

46–56 Gloucester Street, The Rocks

SHR No. 01609

Conservation Management Plan

Report prepared for NSW Land and Housing Corporation

October 2016



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Report Register

The following report register documents the development and issue of the report entitled 46–56 Gloucester Street, The Rocks—Conservation Management Plan, undertaken by GML Heritage Pty Ltd in accordance with its quality management system.

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15-0496A	9	Revised Extended Final Report	25 October 2016
15-0496A	10	Final Report	31 October 2016

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Date:	31 October 2016	Date:	31 October 2016

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Cover Image: 2012 photograph looking north along the row of flats at 46–56 Gloucester Street, the Rocks (Source: Anthony Mitchell, Land and Housing Corporation)

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Part 1

46–56 Gloucester Street, The Rocks

SHR No. 01609

Conservation Management Plan

Report prepared for NSW Land and Housing Corporation

October 2016



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How to Use This Document

This Conservation Management Plan (CMP) is for the block of sixteen maisonette flats within the building known as 46-56 Gloucester Street, The Rocks. It is designed to safeguard the heritage values of the properties and to assist owners and all those making decisions about the individual flats and common property registered under the strata plan.

Part 1, Sections 1—9 of this report deal with the property as a whole. They include:

- areas of possible change (represented in the form of plans/elevations for the whole building) (Section 0.0);
- an introduction to the study, including a description of the document's aims and methodology (Section 1.0);
- a historical analysis of the building and site (Section 2.0);
- a description of the physical evidence of the building and the site as a whole (Section 3.0);
- a description and assessment of the heritage significance of components of the building that must be retained and conserved; and the different flat typologies within the building (Section 4.0);
- comparative analysis of similar properties (Section 5.0);
- assessment of the heritage significance of the building and site using SHR criteria (Section 6.0);
- a schedule of priority conservation works and a cyclical maintenance plan, describing recommended maintenance activities and timeframes (Section 7.0); and
- an identification of constraints and opportunities affecting the building (Section 8.0), and policies to guide any changes to the place (Section 9.0).

This information is intended for owners and the owners' corporation to enable understanding of the type of change that may be possible and broader heritage management requirements governing individual and common property.

Part 2 of this report covers the sixteen individual flats, numbered as Sections 1.0 through to 16.0. These sections provide succinct, detailed information for the benefit of individual flat owners and include:

- a summary of heritage significance;
- a physical description;
- plans indicating the phases of development;
- photographic survey of significant components, elements and spaces;
- diagrams and schedules showing the gradings of significance and condition descriptions;
- priority conservation works schedules;

- general and specific conservation policies; and
- plans showing areas of possible change.

References and Acknowledgement

This CMP draws on a number of sources that are identified in the text (see also Part 1 Section 10.0). The format is based in part on the Millers Point Conservation Management Plans Standard Guidelines for LAHC Properties, a report prepared for the NSW Land and Housing Corporation in June 2015 by GML Heritage.

Executive Summary

This Conservation Management Plan (CMP) applies to the block of flats at 46–56 Gloucester Street, The Rocks.

46–56 Gloucester Street was designed and purpose-built by the state as model housing for workers. It is a four-storey residential block consisting of 16 maisonette flats arranged in two tiers. It occupies a prominent location at the northern end of Gloucester Street, making a significant contribution to the streetscapes of terrace housing on the eastward slope of The Rocks peninsula.

The building is a benchmark in the development of public housing and residential flat development in Australia. Utilising the traditional terrace form, it anticipates the development of residential flats in the mid-twentieth century in its use of common stairways and verandahs, multi-storey construction, services tunnel and in its unity of form, layout and style.

The building was designed to provide healthy living environments with good natural light and ventilation to all rooms, and used innovative building techniques and materials such as steel framing, concrete slabs and lightweight concrete partition walls. It has survived as a remarkably intact and representative example of this type of construction, with only minor changes having been made.

In use for public housing continually since it was commissioned in 1908, 46–56 Gloucester Street was managed first by the Sydney Harbour Trust, then the Maritime Services Board and finally the Department of Housing and its successors. As such, it has an unbroken connection with government initiatives to provide and maintain homes for the welfare of the working communities of The Rocks and Millers Point.

The building is a listed item on the State Heritage Register (SHR) and on the NSW Department of Housing Heritage and Conservation Register (S170 Register). The property lies within The Rocks, which is covered by the Sydney Cove Redevelopment Authority (SCRA) Scheme. This scheme has equivalent status to the LEP. It is within the area of The Rocks Conservation Area, which is a listed item on the SHFA s170 Register .

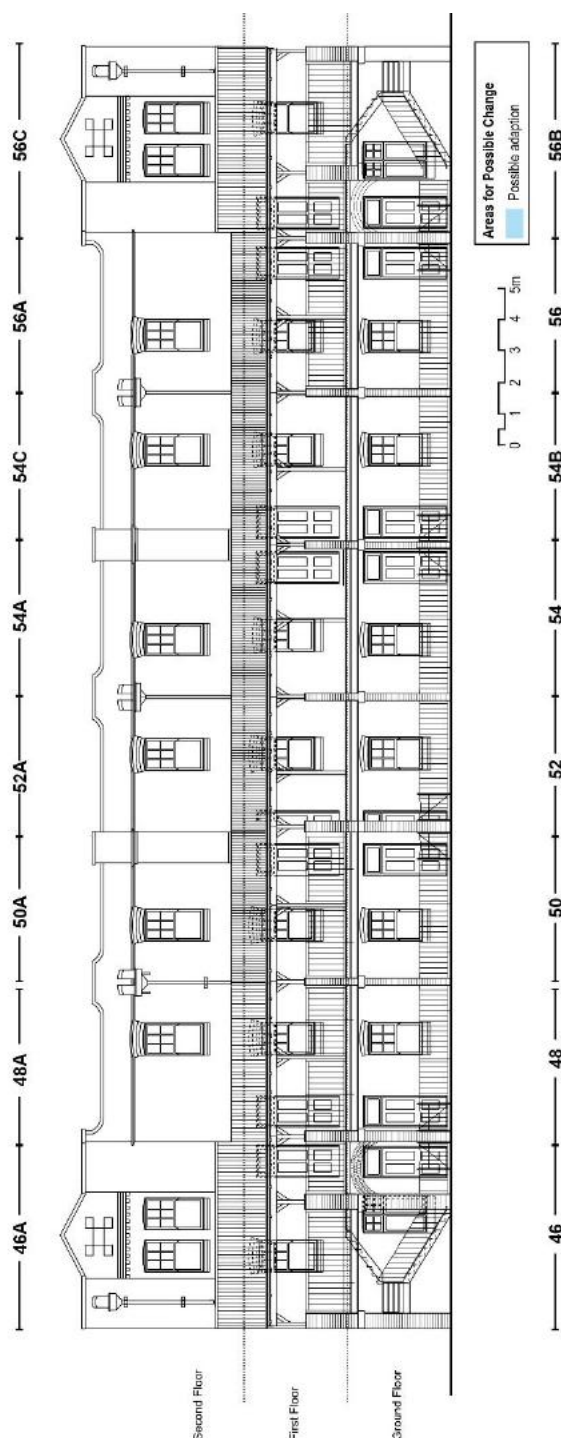
The condition and integrity of the flats have been retained through ongoing management and maintenance by public agencies. All flats in the block are in a similar condition, having been restored and upgraded in a consistent fashion in the 1980s and then subsequently repaired and upgraded again in 2010-11. To conserve and retain significance, these flats, and the building as a whole, should remain in residential use, and will be managed under a registered strata plan, through new owners and the owner's corporation taking a common approach that respects the distinctive character and heritage values of the flats as a homogenous group of dwellings contained within a single building envelope.

This report outlines the opportunities and constraints which guide how changes need to be managed and recognises the need for contemporary living arrangements within a building of exceptional heritage value.

This CMP sets out in detail, the significance and history of development of the building and its components, and priority conservation works. It also contains general and specific conservation policies for management of the flats and the common elements and areas, as well as identifying areas for possible change in the building in accordance with the building's exceptional heritage significance at state and local level.

Areas for Possible Change Diagrams

The following diagrams indicate areas for possible change to the building at 46–56 Gloucester Street, The Rocks. Constraints and opportunities relating to use and development are discussed in Part 1 Section 8.0 of this CMP and policies relating to care and development, including possible changes to specific elements and areas are included in Part 1 Section 9.0. More detailed information on individual flats is included in the Part 2 which contains sections that relate specifically to individual flats (sections 1-16).



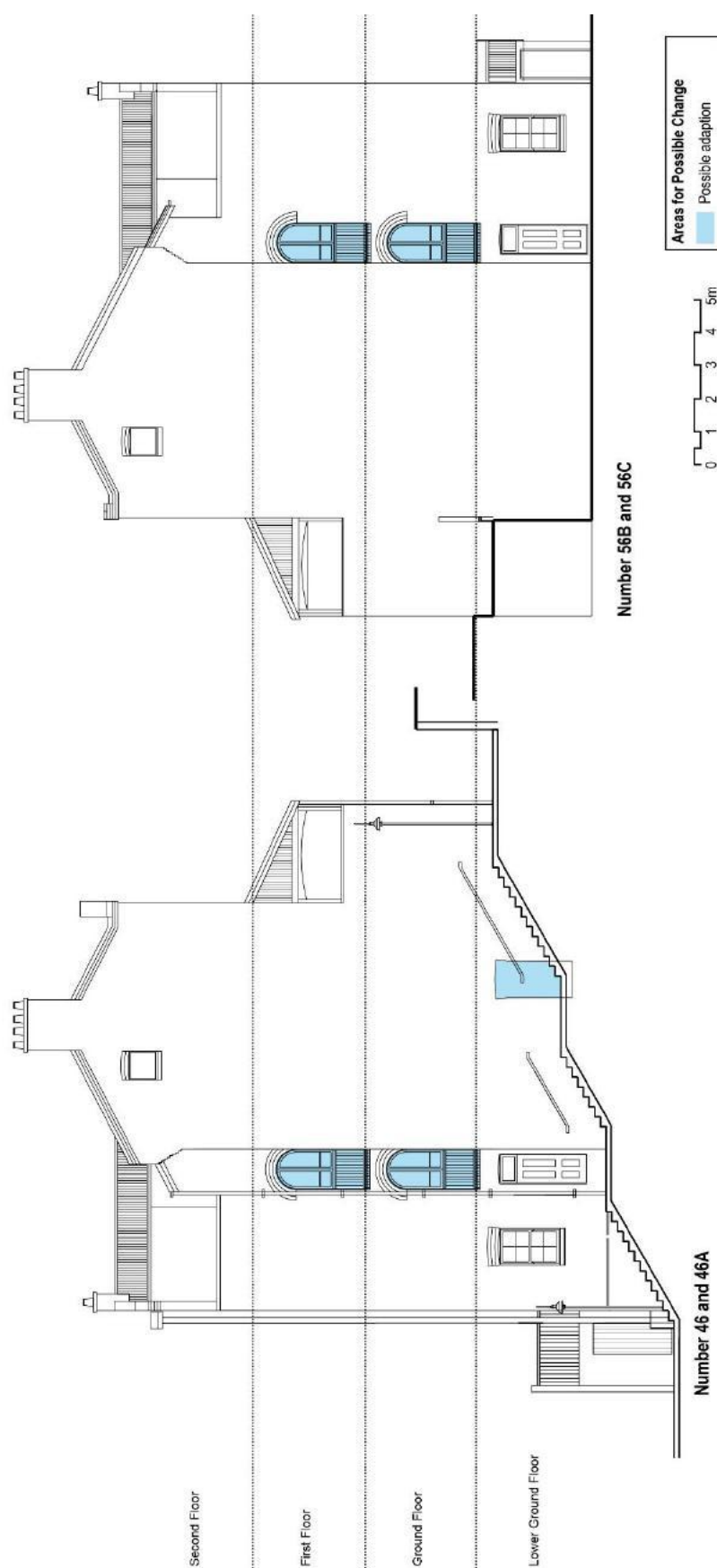
- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Replacement of deteriorated roof sheeting and roof plumbing at the end of its life cycle may occur.
- The configuration of existing roof plumbing should be retained.
- Existing letterboxes should be retained in their current locations.
- Change to the verandahs is not permitted except where indicated in Policy 70 Fire Safety.
- All change, including potential change under Policy 70, is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat.
- For all potential change, refer to detailed conservation policies in Section 9.0.

Figure 0.1 46–56 Gloucester Street (west) elevation—areas for possible change. (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of this CMP.



- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Rear wing WCs: intrusive wire mesh (Flats 54, 54B, 56) should be replaced with louvred glass in existing timber frames to match original handmade glass (as found in Flat 46).
- Flat 52: Ground floor rear window of Flat 52 may be reinstated as door consistent with the other rear doors to ground floor flats. The original brick opening, arch and arch bars should be retained. Details and joinery should match details in other flats.
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.0

Figure 0.2 46–56 Gloucester Street (east) elevation—areas for possible change. (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of this CMP.



- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Rear porches: later infill may be replaced but any new infill elements must continue to interpret the porch timber balustrades on the outside face of the building. The arched brick openings must be retained in their original configuration (Refer to Policy 95).
- Changes to rear porches should be consistent across all flats.
- Former opening to service tunnel in the northern elevation may be reopened, if required for upgrading or providing shared services within the tunnel, by removing the brick infill to the existing opening.
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.

Figure 0.3 North (bottom) and south (top) elevations—areas for possible change. (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of this CMP.



Figure 0.4 North and south elevations of Flats 46, 46A, 48, 48A, 52 and 52A—areas for possible change (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.

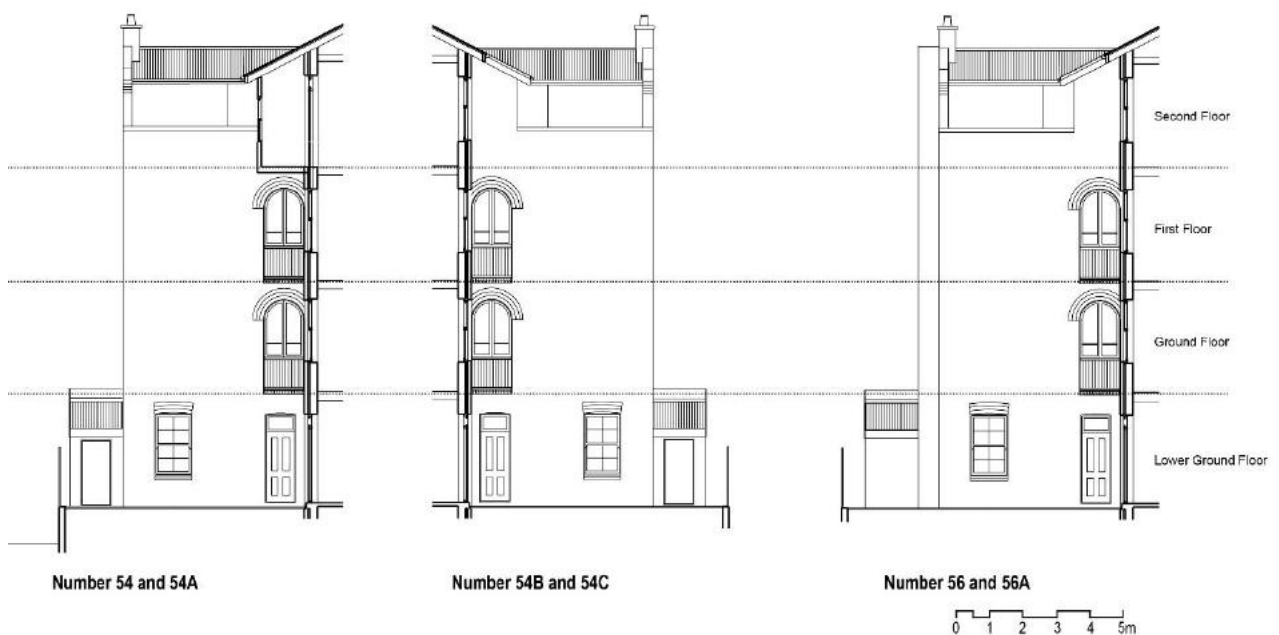
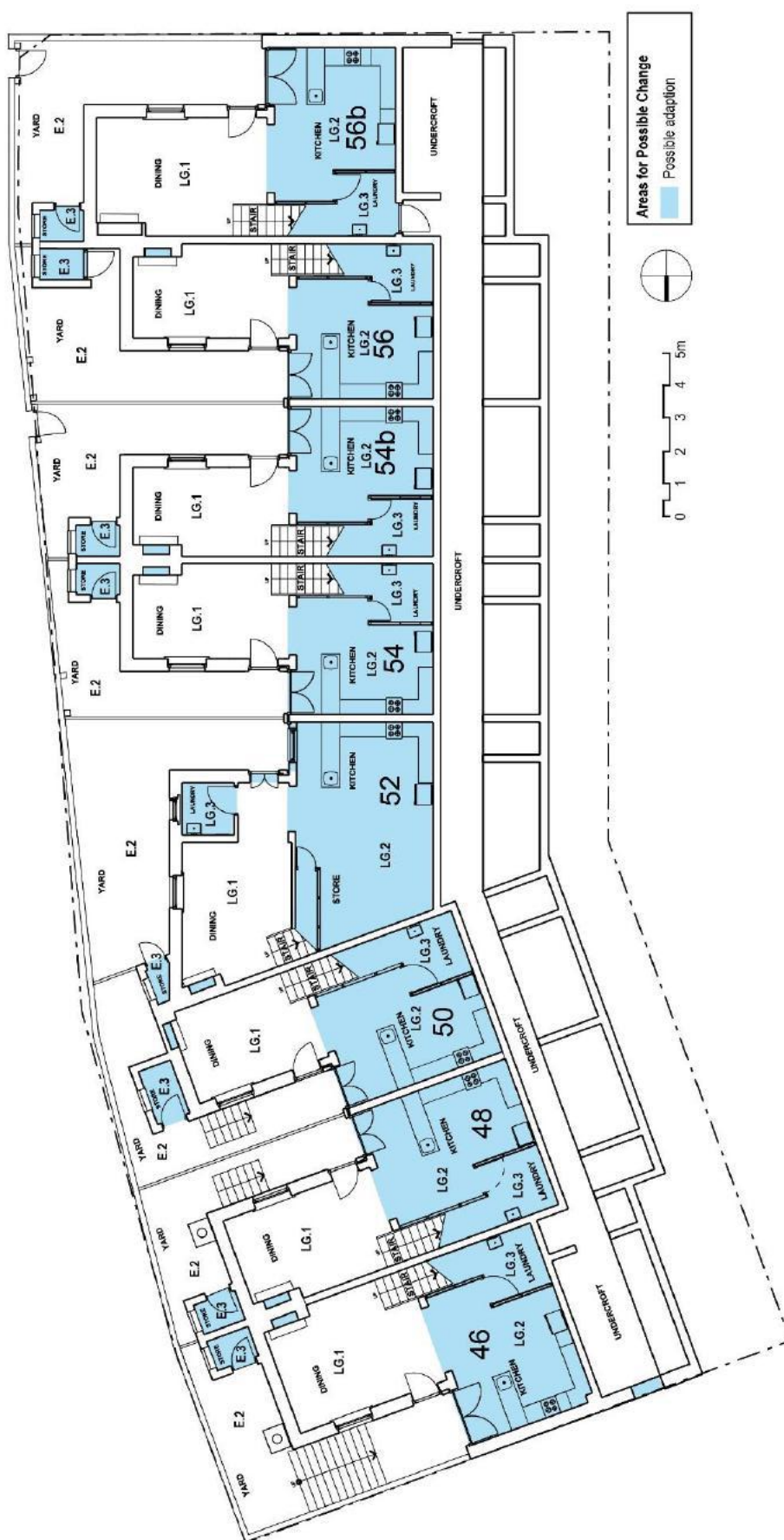


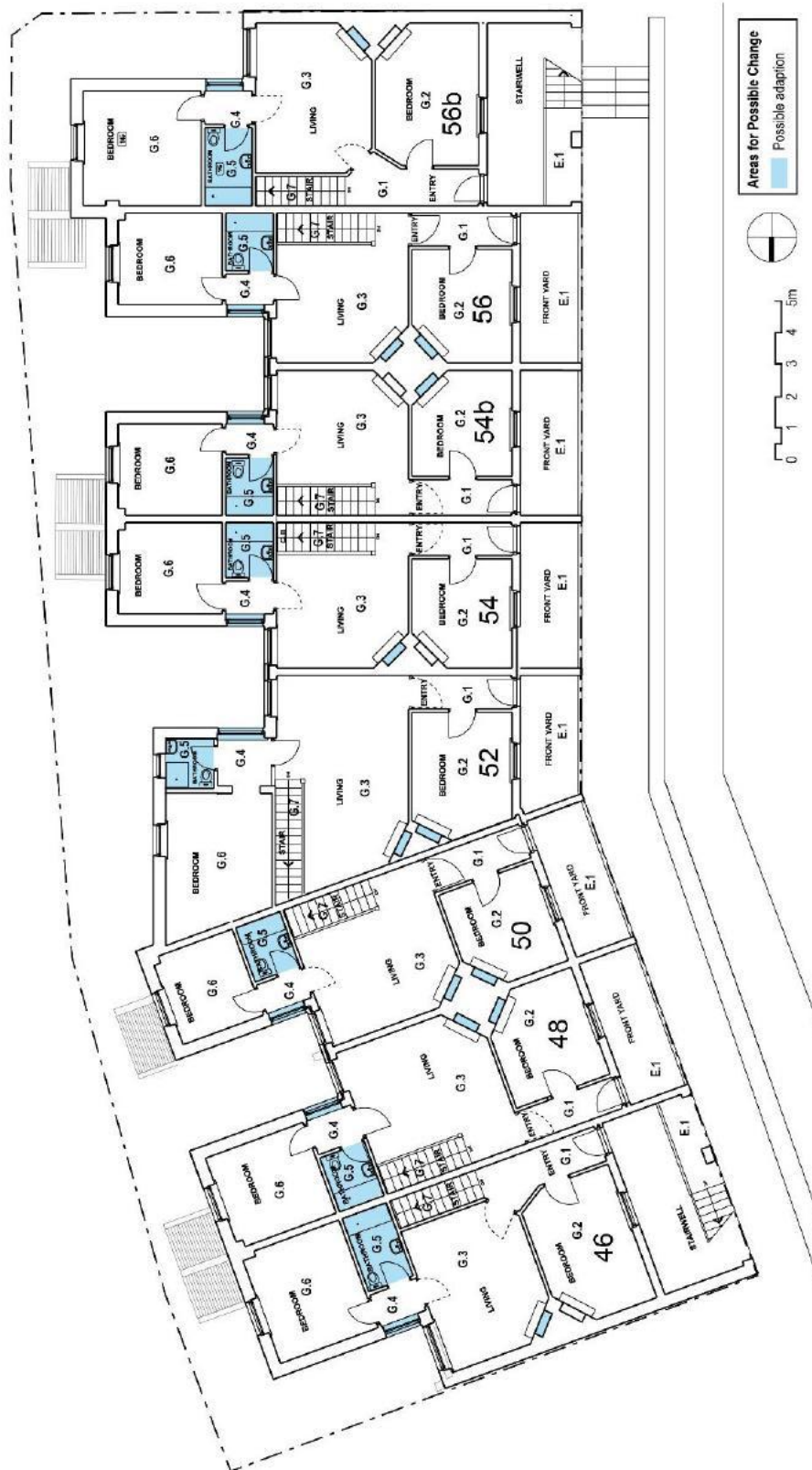
Figure 0.5 North and south elevations of Flats 54, 54A, 54B, 54C and 56, 56A—areas for possible change (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.

- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Rear porches: later infill may be replaced but any new infill elements must continue to interpret the timber porch balustrades on the outside face of the building. The arched brick openings must be retained in their original configuration (Refer to Policy 95).
- Changes to rear porches should be consistent across all flats.
- Flat 52: Ground floor rear door in the rear wing of Flat 52 may be reinstated as doors to suit original opening in this location. The original brick opening, arch and arch bars should be retained. Details and joinery should match details in other flats.
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure consistent outcome.



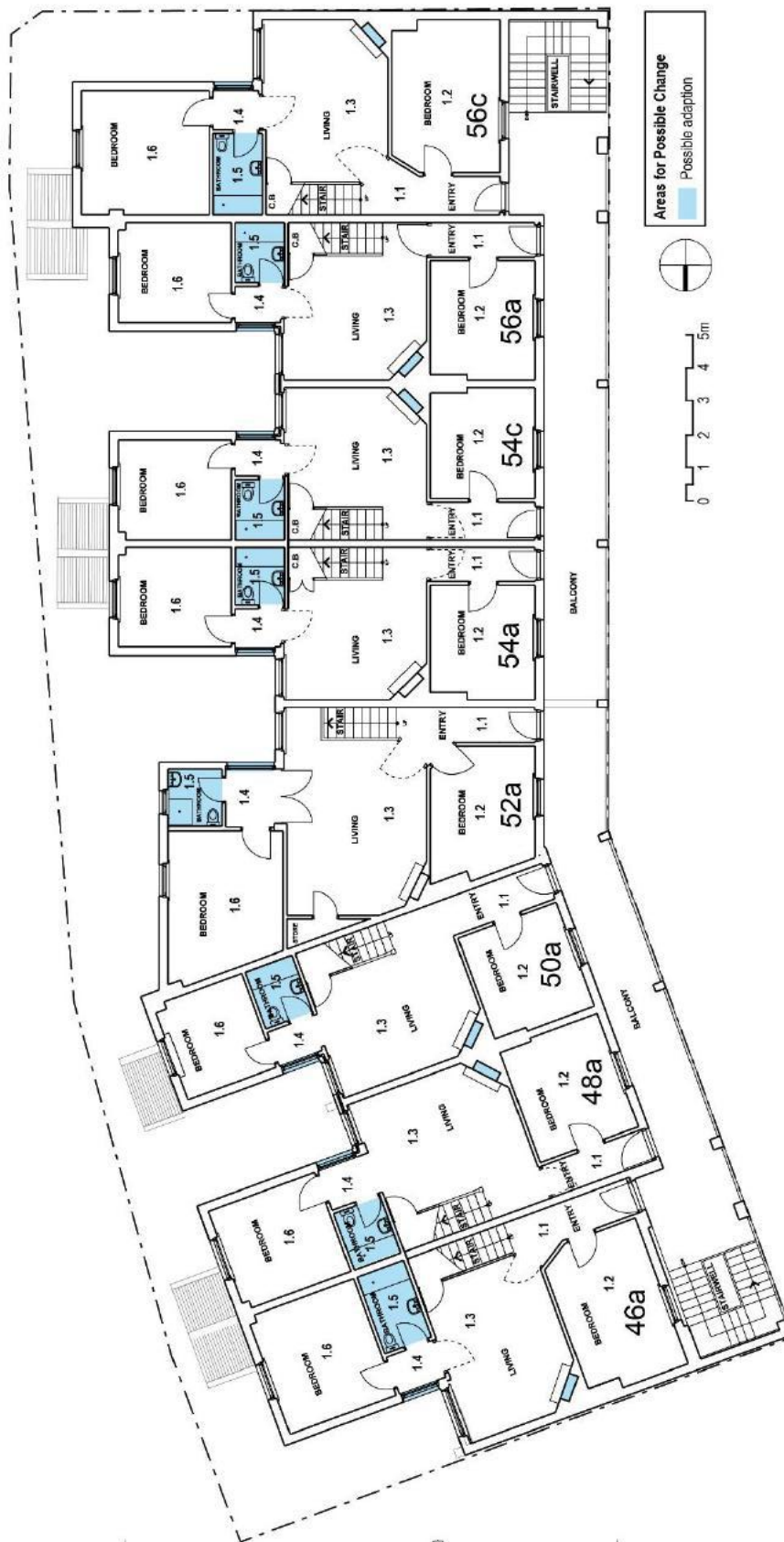
- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Kitchen and laundry fitouts can be changed within existing spaces (Refer to Policy 106).
- Spaces should not be subdivided.
- Later plasterboard partitions of little significance, to the laundry and kitchen, may be removed.
- Rear wing WCs: new fitouts (eg for storage) are permitted within existing spaces.
- Fence lines should be retained. Yards should not be amalgamated.
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.0.

Figure 0.6 46–56 Gloucester Street lower ground floor plan—areas for possible change diagram (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.



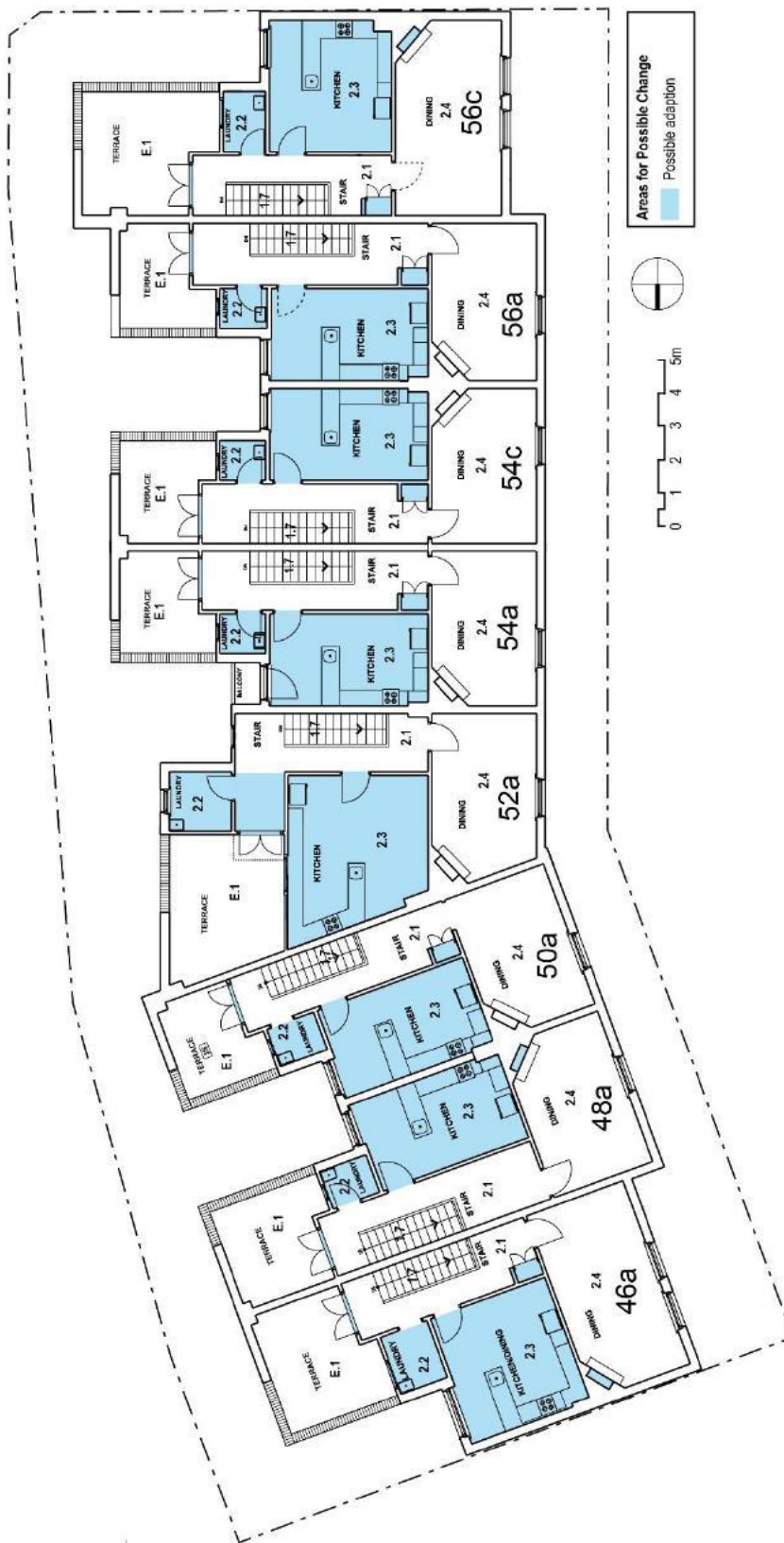
- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Bathroom fitouts can be changed within existing spaces.
- Spaces should not be subdivided.
- Rear porches: later infill may be replaced but any new infill elements must continue to interpret the porch timber balustrades on the outside face of the building. The arched brick openings must be retained in their original configuration (Refer to Policy 95).
- Changes to rear porches should be consistent across all flats.
- Brick infill to fireplaces may be removed and chimney piece and grate reinstated to early detail as found in other flats. Fireplaces must remain ornamental only.
- Fabric of hearths, openings and flues, which are common property, must be retained in original form (Refer to Policy 104).
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.0.

