authority must take into account the policies and guidelines contained within the *ICOMOS International Cultural Tourism Charter*.
- Interpretation at 117-117A Gloucester Street is to take into account all periods of development and occupation in the context of the history of The Rocks area, including its archaeology, under the management of the Foreshore Authority, and must be presented in an accurate and insightful manner.
- Ongoing research should be carried out in order to enhance the understanding of 117-117A Gloucester Street and the Long's Lane Precinct. Such research should include actively collecting oral histories of people who lived in the buildings prior to conservation works (including individuals who squatted in the buildings).

8 Implementing the Plan

This Conservation Management Plan has been prepared to provide guidelines for the conservation, re-use, interpretation and management of 117-117A Gloucester Street and to ensure that the heritage value of the place is maintained and enhanced.

This section sets out the implementation guidelines for the policies, including a list of management issues and a list of exemptions that can be endorsed by the Heritage Council which will not require further reference for approval.

8.1 Minimum Standards of Maintenance and Repair

Section 119 of the NSW *Heritage Act 1977* requires that owners of State Heritage Register items ensure that minimum standards of maintenance and repair are adhered to in order to prevent damage to the item through neglect. In particular, the Heritage Division of the NSW Office of Environment and Heritage identifies the areas of weatherproofing, fire protection, security, and essential maintenance as areas for regular consideration.

On the basis of the site inspection conducted in the preparation of this report, it is considered that the current arrangements satisfy the minimum standards as set out in the table below.

Schedule for Site Inspections	
Standard	Comment
Weatherproofing	Roofing, rainwater goods, door and window fabric, and surface drainage appear to be in working order and in sound condition.
Fire protection	Smoke alarms are installed. No vegetation or rubbish is accumulated about the site. Electrical wiring appears to be in order.
Security	Brick walls provide security to the ground floor courtyard area. All of the external door locks are in working order.
Maintenance and repair	Structural components were substantially upgraded in the 1990s.

In order to maintain compliance with the minimum standards of maintenance and repair, the following recommendations should be implemented:

Schedule for Minimum Standards of Maintenance and Repair	
Standard	Comment
Site Inspections	Regular inspections of all areas of the property (on annual basis at least) by a suitably qualified person must continue to take place in order to identify newly arising areas to be addressed. During these inspections, weatherproofing, fire protection, and security systems must be checked.
Drainage	All drainage systems (surface/sub-surface, roof drainage) must be cleaned annually.
Fire protection	Smoke alarms must be tested annually.
Maintenance and repair	All fences, gates, doors, and windows must be maintained in a working, lockable condition.

8.2 Schedule of Conservation Works

Generally, the condition of fabric can be rated as follows:

Condition Ratings		Description
5	Excellent	Building or fabric element has no defects. Condition and appearance are as new.
4	Good	Building or element exhibits superficial wear and tear, minor defects, minor signs of deterioration to surface finishes, but does not require major maintenance. No major defects exist.
3	Fair	Building or element is in average condition. Deteriorated surfaces require attention. Services are functional but require attention. Deferred maintenance work exists.
2	Poor	Building or element has deteriorated badly. Serious structural problems exist. General appearance is poor with eroded protective coatings. Elements are defective, services are frequently failing, and significant number of major defects exists.
1	Very Poor	Building or element has failed. It is not operational and is unfit for occupancy or normal use.

These condition grades can indicate the level of intervention required.

For example, for elements in Very Poor condition, reconstruction may be the only available option.

For elements assessed as being in Poor or Fair condition, various degrees of repair or maintenance may be required, immediately or in the short term, to prevent further deterioration and the subsequent loss of significance, within 12 months.

Elements in Good condition may need some maintenance but the need for repair is not anticipated in the next two or three years.

Elements in Excellent condition are likely to need only minor maintenance in the next five to ten years.

Current condition

In 2016, the tenements at 117-117A Gloucester Street appear to be in excellent condition, having been maintained carefully since the conservation works in 1994-95.