Figure 0.7 46–56 Gloucester Street ground floor plan—areas for possible change diagram (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.



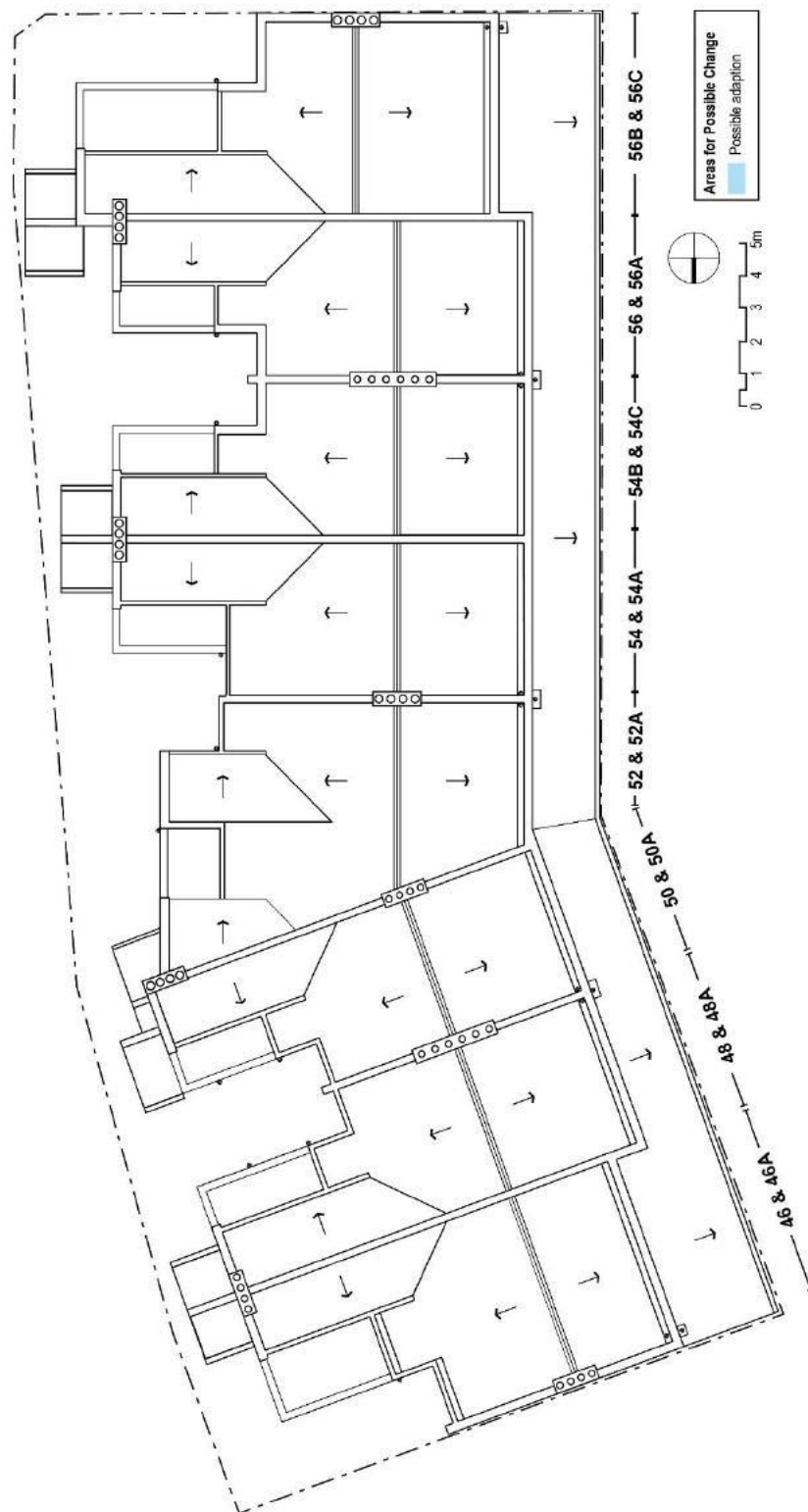
- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Bathroom fitouts can be changed within existing spaces (Refer to Policy 107).
- Spaces should not be subdivided.
- Rear porches: later infill may be replaced but any new infill elements must continue to interpret the porch timber balustrades on the outside face of the building. The arched brick openings must be retained in their original configuration (Refer to Policy 95).
- Changes to rear porches should be consistent across all flats.
- Brick infill to fireplaces may be removed and chimney piece and grate reinstated to early detail as found in other flats. Fireplaces must remain ornamental only.
- Fabric of hearths, openings and flues, which are common property, must be retained in original form (Refer to Policy 104).
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.0.

Figure 0.8 46–56 Gloucester Street first floor plan—areas for possible change diagram (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.



- Exceptional fabric should be retained and conserved. Refer to Part 1 Section 4.0 of this CMP, and Part 2 for individual flats.
- Kitchen and laundry fitouts can be changed within existing spaces (Refer to Policy 106).
- Spaces should not be subdivided.
- Brick infill to fireplaces may be removed and chimney piece and grate reinstated to early detail as found in other flats. Fireplaces must remain ornamental only.
- Fabric of hearths, openings and flues, which are common property, must be retained in original form (Refer to Policy 104).
- French doors and weatherboard walls to the roof terraces may be altered provided the impact on heritage values and significant fabric or spaces is minimal.
- External canvas blinds may be permitted under the existing timber beams supporting the skillion roofs (Policy 96)
- Cupboards in the stair hall may be removed and kitchen door frames reinstated where original evidence is present.
- All change is subject to obtaining the necessary heritage advice and statutory approvals.
- Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each flat and the building as a whole.
- For all potential change, refer to detailed conservation policies in Section 9.0.

Figure 0.9 46–56 Gloucester Street second floor plan—areas for possible change diagram (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.



- No change permitted to roof form, chimneys or party walls

Figure 0.10 46–56 Gloucester Street roof plan—areas for possible change diagram (Source: LAHC, with GML overlay 2016). For more detailed analysis of possible change to individual flats refer to the relevant sections of Part 2 of this CMP.

1.0 Introduction

1.1 Background

In October 2015, GML Heritage (GML) was commissioned by the Land and Housing Corporation (LAHC), which manages the property, to prepare a Conservation Management Plan (CMP) for the flats at 46–56 Gloucester Street, The Rocks—Lot 1 on DP 740303—located in the City of Sydney Local Government Area (LGA) (Figure 1.1). Following subdivision and strata title registration, GML was asked to revise the CMP to provide a conservation management document tailored for individual flats 48 and 48A, and subsequently to revise and expand the document to include, as Part 2, individual sections relating to each of the sixteen flats in the block.

This CMP is to be endorsed by the Heritage Council of NSW prior to the future sale of individual flats for private residential purposes.

1.2 The Study Area

The block of flats at 46–56 Gloucester Street is a four-storey face brick building comprising 16 two-storey flats (eight on the top two levels and eight on the lower two levels). This building was designed and constructed by the Government Architect's Branch under the direction of Walter Liberty Vernon between 1908 and 1912.

The block of flats at 46–56 Gloucester Street is located on the eastern side of Gloucester Street, backing onto the Cambridge Street pedestrian laneway at the rear (Figures 1.1 and 1.2). On the north it is bounded by a pedestrian stairway and on the south the adjacent terrace group 'Susannah Place' at 58–64 Gloucester Street. The topography of the site steps down from west to east and the building responds to this by incorporating four levels—the principal entry is from the Gloucester Street level. This level is referred to in this report as the ground-floor level. There is one level below this level (referred to as the lower ground-floor level) and two levels above (referred to as the first-floor and second-floor levels). The building covers most of the site area. Refer to the site plan included as Figure 1.3.

The building is divided into 16 flats and includes common areas as shown in the strata subdivision plans included as Figures 1.6 and 1.7.

1.3 Heritage Listings

The block of flats at 46–56 Gloucester Street—which is currently owned by LAHC—is a listed item (Item 01609) on the State Heritage Register (SHR) (Figure 1.4) and on the NSW Department of Housing Heritage and Conservation Register (S170 Register). It is also located within The Rocks Conservation Area, which is a heritage item on the Sydney Harbour Foreshore Authority (SHFA) S170 Register (Figure 1.5). 46–56 Gloucester Street is not a listed item in Schedule 5 of the City of Sydney Local Environmental Plan (LEP) 2012.

1.4 Document Aims and Structure

The aim of this CMP is:

- to provide owners, occupants and the owners' corporation with a broad overview of conservation approaches to ensure the long-term conservation of the building, including common property as defined under the strata plan (Figure 1.6 and 1.7);

- to provide a conservation management framework for each flat in the context of the building as a whole, including decisions about allowable change and development; and
- to serve as the reference document for statutory authorities assessing future applications for works to the building.

This report is in two parts. Part 1 consist of eleven sections:

Section 1.0 is an Introduction and summary of the background and objectives of the study (this section).

Sections 2.0–5.0, comprise:

- a historical analysis of the building and site;
- a description of the physical evidence;
- an assessment of the significance of the building as a whole, its elements and the different flat typologies within the building; and
- a comparative analysis of similar properties.

Section 6.0 assesses the heritage significance of the building and flats and provides a summary statement of significance.

Section 7.0 of this report provides recommendations on priority conservation works based on the fabric survey undertaken in 2015 and 2016. These works cover both works to common property and works to separate flats, presented in table form to guide owners, occupants and the owners' corporation and ensure a consistent and coordinated approach to change, repair and maintenance.

Section 8.0 includes an analysis of constraints on change, and opportunities for use and development of the site arising from the statement of significance outlined in Section 6.0.

Section 9.0 sets out conservation policies for the maintenance and management of all flats at 46–56 Gloucester Street, and the building envelope and common property, in view of the building's heritage significance, physical condition, owners' requirements, statutory controls and other relevant constraints and opportunities. The building is treated as a single entity, as policy must be implemented according to a building-wide approach to ensure consistent approach to conserving its heritage significance.

Section 10.0 lists references used during the preparation of the report.

Part 2 consists of sixteen sections (1.0–16.0) dealing with each individual flat in numerical order. Each flat is described and analysed in terms of its significant fabric. Each flat is illustrated in terms of significant spaces and building fabric, areas for possible change and phases of development. This provides a more detailed level of description, analysis and maintenance guidance primarily for individual flat owners.

1.5 Methodology and Terminology

This CMP has been prepared with regard to the methodology and conservation terminology outlined in the *NSW Heritage Manual* guidelines for the preparation of CMPs.¹ It also follows the approach set out in *The Conservation Plan*² and the guidelines of the *Australia ICOMOS Burra Charter 2013* (the Burra Charter).³

These standards have been varied by a range of Heritage Division requirements, dating from September 2015 to current, regarding the provision of conservation plans and standard conservation policies for all former Land and Housing Corporation (LAHC) properties.

In this report, 46–56 Gloucester Street is treated as both a single building and as 16 separate flats (or lots). This reflects the character of the flats which were built as a single building and, though differing slightly in form and detail, possess essentially common characteristics and values, sharing many key structural elements.

This CMP has also been informed by the following documents:

- NSW Public Works Government Architects Office, 46–56 Gloucester Street, The Rocks—Conservation Management Plan Review (DRAFT), prepared for the Sydney Harbour Foreshore Authority, August 2011.
- Godden Mackay Logan Pty Ltd, The Rocks Heritage Management Plan (Volume 1), prepared for the Sydney Harbour Foreshore Authority, February 2002 (updated 2006).

1.6 Limitations

The following tasks were not undertaken:

- a formal consultation process to assess community associations or social values;
- full archaeological assessment of the place;
- assessment of the potential for Aboriginal cultural material to occur at the place; and
- assessment of natural values, including flora and fauna.

The physical inspections undertaken for this report were constrained by the following factors:

- no access to roof spaces, subfloors or crawl spaces;
- no access to roofs;
- limited access to the service tunnel (southern end only).

The physical inspections did not include:

- high-level inspection of masonry;
- opening-up of interior or exterior fabric;
- exterior excavations; or
- inspection or testing of building services (plumbing and hot water, drainage, electrical and mechanical installations).

While GML has made numerous alterations to correct errors in the base drawings provided, GML does not guarantee the accuracy of architectural plans and drawings used in this report.

1.7 Author Identification

This report has been prepared by:

- Catherine Forbes, Associate, who conducted the site inspections and wrote the report;
- David Mason, Senior Consultant, who assisted with the inspections and the writing of the report;
- Sheridan Burke, Partner, who provided policy guidance direction and reviewed the report;
- Anita Yousif, Senior Associate, who prepared the archaeological assessment; and
- Emma McGirr, Graduate Consultant, who assisted in writing the report.

1.8 Acknowledgments

GML acknowledges the assistance of Nigel Sharpe, Development Director at LAHC, Anthony Mitchell, Senior Heritage Officer at LAHC, and Niall Macken, Heritage and Design Manager, Sydney Harbour Foreshore Authority (SHFA), in the preparation of this report.

1.9 Copyright

Historical sources and reference material used in the preparation of this report are acknowledged and referenced at the end of each section and/or in figure captions. Reasonable effort has been made to identify, contact, acknowledge and obtain permission to use material from the relevant copyright owners.

Unless otherwise specified or agreed, copyright in this report vests in GML and in the owners of any pre-existing historical source or reference material. For further details on Moral Rights and Right to Use this report please see the Report Register page at the beginning of this document.



Figure 1.1 Site location, 46–56 Gloucester Street, The Rocks. (Source: Google Maps with GML overlay 2015)



Figure 1.2 Aerial photograph of the site (outlined in red) with flat numbers identified. (Source: Google Earth with GML overlay 2015)

Part 1—46–56 Gloucester Street, The Rocks—Conservation Management Plan, October 2016

Heritage Council of New South Wales

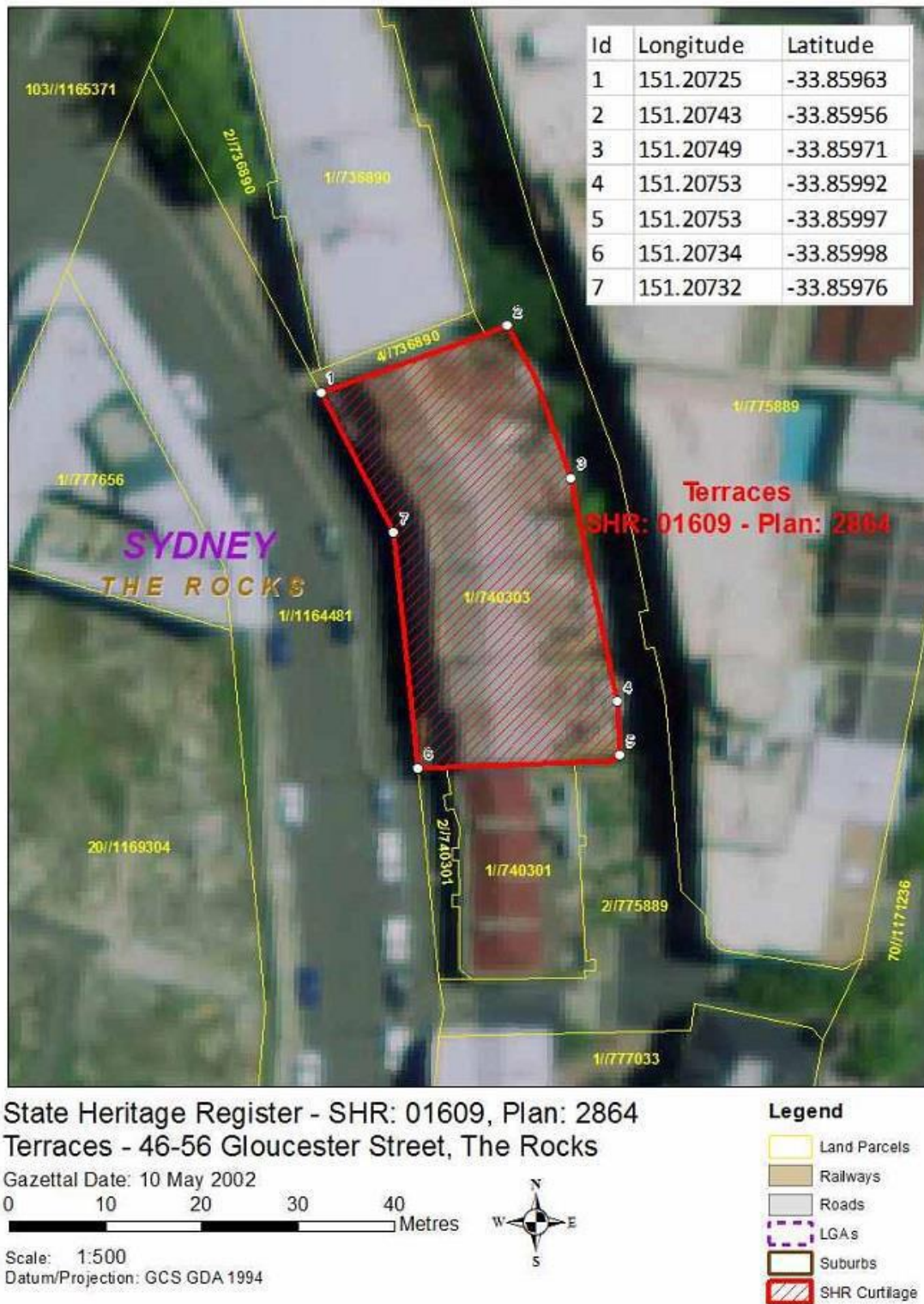


Figure 1.4 SHR Plan No.2864. (Source: NSW Office of Environment and Heritage)



Figure 1.5 The Rocks Conservation Area (SHFA s.170 Register) marked with red dotted line. The subject site is marked with an arrow. (Source: Godden Mackay Logan, 2006)

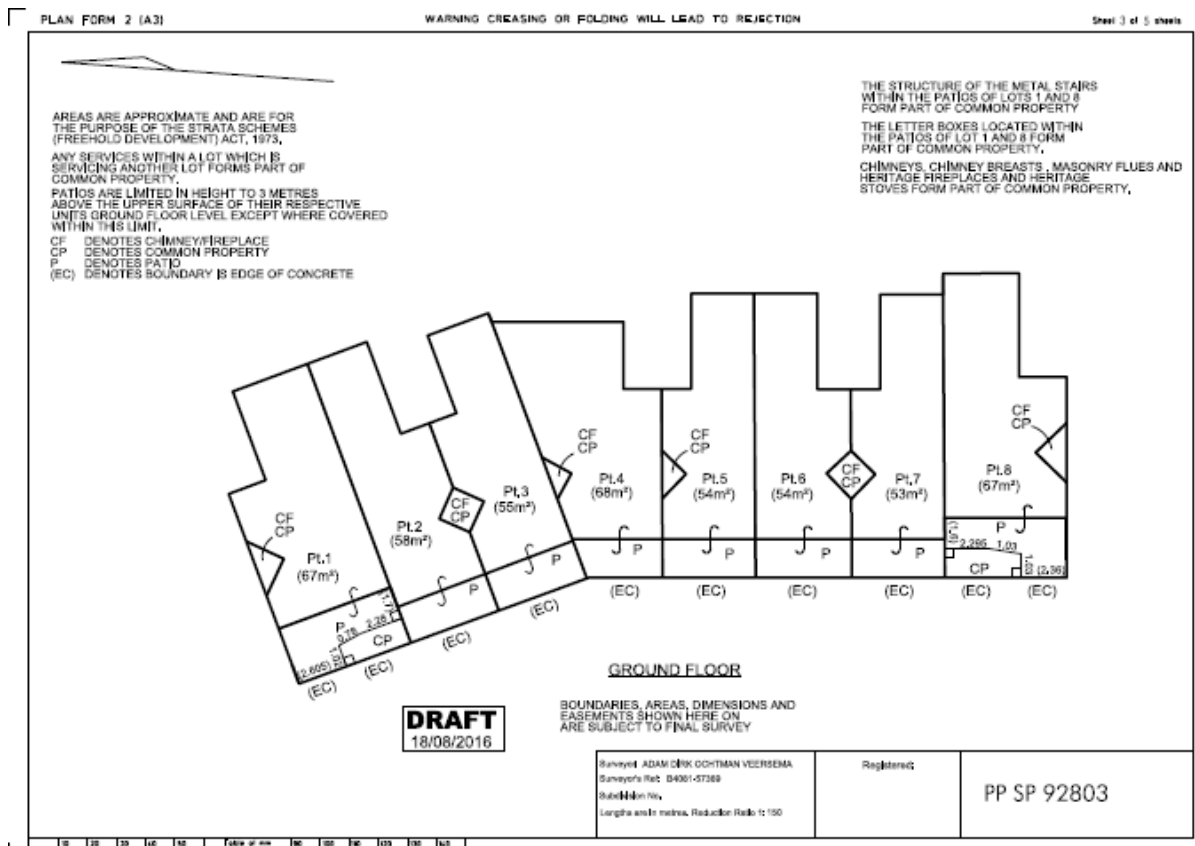
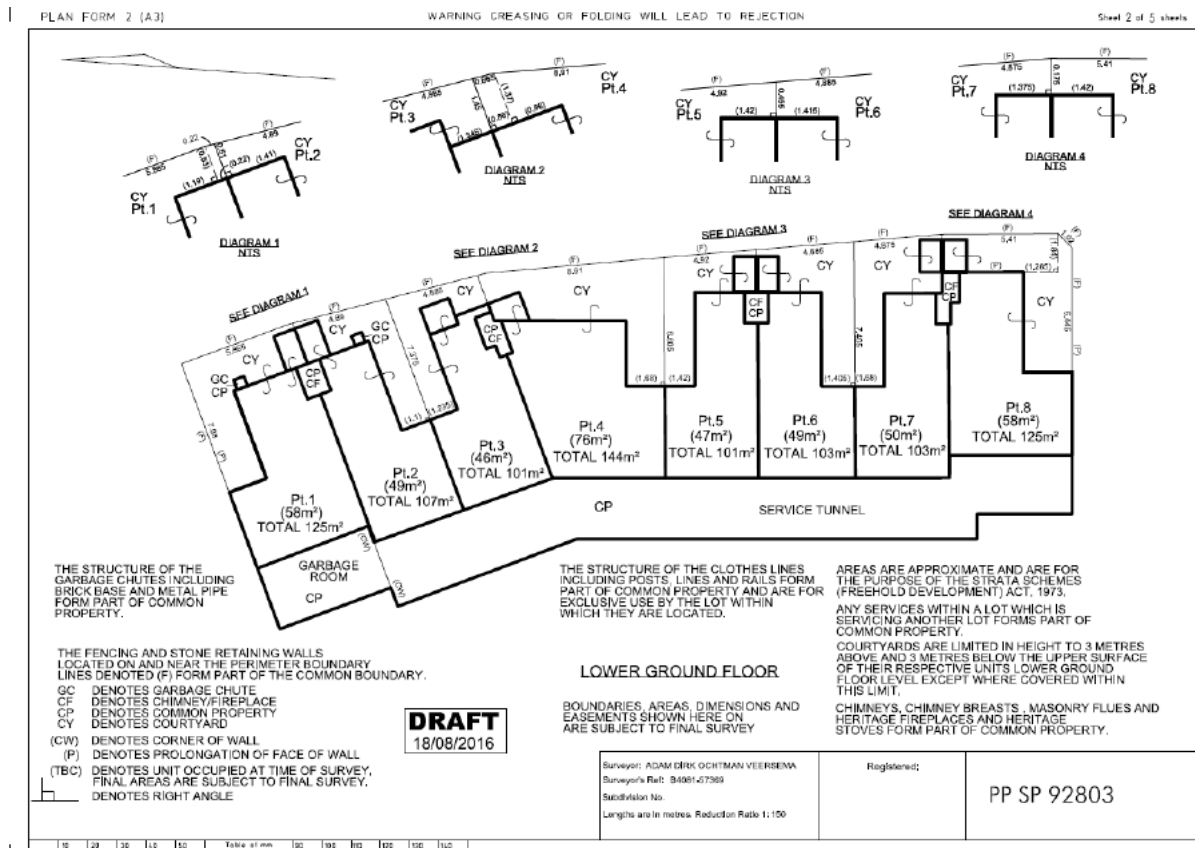


Figure 1.6 Plan of subdivision—lower ground and ground floors, August 2016. (Source: LAHC)

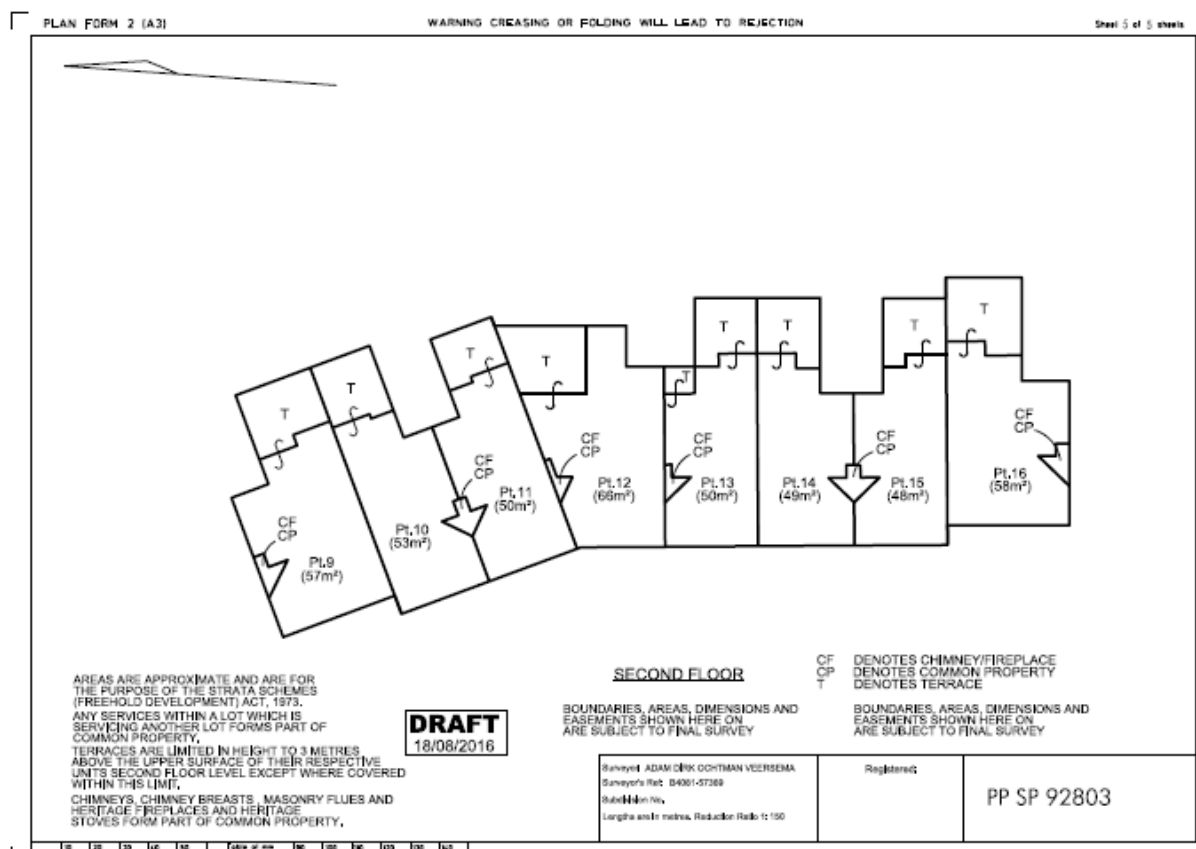
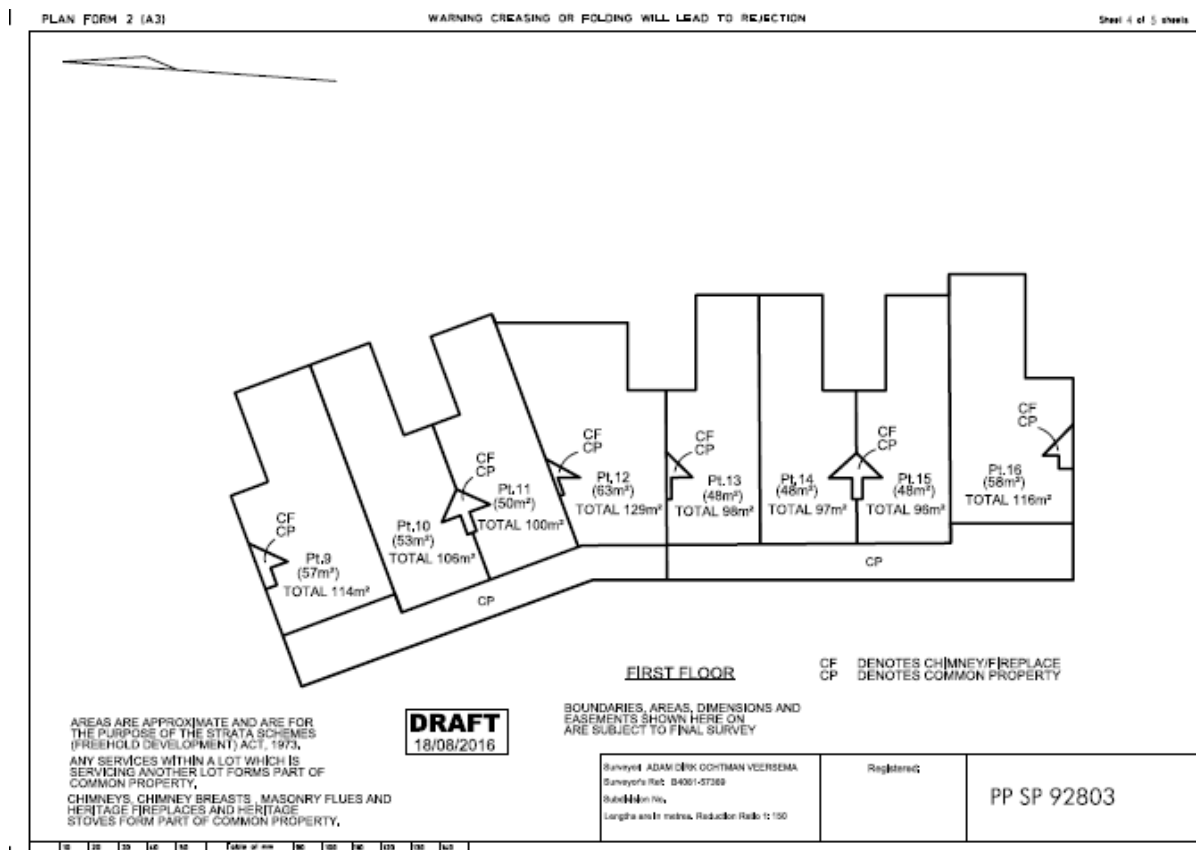


Figure 1.7 Plan of subdivision—first and second floors, August 2016. (Source: LAHC)

1.10 Endnotes

¹ NSW Department of Urban Affairs and Planning and the Heritage Council of NSW 1996, Guidelines for the Preparation of Conservation Management Plans', *NSW Heritage Manual* (amended July 2002).

² Kerr, JS 2000, *The Conservation Plan*, fifth edition, National Trust of Australia (NSW), Sydney.

³ Australia ICOMOS Inc, *The Burra Charter: the Australia ICOMOS Charter for Places of Cultural Significance 2013*, Australia ICOMOS Inc, Burwood Vic.

2.0 Historical Analysis

2.1 Introduction

This historical analysis for the block of flats at 46–56 Gloucester Street, The Rocks, applies to the building as a whole, including common property and individual flats. The phases of development of the individual flats are included in the relevant sections of Part 2. This history is abridged from previous studies, including the 2012 CMP for the building. An extract from the historical context analysis part of the 2012 CMP is reproduced in Appendix A of this CMP.¹

2.2 Contextual History

2.2.1 Pre-Settlement History of the Rocks

The Aboriginal people who lived around the coastal regions of the Sydney area, from Pittwater in the north to Georges River in the south, are generally acknowledged as the Eora Nation. The traditional custodians of the Sydney area, including Millers Point, are the Gadigal (also known as Cadigal) clan of the Eora Nation. The Gadigal, as coastal people, were reliant on the harbour for food—fishing from canoes and taking shellfish and other edibles from the shoreline. However, the steep rocky nature of the western side of Millers Point is likely to have restricted any permanent or long-term settlement, with transient use for food gathering, fishing and smaller gatherings more likely. Most physical traces of early Aboriginal occupation in The Rocks and Millers Point area, along with elements of the original landform, have been removed by two centuries of sandstone quarrying, reclamation works and the building of wharves and warehouses along the waterfront of Walsh Bay and Circular Quay.²

2.2.2 Early Development of the Area

The colonisation of Australia, beginning at Sydney Cove and The Rocks, is significant in the larger history of seventeenth and eighteenth-century European exploration. The First Fleet anchored off The Rocks at what is now the foot of Argyle Street, one of the only viable landing places in Sydney Cove. The Rocks was given its name by working parties of convicts that, on 26 January, 1788, were landed on the rocky peninsula on the western side of Sydney Cove. This was the site of the first convict encampment, military camp, bakehouse and hospital. As the colony grew, the land close to the water's edge was used for government purposes: as a hospital, gaol, Government Dockyard (1797), and Commissariat Stores (1809). Later, merchants established private wharfage facilities.

The rugged slope overlooking the cove defied orderly settlement. The sandstone bedrock was quarried for building material and houses clustered along the cuttings catering for convicts and emancipists, as well as seamen from all parts of the world. Construction of proper roads and drainage proved difficult. Vehicular routes tended to run parallel with the ridge, while narrow lanes and steep stairs provided pedestrian ways between the ridge and the water. Land tenure was in the form of grants, leases and (most often) unofficial occupancy.³

In 1810, the crooked rows and paths of The Rocks were officially named by Governor Macquarie (from the highest ridge, in descending order: George Street, Princes Street (formerly Windmill Row), Cumberland Street (formerly Church Row), Cambridge Street, Gloucester Street and Harrington Street). The rocky ledges of Gloucester, Cambridge and Harrington Streets were discernible at the less inhabited northern end, near Argyle Street, but converged further south. Cambridge and Gloucester Streets became intertwined and difficult to separate at the southern end. New surveys and the granting of freehold titles in the 1830s finally resolved the problem by reversing the street names to their present configuration, with Cambridge becoming the lower and Gloucester Street the higher.⁴

Occupants appropriated allotments and built homes without official grant or lease; land ownership was often transferred by verbal agreement. Governor Darling resolved to begin the long process of granting freehold titles in 1829, a process that continued until the 1850s.

Part of Gloucester Street had been formed by 1807, and, up until 1836, maps of the area show a number of small buildings in the area. Armsden House was constructed opposite the subject site by 1795, and the whole of the Gloucester Street frontage opposite the site was built on by the 1820s.⁵ In 1836 the site of Susannah Place was granted to James Byrne, a licensed victualler for erection of a dwelling house. As Gloucester Street was extended northwards to George Street in the mid-1840s, more intensive development took place along it. Townhouses and terrace houses like Susannah Place (58–64 Gloucester Street) were being constructed, replacing the earlier single or one-and-a-half-storey cottages like Tyrone Cottage, which survived until 1901⁶. Both sides of the street were being developed, with substantial basements and retaining walls, particularly on the eastern side of the street.⁷

2.2.3 Resumptions, Demolitions and Redevelopment

Most of The Rocks came into public ownership in 1900 following an epidemic of bubonic plague. Land was resumed by the government and large areas of housing were demolished. An Advisory Board, consisting of Messrs Hickson, Davis and Vernon, submitted a scheme for the replanning of The Rocks in 1903. This was the basis for the realignment of streets and redevelopment of the area with terrace housing and residential flat buildings. Compensation was paid to private landowners and by 30 June 1905 it was estimated that the State Government had spent over £4 million on the Darling Harbour and The Rocks Resumptions.

The Sydney Harbour Act of 1900 allowed for the formation of the Sydney Harbour Trust (SHT), which was to maintain and manage the resumed areas. The City Improvement Advisory Board was also established in March 1901 to assist in overseeing the resumed area. The Board recognised that a large proportion of those occupying the area worked in the area, and that workmen and their families should continue to be provided with residences in the locality. The SHT thereafter became responsible of a portfolio of over 800 properties, rented at market rates, and became perhaps the first government housing authority in NSW.⁸

The construction of the Sydney Harbour Bridge (1925–1932) swept away many streets and houses and split the peninsula along its spine. The area west of the bridge became known as Millers Point. In the late 1950s, the construction of the Cahill Expressway across Circular Quay caused further evictions and extensive demolition—to the point where over one-third of the area was vacant, mainly that south of the Cahill. With talk of redevelopment, little effort was exerted in maintaining the buildings in public ownership.⁹

In 1906 the NSW adopted the *Local Government Act 1906*, enforcing reasonable building and health standards in the construction of housing. The Government Architect's Branch—under Government Architect Walter Liberty Vernon—prepared a number of schemes for model workers housing based on a study of tenement housing in England and Europe. The first model houses were a group of 32 terraces constructed in Windmill Street, Millers Point. These reflected a change in philosophy, with the emphasis on providing a good living environment for the occupants. This was in contrast to the earlier housing schemes that maximised floor space.¹⁰ In 1909–1910 eight contracts for new workers' housing were underway in The Rocks. The Housing Board's Architect, W Foggit, was responsible for the majority of the workers' houses in The Rocks and Millers Point from 1912 onwards.

2.3 Historical Development of the Site

The site now occupied by 46–56 Gloucester Street was part of Section 76 of the Parish of St Philip and appears to have been granted and claimed by at least four parties during the 1830s. Harper's plan of early Sydney (Figure 2.1) shows the site developed with a number of small buildings in 1823.

Photographs, dated circa 1901, shows buildings occupying the site on both the Cambridge and Gloucester Street fronts prior to demolition (Figures 2.2 and 2.3). All buildings constructed before the introduction of the 1838 building regulations requiring fire separation were demolished in the Gloucester Street area. Substantial buildings such as Susannah Place (1844), which were constructed with party walls extending through the roof space and above the roof as parapets to prevent the spread of fire, were retained.¹¹

In general, the houses on the subject site prior to 1912 addressed Cambridge Street, and their backyards were bounded by Gloucester Street. These houses survived until the Housing Board constructed the existing building. An extract from the history of the development on the site of 46–56 Gloucester Street is included as Appendix A.

The entire site was resumed and vested with the Minister for Public Works by the operation of Section 40 of the *Public Works Act 1900*.¹² A process of redesigning of the individual blocks occurred throughout The Rocks and Millers Point. A c1908 plan (Figure 2.4) indicates how the realignment of Gloucester Street was achieved. Projecting front gardens were removed and the buildings on the north-west side of the street were demolished to allow the alterations. The site for the Australian Hotel, constructed on a triangular-shaped site in c1914, is also shown on the plan.

No early plans of the subject site or the buildings that occupied it have been located. However, the Sands Directory indicates that the last of the earlier buildings occupying the site was demolished around 1902. In 1902, a Mrs Bridget Tate is listed in the Sands Directory as occupying Number 46 Gloucester Street. Numbers 46–56 Gloucester Street are first listed in the Sands Directory, with 16 occupants, in 1912. Based on the 1908 plans and Sands Directory, it is assumed that the Gloucester Street flats were constructed between 1908 and 1912—possibly being one of the eight 1909–1910 contracts undertaken and completed by the Government Architect's Branch by 1914.¹³

2.3.1 Building Form, Construction and Innovation

The existing building at 46–56 Gloucester Street utilises the traditional terrace form. It was two rooms deep with narrow rear wings that allowed for some outdoor open space, and natural light and ventilation into all rooms. Like Susannah Place, the building was raised on a lower-ground (basement) level so that the terraces could address Gloucester Street.

The building comprised 16 maisonette¹⁴ flats arranged in two tiers, one tier above the other. All flats were entered from Gloucester Street, with the lower flats occupying the lower two floors and the upper flats occupying the upper two floors. The lower dwellings comprised entry hall, parlour, two bedrooms and a small washroom at the ground-floor entry level. The eastern rear bedroom and washroom were accessed off a small porch. The kitchen (eastern room) and laundry were located on the lower level and a water closet (WC) was located in the rear yard. The laundry was also accessed externally. The upper flats were almost an inverse of the lower dwellings in plan, although the kitchen was located on the lower level of each flat (as evidenced by the large fireplace and kitchen range), and the bedrooms were distributed over both levels. The laundry and WC were located on the upper level and were accessed externally from an open terrace. The rubbish chute was also accessed from the open roof terrace.

Of particular importance was the adoption of double skin brickwork, which was an innovation of this time.¹⁵ The general concern and requirement for improved and 'low maintenance' materials is emphasised with the incorporation of more durable elements such as dry-pressed bricks (fired at higher temperatures), the use of mortar of different strengths, depending on the location of the brickwork, the steel-framed external access stairs to the upper flats, wrought iron balustrades and concrete slab floor to the shared upper-level verandah, and brick balustrades to the rear terraces. Internally, material selection for durability is evident in the use of hard render (incorporating a skirting) for the lower half of internal walls and lightweight concrete internal walls incorporating fly ash, usually associated with stairs. The use of lightweight concrete internally, is not well understood and is a potential area for further research.

2.3.2 Change and Development—1912–1984

The Housing Board most likely controlled the building between 1912 and 1924, after which the SHT took over the administration of the site. It is not clear if any works were carried out during this period. A photograph dating from the 1930s, looking south along Gloucester Street, shows the same building form visible today (Figure 2.5).

In the 1930s, the Maritime Service Board took over management of The Rocks, Millers Point and Dawes Point areas. The construction of the Sydney Harbour Bridge (opened in 1932) had a significant impact on the immediate environs of Gloucester Street as it involved large scale demolitions in the area and the total removal of Princes Street. Further changes occurred in the 1950s with the construction of the Cahill Expressway, which opened in March 1957.

In 1970, the Sydney Cove Redevelopment Authority (SCRA) became the landlord following the *Sydney Cove Redevelopment Authority Act 1968*.¹⁶ The building appears to have remained largely intact despite the successive physical and management changes in the area (compare Figures 2.6, 2.7 and 2.8). It was the policy of the SCRA to provide low-cost housing in The Rocks to relocated SCRA tenants and those eligible for Housing Commission accommodation.

2.3.3 Building Condition—1984

A 1984 study prepared by Philip Cox and Partners Pty Ltd¹⁷ for the SCRA outlined upgrading and development works to the building and site. It noted that the layout of the dwellings and flexibility of three bedrooms was to be maintained. The study also highlighted that the two main dwelling types were not comparable with Housing Commission standards of the time. Observations included that:

- bathroom facilities had been added (date unknown—'approximately 10 years (ie 1970s)');
- kitchen facilities were 'primitive';
- the lavatory accommodation was located outside;
- the lower dwellings featured a kitchen, dining and wash areas on the lower-ground level floor and the entry, living area and two bedrooms on the ground-level floor; and
- upper dwellings had the living area and kitchen areas on the first floor and laundry and external WC on the second floor.¹⁸

The same report noted that externally the building was 'almost entirely original but for the removal of shutters and recent modifications to the eastern façade that necessitated the removal of balconies' (referring to balustrades across the openings of rear porches, which can be seen in Figure 2.10). Lean-to additions and 'iron fences' were also noted as detracting from the eastern façade. The condition of the eastern façade at this time was noted as being in 'an advanced state of decay, in need

of major upgrading' and 'substantial repair' (Figure 2.9). It was noted that the western façade had recently undergone repainting. The only apparent deterioration noted was on the external access way on the first floor. The walkway was described as a 'concrete slab walkway on steel support beams spanning between brickwork buttresses'. The report noted that the internal condition of the dwellings appeared good, with no evidence of 'damp, spongy floors, unsound staircases or sagging ceilings' in the flats inspected.¹⁹

2.3.4 Renovation and Refurbishment Works—1980s

Negotiations between the SCRA and the then Housing Commission led to the Commission taking on administration of the building in January 1985 as new lease arrangements were being finalised. Strip-out plans (for numbers 46–52A only) were produced by Philip Cox and Partners for the Commission in September 1985.²⁰ Since only strip-out plans have been sourced, and as works were subsequently undertaken for the Department of Housing in 1988, it is difficult to ascertain whether any of these works were carried out as documented. It is possible minor repairs or adaptations in some dwellings were made while the building was under Housing Commission control but before the first major refurbishment program in 1988.

In November 1988, the SCRA formally leased the building to the NSW Land and Housing Corporation for a term of 99 years, ending in November 2087.²¹ In the same year the Urban Renewal Group of the Department of Housing prepared a development application (DA) for the refurbishment of the building to provide a single three-bedroom apartment and 15 two-bedroom apartments.²² The work included the restoration of the street façades, provision of new services, landscaping and paving. Internally, the relationship between lower-ground level, the new kitchen and dining spaces, and the external yard was improved by creating an opening in the dividing wall between the formerly separate eastern and western rooms and new 'full height windows to kitchens' (French doors). The external WCs are noted as a 'store' and a mechanical vent is shown over the kitchen spaces. Ground and first-floor levels were to comprise a hall, two bedrooms, living room with splayed fireplace, and a stair. Brick infill is shown to the other fireplaces. The second-floor level generally features a kitchen, small laundry and open terrace with clothesline. Number 52A, being larger, has some variation to this layout.

Figures 2.11 to 2.12 show the condition prior to the 1988 phase of work. Figures 2.13 to 2.21 indicate the periods of construction.

2.3.5 Conservation Works—2010–2011

A program of extensive repairs and maintenance was commenced in 2009, with the preparation of drawings by Clive Lucas Stapleton and Partners Pty Ltd. In 2010, NSW Public Works was commissioned to manage implementation of the external works. The initial brief was extended and Public Works undertook implementation of both internal and external works to the building, as well as preparation of a full set of measured drawings. The scope of conservation work was extensive and included re-roofing, new roof plumbing, masonry repairs, joinery repairs and timber treatment (including selective replacement of stair stringers, lining boards and floor joists); repairs to fireplaces; and new or additional electrical services and repairs to the kitchen, laundry and bathroom fit-outs (Appendix B).

Figures 2.13 to 2.22 also show the extent of change in the 2010-11 phase of work.

2.3.6 Sale of the Property—2016

On 19 March 2014, the Minister for Families and Communities announced that 'high value public housing property assets on the Sydney Harbour foreshore will be sold with the proceeds to be

reinvested into the social housing system across NSW.¹²³ The building at 46–56 Gloucester Street will be sold as single lots (flats) under Strata title. This CMP will accompany sale documents for all flats.

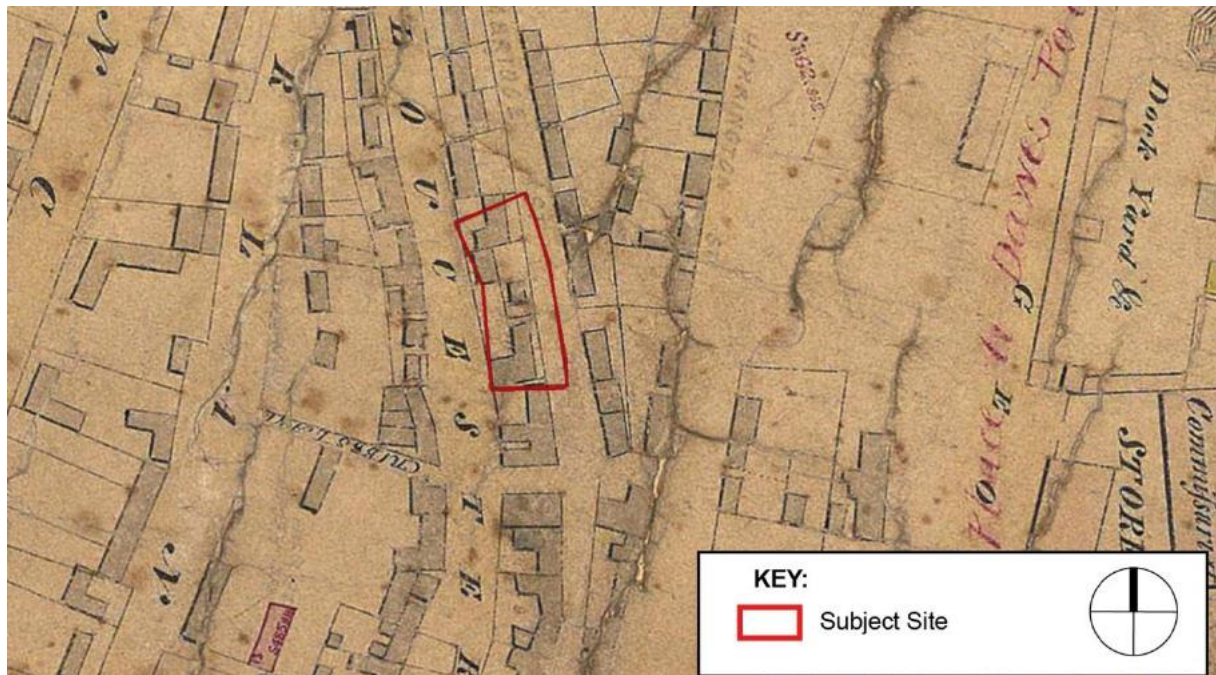


Figure 2.1 Harper's plan of early Sydney, showing the earliest known phase of development at the site. Location of the study area is indicated in red. (Source: GC Stewart, 1823, Plan of the allotments of ground in Sydney, State Library of NSW)



Figure 2.2 August 1901 photograph looking north along Cambridge Street with Tyrone Cottage (at left). (Source: NSW State Records)

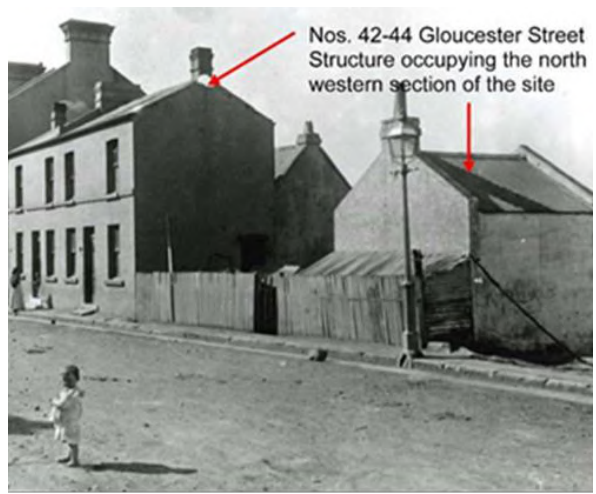


Figure 2.3 The building (right) occupying the northwest section of the site on Gloucester Street, c1900. (Source: NSW State Record with SHFA overlays)

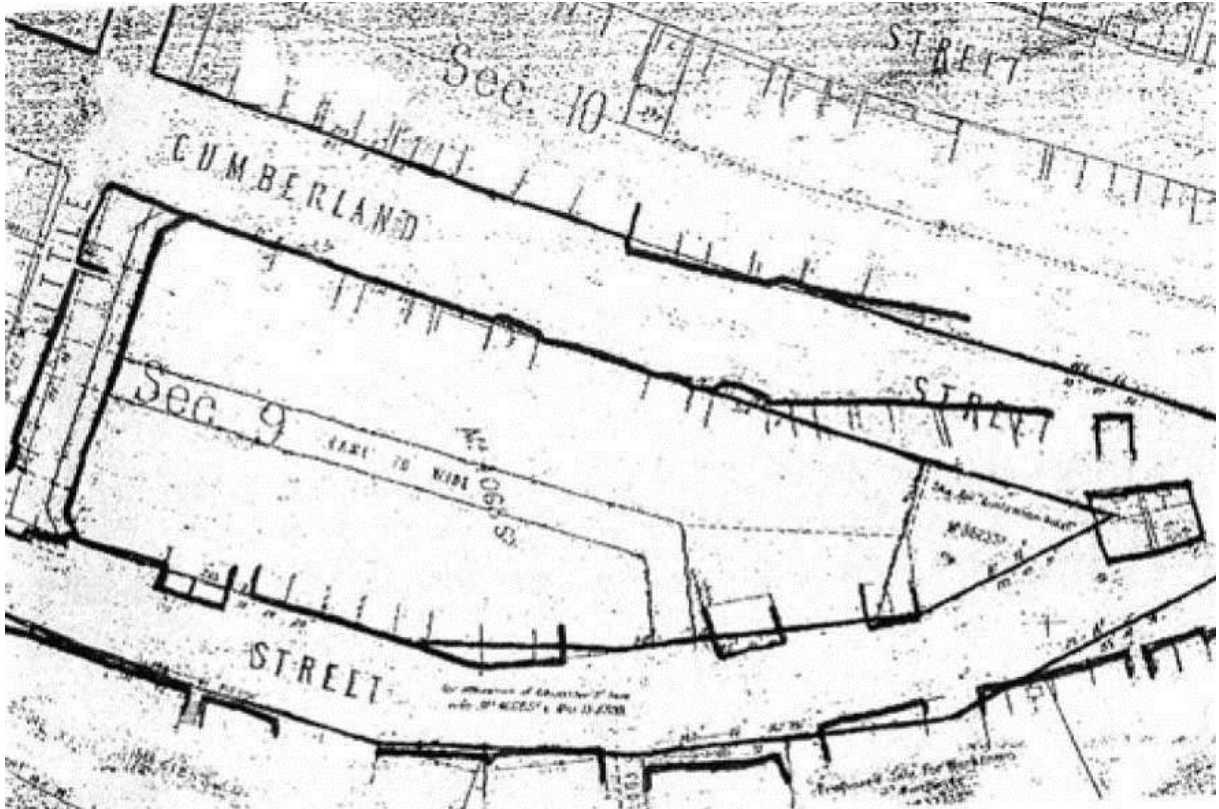


Figure 2.4 Plan indicating the realignment of Gloucester Street, c1908. (Reproduced in Boyd, N, Gloucester Street, 'The Rocks A Study of Its Development and Construction', 1997, p 144; original source not cited)



Figure 2.5 Photograph looking southeast along Gloucester Street, c1930s. (Source: NSW Heritage Branch Database No. 5053226)



Figure 2.6 Street level view looking southeast along Gloucester Street, c1970s. (Source: SHFA No.40075 A742-137)

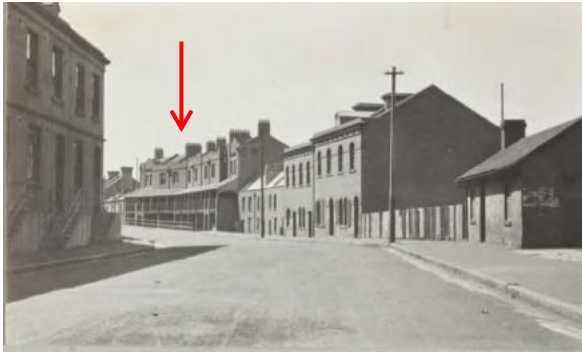


Figure 2.7 The western façade of 46-56 Gloucester Street and surroundings in 1924. (Source: SLNSW a6898006r)



Figure 2.8 The western façade from the south, c1970s. (Source: SHFA, Image GLM 100)



Figure 2.9 Building condition prior to renovation in the 1980s. (Source: SHFA [Sydney Cove Redevelopment Authority Archive] 40329 SCRA 162)



Figure 2.10 Rear (eastern) elevation (Flats 50 and 50A) showing the balustrade across the opening of rear porches, the garbage chute and building's condition in 1984. (Source: SHFA, Image 49763 CEM 31)

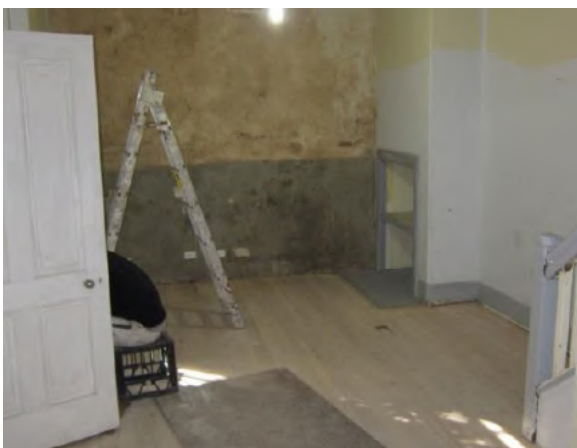


Figure 2.11 Interior during the 2010–2011 refurbishment. Flat number not known. (Source: LAHC 2010)



Figure 2.12 Interiors just prior to the 2010–2011 refurbishment. Flat number not known. (Source: LAHC 2010)

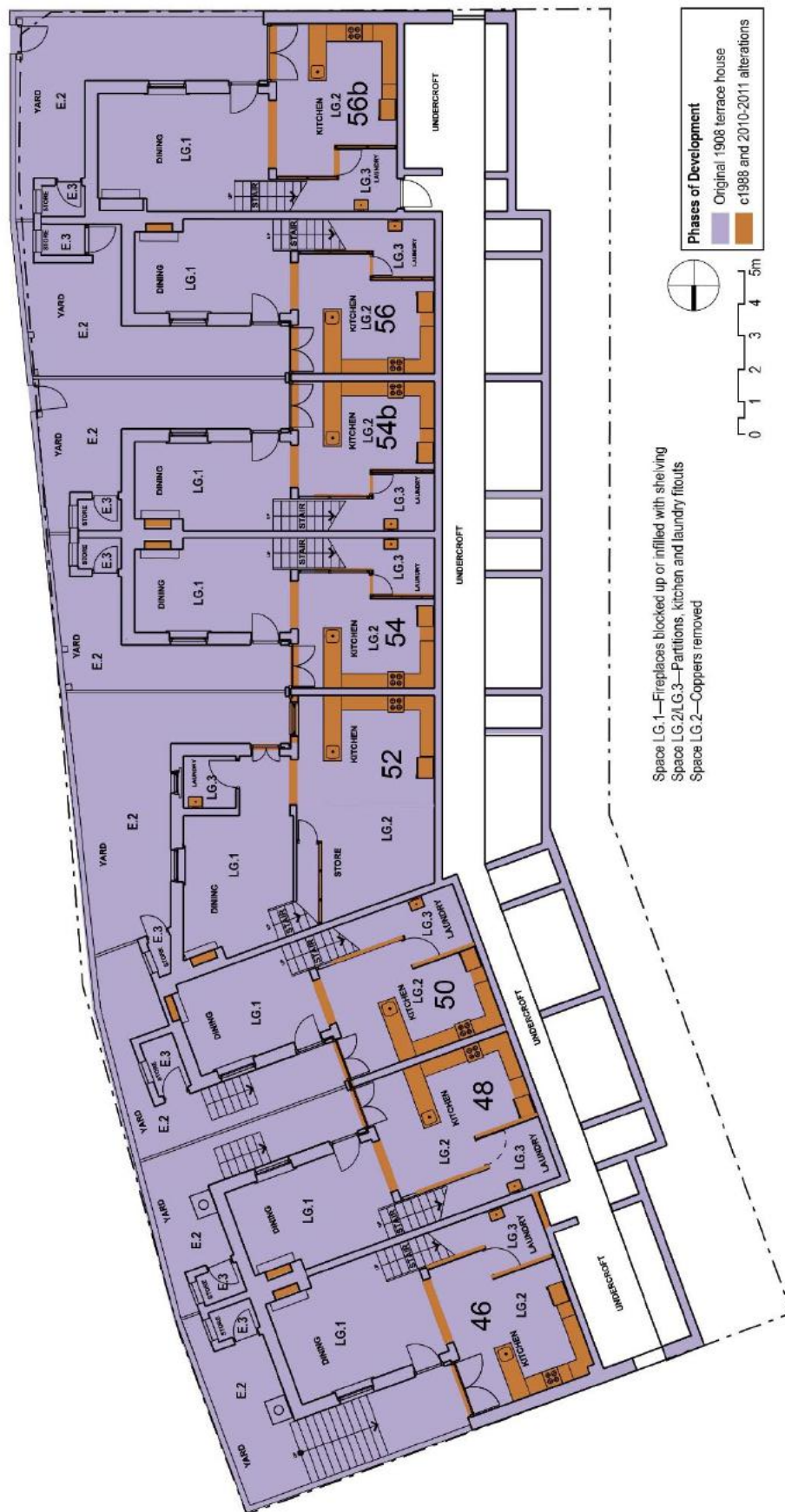


Figure 2.13 Diagram showing periods of construction—lower ground floor plan (lower flats). (Source: LAHC, with GML overlay 2016)