There were no only areas identified during the fabric survey which require attention in the short term, apart from minor ceiling damage in the kitchen which can be attended to as part of the normal maintenance program.

Schedule of Conservation Works 117-117A GLOUCESTER STREET - EXTERIOR			
Element	Significance	Condition	Action / Treatment
Generally			
Form of roof	Exceptional	5	No action necessary.
Galvanised steel roof sheeting	Moderate	5	No action necessary.
Marseilles pattern tiles	High	5	No action necessary.
Face brick balustrade with bullnose coping to roof terrace	Exceptional	5	No action necessary.
Galvanised ripple iron balustrade with metal capping to roof terrace	Moderate	5	No action necessary.
Floor covering to roof terrace - vitrified clay tiles	Moderate	3	Investigate possible leaking causing ceiling damage in second floor hall.
Form and fabric of rainwater goods	Moderate	4	No action necessary.
Brick window sills and heads	Exceptional	5	No action necessary.
Form and fabric of chimneys	Exceptional	5	No action necessary.
Chimney pots	High	5	No action necessary.
Metal underfloor vents	Moderate	5	No action necessary.
East Elevation			
Form and fabric of walls	Exceptional	5	No action necessary.
Pattern of fenestration	Exceptional	5	No action necessary.
Form and fabric of verandahs	Exceptional	5	No action necessary.
Timber fascia, battens, bargeboards to gable	High	5	No action necessary.
North Elevation			
Form and fabric of walls	Exceptional	5	No action necessary.
South Elevation			
Form of walls	Exceptional	5	No action necessary.
Render to brick walls	Little	5	No action necessary.
Timber battened compressed cement sheet to gable	High	5	No action necessary.
West Elevation			
Form of walls	Exceptional	5	No action necessary.
Render to brick walls	Little	5	No action necessary.

Schedule of Conservation Works 117-117A GLOUCESTER STREET – INTERIOR				
Room No.	Fabric Description	Significance	Condition	Action / Treatment
Ceilings				
A13, A11, A14	Set plaster / render over concrete	Exceptional	4	No action necessary.
A12, A7, A9, A8, A10, A5	Plaster	High	4	No action necessary.
A2, A4, A3, A6	Plaster / timber battens	High	4	No action necessary.
A15, A16, A17, A1	Ripple iron / timber battens	High	4	No action necessary.
B1	Plywood / timber battens	High	4	No action necessary.
Cornices				
A16, A17, A1	Ovolo	Exceptional	5	No action necessary.
Walls				
A13, A11, A12, A14, A15, A16, A17, A7, A9, A8, A10, A2, A4, A3, A5, A6	Set plaster	Exceptional	4	No action necessary.
B2, A15	Rendered / painted brick	Moderate	4	No action necessary.
B3, A16, B2, B1, A5, A1	Face brick	Exceptional	4	No action necessary.
Skirtings				
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3	Incised skirting (generally 200mm)	Exceptional	5	No action necessary.
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3, A5	38mm timber quad	Moderate	5	No action necessary.
B2	19mm timber quad	Moderate	5	No action necessary.
A16, A17	Terracotta tile	Moderate	4	No action necessary.
Floors				
A13, A11, A14, A15, B2, A7, A9, A8, A10, B1, A2, A4, A3	Timber floorboards	High	4	No action necessary.
B3	Cement	Exceptional	4	No action necessary.
A16, A17	Terracotta tile	Moderate	4	No action necessary.