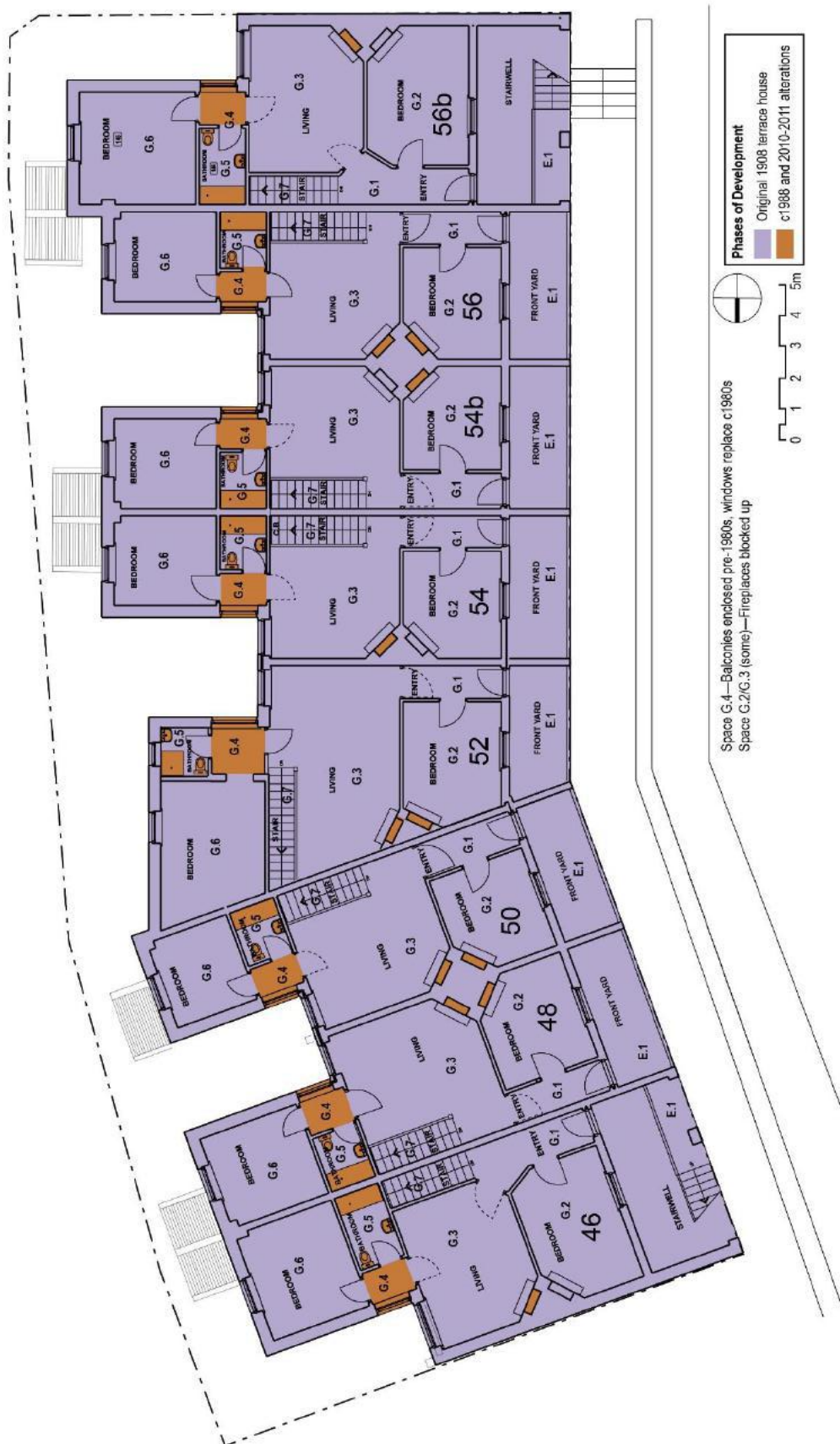


Figure 2.14 Diagram showing periods of construction—ground floor plan (lower flats). (Source: LAHC, with GML overlay 2016)

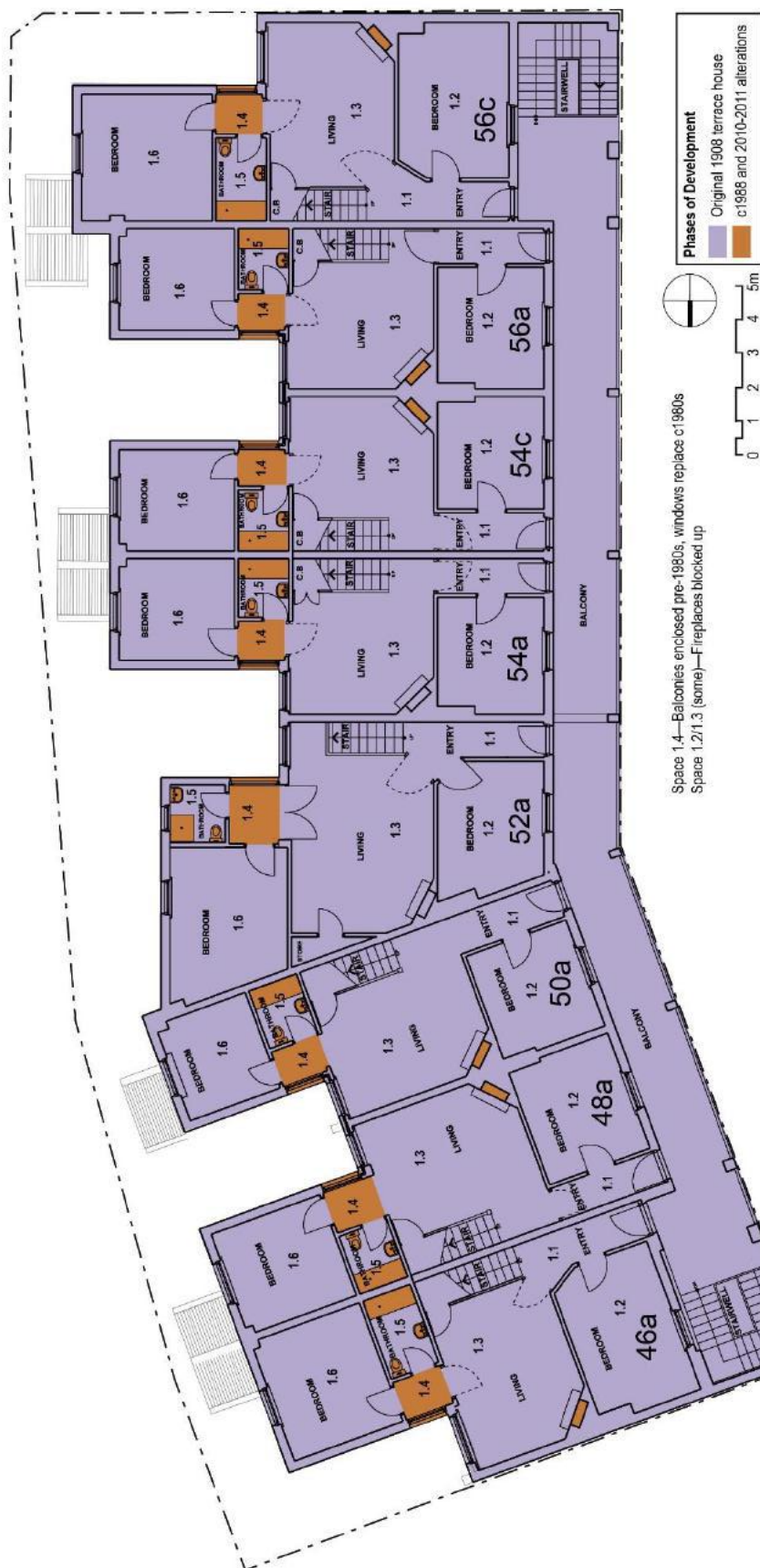


Figure 2.15 Diagram showing periods of construction—first floor plan (upper flats). (Source: LAHC, with GML overlay 2016)

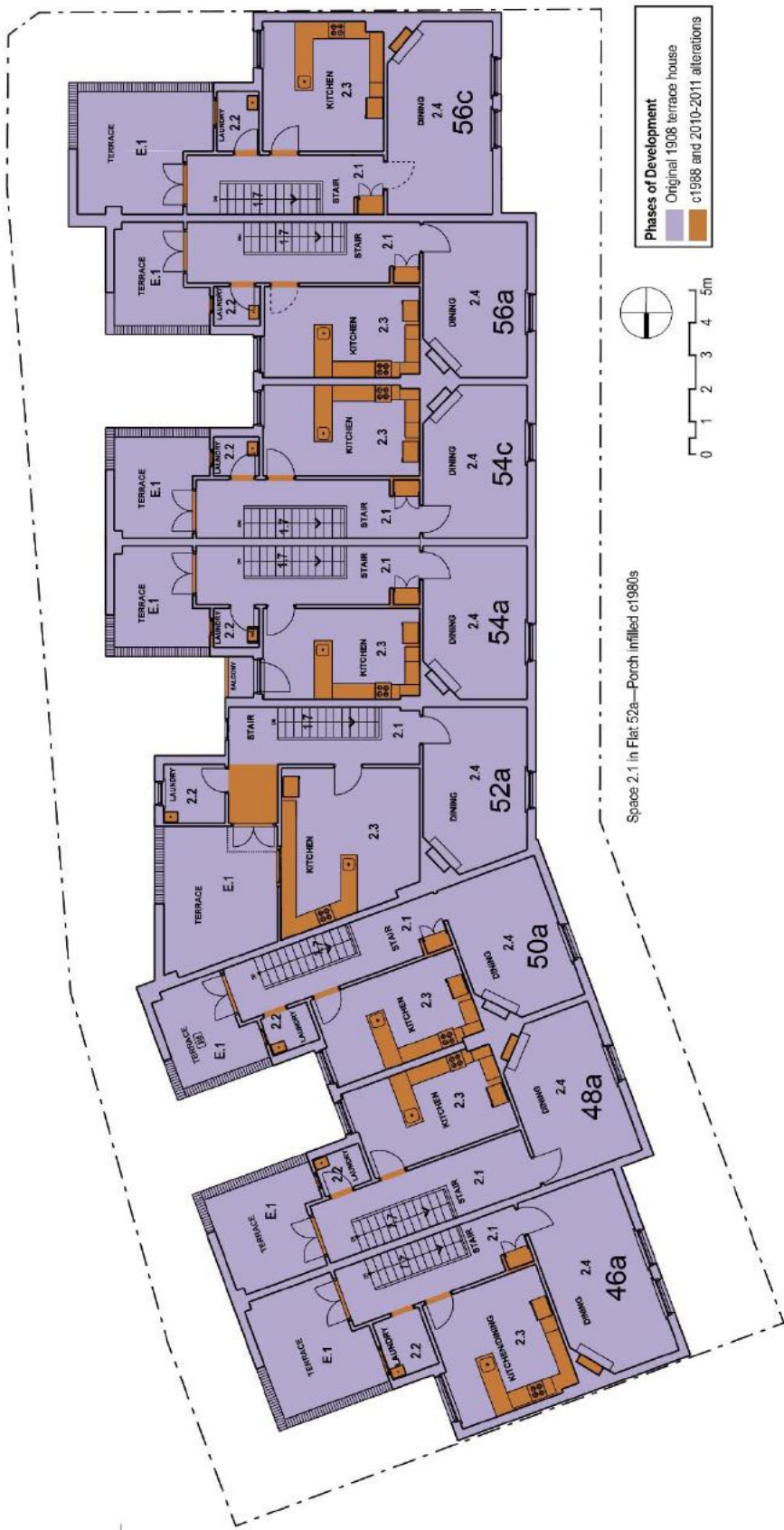


Figure 2.16 Diagram showing periods of construction—second floor plan (upper flats). (Source: LAHC, with GML overlay 2016)

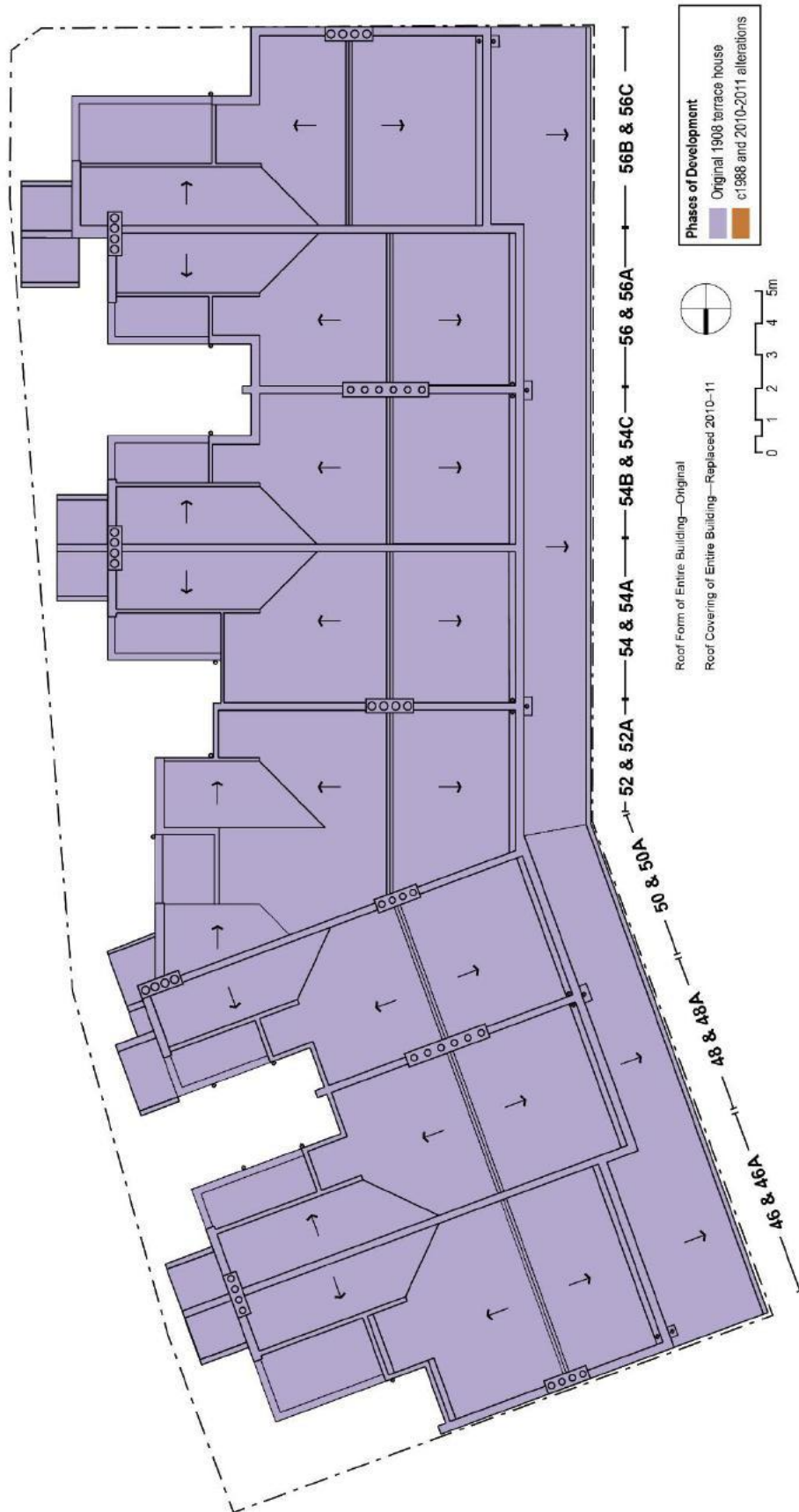


Figure 2.17 Diagram showing periods of construction—roof plan. (Source: LAHC, with GML overlay 2016)

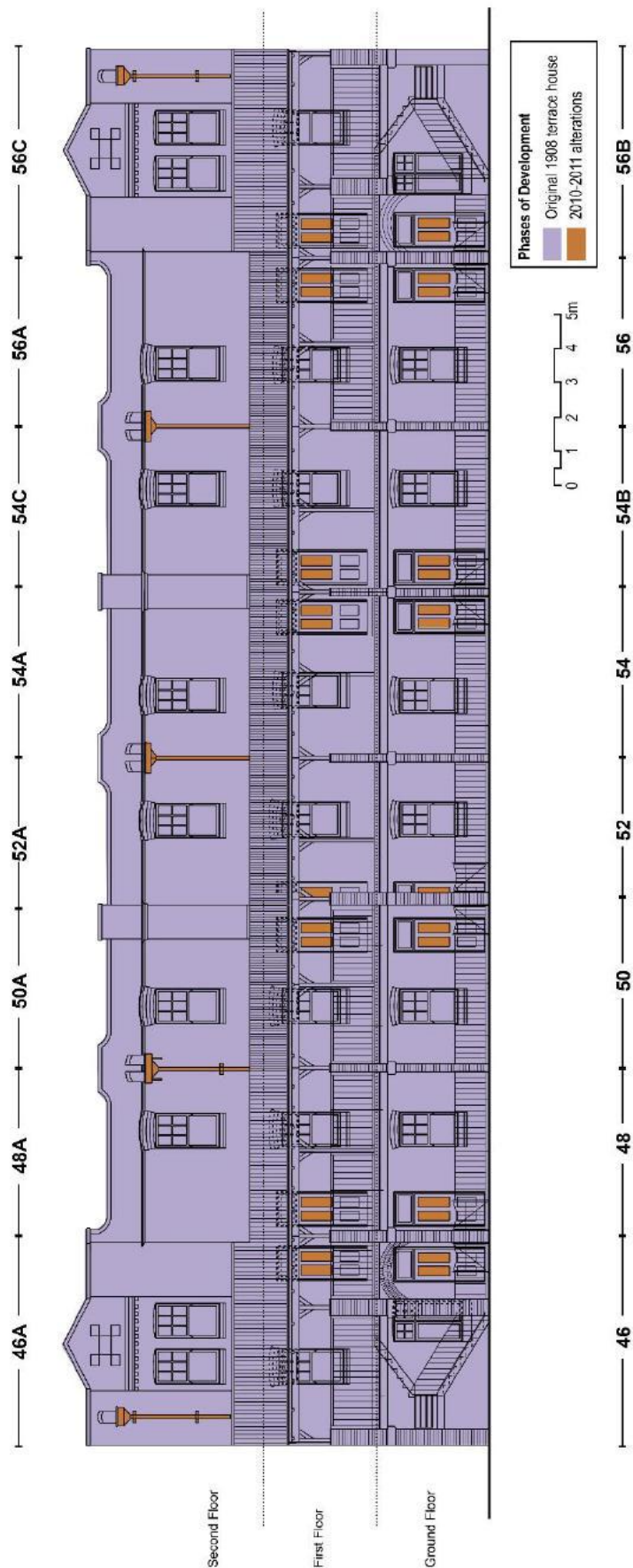


Figure 2.18 Diagram showing periods of construction—Gloucester Street (west) elevation. (Source: LAHC, with GML overlay 2016)

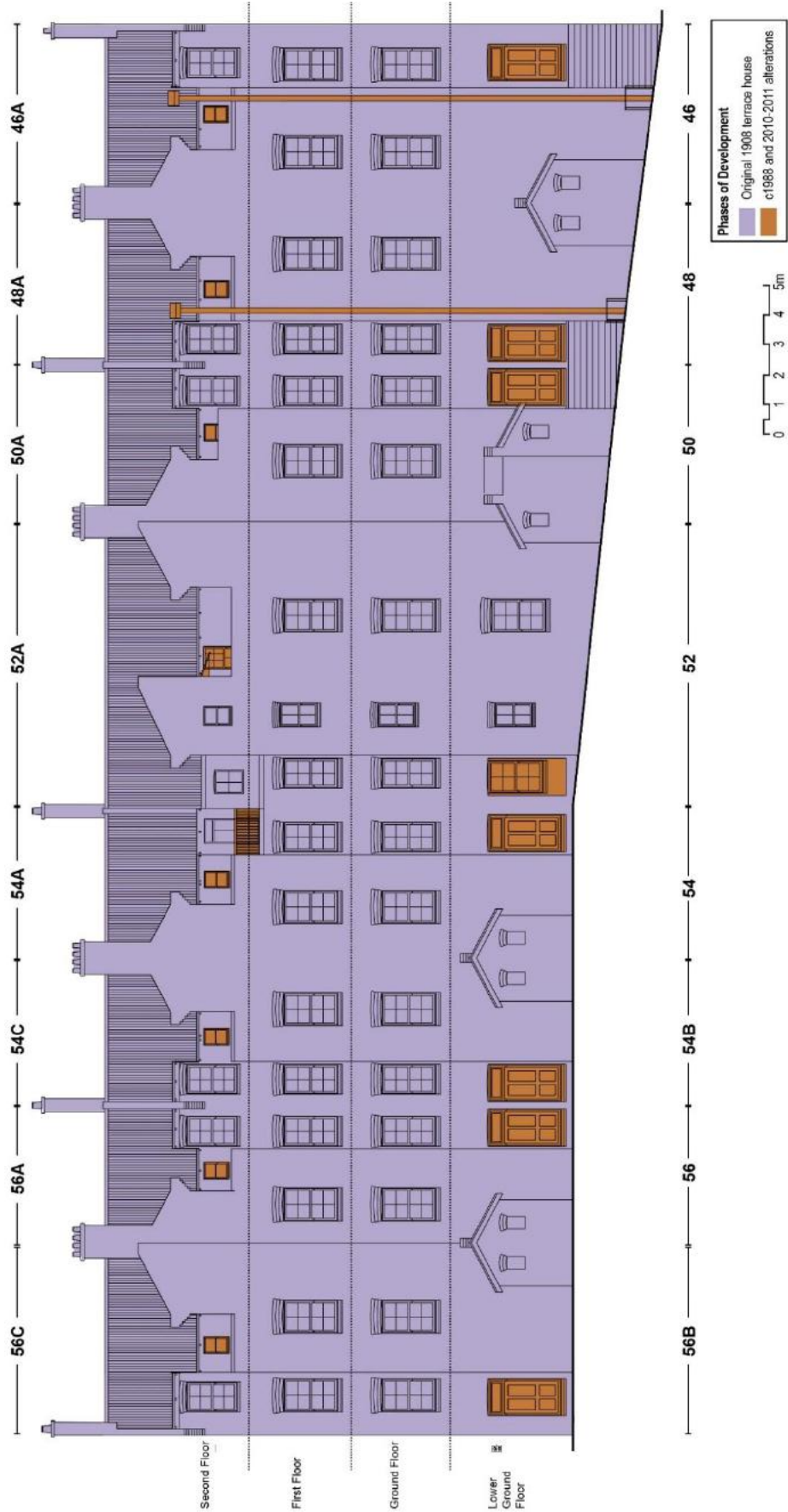


Figure 2.19 Diagram showing periods of construction—Cambridge Street (east) elevation. (Source: LAHC, with GML overlay 2016)



Figure 2.20 Diagram showing periods of construction—north and south elevations. (Source: LAHC, with GML overlay 2016)



Figure 2.21 Diagram showing periods of construction—north and south elevations of Flats 48, 48A, 50, 50A, 52 and 52A. (Source: LAHC, with GML overlay 2016)



Figure 2.22 Diagram showing periods of construction—north and south elevations of Flats 54, 54A, 56, 56A, 54B and 54C. (Source: LAHC, with GML overlay 2016)

2.4 Endnotes

- ¹ This historical summary is largely taken from Godden Mackay Logan, The Rocks Heritage Management Plan, report prepared for Sydney Harbour Foreshore Authority, February 2002, Vol.1, and from Knaggs, M and Lowe, CK (GAO), 46–56 Gloucester Street The Rocks Conservation Management Plan, prepared for Sydney Harbour Foreshore Authority, 2012. References given in endnotes 3–21 below are those cited by Knaggs and Lowe.
- ² Godden Mackay Logan, The Rocks Heritage Management Plan, report prepared for Sydney Harbour Foreshore Authority, February 2002, Vol1, pp 8–9.
- ³ Godden Mackay Logan, The Rocks Heritage Management Plan, report prepared for Sydney Harbour Foreshore Authority, February 2002, Vol1, pp 8–9.
- ⁴ Karskens, G 1997, The Rocks: Life in Early Sydney, Melbourne University Press, Melbourne, p 1.
- ⁵ Karskens, G 1997, The Rocks: Life in Early Sydney, Melbourne University Press, Melbourne, p 29.
- ⁶ Tyrone Cottage was a single storey cottage constructed on the subject site between c.1800 and 1825. Knaggs, M and Lowe, CK (GAO), 46–56 Gloucester Street The Rocks Conservation Management Plan, prepared for Sydney Harbour Foreshore Authority, 2012, p38.
- ⁷ Boyd, N 1997, 'Gloucester Street, The Rocks. A Study of its Development and Construction', Thesis submitted for the Master of Science (Architecture, Conservation) University of Sydney, 1998, p 89.
- ⁸ Boyd, N 1997, 'Gloucester Street, The Rocks. A Study of its Development and Construction', Thesis submitted for the Master of Science (Architecture, Conservation) University of Sydney, 1998, p 137.
- ⁹ Godden Mackay Logan, The Rocks Heritage Management Plan, report prepared for Sydney Harbour Foreshore Authority, February 2002, Vol1, pp 9–10.
- ¹⁰ Boyd, N 1997, 'Gloucester Street, The Rocks. A Study of its Development and Construction', Thesis submitted for the Master of Science (Architecture, Conservation) University of Sydney, 1998, p 144.
- ¹¹ Boyd, N 1997, 'Gloucester Street, The Rocks. A Study of its Development and Construction', Thesis submitted for the Master of Science (Architecture, Conservation) University of Sydney, 1998, p 152.
- ¹² Gazette Notice Australian Government Gazette, 2 July 1901.
- ¹³ Boyd, N 1997, 'Gloucester Street, The Rocks. A Study of its Development and Construction', Thesis submitted for the Master of Science (Architecture, Conservation) University of Sydney, 1998, pp 144–146.
- ¹⁴ Maisonette: an apartment or flat on two stories of a larger building and with its own entrance from the street.
- ¹⁵ Howells, T and Morris, C 1999, *Terrace Houses in Australia*, Landsdowne, p 70.
- ¹⁶ Robert A Moore Pty Ltd in association with Historic Houses Trust, Susannah Place 58–64 Gloucester Street, The Rocks, Conservation Analysis and Guidelines, 1989, p 10.
- ¹⁷ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46–56 Gloucester Street, report, report prepared for the Department of Housing, 1984, no page numbers.
- ¹⁸ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46–56 Gloucester Street, report, report prepared for the Department of Housing, 1984, no page numbers.
- ¹⁹ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46–56 Gloucester Street, report, report prepared for the Department of Housing, 1984, no page numbers.
- ²⁰ Philip Cox and Partners Pty Ltd, 46–52a Gloucester Street The Rocks, report prepared for the Department of Housing, September 1985, Drawing No. 8353/A/001.
- ²¹ Lease, SHFA File RE 0272.01.01.
- ²² The DA (No. 88/DA/29) was approved by the SCRA in May 1988.
- ²³ Mitchell, A 2014, email, 8 September.

3.0 Physical Evidence

3.1 Introduction

The flats at 46–56 Gloucester Street, which are now vacant, were inspected by the GML project team in November 2015, March 2016 and July 2016. Inspection aimed to establish the flat typologies and physical layout, age and overall condition of the fabric, and to account for the key phases of the development of the site. No physical, archaeological or opening-up works were undertaken as part of the inspections. Plans and photographs of the physical evidence are included in this report as Figures 3.5—3.12.

Each flat was also considered in terms of:

- its relationship within the larger building (46–56 Gloucester Street) of which it is part;
- the surrounding streetscapes, particularly Gloucester and Cambridge Streets;
- Millers Point and The Rocks precinct; and
- more distant views—including from the surrounding streets—within which the terrace building is a contributory component.

Detailed descriptions of individual flats are provided in Part 2 of this report.

3.2 Heritage Curtilage

Heritage Curtilage is defined as:

The area of land (including land covered by water) surrounding an item or area of heritage significance which is essential for retaining an interpreting its heritage significance.¹

The SHR heritage curtilage for the building at 46–56 Gloucester Street is shown in Figure 1.4. It includes all 16 flats and extends to the current property boundaries, DP 740303. Although a slight reduction of the original allotment has occurred due to the widening of Cambridge Street on the western boundary of the site, the current lot boundary is adequate for ensuring the retention of heritage significance. It should be noted, however, that the surrounding terraces contribute to the understanding of the physical and historical context of The Rocks, in which the building sits.²

3.3 Setting

The building is located on the eastern side of Gloucester Street, backing onto the Cambridge Street pedestrian laneway at the rear (Figure 1.2). On the north it is bounded by a pedestrian stairway and the adjacent terrace, known as Susannah Place, at 58–64 Gloucester Street to the south. The split level pedestrian path runs along Gloucester Street to accommodate the change in level between the street and the subject site.

The subject site forms part of a historically significant streetscape, which also includes the Susannah Place terrace. This terrace includes the Susannah Place Museum (managed by Sydney Living Museums), located immediately to the south, and a number of terrace houses of varying ages located to the north. Opposite the subject site are the Australian Hotel (1915) and the YHA building and Big Dig site (2009). The south eastern section of Gloucester Street features a mix of Victorian and modern infill buildings and is terminated at the end of the street by the Cahill Expressway overpass.

Gloucester Street runs south to north where it intersects with Cumberland Street near the southern Sydney Harbour Bridge stairs. Cumberland Street is a principal bridge approach street, affording vistas north to the Sydney Harbour Bridge as well as across the harbour to Circular Quay and the CBD. Cambridge Street to the rear of the site is a pedestrian thoroughfare that also runs south to north and links up with Argyle Street below the Cumberland Street overpass.

3.4 Site Description

The topography of the site steps down from west to east and the building responds to this by incorporating four levels—the principal entry is from the Gloucester Street level. This level is referred to in this report as the ground-floor level. There is one level below this level (referred to as the lower ground-floor level) and two levels above (referred to as the first-floor and second-floor levels). The building covers most of the site area.

46–56 Gloucester Street consists of a four-story Federation period building. It is divided into a group of 16 two-storey maisonette flats, each of either two or three bedrooms (maisonette being an individual flat on two stories of a larger building and with its own entrance from the street). The flats are arranged over four levels (referred to in this report as Lower Ground, Ground First and Second floors), with the upper eight flats sitting over the top of the lower eight flats. The rear (eastern) façade facing Cambridge Street is four storeys high and the main (western) façade facing Gloucester Street is three storeys high with a high parapet. The site has been cut into the sandstone bedrock. The entrance to all the flats is from Gloucester Street, with the lower flats entered at ground-floor level, extending down to Cambridge Street (lower ground-floor level). The entry to the upper flats is at first-floor level.

3.5 Flat Typologies

The 16 flats are generally similar in their layout, although they do vary slightly depending on their location within the building. Six typologies have been identified, as illustrated in Figures 3.1–3.4.

Type 1 flats are accessed from street level. They have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and a kitchen, dining room and laundry on the lower ground floor, with rear yard and external WC. There are minor dimensional variations in the internal spaces of the Type 1 group.

Type 2 flats are accessed from Gloucester Street via communal stairs to a shared covered verandah. Type 2 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, dining and laundry on the second floor, and an external roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 2 group.

Type 3 flats are the end flats of the lower group, on the lower ground and ground floor. The layout is similar to Type 1, but these flats have one flank wall forming the boundary of the lot. They are slightly wider than the Type 1 flats and are set back from the front building alignment.

Type 4 flats are the end flats of the upper group, on the first and second floor. The layout is similar to Type 2, but with gable ends to the boundary. They are slightly wider than the Type 2 flats and set back from the front building alignment.

Type 5 is one of the two types that sit in the inner angle of the building. The overall footprint is an irregular polygon. Rooms are a quadrilateral shape and the rear wing and stairs are oriented differently from the other types. They have a larger floor area and larger rear yard.

Type 6 is the upper version of Type 5, on the first and second floors, with a similar footprint to the Type 5.