Schedule of Conservation Works 117-117A GLOUCESTER STREET – INTERIOR				
Room No.	Fabric Description	Significance	Condition	Action / Treatment
A5, A6, A1	Linoleum over timber boards	Moderate	4	No action necessary.
Roof terrace	Vitrified clay tiles	Moderate	3	No action necessary.
Doors				
Door assemblies throughout	Architraves and frames	Exceptional	4	No action necessary.
D6, D13, D22, D23	Glazed French doors	High	4	No action necessary.
D1, D2, D3, D4, D5, D12, D13, D14, D15, D21, D22, D20, D19, D18	Timber framed fanlights	Exceptional	4	No action necessary.
D1, D11	Two-panel half glazed timber doors	High	4	No action necessary.
D2, D3, D4, D5, D7, D12, D14, D15, D21, D20, D19, D18	Four-panel timber doors	High	4	No action necessary.
D8, D9, D10, D16, D17	Flush timber doors	Moderate	4	No action necessary.
Door (unnumbered) space B2, D24, D25	Timber ledged and sheeted V-jointed board door	Moderate	4	No action necessary.
Windows				
W5, W6, W7, W8, W10, W11, W16, W17, W22, W23	Timber casement windows	Exceptional	4	No action necessary.
W10, W11, W16, W17	Three pane glazed fanlights over casement windows	Exceptional	4	No action necessary.
W1, W2, W3, W4, W12, W13, W14, W18, W20, W21, W15	Timber double hung, two/six pane sashes with horns	Exceptional	4	No action necessary.
W9 (Room A17), W19	Timber framed fixed, frosted glass louvres	Exceptional	4	No action necessary.
Other				

Schedule of Conservation Works 117-117A GLOUCESTER STREET – INTERIOR				
<i>Room No.</i>	<i>Fabric Description</i>	<i>Significance</i>	<i>Condition</i>	<i>Action / Treatment</i>
A15, A7, A8,	Timber chimneypiece	High	5	No action necessary.
A12, A14, A15, A9, A8, A10	Cement rendered hearth	Exceptional	5	No action necessary.
A10, A4	Timber staircase, balusters, handrail	Exceptional / High	4	No action necessary.
A6	Enamel cast iron bath	Exceptional	4	No action necessary.
A10	Brick chimney breast	Exceptional	5	No action necessary.
A10, B1	Timber shelving / cupboard	Moderate	5	No action necessary.
A12, A15, A7, A10, A3	Plaster vents	Exceptional	5	No action necessary.
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4	Picture rails	Exceptional / High	5	No action necessary.
Bathroom / lavatory fitouts				
A17, A6	Ceramic tile wall, skirting, floor; tile splashback, shower recess, basin, laundry tub, mirror, vanity, w.c.	Little	4	No action necessary.
Kitchen fitouts				
A15, A10	Timber kitchen cabinetry and benchtops, sink, appliances	Little	4	No action necessary.

8.3 On-going Maintenance

The on-going maintenance schedule refers to cyclical maintenance works to fabric that must be implemented by the Authority as part of the process of on-going management of 117-117A Gloucester Street. Work performed and any faults discovered or repairs made must be recorded and kept separately alongside a copy of this maintenance schedule.

While extant, all structural fabric and building elements that provide weatherproofing (irrespective of significance) must be maintained to ensure the stability and integrity of significant elements.

The following schedule has been organised by building material and/or elements to provide a scope of works for each building trade involved in maintenance works.

Any obvious faults in the building fabric (for example, cracking or leaking) that may develop in the future must be addressed immediately rather than waiting for the time period listed below.

All maintenance works, patch repairs, and more major repairs to significant fabric must take place under the supervision of a qualified heritage architect.

Schedule of Ongoing Maintenance			
117-117A GLOUCESTER STREET - EXTERIOR			
<i>Element</i>	<i>Every Year</i>	<i>Every 5 Years</i>	<i>Every 10 Years</i>
Generally			
Form of roof	Inspect and repair as necessary.	Check for structural faults and take remedial action.	
Galvanised steel roof sheeting	Check over metal sheet roofing and repair if needed.		Renew galvanised metal roofing * every 30 years+.
Marseilles pattern tiles	Check over tiles for any single failures.		Check roof and assess need for major tile repairs.
Face brick balustrade with bullnose coping to roof terrace	Inspect and repair as necessary.	Check balustrade for structural faults and take remedial action.	
Galvanised ripple iron balustrade with metal capping to roof terrace	Check ironwork and spot repair and repaint if needed.	Repaint.	
Floor covering to roof terrace - vitrified clay tiles	Check over tiles for any single failures.		Check floor covering to roof terrace and assess need for major tile repairs.
Form and fabric of rainwater goods	Inspect and clean out eaves gutters, box gutters, downpipes, and rainwater heads.		Renew galvanised steel guttering and downpipes.
Brick window sills and heads			Renew finish and repair as necessary.
Form and fabric of chimneys	Inspect and repair as necessary.	Check for structural faults and take remedial action.	
Chimney pots	Inspect and repair as necessary.	Repaint.	
Metal underfloor vents	Check metalwork and spot repair and repaint if needed.	Repaint.	