Figure 3.1 Flat typologies—lower ground floor plan (lower flats). (Source: LAHC, with GML overlay 2016)



Figure 3.2 Flat typologies—ground floor plan (lower flats). (Source: LAHC, with GML overlay 2016)

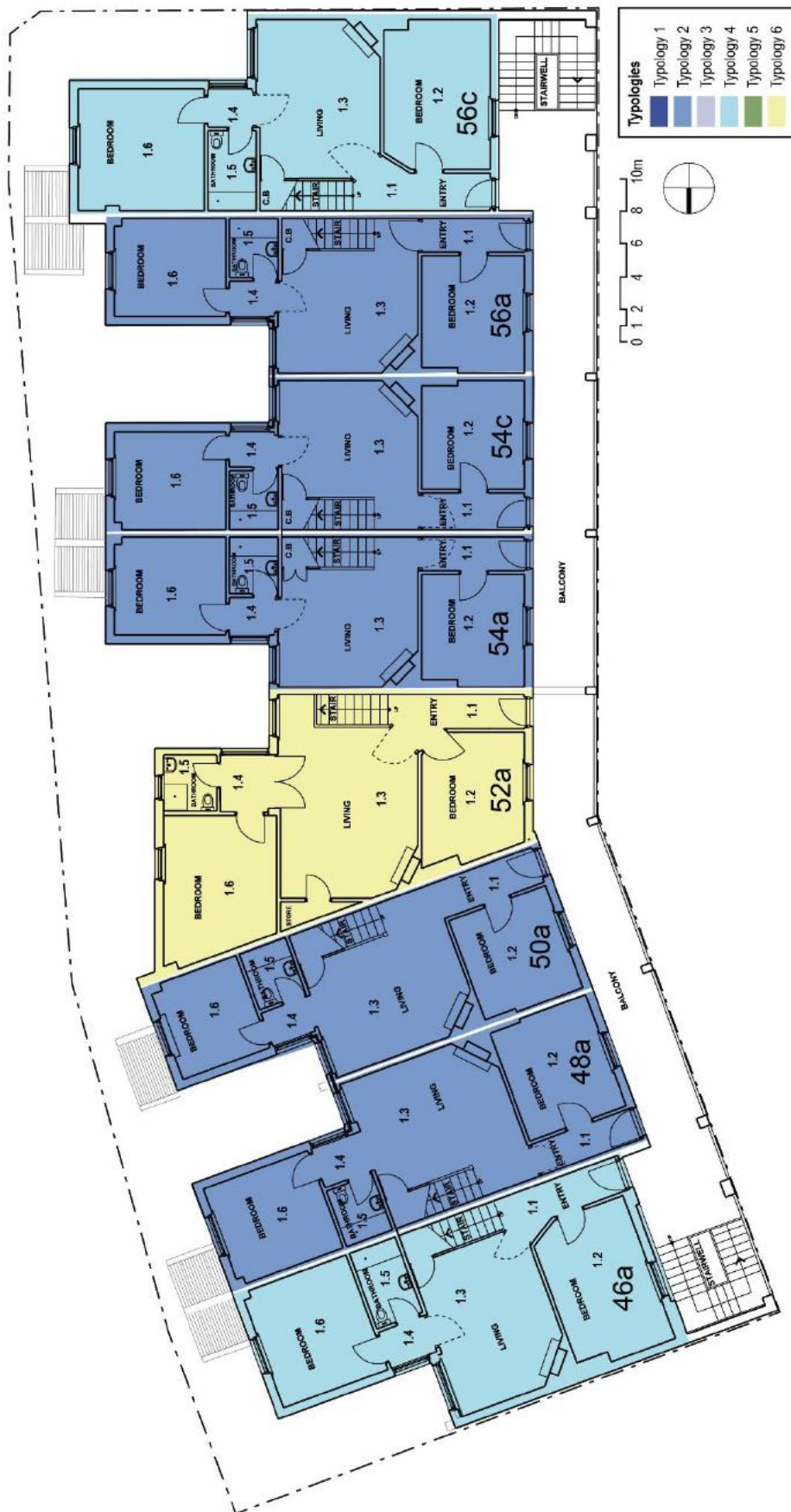


Figure 3.3 Flat typologies—first floor plan (upper flats). (Source: LAHC, with GML overlay 2016)

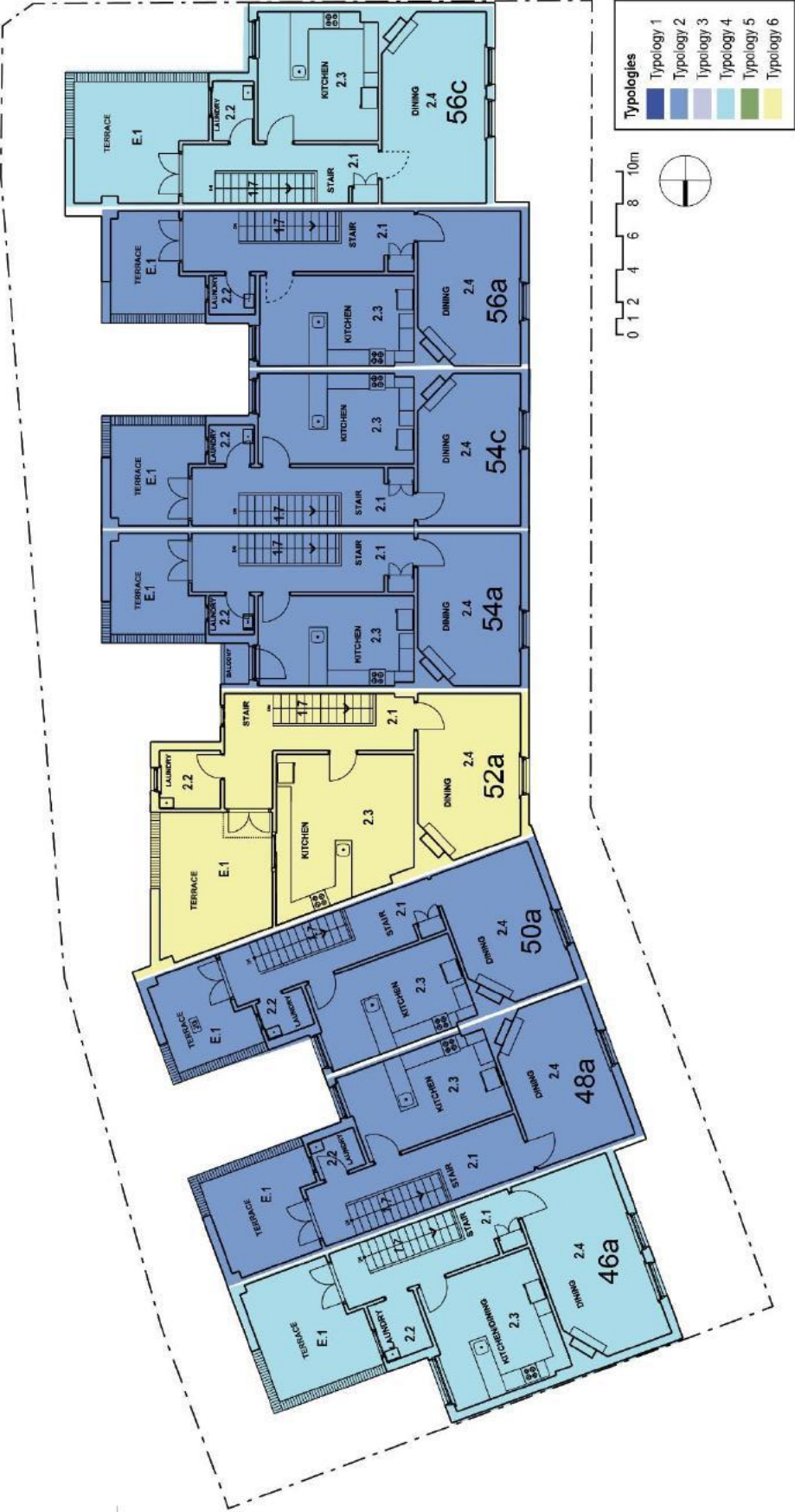


Figure 3.4 Flat typologies—second floor plan (upper flats). (Source: LAHC, with GML overlay 2016)

3.5.1 General Description—Exterior

The building is four storeys high and is constructed on an irregular plan that follows the ‘dogleg’ form of the site. Narrow wings extend to the rear of the building with small lean-to outbuildings (formerly WCs, but now storage) set against the end walls at lower ground-floor level (Figure 3.8).

The Gloucester Street façade is built of red-brown face brickwork and all other elevations are built in commons (Figures 3.5–3.8). The main roof is gabled in form and clad in corrugated galvanised steel roofing. The rear wings have skillion roofs. Brick party walls extend up through the roof making the building appear as a row of terrace houses. Tall brick chimney stacks are capped with circular terracotta chimney pots. The building is built in the Federation Free Style with simple Arts and Crafts features, including roughcast panels (end bays only) and contrasting brick surrounds to the principal façade (dark brick bands and surrounds around all openings, arched brick window and door heads, decorative basket-weave features in the parapet gable ends, a projecting stringcourse and corbelled eaves). The decorative rainwater heads on the front of the building are recent.

A two-storey verandah extends along the western street façade. It features brick piers with stone bolsters supporting plane timber posts with angled timber brackets. It also has a corrugated galvanised steel skillion roof. The verandah has steel balustrades and fencing and steel stairs giving access to the upper level flats from each end. Brick arches denote the entrance to the stairs. The verandah floors are concrete, with the upper level supported on steel beams. Brick party walls divide the verandah into separate bays at ground-floor level, but at first-floor level there is only a single division between the middle two flats. This does not extend to the ceiling and has a curved top.

All joinery is timber. Original four-panel doors, with fanlights above, open into each flat, although the top panels have been replaced with glass. With the exception of the two end flats, the windows on the Gloucester Street façade are double-hung with six-paned upper sashes and single-paned lower sashes. The end flats have multi-paned casement windows with casement fanlights. The windows in the rear elevations generally consist of four-paned double-hung sashes, top and bottom. Pairs of French doors (of varying widths) have been inserted to the rear walls of all flats to provide access to the rear yards and second-floor verandahs.

Arched openings in the side walls of the rear wings feature timber balustrades. These were once open balconies, which have been infilled with casement windows (sliding in two cases). Open terraces with solid brick balustrades exist on the top floor of each of the rear wings. The openings onto these have been altered and include French doors set in weatherboard clad walls. The roof top terraces are tiled.

A service tunnel exists below the front (western) rooms of the lower flats. It is accessed from its southern end via an opening in the southern end wall and a metal stair located between the Gloucester Street building and the Susannah Place Terrace. A similar opening in the northern end wall was blocked up most probably when the Cambridge Stairs were rebuilt in the 1980s. floor level plans are found at Figures 3.9–3.12.

3.5.2 General Description—Interior

Floors

The floors of the flats all consist of timber tongue-and-groove boards on the ground, first and second-floor levels, with either a tung oil or carpet finish. At the lower ground-floor level the floors are concrete. Kitchens and laundries have sheet flooring and the bathrooms are tiled. The floors in the small halls (previously external balconies) in the rear wing on the ground and first-floor levels are timber and have been raised to be flush with the surrounding timber door thresholds and floors.

Walls

With the exception of the lower ground floor and former porches, which are unrendered brick, most of the walls in the flats are rendered and painted. Some former porches at the rear are unpainted brick (flats 52, 52A). Some internal walls (adjacent the stairs on the ground, first and second-floor levels) are of lightweight concrete incorporating fly-sash. Skirtings are run in the render of the original walls. Most of the flats have decorative plaster wall vents. In the front two rooms of each flat at entry level, there are timber picture rails running around the walls.

Large openings have been made in the walls between the two main rooms at lower ground-floor level and plasterboard-lined timber partitions have also been installed to create laundries under the stairs. In Flat 52 the lower ground floor has been reconfigured (either in 1988 or subsequently) by removal of the partition wall between laundry and kitchen and construction of an understairs cupboard. At second-floor level the doors to the kitchens and laundries have been relocated. In Flat 52A the small porch at the top of the stair has been enclosed with French doors and weatherboard externally (either in 1988 or subsequently), including a fixed awning on timber brackets over the doors. The skirtings to the new partitions are timber.

Ceilings

The ceilings on the lower ground, first and second-floor levels are ripple iron with timber moulded cornices. The cornices are larger in the main rooms (living rooms, kitchens and bedrooms) and simpler in the secondary spaces (bathrooms and laundries). The ceilings on the ground-floor level are flat and appear to be plasterboard (possibly fire rated).

Steel beams support the internal walls of the rear wing above the lower ground floor. In some cases the ceilings under the small hall and bathroom spaces have been dropped to accommodate services. Timber beams support the floor above the entrance halls of the two lower end flats at ground-floor level.

Stairs

The timber stairs in each flat are original and feature closed strings, square newel posts, square balusters, deep moulded handrails and boarded soffits. The area under the stairs at lower ground-floor level is also generally enclosed with vertical boarding (original detail). The area under the stair in the upper flats is enclosed by a coke breeze wall.

Door Joinery

Most of the internal doors are four-panelled doors, although to the small bathrooms located in the rear wings are generally half glazed with textured glass. Most internal doors have central pivot fanlights above. The timber architraves are wide with a plane square beaded edge. The original door openings in the coke breeze walls have expressed timber frames.

Fireplaces

Most of the rooms in the front portion of the building have splayed corner fireplaces, many of which have been blocked up. None are functional. Some have early cast iron grates and marble chimney pieces (Flats 50A, 54A (overpainted); Flats 54B and 56A), whereas others have original cast iron chimney pieces and grates (Flats 46, 54 and 56B). The fireplaces in the middle rooms on the first floor appear to be larger (Flat 50A), one retaining a cast iron cooking range and cast iron mantel shelf (Flat 52A), indicating previous kitchen use (a similar range in Flat 54A has been removed from the hearth). At lower ground-floor level the fireplaces have been fitted with shelving, although one is blocked up

(Flat 50) and one retains a cast iron cooking range (Flat 56B). All the fireplaces still retain their concrete hearths, which are painted. The fireplaces with grates and chimney pieces are covered with a Perspex sheet.

Fitouts

All the kitchen, bathroom and laundry fitouts appear to be c1988. In the case of Flat 52, alterations to the rear door at lower ground level involving switching the position of the French doors and sash window appear to post-date the 1988 works (the work appears to have been executed using slightly different techniques and detailing) but the exact date of this intervention is not known.

Repair and Restoration Works

Other works undertaken during the 1988 refurbishment include the actions listed below.

At lower ground-floor level:

- partial removal of the brick wall between the former kitchen and laundry to create an open kitchen/dining area;
- construction of internal partitions to create laundries, enclosing the area under the stair;
- removal of toilets from exterior WCs;
- brick paving of rear yards;
- replacement of original rear doors with French doors;
- lowering of the ceiling in some flats to hide new services; and
- alterations to fireplaces to include shelving.

At ground and first-floor levels:

- enclosure of rear porches;
- blocking-up of some fireplaces; and
- fire upgrade of ground-floor ceilings.

At second-floor level:

- enclosure or external WCs on the terrace, creating internal laundries;
- introduction of French doors to provide access to rooftop terrace;
- relocation of some kitchen doors;
- addition of landing linen cupboards;
- blocking-up of some fireplaces;
- kitchen, bathroom and laundry fit-outs; and
- general repairs to roofs, rainwater goods and joinery;

Works undertaken in 2010 and 2011 included internal painting, flooring repairs, roofing, roof plumbing, masonry repairs, joinery repairs and timber treatment, repairs to fireplaces, new or additional electrical services, and repairs to the kitchen, laundry and bathroom fit-outs.



Figure 3.5 Flats 46A and 48A, at the northern end of the western elevation to 46–56 Gloucester Street. (Source: GML 2015)



Figure 3.6 Flats 54C, 56A and 56C, at the southern end of the western elevation to 46–56 Gloucester Street. (Source: GML 2015)



Figure 3.7 Flat 56C, and the southern elevation of the building at 46–56 Gloucester Street. (Source: GML 2015)



Figure 3.8 Eastern elevation of the building at 46–56 Gloucester Street, facing Cambridge Street, showing exterior WCs, timber-framed laundry hoists within the rear yards and a mango tree at rear of Flat 52. (Source: GML 2015)

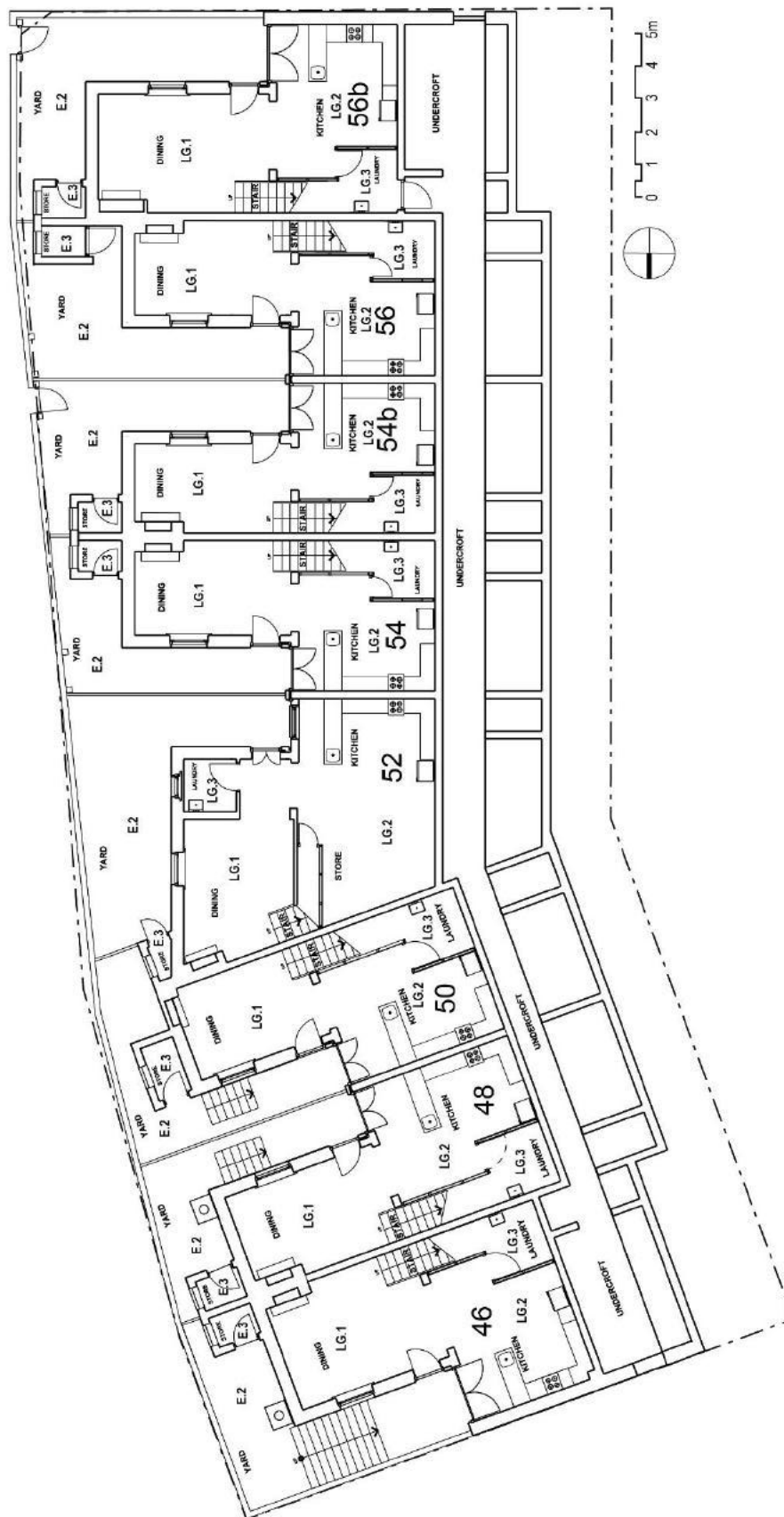


Figure 3.9 Lower ground floor level plan. (Source: SHFA, amended by GML, 2016)



Figure 3.10 Ground floor level plan. (Source: SHFA, amended by GML, 2016)

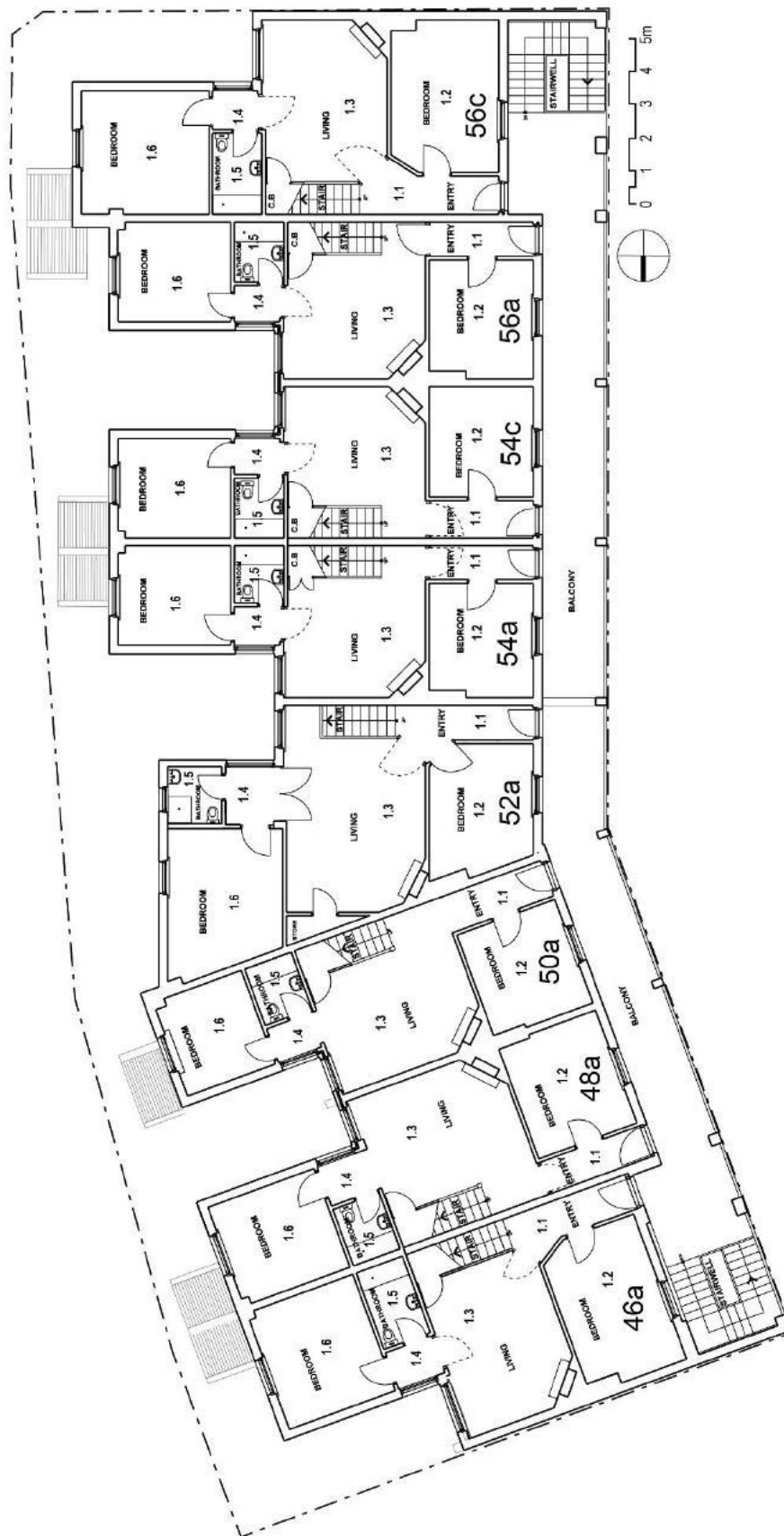


Figure 3.11 First floor level plan. (Source: SHFA, amended by GML, 2016)

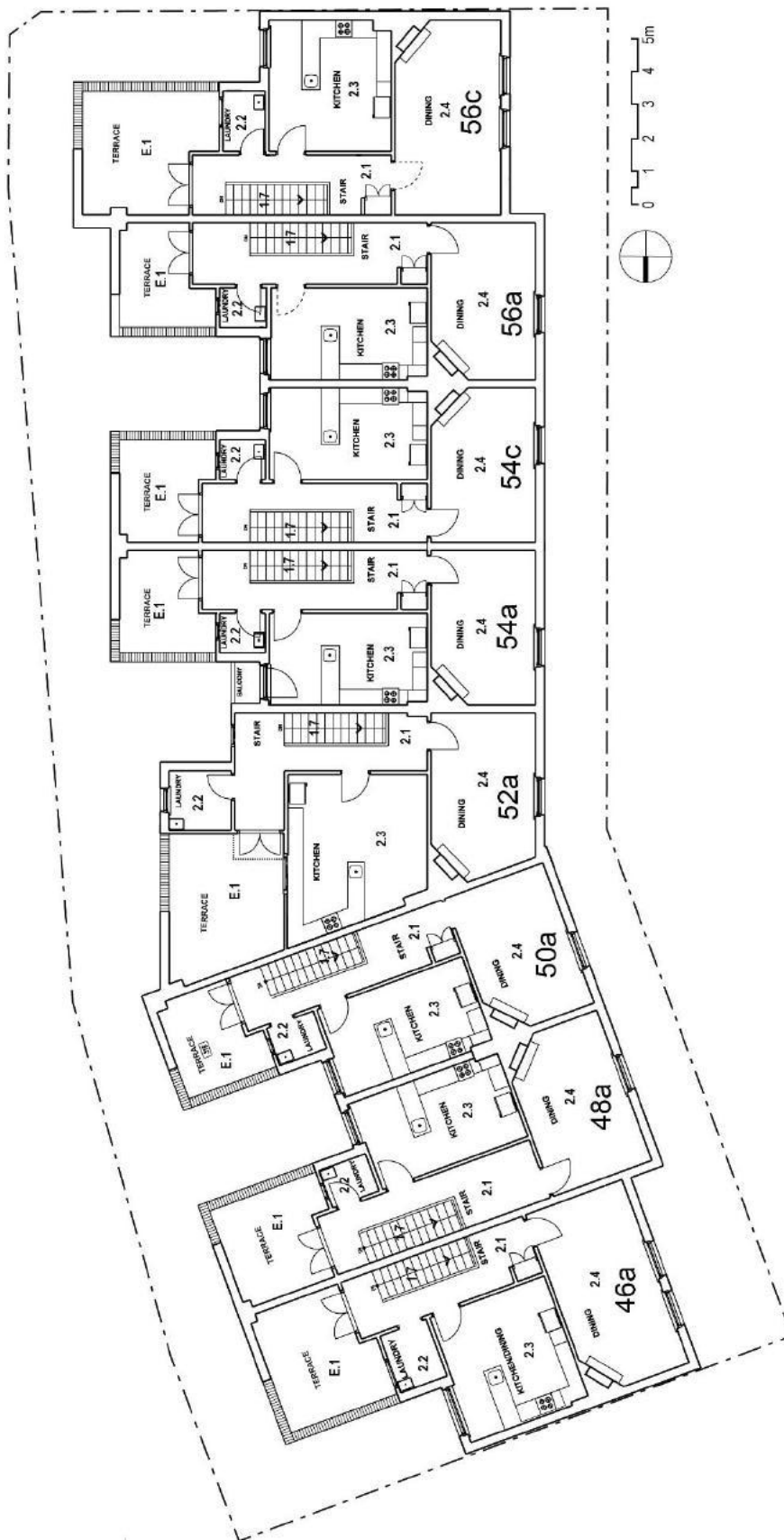


Figure 3.12 Second floor level plan. (Source: SHFA, amended by GML, 2016)

3.6 Landscape and Vegetation

The building extends to the property boundary on its western side. Narrow yards extend between the wings to the east. The sandstone bedrock on which the building is constructed is evident along the northern boundary. Timber paling fences extend along the north, east and south site boundaries, set on a low sandstone walls or brick. Timber lapped and capped fences divide the rear yards between the flats (NB fence lines do not necessarily reflect boundary lines exactly as surveyed). The yards are all brick paved.

Traditional timber-framed laundry hoists exist in the rear yards, extending from the rear fence back to the building. A mature mango tree exists in the rear yard of Flat 52.

3.7 Archaeology

Historical records analysed in Section 2.0 demonstrate at least one, and possibly two phases of prior construction at the site. Buildings were present on Cambridge Street at least as early as 1823 as shown in Harper's plan of early Sydney (Figure 2.1). Buildings constructed before the introduction of the 1838 building regulations requiring fire separation were subsequently demolished. Redevelopment on the site had occurred by c.1900. The houses on the subject site prior to 1912 chiefly addressed Cambridge Street, with their backyards bounded by Gloucester Street, although some faced Gloucester Street (Figures 2.2 and 2.3).

The current building was constructed between 1908 and 1912. The lower ground floor and building foundations were cut into the sandstone bedrock. However, it is possible that fill has been used to level the site, particularly in the northeast corner where the ground slopes more dramatically. Archaeological evidence would relate to the houses previously located here, including structural remains, and possibly, deeper cut features built into the bedrock, such as wells or cisterns. As houses faced both street frontages, it is not possible to predict where yard areas yielding such features may be located.

The site's archaeological potential has been assessed in the E Higginbotham, T Kass and M Walker, *The Rocks and Millers Point Archaeological Management Plan* (1991).³ This plan identified archaeological remains which may be above-ground, below-ground and within a standing structure and its cavities (walls, ceiling spaces, roofs, sub-floor areas, etc). An inventory sheet for 46–56 Gloucester Street from the 1991 Archaeological Management Plan is included as Appendix C.⁴

The plan indicates low archaeological potential with above ground relics 'mostly disturbed to destroyed' and below-ground archaeological remains 'mostly disturbed' (Figure 3.13 and Figure 3.14). There is nil–low potential for archaeological remains in the western portion of the site, where the current building foundations would most likely have destroyed existing remains. Deeper features may be present below this depth. The current rear yards may contain surviving remains of pre-1900s occupation under the paving.

There is low potential for archaeological remains to be found in cavities or voids in the building. Although studies have demonstrated they can be located in buildings constructed prior to 1935 in Australia⁵, the potential is low and may only occur in areas of the building not been altered or interfered with since initial construction such as under door thresholds or between walls. The Rocks and Millers Point Archaeological Management Plan recommends archaeological monitoring is undertaken prior to any ground disturbance.⁶ Recommendations regarding the management of archaeological potential are provided in Section 8.4.2.

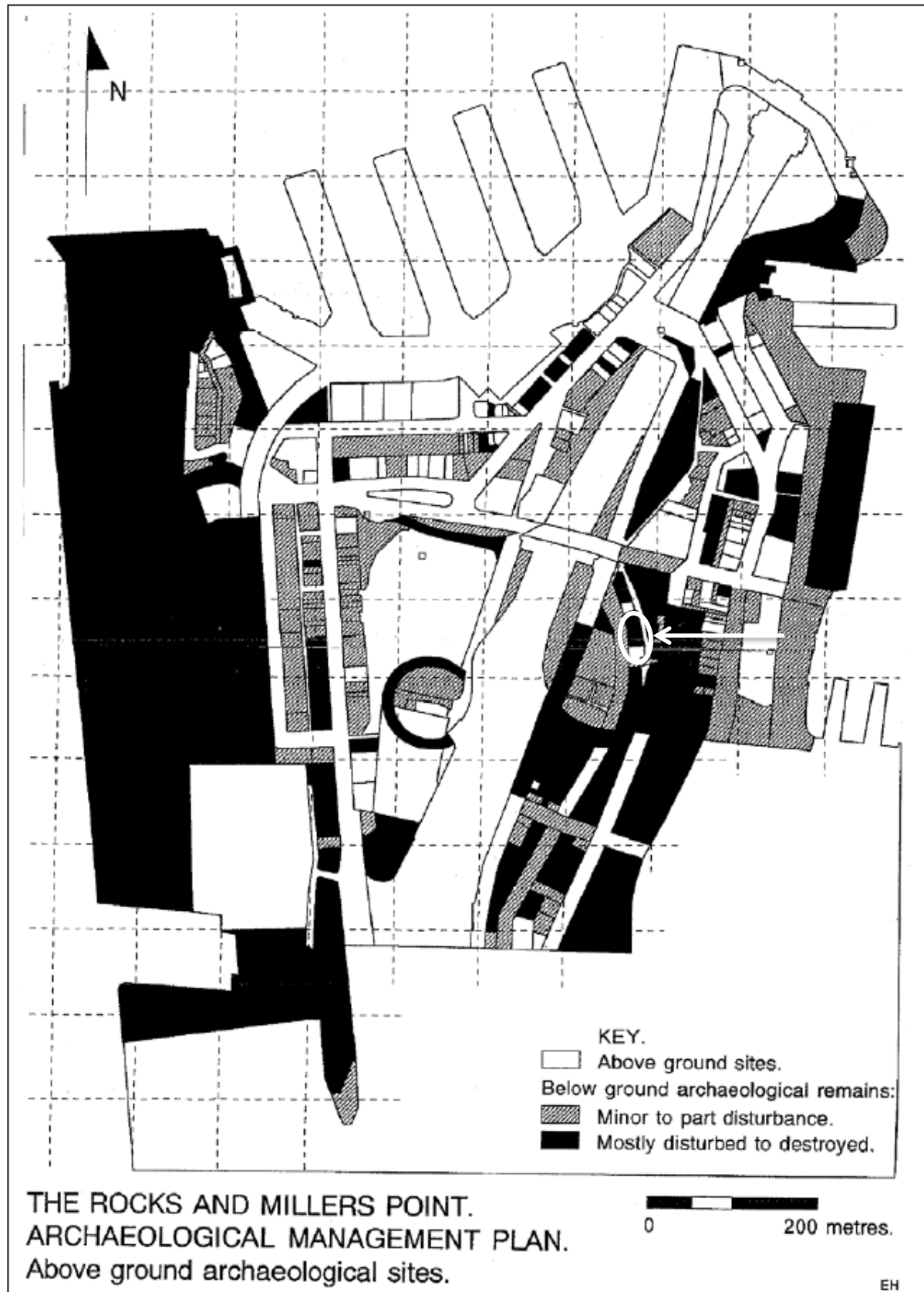


Figure 3.13 Above-ground relics. (Source: Higginbotham E, Kass T and M Walker, The Rocks and Millers Point Archaeological Survey, report prepared for the Department of Planning, 1991)

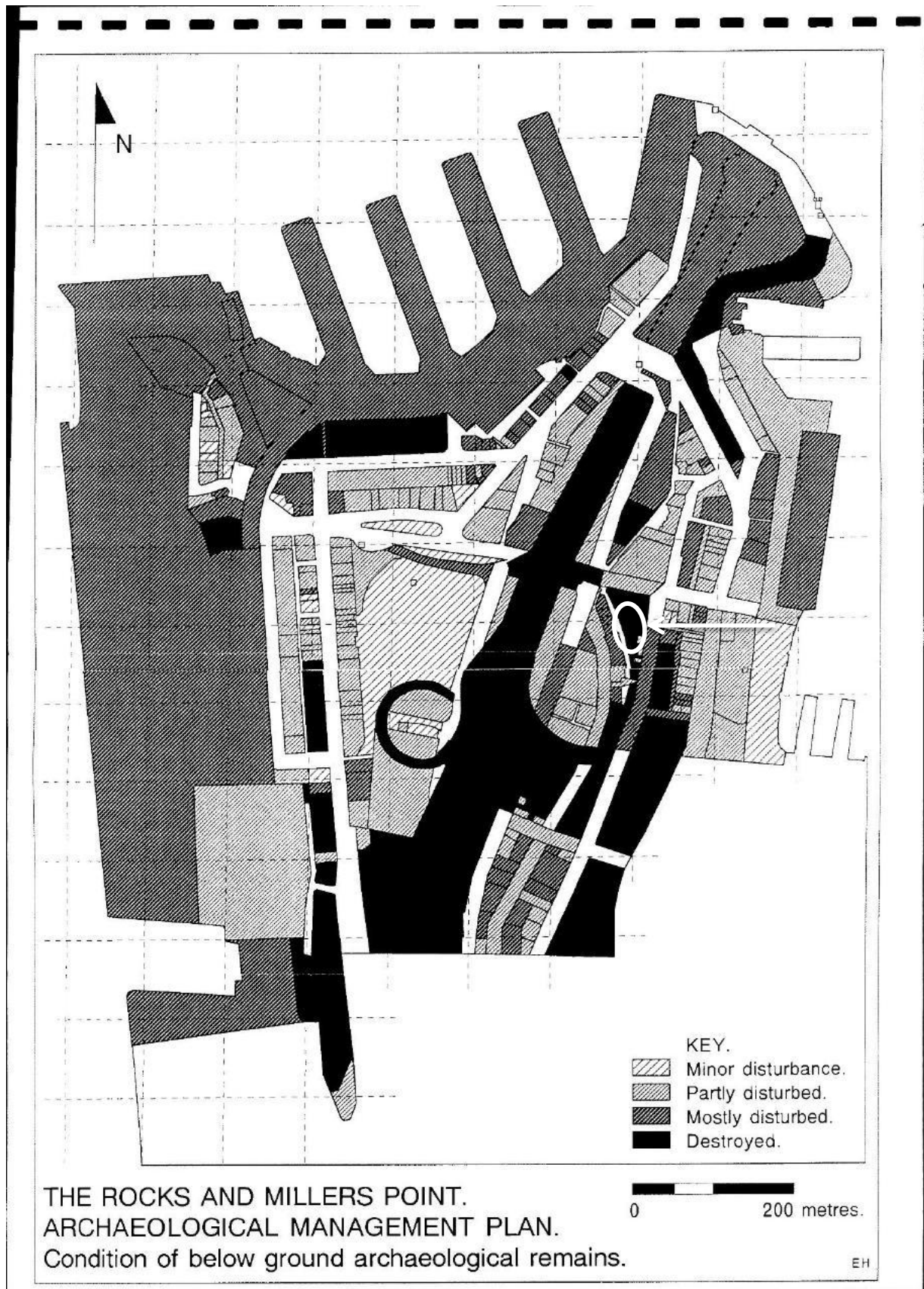


Figure 3.14 Below-ground archaeological remains. (Source: Higginbotham E, Kass T and M Walker, The Rocks and Millers Point Archaeological Survey, report prepared for the Department of Planning, 1991)

3.8 Aboriginal Values and Archaeology

Aboriginal cultural values in The Rocks should be recognised, conserved and respected. If important historical Aboriginal associations are known they should be addressed.

The intensive use and change within the area following European settlement means that it is unlikely that substantial archaeological evidence of the Aboriginal occupation of The Rocks have survived intact. However evidence may remain in disturbed contexts, such as historical archaeological or fill layers, or within remnant natural soil horizons. Any existing evidence of Aboriginal occupation and interactions with the European community in The Rocks will have significance for the contemporary Aboriginal community and is afforded protection under the NSW *National Parks and Wildlife Act 1974* (NPW Act). It is also possible that evidence remains of later Aboriginal activity and interactions in the area. The unearthing of such information about the Aboriginal experience would be of major importance to the Aboriginal community, helping them to preserve their cultural heritage and lifeways.

The 'Understanding the Rocks Aboriginal Context' section in The Rocks Heritage Management Plan provides basic information about the Aboriginal occupation of the area.⁷

3.9 Analysis of Views

3.9.1 Site Context

The site is located on sloping ground between Gloucester and Cambridge Streets, which are remnants of the nineteenth-century (pre-1900 resumptions) street layout and follow the natural contours of the land. The stairs to the north of the site respond to the steep topography, linking the two streets (Figure 3.15).



Figure 3.15 Public steps at northern end of the site. (Source: GML 2015)



Figure 3.16 The footpath immediately in front of the building on Gloucester Street is much lower than the street level. (Source: GML 2015)

The western (front) elevation of the building is an important element of the streetscape of Gloucester Street due to its location on the bend, and is visible from both the northern and southern ends of the street. The eastern (rear) elevation is a strong element in the streetscape of Cambridge Street due to its height and bulk. The stepped street level creates a second tier of views at and below, pavement level (Figure 3.16).

3.9.2 View Analysis

Views to the site generally consist of long oblique views. The rear façade of the Rendez-vous Hotel on Cambridge Street, immediately east of the building, constrains inward and outward views on the lower side of the site. View analysis is shown in Figure 3.17.

Views to the Site

From the northern end of Gloucester Street and from the Gloucester Street junction with Long's Lane to the south, the 'cranked' façade, with its row of chimneys and double verandah, is prominent. Views of the northern end of the building are very limited, but the southern elevation is visible over the top of Susannah Terrace.

View 1: An open view to the main western elevation of the building from the northern end of Gloucester Street allows the upper three stories of the cranked façade to be fully seen against a backdrop of city high-rise (Figure 3.18).

View 2: A more intimate view from the pavement cutting on Gloucester Street accentuates the right-hand turn in the façade as it follows the street line. The northern gable elevation can be seen obliquely from Gloucester Street (Figure 3.19).

View 3: Long views from as far as the junction of Long Lane and Gloucester Street to the western elevation and southern gable end. The row of chimneys and double-height verandah accentuate the change in direction as the road turns towards Cumberland Street (Figure 3.20).

View 4: Views to the rear of the site from the northern end of Cambridge Street are limited by topography and the close proximity of the Rendez-vous Hotel (Figure 3.21).

View 5: The southern gable and the four-storey rear elevation can be seen from a three-quarter angle when climbing the Cumberland Steps from Harrington Street (Figure 3.22).

Views from the Site

Views from the site are chiefly those from the rear balconies of the upper flats (to the north, east and south) and from the western verandah and upper western windows (to the west and southwest). The lower flats have very restricted views across Cambridge and Gloucester Streets.

View 6: View of the tall city buildings to the south along Gloucester Street from the western verandah and upper level windows (Figure 3.23).

View 7: Views north along Gloucester Street are truncated by the elevated Bradfield Highway (Figure 3.24).

View 8: View from the rooftop balcony of Flat 46A to the north along Cambridge Street to Argyle Street. This view is constrained by the buildings bounding Cambridge Street (Figure 3.25).

View 9: Views of the city from the rooftop terraces of the flats at the southern end of the building. Only Flat 56C has extensive views of the city, and these include views over the roofs and rear yards of

Susannah Terrace. The views from the other flats are more constrained by the development along the eastern side of Cambridge Street (Figure 3.26 and 3.27).

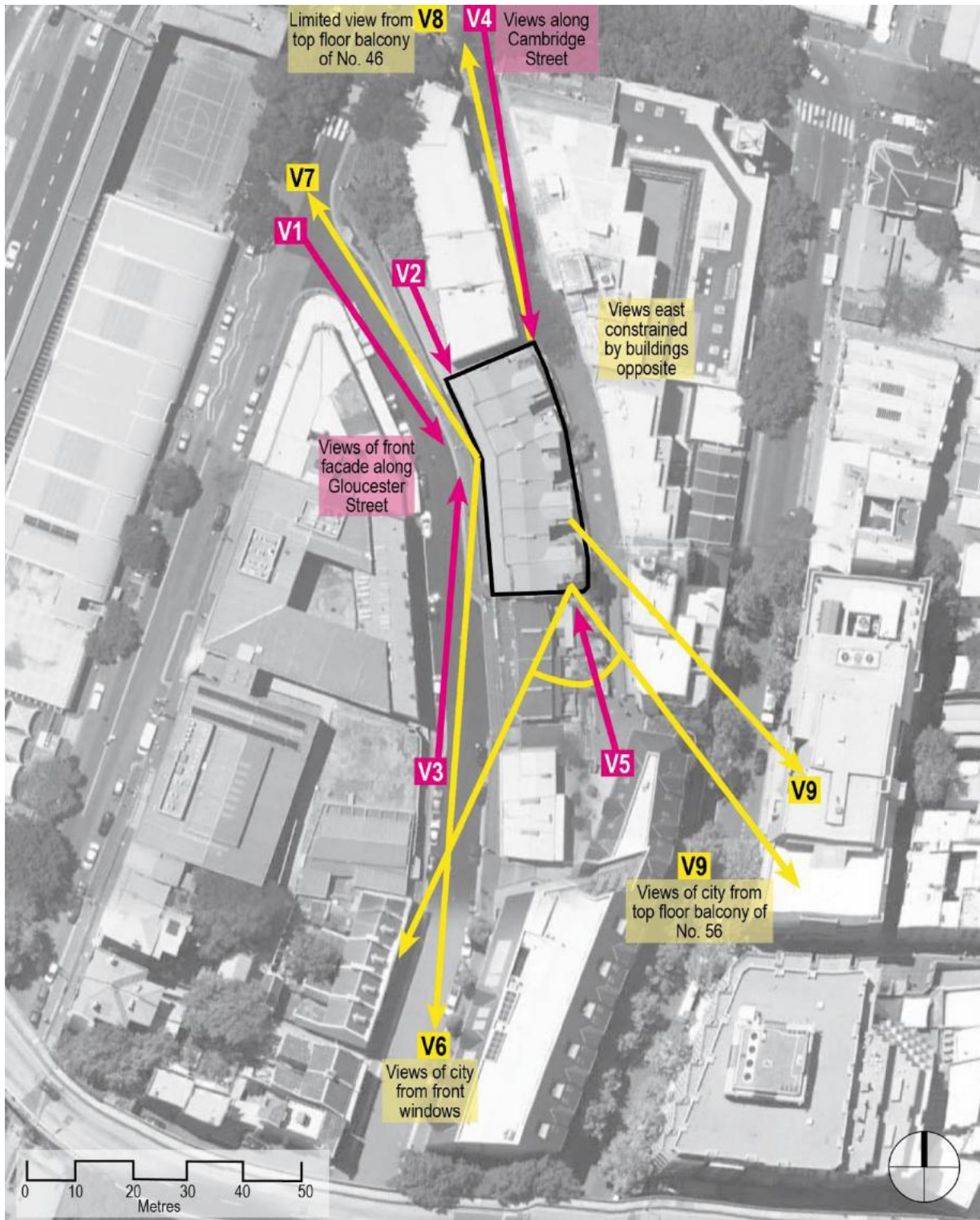


Figure 3.17 Views analysis diagram. (Source: Google Earth base plan with GML overlay 2015)

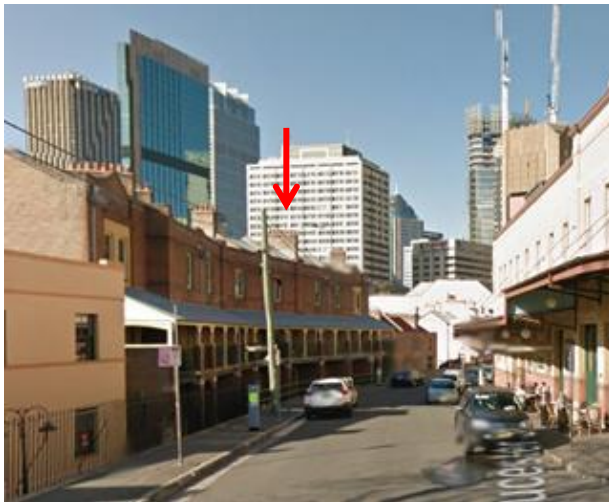


Figure 3.18 View 1—towards the western façade of 46–56 Gloucester Street looking south from the corner of Cumberland Street and Gloucester Street. (Source: Googlemaps 2015)

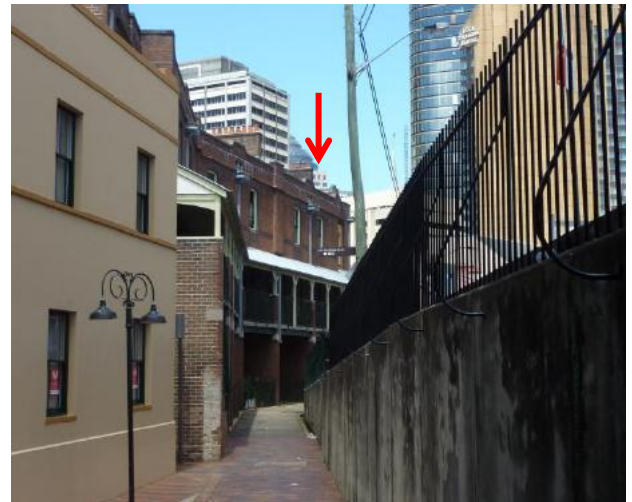


Figure 3.19 View 2—towards the western façade of 46–56 Gloucester Street looking south from the pavement cutting below Gloucester Street. (Source: GML 2015)



Figure 3.20 View 3—view looking north towards the western façade of 46–56 Gloucester Street from the junction of Gloucester Street and Long Lane. (Source: Googlemaps 2015)



Figure 3.21 View 4—view looking south and the eastern façade of 46–56 Gloucester Street along Cambridge Street. (Source: GML 2015)



Figure 3.22 View 5—view looking north from the Cumberland Steps. (Source: GML 2015)



Figure 3.23 View 6—view looking south from the second-floor window of Flat 48A. (Source: GML 2015)



Figure 3.24 View 7—view looking north along Gloucester Street towards the Bradfield Highway. (Source: GML 2015)



Figure 3.25 View 8—view north along Cambridge Street from the rooftop balcony of Flat 46A. (Source: GML 2015)



Figure 3.26 View 9—a view of the city skyline over the roofs of buildings in Cambridge Street is available from balconies at the southern end of the building. (Source: GML 2015)



Figure 3.27 View 9—view over Susannah Terrace from Flat 56C. This view includes views of the city similar to View 6. (Source: GML 2015)

3.10 Endnotes

¹ Heritage Office and Department of Urban Affairs and Planning, Heritage Curtilages 1996.

² Knaggs, M and Lowe, CK (GAO), 46–56 Gloucester Street The Rocks Conservation Management Plan, prepared for Sydney Harbour Foreshore Authority, 2012, p106.

³ Higginbotham, E, Kass T and M Walker, The Rocks and Millers Point Archaeological Management Plan, report prepared for the Department of Planning, 1991.

⁴ Higginbotham, E, Kass, T and Walker, M, The Rocks and Millers Point Archaeological Management Plan, report prepared for the Department of Planning, 1991.

⁵ Evans, I 2010 'Touching Magic: Deliberately concealed objects on old Australian houses and buildings', Doctor of Philosophy—History Thesis, University of Newcastle, NSW, Australia.

⁶ Office of Environment and Heritage, viewed 16 December 2015

<<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/ArchSignificance.pdf>>.

4.0 Significance of Components

4.1 Description of Significant Elements

The building at 46–56 Gloucester Street is substantially intact and retains its original layout and many of its significant characteristics and component elements. Later additions and repairs are largely well executed, discreet and sympathetic (in some cases almost indistinguishable from early work or re-using fabric from the original building to adapt the form while retaining integrity). These later works generally enhance the overall significance of the original.

The following is a summary of key elements, some of which are shared or common elements/fabric (for which responsibility may lie with more than one owner or the owners' corporation), and elements belonging to individual flats. For more detailed analysis of individual flats and photographic schedules, refer to the flat-specific chapters in Part 2 of this report. For constraints and opportunities arising from significance, including the need for a common approach to management, refer to Section 8.0 of this report. Policies addressing the management of significant fabric that is common property as well as significant fabric within individual lots are provided in Section 9.0.

4.1.1 Key External Elements

Externally, the building retains its original form and presents a large number of significant external features, most of them original (or replaced with matching or compatible modern equivalents) (Figures 4.1 to 4.20). Exterior envelopes include the following significant elements:

- the gabled roof form to the main building, with corrugated galvanised steel cladding;
- red-brown face brickwork to the principal facade and use of commons for all other elevations;
- cavity wall construction using stretcher bond for the external skin;
- parapeted brick party walls between flats at roof level and original chimney stacks with brick-on-edge coping and terracotta chimney pots;
- the high parapet to the western (front) facade featuring triangular pediments at each end, with brick-on-edge coping and contrasting checkerboard motif to gable ends;
- the projecting brick stringcourse below parapet;
- polychrome brickwork to the western facade, including dark horizontal bands at the second-floor level, arched window and door heads, and dark brick surrounds to window and door openings;
- recessed roughcast panels with moulded brick cornices and dentils to the end bays at the second-floor level of the western facade;
- the two-storey verandah with brick piers, sandstone bolsters, timber posts and brackets, steel beams, concrete floors, steel stairs and balustrades (including curved stays), corrugated iron skillion roof with exposed rafters and vertical boarded valence at the ends;
- brick archways to denote entry to common stairs leading to the upper flats;
- brick dividing walls on the western verandah between flats at ground-floor level and between middle flats at first-floor level;

- wrought iron fences and gates with hinged latches at the ground-floor level;
- brick corbelling to the eaves at the ends of rear wings;
- brick arched openings to former porches in the rear wings;
- rear outhouses ('stores') to all flats with skillion (single-pitch) corrugated iron roofs, fixed louvred windows and boarded timber doors;
- top-floor open terraces, formerly drying yards, with solid brick balustrades;
- timber roof vents in the north and south gables;
- timber windows, including multi-paned double-hung sash windows (with six-paned top sashes and single-paned bottom sashes to the western façade (except where altered), and four-paned sashes to all other façades), and casement windows (to end bays at ground-floor level of the western facade only);
- timber-panelled doors, pivot fanlights and slate thresholds; and
- traditional style timber laundry hoists (reconstructions) in the rear yard of the lower flats.

4.1.2 Key Internal Elements

While some original fabric has been lost, modified or replaced with modern materials, the flats retain much of their original form and detailing, including a hierarchy of treatment between formal parlours/main bedrooms and other rooms (Figures 4.24 to 4.64).

Significant internal elements include:

- original timber joinery including door-cases, internal four-panel doors, half glazed doors, central pivot fanlights, architraves, expressed frames in fly ash concrete walls in end flats, ledged and sheeted cupboard doors and timber picture rails;
- timber stairs, including stop chamfered newel posts, moulded handrails, closed strings, balustrades, and sympathetic later additions including boarded soffits and vertical boarded enclosures below the stairs;
- timber floors (though most have been repaired and refinished);
- ripple iron ceilings and timber cornices;
- cement-rendered internal walls and skirtings run in cement;
- light-weight fly ash concrete partition walls in some flats;
- remains of internal decorative finishes to dados (now concealed by paint);
- evidence of the original outdoor porches (now enclosed) accessing the bathroom and rear bedroom at ground and first floor levels;
- original cast-iron chimney pieces and grates;
- marble chimney pieces, cast-iron and tiled grates;

- cast iron solid-fuel stoves in some flats;
- concrete hearths to all fireplaces;
- slate and timber door thresholds;
- some original hardware (notably casement window and fanlight mechanisms in some flats);
- decorative plaster wall vents; and
- surviving gas light fittings.

4.1.3 Key Common Property Elements

Common property (as defined by the Strata Schemes Legislation and the Plan of Subdivision) includes both internal and external fabric and spaces, systems and components shared between flats. The following common property is significant:

- external walls, structural masonry, floors and structural steelwork (Figures 4.1–4.14);
- verandahs and walkways at first floor level to the Gloucester Street elevation, including roofs, joinery and metalwork (Figures 4.1, 4.6 and 4.9);
- the service tunnel at the lower ground floor level (Figures 4.21–4.23).
- access stairs to verandahs (Gloucester Street elevation) (Figure 4.7);
- roofing (including timber roof structure, parapets and party walls above the roof line) (Figures 4.17–4.19);
- roof spaces;
- fireplaces, chimneys and flues (Figures 4.3, 4.18 and 4.48–4.55);
- large decorative rainheads, steel square-section downpipes and ogee-profiled verandah eaves gutters to the front elevations (from the 2010–11 restorations);
- traditional style timber laundry hoists (reconstructions) in the rear yard of the lower flats (Figure 4.10);
- round copper and cast iron downpipes to the rear elevations (Figure 4.13);
- front and rear fences to both upper and lower flats (Figures 4.11, 4.12);
- front and rear yards, including yard paving;
- reconstructed garbage chutes and original tables/supports on the rear facades of some flats (Figure 4.11); and
- exterior joinery, including all doors and windows



Figure 4.1 Detail of the main Gloucester Street facade, Flat 46 (ground level) and Flat 46A (first and second-floor levels), showing parapet with triangular pediment over roughcast panel, contrasting brick bands, moulded brick string courses and dentil detail, brick piers, stone bolsters and timber posts and brackets, brick arch to stair entry, corrugated skillion roof and wrought iron balustrades to the verandah. The decorative rainwater heads and rectangular downpipes are recent, but are appropriate to the building. (Source: GML 2015)



Figure 4.2 Detail of timber boarding and curved valence to northern end of the front verandah. A timber louvre ventilates the roof space over Flat 46A. (Source: GML 2015).



Figure 4.3 Detail of the timber louvre for ventilation of the roof space over flat 56A, and original chimney stack with terracotta chimney pots. (Source: GML Heritage, July 2016)



Figure 4.4 Detail of western elevation to Flat 46 at ground floor level, showing original casement windows and panel door with fanlight, slate threshold and contrasting brick arched heads and surrounds to openings. (Source: GML 2015)



Figure 4.5 Detail of the wrought iron balustrade and gate to Flat 48, with original gate latch, at ground floor flat level on Gloucester Street. (Source: GML 2015).



Figure 4.6 Detail of the first floor verandahs with steel beams spanning between brick piers, concrete slab floor, square timber posts and brackets, steel balustrades and stays and exposed rafters to the eaves. Note original double-hung windows with six-pane upper sashes to the Gloucester Street facade. (Source: GML 2015)



Figure 4.7 Detail of the exterior steel staircase to the first floor at the southern end of the building, with original handrail and iron balustrade, and cast-iron treads and risers. Note sandstone bolsters supporting the steelwork. (Source: GML 2015)



Figure 4.8 Four-panelled doors with bolelection moulding (first floor level, Flat 54A). Note slate threshold to front doors. (Source: GML 2016)



Figure 4.9 Brick dividing wall to upper level verandah (first floor level, Flat 52A). Note the painted concrete slab. (Source: GML 2015)



Figure 4.10 The eastern elevation showing the space between rear wings, cantilevered balcony to Flat 54A, and traditional style timber clotheslines in rear yards. (Source: GML 2015)



Figure 4.11 Eastern end of rear wing (Flats 46A and 48A) showing former external WCs attached to rear wall, solid brick balustrades to roof-top terraces, corbelled brickwork to the ends of eaves and reconstructed garbage chutes. (Source: GML 2015)



Figure 4.12 The rear elevation of Flat 46, showing French doors added to earlier opening in the 1988 restoration, and original four-paned double-hung sash windows. (Source: GML, 2015)



Figure 4.13 Rear of flat 50 showing copper and cast iron down pipes and modern steel downpipes. (Source: GML Heritage, July 2016)



Figure 4.14 Arched openings to former porches in the rear wings with infill balustrades and windows c1988 (Flat 54B, first floor level). Note the triple brick arched heads to openings. (Source: GML 2015)



Figure 4.15 Detail of the outside toilet with skillion roof and timber-boarded door (Flat 54), and later paving to rear yard. (Source: GML 2015)



Figure 4.16 Weatherboard enclosure to the former roof top balcony with awning c1988 and six-over-two sash window (window matches the detail of the front ground-floor window of Flat 56) (Flat 52A). (Source: GML 2015)



Figure 4.17 Brick party walls with corbelled brickwork at the eaves. The weatherboard wall and French doors onto the roof top terrace are c1988 (Flat 54C). (Source: GML 2015)



Figure 4.18 Common brick chimney stacks (Flat 56C). (Source: GML 2015)



Figure 4.19 Current view of roof from above—46–56 Gloucester Street. (Source: Near Maps, provided by LAHC, 2016)



Figure 4.20 The solid brick balustrade to the roof terrace showing the cover over opening to reconstructed garbage chute (Flat 46A). (Source: GML 2015)



Figure 4.21 Door and stairs to Gloucester Street from the passage way leading to the southern entrance of the service tunnel adjacent to Flat 56B. (Source: GML 2015)



Figure 4.22 View of the underside of the fireplace hearth in the service tunnel behind Flat 56B at the south end of the building. (Source: GML 2015)



Figure 4.23 View of the south end of service tunnel, showing a non-original steel stair leading up to the original access opening in the south wall. (Source: GML 2015)



Figure 4.24 Lower ground floor room (Flat 56B) with original window and four-panelled door with external beaded panels, with a fanlight over. Note the large opening cut through to kitchen c1988. (Source: GML 2015)



Figure 4.25 The lower ground floor level (Flat 48) showing the original timber stair . Note the large opening cut through to the kitchen and enclosure to create the laundry under stairs c1988. (Source: GML 2015)



Figure 4.26 Exterior four panel rear main door with external bolection moulding, internal flush moulds and central pivot fanlight in flat 46. (Source: GML Heritage, May 2016)

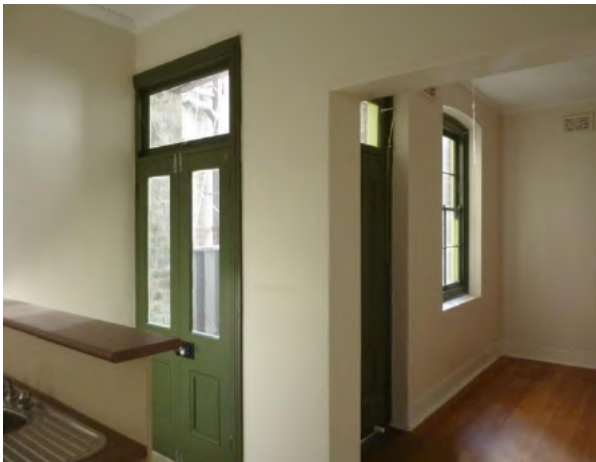


Figure 4.27 The French doors and fanlight opening to the yard from the kitchen (lower ground floor level, Flat 50) are c1988. (Source: GML 2015)



Figure 4.28 The main space on first floor level with stair (Flat 50A). Note the walls are rendered to the dado with rendered skirting, and timber picture rail and cornice to ripple iron ceiling. (Source: GML 2015)



Figure 4.29 The front hallway (end flat, ground floor level, Flat 46) showing refinished wood floor, splayed coke-breeze partition and expressed door frame to the left of the stairs. (Source: GML 2015)