East Elevation			
Form and fabric of walls	Check flashings to masonry cornices and repair if needed.	Check for structural faults and take remedial action.	Paint rendered surfaces that are already painted.
Form and fabric of verandahs	Check flashings to masonry cornices and repair if needed.	Check for structural faults and take remedial action.	
Timber fascia, battens, bargeboards to gable		Check roof timbers for structural faults and take remedial action.	Repaint.
North Elevation			
Form and fabric of walls	Check flashings to masonry cornices and repair if needed.	Check for structural faults and take remedial action.	Paint rendered surfaces that are already painted.
South Elevation			
Form of walls	Check flashings to masonry cornices and repair if needed.	Check for structural faults and take remedial action.	
Render to brick walls	Inspect and repair as necessary.		Paint rendered surfaces that are already painted.
Timber battened compressed cement sheet to gable		Check roof timbers for structural faults and take remedial action.	Repaint.
West Elevation			
Form of walls	Check flashings to masonry cornices and repair if needed.	Check for structural faults and take remedial action.	
Render to brick walls	Inspect and repair as necessary.		Paint rendered surfaces that are already painted.

Schedule of Ongoing Maintenance

117-117A GLOUCESTER STREET - INTERIOR

Room No.	Fabric Description	Every Year	Every 5 Years	Every 10 Years
Ceilings				
A13, A11, A14	Set plaster / render over concrete	Patch repair as needed.		Repair and repaint.
A2, A3, A12, A7, A9, A8, A10, A5	Plaster		Patch repair as needed.	Repair and renew finish.
A4, A6	Plaster / timber battens		Patch repair as needed.	Repair and renew finish.
A15, A16, A17, A1	Ripple iron / timber battens		Patch repair as needed.	Repair and renew finish.

Schedule of Ongoing Maintenance 117-117A GLOUCESTER STREET - INTERIOR				
Room No.	Fabric Description	Every Year	Every 5 Years	Every 10 Years
B1	Plywood / timber battens		Patch repair as needed.	Repair and renew finish.
Cornices				
A15, A16, A17, A1	Ovolo	Patch repair as needed.		Repair and renew finish.
Walls				
A13, A11, A12, A14, A15, A16, A17, A7, A9, A8, A10, A2, A4, A3, A5, A6	Set plaster	Patch repair as needed.		Repair and repaint.
B2, A15	Rendered / painted brick		Patch repair as needed.	Repair and repaint.
B3, A16, B2, B1, A5, A1	Face brick		Patch repair as needed.	Repair and renew finish.
Skirtings				
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3	Incised skirting (generally 200mm)	Patch repair as needed.		Repair and repaint.
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4, A3, A5	38mm timber quad	Repair or replace as needed.		Repair and repaint.
B2	19mm timber quad	Repair or replace as needed.		Repair and repaint.
A16, A17	Terracotta tile		Check over and refix tiles, renew seals.	
Floors				
A13, A11, A12, A14, A15, B2, A7, A9, A8, A10, B1, A2, A4, A3	Timber floorboards	Patch repair as needed.		Repair and renew finish.
B3	Cement			Repair as necessary.
A16, A17	Terracotta tile		Check over and refix tiles, renew seals.	
A5, A6, A1	Linoleum over timber boards			Repair as necessary.
Roof terrace	Vitrified clay tiles		Check over and refix tiles, renew seals.	