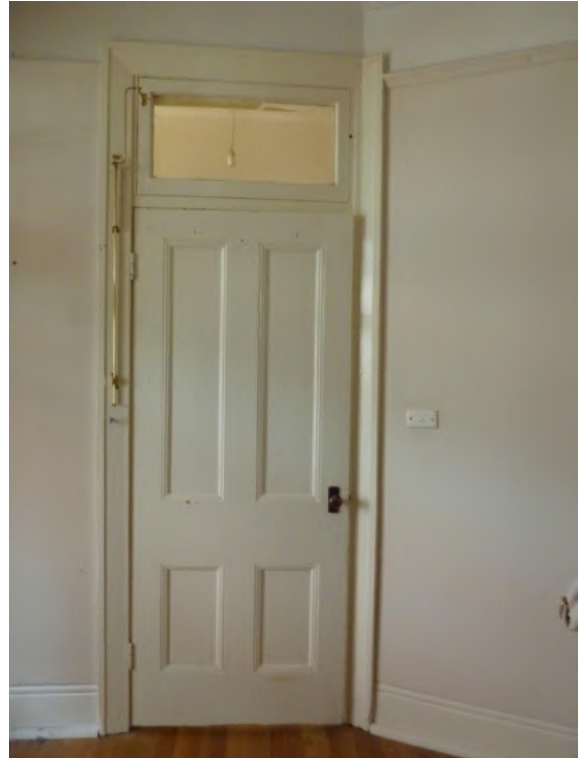


Figure 4.30 A typical four-panel internal door with central pivot fanlight, reproduction brass fanlight mechanism, and timber architrave (first floor level, Flat 56B). (Source: GML 2015)



Figure 4.31 Damaged four-panel internal door with later door hardware (first floor level, Flat 54A). (Source: GML 2016)



Figure 4.32 Replica four-panel internal door as used in the 1988 renovations (second floor level, Flat 54A). (Source: GML 2016)



Figure 4.33 Lower ground floor level timber double-hung sash window with rendered reveals (lower ground floor level, Flat 46). (Source: GML 2015)



Figure 4.34 Typical double-hung window in the western elevation, with original timber architrave, sill board and moulding (ground floor level, Flat 48). (Source: GML 2015)



Figure 4.35 Timber casement window in the western elevation with original timber architrave, sill board and moulding (ground floor level, Flat 46). (Source: GML 2015)



Figure 4.36 Original casement window fixtures (Flat 46). (Source: GML 2015)



Figure 4.37 Looking into the former porch from the main living room (ground floor level, Flat 50). The original arched opening has been infilled with vertical boarding and casement windows. The main room has a cement rendered skirting, picture rail and cornice. The window and door opening have original timber architraves. (Source: GML 2015)



Figure 4.38 The original half-glazed door to the bathroom opening off the former porch (Flat 56B). The porch has painted brick walls, timber skirting and plain flat archtraves to the doors. (Source: GML 2015)

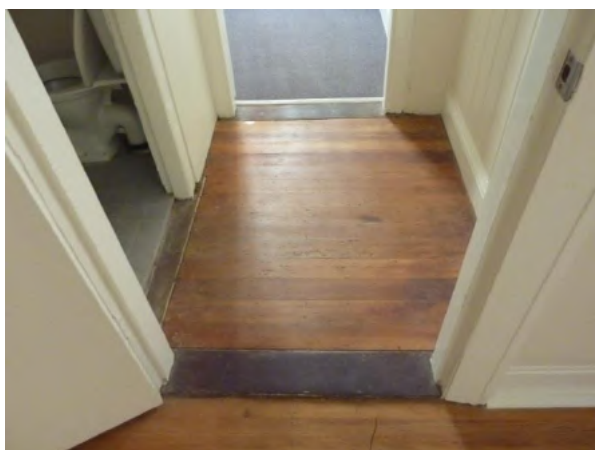


Figure 4.39 The floor of the former porch has been raised to be flush with the original timber door thresholds (ground floor level, Flat 48). (Source: GML 2015)



Figure 4.40 View into the former porch through original French doors and area under stair in Flat 52A (first floor level). (Source: GML 2015)



Figure 4.41 The rear balcony to Flat 54A showing the slate threshold and original timber boarded floor (second floor level). (Source: GML 2016)



Figure 4.42 Painted unrendered brick walls to enclosed porch (first floor level, Flat 54A). (Source: GML 2016)



Figure 4.43 Original newel stair in the upper flat (Flat 56A) between the first and second floors. It has a closed string, simple square balusters and newel posts and moulded handrail. (Source: GML 2015)



Figure 4.44 The original stair at the lower ground floor level with closed string, simple square balusters and newel posts, moulded handrail and vertical boarding below (Flat 56B). (Source: GML 2015)



Figure 4.45 Underside of the stair showing the bottom of newel post and timber-boarded soffit (lower ground floor level, Flat 48). Note the ripple iron ceiling and timber cornice. (Source: GML 2015)



Figure 4.46 The timber-boarded wall and ledged and braced door to the area below the stair (first-floor level, Flat 48A). (Source GML 2015)



Figure 4.47 Original ledged and sheeted cupboard door to area below the stairs (first floor level, Flat 48A). (Source: GML Heritage 2015)



Figure 4.48 An original cast-iron chimney piece and grate (second floor level, Flat 54). The skirting is run in the wall render. (Source: GML 2015)



Figure 4.49 A marble chimney piece with cast-iron and tiled grate, and painted concrete hearth (second floor level, Flat 56A). (Source: GML 2015)



Figure 4.50 The overpainted stone surround (second floor level, Flat 54A). (Source: GML 2016)



Figure 4.51 Shelving in original fireplace at lower ground floor level (the former kitchen, Flat 48). (Source: GML 2015)



Figure 4.52 The cast-iron cooking range in the fireplace at the lower ground floor level (former kitchen, Flat 56B). Note the range is covered by a perspex screen. (Source: GML 2015)



Figure 4.53 The cast-iron range has been removed from Flat 54A (first floor level). (Source: GML 2016)



Figure 4.54 The cast-iron range and stone (?) mantel shelf in Flat 52A (the former kitchen, first floor level). (Source: GML 2015)

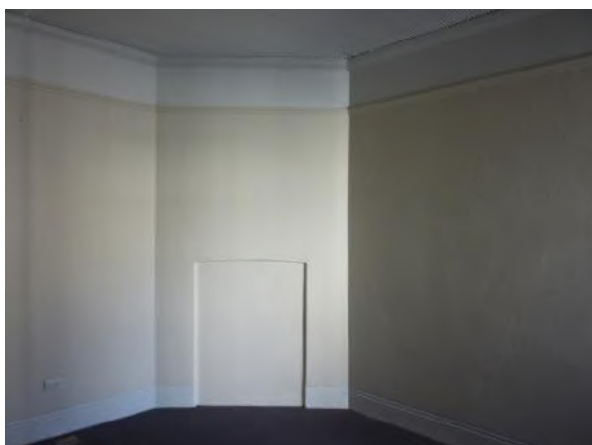


Figure 4.55 The tall fireplace opening has been blocked-up in the parlour (former kitchen) (first floor level, Flat 50A). (Source: GML 2015)



Figure 4.56 Ripple iron ceiling and cornice detail, typical of lower ground, first and second floor levels (Flat 46). (Source: GML 2015)



Figure 4.57 Flat ceiling and timber cornice detail, typical of ground floor level spaces (Flat 56B). (Source: GML 2015)



Figure 4.58 Typical decorative plaster scroll pattern vent (Flat 50). (Source: GML 2015)



Figure 4.59 Plaster grid pattern vent and picture rail (Flat 48). (Source: GML 2015)



Figure 4.60 Original steel beams supporting walls above (lower ground floor level, flat 46) and ripple iron ceiling. (Source: GML 2015)

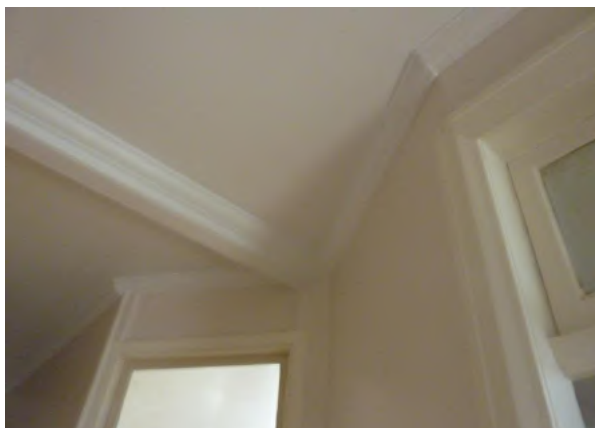


Figure 4.61 The hall ceiling at ground floor level (Flat 56B) showing the beaded timber beam and cornices. The expressed door frame on the left is original and set into a lightweight fly ash concrete wall. The door on the right is set into a rendered brick wall and has an original architrave. (Source: GML 2015)



Figure 4.62 Original fanlight mechanism (flat 48A). (Source: GML Heritage, 2016)



Figure 4.63 A gas light fitting (Flat 56B). (Source: GML 2015)



Figure 4.64 The front bedroom (second floor level, Flat 54) showing the concrete hearth of blocked up fireplace, rendered wall finishes to the dado level with set plaster above, rendered cement skirting, timber picture rail, cornice and double-hung sash window. (Source: GML 2015)

4.2 Significance of Components

4.2.1 Grades of Significance

Different components of a place may make a different relative contribution to its heritage value. Loss of integrity may diminish heritage values. Specifying the relative contribution of an item or its component elements to overall significance provides a useful framework for decision-making about the conservation of and/or changes to the place.

Table 4.1 sets out terms used to describe the degrees (or grades) of significance for different components of the place, and is taken from the NSW Heritage Office publication *Assessing Heritage Significance* (2001).

Table 4.1 Standard Grades of Significance.

Grading	Justification	Status
Exceptional (E)	Rare or outstanding element directly contributing to an item's local and State significance.	Fulfils criteria for local or state listing
High (H)	High degree of original fabric. Demonstrates a key element of the item's significance. Alterations do not detract from significance.	Fulfils criteria for local or state listing
Moderate (M)	Altered or modified elements. Elements with little heritage value, but which contribute to the overall significance of the item.	Fulfils criteria for local or state listing
Little (L)	Alterations detract from significance. Difficult to interpret.	Does not fulfil criteria for local or state listing
Intrusive (I)	Damaging to the item's heritage significance.	Does not fulfil criteria for local or state listing

4.2.2 Grading of Spaces

Figures 4.65–4.73 provide a graphic summary of the relative significance of the main spaces of the site. Within these spaces, individual elements or fabric may vary in significance (from 'exceptional'; to 'intrusive') as identified in Table 4.2.

4.2.3 Grading of Elements

The grading of the significance of elements in Table 4.2 seeks to reflect the extent to which particular elements of the place retain and/or provide meaningful evidence of the original site development, as well as the relative importance of later layering. Individual elements may vary in significance according to the age and degree of integrity etc.

There are minor differences between flats, notably in terms of ad-hoc minor alterations or repairs. Refer to individual flat sections for details.

Table 4.2 Significance of Elements at 46–56 Gloucester Street.

Element	Description (Material, form, type, construction)	Date (Approx)	Significance Ranking
Exterior envelopes			
External walls—west elevation	Face brickwork with dark brick surrounds to window and door openings, horizontal band and checkerboard detail to parapet	Original	Exceptional
	Brick parapet concealing roof behind with triangular pediments to end bays and brick-on-edge coping	Original	Exceptional
	Moulded brick stringcourses with dentils to end bays	Original	Exceptional
	Rough-cast rendered panels in end bays	Original	Exceptional
	Arched triple brick heads over window and door openings	Original	Exceptional
External walls—north, east and south elevation	Common brick with corbelled brickwork to eaves	Original	Exceptional
Parapetted party walls	Brick party walls projecting through roof between flats with brick-on-edge coping and corbelled brick eaves detail	Original	Exceptional
Chimneys	Unrendered common brick chimney stacks with brick coping, stepped flashings and terracotta chimney pots	Original (some pots replaced 2011)	Exceptional
Roofs (including cappings and flashings)	Gabled roof form over main body of building with oregon timber framing	Original roof structure	Exceptional
	Corrugated galvanised steel roofing sheet with lead flashings and cappings	Replaced 2011	High
	Skillion roofs over rear wings	Original roof structure	Exceptional
	Corrugated galvanised steel roofing with lead flashings and cappings	Replaced 2011	High
Gutters and downpipes	Galvanised steel ogee eaves gutter and square downpipes with decorative rainheads to west elevation	Replaced 2011	High
	Copper and cast-iron downpipes to east and south elevations	Replaced 2011	High
Front verandah structure	Cross walls between flats with sandstone bolsters supporting steel structural beams and concrete verandah floor slabs	Original (repaired 2011)	Exceptional
	Square timber verandah posts with timber brackets supporting a timber-framed skillion roof	Original joinery/roof structure	Exceptional
	Corrugated galvanised steel roofing with lead flashings and cappings	Replaced 2011	High
Front verandah balustrade	Wrought iron fence to ground floor flats with wrought iron gates with original latches	Original	Exceptional
	Wrought iron balustrade to first-floor level flats with wrought iron stays	Original	Exceptional
Verandah roof	Corrugated galvanised steel roof with lead flashings	Replaced 2011	Form: Exceptional Sheeting: High
	Exposed rafters to eaves	Original	Exceptional
	Vertical boarding to ends of verandah roof	Original	Exceptional
Staircases	Steel staircases with original chequer-plate treads giving access to the verandah at either end of the principal facade	Original (repaired 2011)	Exceptional

Element	Description (Material, form, type, construction)	Date (Approx)	Significance Ranking
Verandah floor slabs	Painted concrete slabs	Original (repaired 2011)	Exceptional
Door thresholds	Slate thresholds to front doors	Original	Exceptional
	Timber thresholds to rear porches	Original	Exceptional
Door joinery	Four-panel doors with external bolection mouldings and internal flush moulds to front doors	Original	Exceptional
	Wired and textured glass in upper panels of front doors	Late-twentieth century or replaced 2011	Moderate
	Four-panel doors with external beaded panels to rear doors	Original	Exceptional
	Timber reveal linings and lintels to original doors	Original	Exceptional
	Half-glazed French doors with fanlights to rear yard from kitchens	Late-twentieth century	Moderate
	Modern half-glazed French doors to upper floor roof terraces	Late-twentieth century	Moderate
Fanlights	Central pivot fanlights over doors	Original	Exceptional
Window joinery	Timber double-hung sash windows to front and rear elevations	Original	Exceptional
	Timber casement windows to entrance level of end flats on west elevation, ground-floor level	Original	Exceptional
	Timber frames, sills and lintels to original windows	Original	Exceptional
	Round-headed casement windows and horizontal sliding sash windows with coloured textured glass to enclosed internal porches at rear, with boarded timber spandrels and false balustrades	Late-twentieth century	Moderate
	Double hung window in lower ground floor of Flat 52	Late-twentieth century	Moderate
	Modern vertical sliding sashes to upper floor laundries	Late-twentieth century	Moderate
Wall vents	Terracotta subfloor and cavity vents	Original	Exceptional

Rear Yards

Fences	Timber paling fences	Late-twentieth century	Moderate
Steps and paving	Concrete steps	Original/Late-twentieth century	High
	Brick paving	Late-twentieth century	Little
Outdoor privies	Brick (rendered on the inside) with corrugated galvanised steel roofs and concrete floors	Original	Exceptional
	Ledged, braced and sheeted doors to outside toilets	Early twentieth century	Exceptional
	Louvred glass windows (excluding intrusive modern mesh in place of glass)	Original	Frame: Exceptional Glass: exceptional
Garbage chutes	Circular stainless steel chutes with conical cowls /brick plinths and concrete slab lids	2011 reconstruction/ original	High/Exceptional

Element	Description (Material, form, type, construction)	Date (Approx)	Significance Ranking
Laundry hoists	Parallel clothes lines strung between tall braced timber frames set into boundary fences at rear of properties and timber wall plates fixed to rear walls of flats	Late-twentieth-century reconstruction	High
Trees	Mango tree	Mid-late-twentieth century	Moderate
Interior Spaces			
Service tunnel	Brick service tunnel under the front rooms facing Gloucester Street	Original	High
Floor	Timber floor structure	Original (some repairs 2011)	Exceptional
	Timber floorboards	Original (repaired 2011)	Exceptional/High
	Concrete in lower ground floor	Original	High
	Carpet	Recent	Little
	Vinyl sheet flooring in kitchens and laundries	Late-twentieth century	Little
	Tiles in bathrooms	2011	Little
Skirting	Run-in cement render	Original	Exceptional
Walls	Cement-rendered internal walls to dado level with set plaster above	Original	Exceptional
	Lightweight fly ash concrete partition walls to stairwells (ground and second floors)	Original	Exceptional
	Painted unrendered brick internal walls (former porches in rear wings and lower ground floor)	Original	Exceptional
	Stud partition walls	Late-twentieth century	Little
Cornice	Timber quarter-round in principal spaces	Original	Exceptional
	Timber in secondary spaces	Original	Exceptional
Ceiling	Ripple iron (lower ground, first and second-floor levels)	Original	Exceptional
	Set plaster on lath (other living rooms)	Original	Exceptional
	Fire-rated plasterboard (ground-floor level)	Late-twentieth century	Moderate
	Internal steel I-beams and trimmers (over lower ground-floor level)	Original	Exceptional
Stairs	Beaded timber beams (end flats, ground-floor level)	Original	Exceptional
	Timber stairs, timber stringers, boarded soffits, stop chamfered square newel posts with pendants, profiled handrails and square-section balusters	Original (soffits late 20 th)	Exceptional
	Vertical boarded wall panels below stair stringer (lower ground-floor level, rear wing and first-floor level)	Original	Exceptional
	Vertical boarded wall panels below stair in Flat 52	Late-twentieth century	Little

Element	Description (Material, form, type, construction)	Date (Approx)	Significance Ranking
Fireplace, chimney piece, grate and hearth	Cast-iron chimneypieces	Original	Exceptional
	Marble chimney pieces with mantle shelf and scroll brackets	Original	Exceptional
	Cast-iron grates	Original	Exceptional
	Concrete hearth	Original	Exceptional
	Covers to fireplaces	Late-twentieth century	Little
Internal doors and fanlights	Four-panel timber doors with sunk moulds	Original	Exceptional
	Central pivot fanlights over doors	Original	Exceptional
	Timber ledged, braced and sheeted cupboard doors	Original	Exceptional
	Flush doors	Late-twentieth century	Little
	Reproduction timber panelled doors	Late-twentieth century	Moderate
Door and window furniture	Fanlight mechanisms	Original/2011 replacement	Exceptional/Moderate
	Door hardware and furniture (hinges, mortice latches, knobs, roses)	Original/reproduction	Exceptional/High / Little (varies)
	Window hardware and furniture (hinges, catches, sash fasteners)	Original/reproduction	Exceptional/High / Little (varies)
Architraves, skirtings, picture rails, sill boards and mouldings	Moulded timber architraves to door and window cases	Original (some late-twentieth century repairs)	Exceptional
	Timber picture rails in primary spaces	Original	Exceptional
	Timber window sillboards and mouldings	Original	Exceptional
	Timber frames at openings in light-weight concrete walls	Original	Exceptional
	Timber skirtings (some spaces)	Late-twentieth century	Moderate
Wall vents	Decorative plaster scroll pattern and grid-pattern vents	Original	Exceptional
Interior paint finishes	Concealed original paint finishes (principal rooms and stairways)	Original	High
	Modern painted finishes	Late-twentieth century	Little
Interior fitouts	Under-stairs cupboards / landing cupboards and fitouts (shelving)	Original/Late twentieth century	Exceptional / Little
	Fitouts in kitchen, bathroom, toilet and laundry.	Late-twentieth century	Little
Lighting	Gas light brackets (some flats)	Original	Exceptional
	Pendant light fittings, plastic switch plates	Late-twentieth century	Little

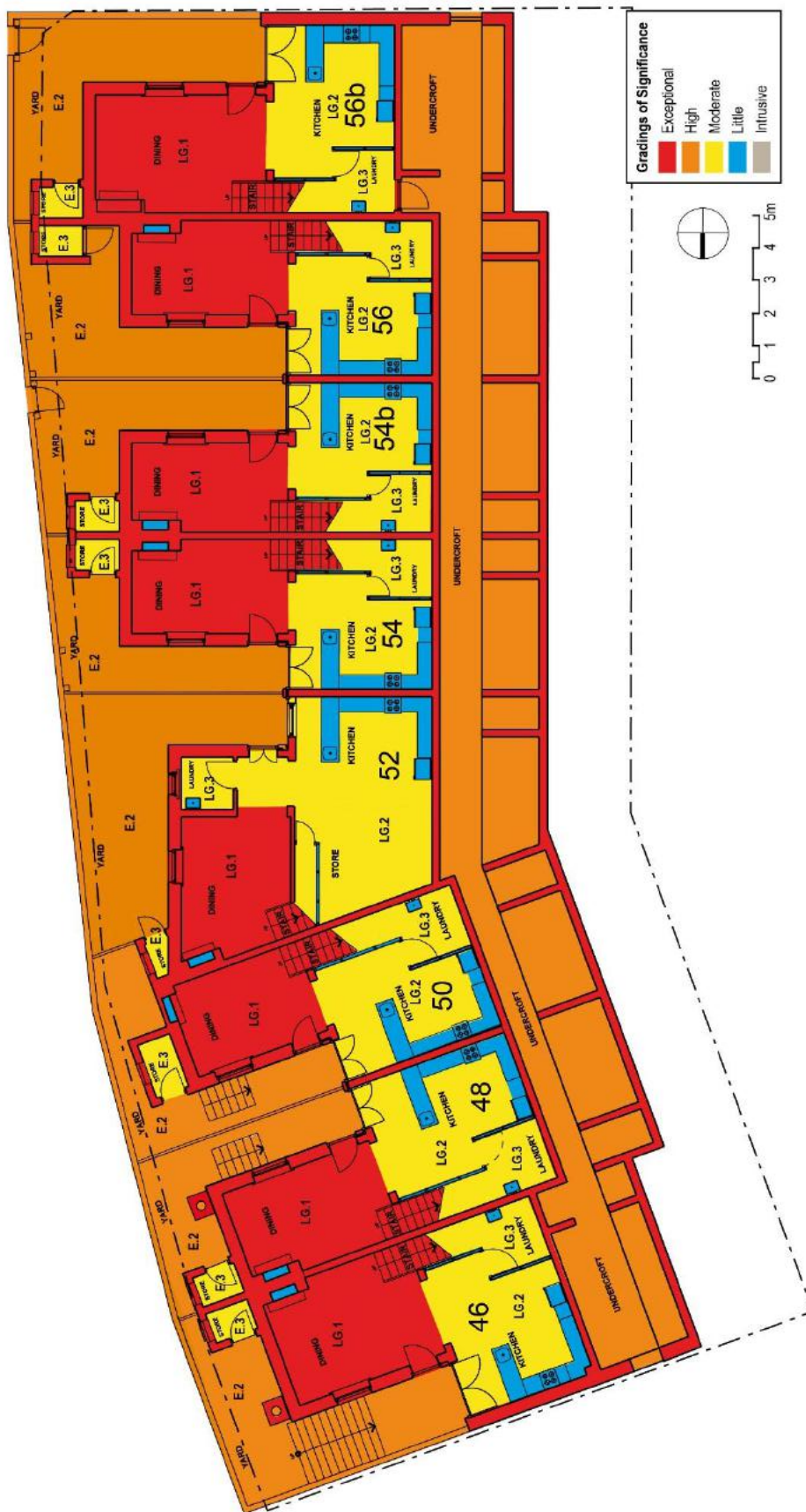


Figure 4.65 Significance gradings—lower ground floor. (Source: LAHC, with GML overlay 2016)

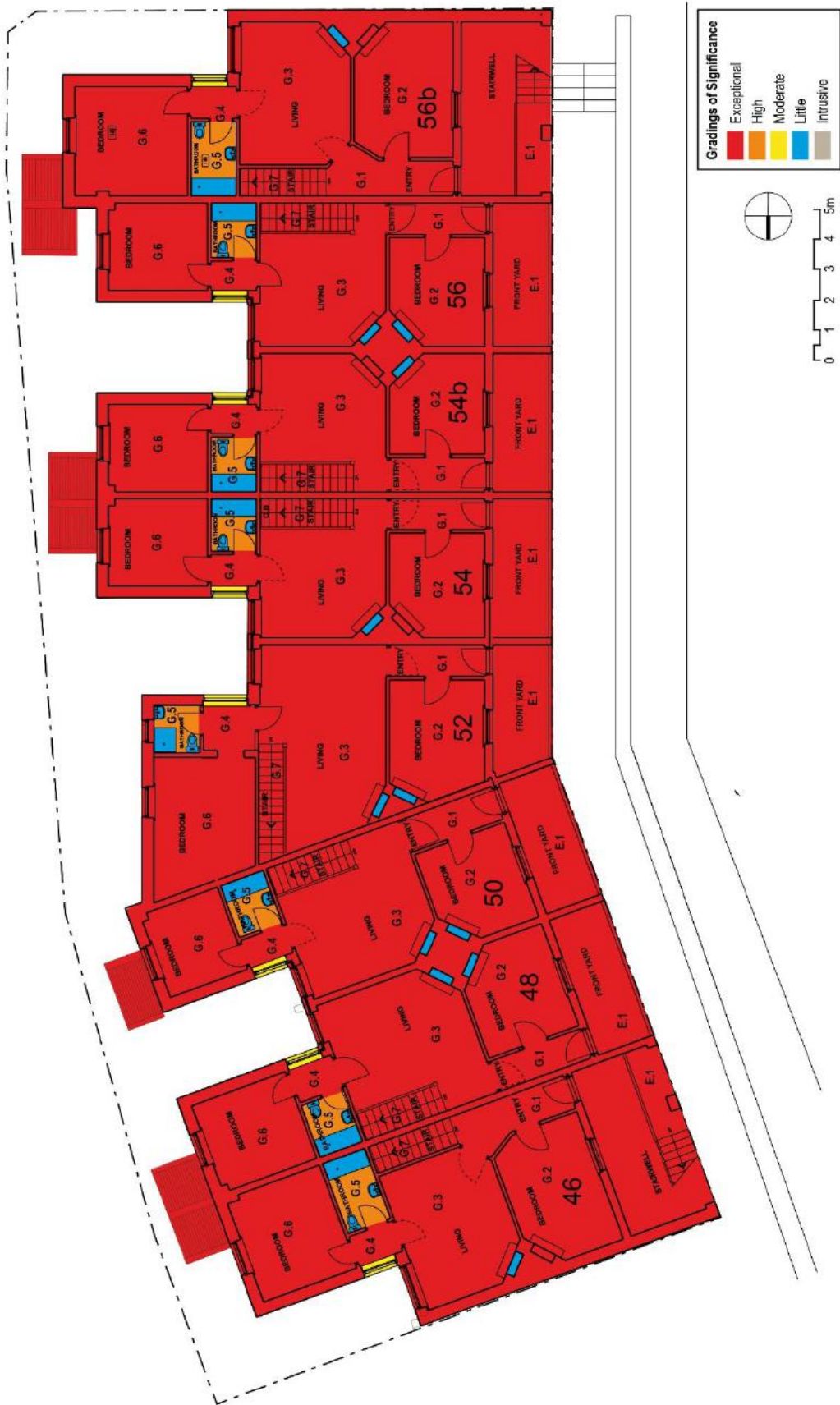


Figure 4.66 Significance gradings—ground floor. (Source: LAHC, with GML overlay 2016)

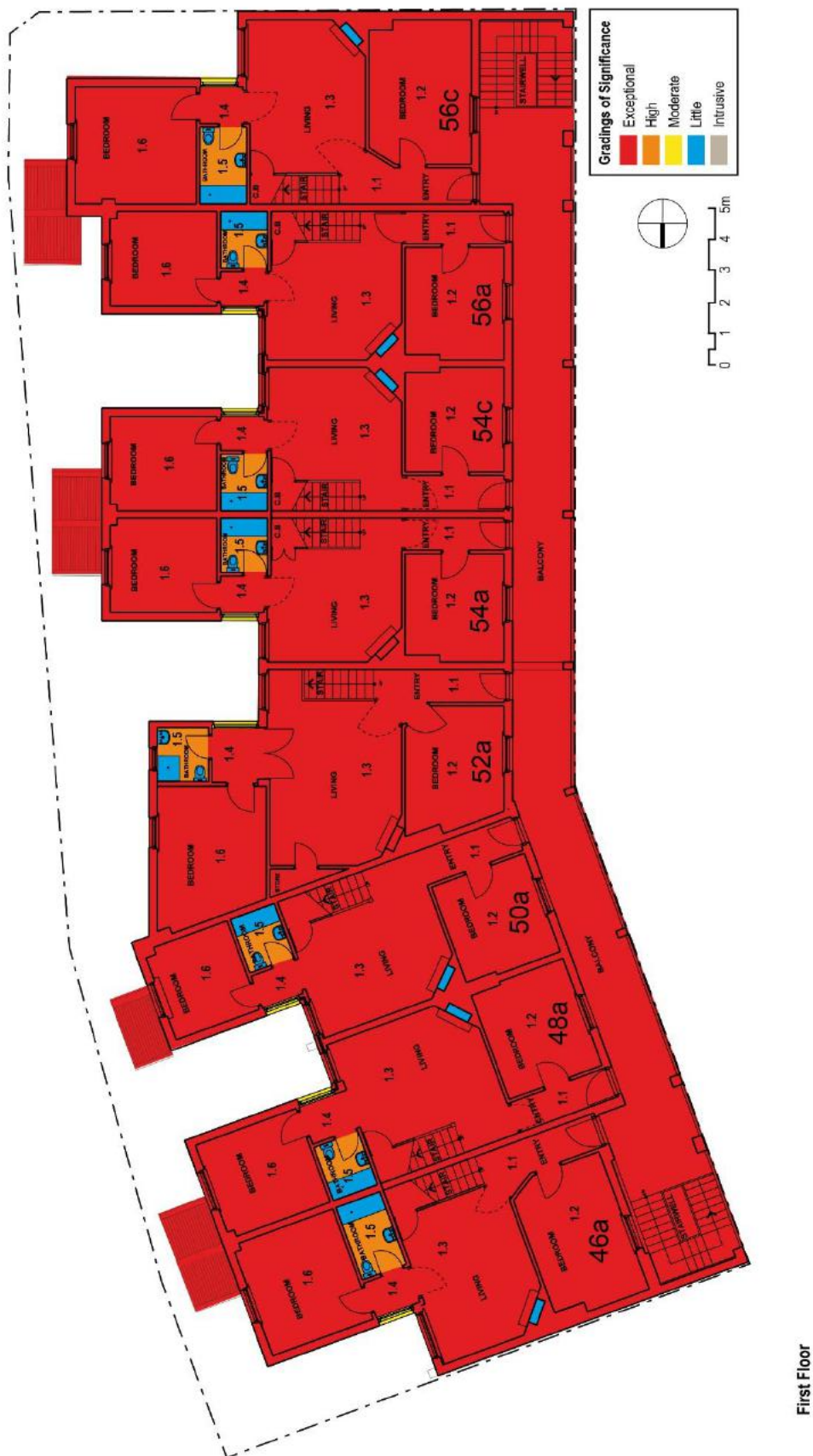


Figure 4.67 Significance gradings—first floor. (Source: LAHC, with GML overlay 2016)



Figure 4.68 Significance gradings—second floor. (Source: LAHC, with GML overlay 2016)



Figure 4.69 Significance gradings—Gloucester Street (west) elevation. (Source: LAHC, with GML overlay 2016) Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.



Figure 4.70 Significance gradings—Cambridge Street (east) elevation. (Source: LAHC, with GML overlay 2016). Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.