Doors				
Door assemblies throughout	Architraves and frames	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
D6, D13, D22, D23	Glazed French doors	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
D1, D2, D3, D4, D5, D12, D13, D14, D15, D21, D22, D20, D19, D18	Timber framed fanlights		Repair as needed.	Repair and repaint / renew finish.
D1, D11	Two-panel half glazed timber doors	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
D2, D3, D4, D5, D7, D12, D14, D15, D21, D20, D19, D18	Four-panel timber doors	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
D8, D9, D10, D16, D17	Flush timber doors	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
Door (unnumbered) space B2, D24, D25	Timber ledged and sheeted V-jointed board door	Oil locks and hinges.	Repair as needed.	Repair and repaint / renew finish.
Windows				
W5, W6, W7, W8, W10, W11, W16, W17, W22, W23	Timber casement windows		Ease. Repair as needed.	Repaint previously painted surfaces.
W10, W11, W16, W17	Three pane glazed fanlights over casement windows		Ease. Repair as needed.	Repaint previously painted surfaces.
W1, W2, W3, W4, W12, W13, W14, W18, W20, W21, W15	Timber double hung, two/six pane sashes with horns		Ease. Repair as needed.	Repaint previously painted surfaces.
W9 (Room A17), W19	Timber framed fixed, frosted glass louvres		Ease. Repair as needed.	Repaint previously painted surfaces.
Other				
A15, A7, A8,	Timber chimneypiece			Repair and repaint.
A12, A14, A15, A9, A8, A10	Cement rendered hearth			Patch repair as necessary.

A10, A4	Timber staircase, balusters, handrail		Check over for structural faults and take remedial action.	Repaint.
A6	Enamel cast iron bath	Check ironwork and spot repair and repaint if needed.	Repaint.	
A10	Brick chimney breast			Patch repair as necessary.
A10, B1	Timber shelving / cupboard		Patch repair as necessary.	Repaint.
A12, A15, A7, A10, A3	Plaster vents		Patch repair as necessary.	
A13, A11, A12, A14, A15, A7, A9, A8, A10, A2, A4	Picture rails			Repair and repaint.
Bathroom / lavatory fitouts				
A17, A6	Ceramic tile wall, skirting, floor; tile splashback, shower recess, basin, laundry tub, mirror, vanity, w.c.		Check over and refix tiles, renew seals.	Repaint previously painted surfaces. Upgrade fittings as necessary.
Kitchen fitouts				
A15, A10	Timber kitchen cabinetry and benchtops, sink, appliances			Repaint previously painted surfaces. Upgrade fittings as necessary.

9 Bibliography

The following sources were consulted in the preparation of this report. See also the captions to the images for additional references.

Primary Sources

Mitchell Library

Manuscript Catalogue

Picman Catalogue

Sands Directory 18588-1932

New South Wales Government Gazette 18 January 1839

Land Titles Office

Old System titles

Torrens Titles

State Records of NSW

Concise Guide to the Archives; re. Housing Board

City of Sydney Archives

Rate Assessment Books – Gipps Ward 1845-1907

Sydney Harbour Foreshore Authority

Photographic Collection

- 259946 GL 105 Gloucester Lane (off Essex St) behind Lilyvale (Cumberland St) - 1965 - copyright Val Sowada
- 259981 CU Back - 130-142 Cumberland - 1972-3 - Harry Lapham
- 31449 CD 01 - 124 Cumberland Street - looking south - 1901 - SHFA
- 31512 CD 05 - Carahers Lane off Cumberland Place - SHFA - 1-11 Carahers Lane Looking South - Rear of 101 Gloucester St - 1901
- 31723 GL 28 - 121 Gloucester Street - looking south - Outside Ocean Wave Hotel c1901. SHFA
- 31759 GL 36 - 101 Gloucester St looking north to Whalers Arms c1901 - SHFA
- 31789 GL 42 - Rear of 103-105 Gloucester Street buildings c1980s
- 31820 GL 49 - 117-117A-119 Gloucester St c1970s.
- 31839 GL 50 View over The Rocks - Looking south across Gloucester and Cumberland streets - c 1904
- 32501 CD 44 - 146-148 Cumberland St, rear view - 1901 - State Records
- 32573 CD 59 -Transplanted tree from Alfred St to north end of Cumberland St, 130-148 Cumberland - 1936
- 32628 CD 80 - York St North, the extreme end (Cumberland St) - 1914 - SLNSW
- 32846 CD 121 - 140-152 York St North (Cumberland) looking south to the corner of Little Essex St (detail) - undated - SLNSW
- 32851 CD 122 - 140-152 York St North (Cumberland) looking south to the corner of Little Essex St - undated - SLNSW
- 34103 GL 85 - Rear Yards 2-14 Gloucester St c1901- now Foundation Park rear of Tara Terrace - Argyle Terrace
- 34684 GL 99 - 103-111 Gloucester St - Jobbins Building - 1972 - Harry Lapham
- 34688 GL 99.1- 103-111 Gloucester St - Jobbins Building - 1972 - Harry Lapham
- 48870 GLM 24 - Rear 113-119, Gloucester St - 1978
- 48871 GLM 25 - 113-119 Gloucester St - 1950s
- 48876 GLM 30 - 103-119 Gloucester St - 1978
- 48878 GLM 35 - Rear view, 109-119 Gloucester St - 1978
- 48941 GLM 37 - Rear view, 105-119 Gloucester St - 1978
- 48991 GLM 65 - Fireplace, 117-119 Gloucester St - undated
- 49040 GLM 107 - 113-119 Gloucester St - 1973
- 49042 GLM 108 - 113-119 Gloucester St - undated
- 49044 GLM 110 - 113-119 Gloucester St - undated
- 49045 GLM 112 - 113-119 Gloucester St - undated

Sydney Water
Historic plans collection

Secondary Sources

Blackmore, K., 'A Good Idea at the Time: the redevelopment of the Rocks' in Webber, GP (ed.), *The Design of Sydney: three decades of change in the city centre*, Sydney: 1998.

Clive Lucas, Stapleton & Partners Pty Ltd, *Long's Lane Precinct: Conservation Analysis and Interim Conservation Guidelines*, for the Sydney Cove Authority, 1991.

Higginbotham, Edward, *Historical and Archaeological Analysis of the Block Bounded by Cumberland and Gloucester Streets, and the Cahill Expressway, The Rocks, Sydney NSW*, for Develco Pty Ltd, March 1989.

Kass, Terry, *Historical Analysis, 1788 to c1850. Cumberland Place Site, The Rocks, Sydney*, for Develco Pty Ltd, March 1989.

Fitzgerald, Shirley, *Rising Damp*, Melbourne, 1987.

Ford, W & F, *Sydney Directory, 1851*, Sydney, reprinted 1978.

Fowles, Joseph, *Sydney in 1848*, Sydney, reprinted 1970.

Lea-Scarlett, Errol, *Gundaroo*, Canberra, 1972.

Low, Francis, *The City of Sydney Directory, 1844-1845*, Sydney, reprinted 1978.

Perumal, Murphy and Alessi, Pty. Ltd, *Terraces, Nos. 46-56 Gloucester Street, The Rocks, Conservation Management Plan*, for the Sydney Harbour Foreshore Authority, 2005.

Pike, D (ed.), *Australian Dictionary of Biography*, Melbourne, from 1966.

Radi, H, P. Spearritt, E. Hinton, *Biographical Register of New South Wales Parliament 1901-1970*, Canberra, 1979.

Sainty, MR & KA Johnson (eds.), *Census of New South Wales, 1828*, Sydney, 1985.

Spearritt, Peter, *Sydney's Century: a history*, Sydney: UNSW Press, 1999.

Walker, Eliza, 'Old Sydney in the 'Forties', in *Royal Australian Historical Society Journal*, Vol. 16, 1930-31, pp. 293-320.

Additional references used for updated significance and typology (2014)

Adcock, James & University of Technology, Sydney. Faculty of Design, Architecture and Building 2006, *Residential flats in Sydney : development of a building type, 1887 – 1914*.

Blackmore, Kate 1988, 'A good idea at the time: the redevelopment of the Rocks' *The Design of Sydney*, no. 1988, pp. 120-139.

Boyd, Noni, *Gloucester Street, the Rocks (from the Argyle Cut to the Cahill Expressway) : a study of its development and conservation*, 1997.

Boyd, Noni, *No sacrifice in sunshine Walter Liberty Vernon, architect, 1846-1914*, 2010.

Fitzgerald, Shirley & Keating, Christopher John, *Millers Point, the urban village*, Hale & Iremonger, Sydney, 1991.

Fitzgerald, Shirley, *Sydney 1842-1992*, Hale & Iremonger, Sydney, 1992.

Keane, Christopher John, *Darling Harbour to Daceyville : the housing reform movement in Sydney 1900 to 1915*, 1993.

Rice, Jean & Boyd, Noni, *Terrace Houses in The Rocks, A Comparative Analysis & Assessment of Significance*, for Sydney Harbour Foreshore Authority, 2014.

Volke, Harvey, *The politics of state rental housing in New South Wales, 1900 - 1939 : three case studies*, 2006.

Zanardo, Michael, 'Future Affordable Housing Typologies for Sydney: Learning from Local Precedent' *2009 Housing Researchers Conference refereed conference proceedings*, City Futures Research Centre, Kensington, N.S.W., 2009.

Zanardo, Michael, 'The Sydney Municipal Council Workers' Dwellings 1914-1927: Four Typological Case Studies in Urban Affordable Housing' *Australasian Urban History / Planning History Conference Proceedings*, 2010.

Zanardo, Michael, 'What early workers' housing in Sydney can teach us' Royal Australian Institute of Architects. New South Wales Chapter 1983, *Architecture bulletin*, Royal Australian Institute of Architects, NSW Chapter, Potts Point, N.S.W, Autumn 2014.

10 Appendix 1

Sands Directory listings for 117 Gloucester Street

	93	95
1858	Unoccupied	Henry Fitzpatrick, bootmaker
1861	Patrick Mannion	William Wire, blacksmith
1863	no listing	no listing
1864	Richard Harper	no listing
1865	Richard Harper	John O'Brien, mariner
1866	George Donnelly	William Finn, shoemaker
1867	Vacant	
1868	John Smith, mariners	J Fanes
1869	James Wall, cabinet maker	Joseph North
1870	Thomas Guddy	Joseph Firth
1871	Thomas Cuddy	
1873	Mrs Corvett	no listing
1875	Mrs Mary Ann Corbett	no listing
1876	Edward Hayward	no listing
1877	Mrs Rebecca Bates, laundress	no listing
1878		no listing
1879		no listing
1880		no listing
1881		no listing
1882	no listing	Roberts Bros, butchers Patrick Maloney, cab proprietor
1883	no listing	no listing
1884	Patrick Maloney, cab proprietor	no listing
1885		no listing
1886		no listing
1887		no listing
1888	not listing for remainder of Directories	Patrick Maloney, cab proprietor
1889		
1890		
1891		Patrick Maloney, dairy keeper
1892		
1893		
1894		
1895		
1896		
1897		
1898		Patrick Maloney
1899		
1900		Patrick Maloney, cab proprietor
1901		
1902		
1903		no listing
1904		no listing
1905		no listing
1906		no listing

1907		no listing
1908		no listing
1909		no listing
1910		no listing
1911		no listing
1912		no listing
1913		no listing
1914		no listing
1915		Charles Smith
1916		
1917		
1918		
1919		
1920		
1922		
1923		
1924		
1925		
1926		
1927		
1928		
1929		
1930		
1931		
1932-33		