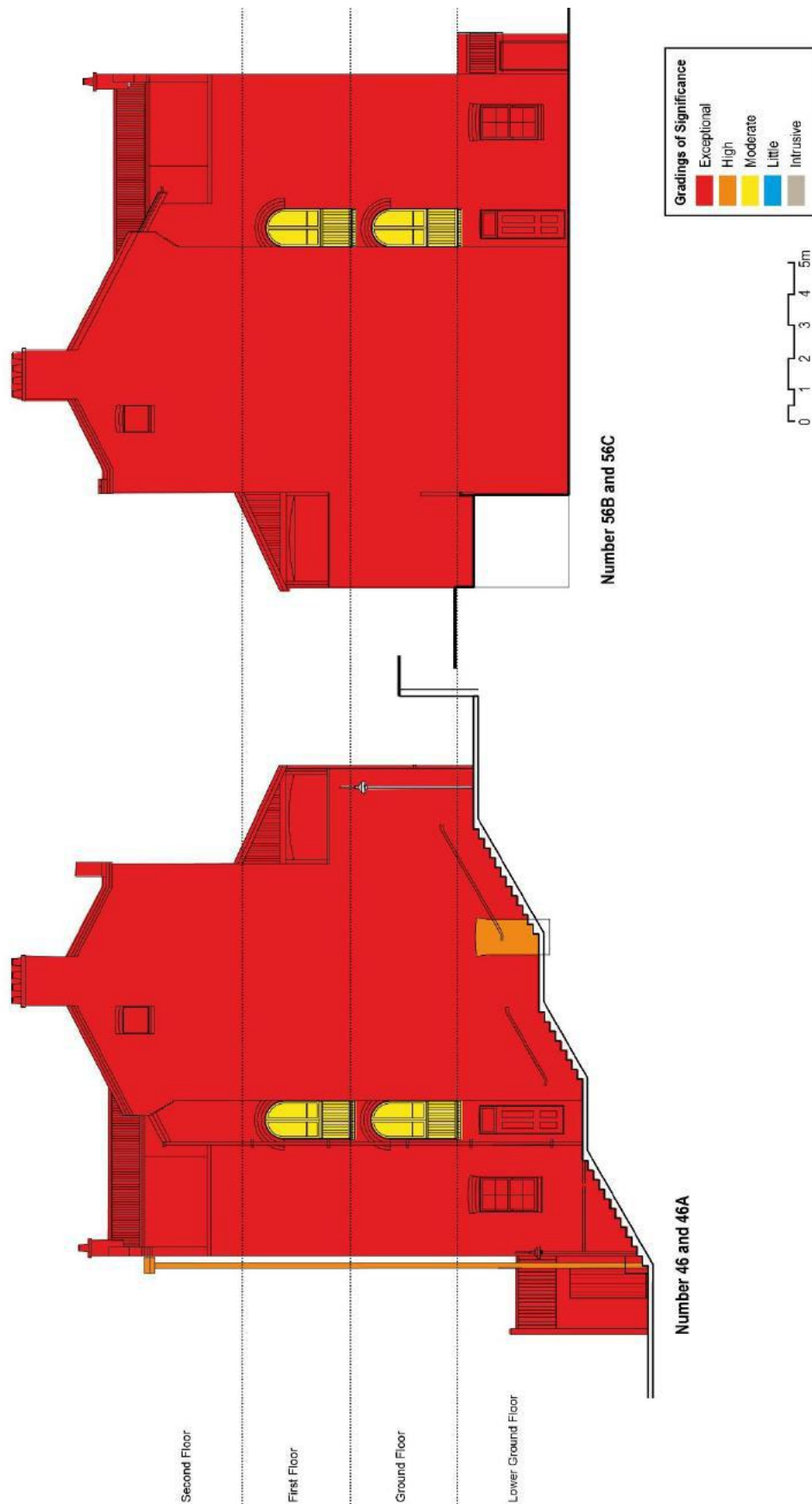


Figure 4.71 Significance gradings—north and south elevations (Flats 46, 46A, 56B and 56C). (Source: LAHC, with GML overlay 2016)
 Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.

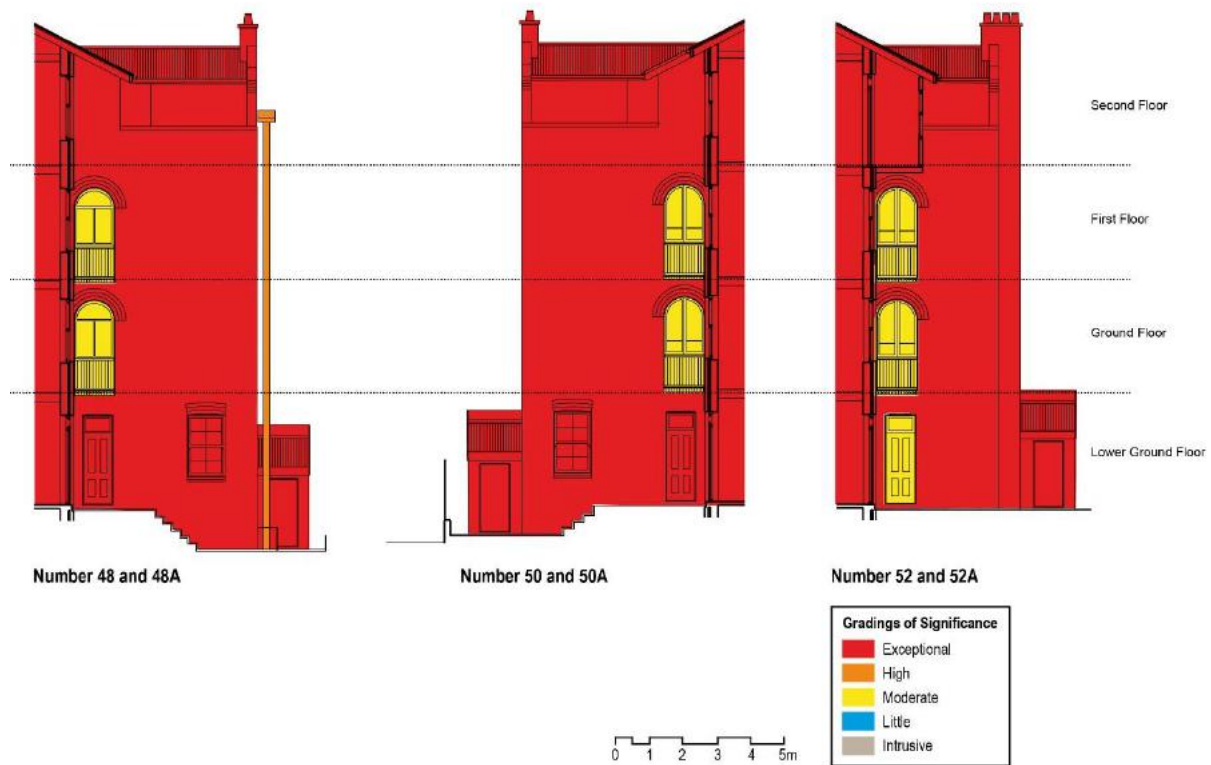


Figure 4.72 Significance gradings—north and south elevations (Flats 48, 48A, 50, 50A, 52 and 52A). (Source: LAHC, with GML overlay 2016) Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.



Figure 4.73 Significance gradings—north and south elevations (Flats 54, 54A, 54B, 54C, 56 and 56A). (Source: LAHC, with GML overlay 2016) Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.

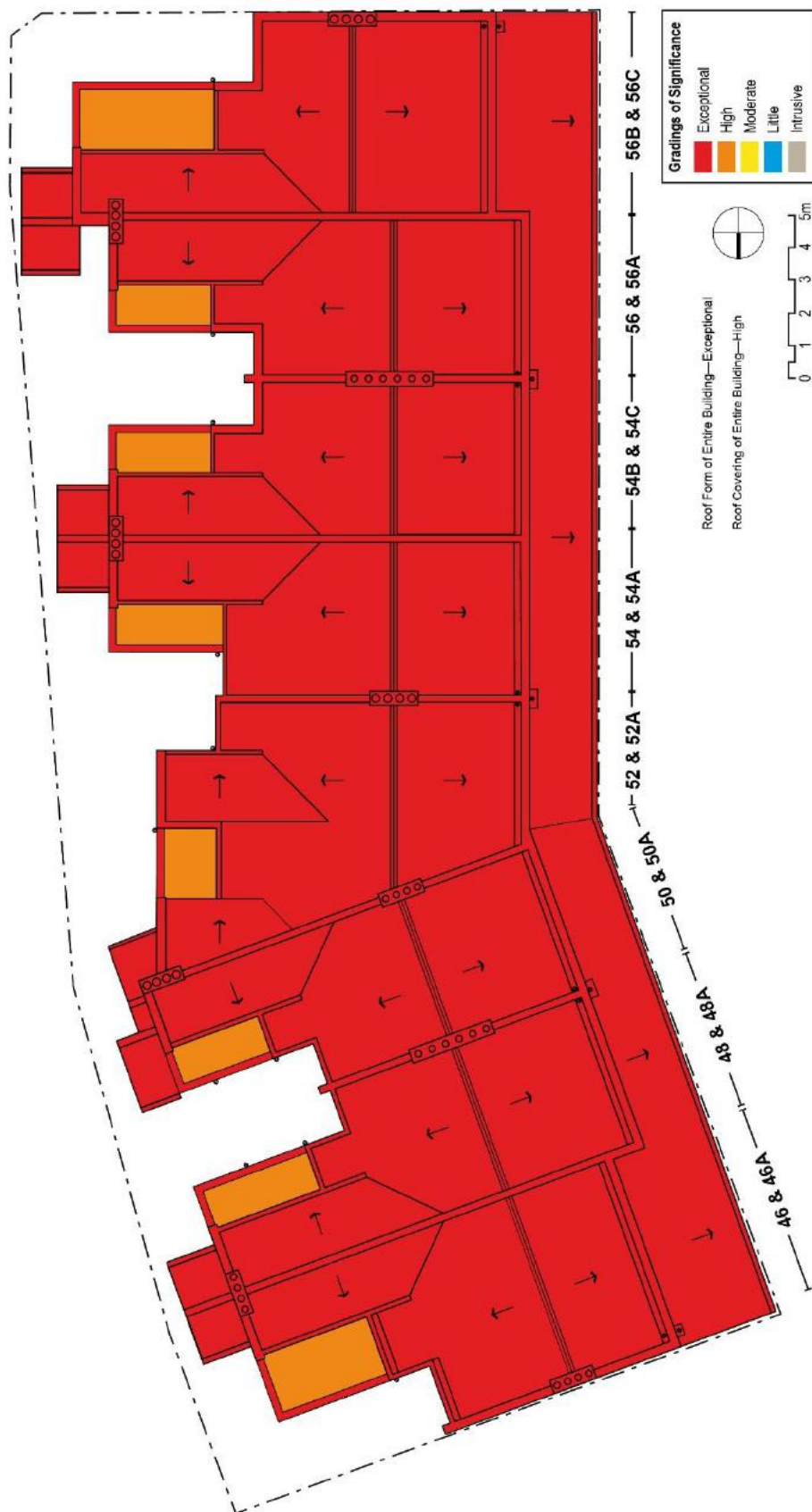


Figure 4.73 Significance gradings—roof plan. (Source: LAHC, with GML overlay 2016) Fabric replaced during maintenance (such as roofing and rainwater goods) may be of high or moderate significance but form exceptional.

5.0 Comparative Analysis

5.1 Introduction

This section examines the 46–56 Gloucester Street flats in the context of similar groups of worker accommodation constructed during the early 1900s, including:

- pre-1900s workers' accommodation in the Rocks/Millers Point area;
- Federation period workers' flats overseen by the Sydney Harbour Trust (SHT) in Millers Point and The Rocks; and
- Federation period public housing in the City of Sydney.

5.2 Aspects of Comparison

5.2.1 Terrace Houses in Australia

English terraced housing was introduced to Australia in the nineteenth century. Surviving examples of this housing type can be found in many of Australia's capital cities and regional centres. However, the majority of extant examples are located in the inner suburbs of Sydney and Melbourne. Their proliferation and rise in popularity as a building style in Australia resulted from their economical construction and ability to be used to achieve dense development of the land.¹ This type of workers' accommodation dominated the Rocks/Millers Point area prior to 1900.

5.2.2 Model Worker Housing Constructed for the Sydney Harbour Trust

Constructed during the Federation period (c1900–1915), the building at 46–56 Gloucester Street exhibits characteristics of the Federation Free Style with Arts and Crafts details, which was favoured by the Government Architect, Walter Liberty Vernon. He considered it to be appropriate for building 'the city with a human face', an idea which aligned with Vernon's aims to improve the overall quality of the urban built environment and the lives of its occupants. The introduction of cavity wall construction and design for ventilation and solar access from c1900 were the main elements contributing to an improvement in the living conditions of workers and their families.

Most of Sydney's terraces were constructed for owner occupation or by private land developers for rental letting, rather than by government authorities such as the SHT. However, the groups of terraces and flats that were constructed in The Rocks and Millers Point areas following the resumption and cleansing operations of the early 1900s were exceptions, purpose-built by the government to house waterside workers close to their employment. These areas also accommodated people displaced by the urban renewal projects underway in the inner city area, which often entailed the loss of cheaper accommodation.

The Government Architect's Branch and the SHT saw the Millers Point renewal program as an opportunity to experiment with and modernise the terrace house typology. Every element of the terrace was tested, from streetscape presence—with an emphasis on facade modulation and civic variety (urban design being a strong concern of Vernon's); to materials, decoration, layout and climate response. The building in Gloucester Street was developed to be inserted into an existing streetscape and lot layouts, to be responsive to the topography and context, and to accommodate higher population densities by building-out the majority of the site.

Number 46–56 Gloucester Street was designed and constructed between 1908 and 1912 under the direction of Walter Liberty Vernon of the Government Architect's Branch for the Housing Board.² Its external form is similar to that of a row of Edwardian terrace houses, but it is unusual in that it contains 16 maisonette-style two-storey flats that are arranged in two layers, one above the other. All are entered from Gloucester Street, with shared stairs located at each end of the building providing access to the upper level flats. The unusual two-storey maisonette arrangement sets this building apart from other contemporaneous public housing developments constructed by the Government Architect's Branch and Housing Board. Number 46–56 Gloucester Street was one of a series of buildings that the SHT commissioned from the Government Architects Branch as part of the renewal of Millers Point, after the plague outbreak. These included:

- shops and residences, 6–12 Argyle Place (1905);
- 1–63 Windmill Street (c1910);
- 15–35 Dalgety Terrace (1908);
- 1–7 Argyle Place (1910);
- 9 Argyle Place (1910);
- 18–20 Munn Street (1910);
- 21–29 Kent Street (1910–1911);
- 30–42 Lower Fort Street (c1910); and
- 2–36, 38–72, 74–80 and 3, 5, 7 and 9 High Street (1910–1917).

These properties demonstrate the variety of architectural approaches that were specifically developed by the Government Architects Branch for Millers Point and also applied to shops, terraces and apartment blocks. Many appear to replicate a traditional terrace form when viewed from the street, but incorporate multiple flats. The terrace houses at 18–20 Munn Street were closely aligned to the traditional Victorian terrace, whereas the duplex apartments in Dalgety Road, Windmill Street and High Street, Millers Point and Gloucester Street, The Rocks, achieved increased density on amalgamated allotments by incorporating flats on two levels accessed by shared stairs. The facades of these buildings continued the rhythmic articulation of the terrace, which allowed them to harmonise as infill development in their streetscape contexts. In all cases, the provision of natural light and ventilation to all rooms was an important part of the design—incorporating either narrow side and rear yards or internal light wells.

Most of these buildings are of face brick, designed in a restrained version of the Federation Free Style, incorporating Arts and Crafts decorative elements such as contrasting brick bands and timber trim.

Table 5.1 Properties Comparable to 46–56 Gloucester Street Constructed for the Sydney Harbour Trust³.




Image	Property Description
 <p>Figure 5.1 Terrace duplexes, 27a–35a Dalgety Terrace, Millers Point. (Source: SHI)</p>	<p>15–35 Dalgety Road (SHR No's 00923 and 00925)</p> <p>Completed in 1908, Dalgety Terrace is possibly one of the earliest of the SHT workers' flats developments in The Rocks and Millers Point area. The Dalgety Terrace is similar to the Gloucester Street building in that the building appears as a traditional terrace house group, even though it contains two floors of separate flats. The terrace is staggered and steps down with the topography of the site. Access to the upper flats is gained via a stair located at the centre of each group of four flats. Access to sunlight and ventilation is gained through narrow internal light wells.</p> <p>The construction of the Dalgety Terrace consists of traditional load-bearing masonry walls with timber floors. The verandahs are timber with timber balustrades. In contrast, the floors at 46–56 Gloucester Street consist of timber, as well as concrete supported on steel beams. The verandahs are also concrete and steel with steel balustrades.</p>
 <p>Figure 5.2 Terrace, 18–20 Munn Street, Millers Point. (Source: SHI)</p>	<p>18–20 Munn Street (SHR No. 00912)</p> <p>Only two of the six flats that were originally constructed on Munn Street in 1910 remain. The planning and construction of the Munn Street flats were very similar to the Dalgety Terrace.</p>
 <p>Figure 5.3 Terrace duplexes, 2–36 High Street, Millers Point. (Source: SHI)</p>	<p>Numbers 2–36, 38–72, 74–80 and 3, 5, 7 and 9 High Street, Millers Point (SHR No's 00920, 00919, 00868 and 00918 respectively)</p> <p>The High Street terrace duplexes were constructed c1906–1917. They comprise two or three-bedroom flats on the ground and first floors, with central shared entranceways between each duplex. The groups display traits of the Federation Queen Anne style, with distinctive timber detailing and roof forms highlighted by street facing gables. Cleverly, the group at 2–36 High Street gives the impression in the streetscape of two storey terraces, with individual flats contained within. The use of shared outdoor circulation spaces and open roof terraces for the upper dwellings is similar to the design employed at 46–56 Gloucester Street and reflects the renewed importance placed on access to light and ventilation, both factors which could combat the damp and poor sanitation problems of the earlier dwellings on these sites.</p>





Image	Property Description
	<p>117–117A Gloucester Street (SHR No. 01598)</p> <p>Numbers 117–117A Gloucester Street (1912–1915) are rare examples of the early twentieth century government-built worker housing initiated by the Housing Board Act of 1912. These buildings are closer to modern apartment buildings in their form than terrace houses.</p>
	<p>140–142 Cumberland Street (SHR No. 01599)</p> <p>Numbers 140–142 Cumberland Street are the remaining pair of a larger group, demolished for construction of the Cahill Expressway, that fronted Cumberland, Little Essex and Gloucester Streets (SHI, 140–142 Cumberland St). They represent another rare example of the early twentieth century government-built worker housing initiated by the Housing Board Act of 1912.</p>

Figure 5.4 Tenements at 117–117A Gloucester Street. (Source: SHR)

Figure 5.5 Tenements at 140–142 Cumberland Street. (Source: SHI)

5.2.3 Model worker Housing designed by the NSW Government Architects Branch under Walter Liberty Vernon

Image	Property Description
	<p>1–63 Windmill Street (SHR No. 00896)</p> <p>A row of 32 Edwardian brick terrace houses were built c1910 under the supervision of Government Architect Walter Liberty Vernon. The four types of terrace in the group follow a traditional terrace house layout with each have a rear service wing and narrow rear yard.⁴ Facades are plain brick with contrasting pressed metal gable ends and awnings supported by cast-iron fittings. The ground-floor verandah is constructed with a concrete floor and the first-floor verandah in timber with a pressed metal fascia, and cast iron balustrade. Regularly spaced projecting terraces feature enclosed verandahs with concrete floors at first floor level.</p>
	<p>30–42 Lower Fort Street (SHR No. 00894)</p> <p>Housing in Lower Fort Street was constructed c1910 by the Government Architect's Branch for the SHT. These buildings are more like modern apartment buildings than terrace houses. However, the use of face brickwork with contrasting brick bands and decorative elements is very similar to the detailing on 46–56 Gloucester Street. The Lower Fort Street buildings incorporate Juliet balconies with steel balustrades rather than verandahs. The access stairs between the groups of buildings are also steel. Contrasting with both Windmill and Gloucester Streets, Lower Fort Street demonstrates a move towards the more modern 'walk-up' flat or apartment building. The developing preference by the Government Architect's Office for external circulation is evident in the Lower Fort Street layout, demonstrated by the lack of a central corridor or internal passages.</p>

5.2.4 Pre-war Public Housing for the City of Sydney


Image	Property Description
	<p>Strickland Building at 54–62 Balfour Street, Chippendale (Heritage Item, Sydney LEP, 2-0012)</p> <p>The Strickland Building, located in Chippendale, was designed by RM Broderick, the Sydney City Council Architect, and dates from a similar period to the housing developments in Millers Point and The Rocks. It is also built in the Federation Free Style with Arts and Crafts details, and is an excellent example of its type. The building represents the transition between the terrace-type apartment building of the Millers Point/The Rocks buildings and interwar apartment buildings. It is also owned and managed by LAHC.</p>

Figure 5.8 Strickland Building at 54–62 Balfour Street, Chippendale. (Source: 'Social Housing and Heritage', Inner Sydney Voice, Feb 2014)

5.3 Conclusion

The 46–56 Gloucester Street building is a representative example of the earliest phase in the development of low-cost residential housing construction in Australia. In particular, it is representative of purpose-built accommodation designed and provided by government agencies for waterside workers displaced by the urban renewal of The Rocks and Millers Point close to their employment.

The form and layout of the building evidences the transitional nature of early Sydney flat buildings—with the stacking of two-storey terrace houses used to achieve a four-story building, thus allowing higher density development of land.⁵ The terrace appearance is typical for many early workers' accommodation buildings in The Rocks and Millers Point, and possibly represents an attempt to remove the stigma attached to tenement development. Many of these early design elements were repeated in later public housing undertaken by the City of Sydney as the use of higher density flats increased.

In terms of materials, the building represents a transition from the use of timber floors to the exclusive use of reinforced concrete floors. The flats at 46–56 Gloucester Street contain both timber and concrete floors, though later workers flats in The Rocks are constructed with concrete floors throughout. The variety of building materials in the Gloucester Street building, including the use of lightweight concrete for some internal walls, supports the idea of experimentation in the development of construction techniques for low-cost housing.

The 46–56 Gloucester Street flats contained no internal rooms and achieved this without the use of restricted light wells seen in other comparative SHT developments.

The minimal decorative treatment and limited use of characteristic 'style' elements are typical of the early workers' flats buildings in the area, where the focus was on economical construction.

The maisonette form is a unique aspect of the Gloucester Street flats and is likely to be rare in NSW.

The property at 46–56 Gloucester Street is significant at a State level.

5.4 Endnotes

¹ GML Heritage 15 Windmill Street, Millers Point Conservation Management Plan, report prepared for NSW Land and Housing Corporation November 2015.

² Knaggs, M and Lowe, CK (GAO), 46–56 Gloucester Street The Rocks Conservation Management Plan, report prepared for Sydney Harbour Foreshore Authority, 2012, p 3.

³ Images are sourced from either the State Heritage Register (SHR) or the State Heritage Inventory (SHI) except where indicated otherwise.

⁴ GML Heritage 15 Windmill Street, Millers Point Conservation Management Plan, report prepared for NSW Land and Housing Corporation November 2015.

⁵ GML Heritage 15 Windmill Street, Millers Point Conservation Management Plan, report prepared for NSW Land and Housing Corporation November 2015.

6.0 Heritage Significance

6.1 Introduction

The Burra Charter defines cultural significance as ‘aesthetic, historic, scientific, social or spiritual value for the past, present or future generations’. Cultural significance is embodied in the place itself, its fabric, its setting, its use, associations, meanings, related places and objects.¹

The assessment of heritage significance identifies whether a place (or element of a place) may be considered important and valuable to the community. A place may also have a range of values important to different individuals or groups.

The terms ‘cultural significance’, ‘heritage value’ and ‘heritage significance’ are synonymous, and are indistinctly used in this CMP and in Australia by organisations such as the NSW Heritage Council, the National Trust of Australia (NSW) and the NSW Heritage Branch.

6.2 Statutory Listings

New South Wales State Heritage Register

Heritage items of particular importance to the people of NSW are listed on the SHR, which was created in April 1999 by amendments to the *Heritage Act 1977 (NSW)* (the Heritage Act).

The building at 46–56 Gloucester Street, The Rocks is listed on the SHR (Terrace, SHR No. 01609). A copy of this listing is attached at Appendix D.

The inventory citation provides the following summary statement of heritage significance:

Terraces, 46-56 Gloucester Street:

Nos 46-56 Gloucester Street are of State heritage significance for their historic and scientific cultural values. The site and buildings are also of State heritage significance for their contribution to The Rocks area which is of State heritage significance in its own right.

The Terraces at Nos. 46-56 Gloucester Street are historically significant as part of the major public works undertaken following the urban clearances in The Rocks. The buildings are good and largely intact early examples of public housing constructed in the first decade of the 20th century probably by the NSW Government Architect's Branch and demonstrate a concern for reasonable building and health standards in the construction and provision of housing to The Rocks residents.

The Terraces at Nos. 46–56 Gloucester Street are of historical and social significance due to the association with a number of government bodies including the Sydney Cove Redevelopment Authority, Department of Housing their predecessors and their various tenants, who have administered, maintained and occupied the building from its construction.

Nos. 46–56 Gloucester Street are technically and aesthetically significant in providing an innovative response to provision of housing on a sloping site, incorporating two storey duplexes that fit into the stepped topography. The stacking of the two storey dwellings also demonstrates a design philosophy and requirement to provide ample public housing and the Government Architects Branch reference to overseas prototypes and models.

The Terraces significantly form part of a row of terraces (Nos. 26–72 with the exception of the No. 42–44, c.1985) that demonstrate the evolution of terrace houses in Australia and are highly visible and make an active contribution to the Gloucester and Cambridge Streets streetscape.

The fabric and form of the building is representative of and demonstrates welfare and living standards and evolving construction techniques and materials of the early 20th century. They are a rare example of an early 20th century public housing scheme designed by the NSW Government Architects Branch constructed in The Rocks that also incorporates two storey units. (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006).

The evaluation of significance set out in the SHR has been reviewed and updated in the process of preparing this CMP (Refer to Section 6.4). The review of site history and the physical inspection of fabric undertaken for this CMP, notably in the context of repairs and restoration undertaken since the last listing update, allows this CMP to provide more detail and to identify additional criteria for its SHR listing. A revised statement of significance is included as section 6.5.

NSW Department of Housing s170 Heritage and Conservation Register

The building is included on the Department of Housing Heritage and Conservation (S 170) Register. A copy of this listing is attached in Appendix D.

Sydney Harbour Foreshore Authority s170 Heritage and Conservation Register

The building is on land owned by the Sydney Harbour Foreshore Authority (and is leased to the Department of Housing) but is not included among the individual heritage items in the SHFA Heritage and Conservation (S170) Register, 2010.

However, the building is within the area of The Rocks Conservation Area, which is a listed item on the SHFA s170 Register.

Local Council's Local Environmental Plan and Development Control Plan

Even though the property at 46–56 Gloucester Street falls within the boundary of the Sydney Local Environmental Plan (LEP) 2012, it is not subject to the LEP. The building is not listed on Schedule 5 Environmental Heritage of the LEP.

The building does lie within the boundary of the Sydney Development Control Plan 2012.

Sydney Cove Redevelopment Authority Scheme

The property lies within The Rocks, which is covered by the Sydney Cove Redevelopment Authority (SCRA) Scheme. This scheme has equivalent status to the LEP and identifies key heritage buildings. The flats at 46-56 Gloucester Street are identified as 'heritage buildings' on Building Site Control Map XXXVI of the SCRA Scheme.

6.3 State Historical Themes

The *NSW Heritage Manual* identifies a specific set of historical themes relevant to NSW within which the heritage values of the place can be examined. Although these historical themes are very general and heritage items are likely to relate to more than one theme, they facilitate understanding of the historical context of the heritage item.

Relevant themes for the 46–56 Gloucester Street, The Rocks, site are summarised in the table below.

Table 6.1 NSW Historical Themes Related to 46–56 Gloucester Street.

NSW Historical Theme	Relationship to 46–56 Gloucester Street, the Rocks
Accommodation—Activities associated with the provision of accommodation, and particular types of accommodation (does not include architectural styles).	The building at 46–56 Gloucester Street, The Rocks, was designed as model housing for workers. It has been used for public housing since 1908. It has been successively managed by the Sydney Harbour Trust, Maritime Service Board and the Department of Housing and its successors. The last public housing tenants were relocated by the Department of Housing in 2015. Following the sale of individual flats scheduled for early 2016, 46–56 Gloucester Street is intended to continue its residential function under private ownership.
Welfare—Activities and processes associated with the provision of social services by the state or philanthropic organisations.	The building at 46–56 Gloucester Street, The Rocks, was purpose-built by the state for public housing. It is an example of the modern urban renewal planning at that time that aimed to provide workers with well-designed living environments. It is also representative of a period of experimentation in the provision of public housing—along with examples in Windmill Street, High Street and Lower Fort Street, Millers Point.
Town, suburbs and villages—Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages.	The building at 46–56 Gloucester Street, The Rocks, was designed and constructed by Government Architect, Walter Liberty Vernon, concurrent with the emergence of the discipline of town planning in Sydney. The new buildings were carefully inserted within existing streetscapes on amalgamated allotments. This enabled an efficient increase in density and residential capacity, maintaining the maritime and wharf functions of the area by making it viable for workers and their families to remain close by their place of employment.

6.4 Heritage Significance Assessment

6.4.1 Criterion A

An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> Shows evidence of a significant human activity <input checked="" type="checkbox"/> Is associated with a significant activity or historical phase <input checked="" type="checkbox"/> Maintains or shows the continuity of a historical process or activity 	<ul style="list-style-type: none"> Has incidental or unsubstantiated connections with historically important activities or processes Provides evidence of activities or processes that are of dubious historical importance Has been so altered that it can no longer provide evidence of a particular association

46–56 Gloucester Street, The Rocks, is of historical significance for its contribution to the history of the development of worker housing in The Rocks, Millers Point and Dawes Point. Both The Rocks and the Millers and Dawes Point Village precincts are of historical significance at state level for their ability to demonstrate, in their physical forms, historical layering, documentary and archaeological records, social composition, the development of colonial and post-colonial settlement in Sydney and New South Wales.

The natural rocky terrain, despite much alteration, remains the dominant physical element in this significant urban cultural landscape in which land and water, nature and culture are intimately connected historically, socially, visually and functionally. This is clearly evident in the topography of the 46–56 Gloucester Street site.

The close connections between the local Cadigal people and the place (The Rocks, Dawes Point and Millers Point) remain evident in the extensive archaeological resources, historical records and the

geographical place names of the area, as well as the continuing esteem of Sydney's Aboriginal communities for the place.

Much (but not all) of the colonial-era development was removed from The Rocks, including the development on the property at 46-56 Gloucester Street, in the mass resumptions and demolitions following the bubonic plague outbreak of 1900, but remains substantially represented in the diverse archaeology of the place, its associated historical records, the local place name patterns, some of the remaining merchants villas and terraces, and the walking-scale, low-rise, village-like character of the place, and its vistas and glimpses of the harbour along its streets and over rooftops, the sounds of boats, ships and wharf work, and the smells of the sea and harbour waters.

The post-colonial phase is well represented by the early 20th century public housing built for waterside workers and their families, including the residential flats built at 46–56 Gloucester Street, technologically innovative warehousing, the landmark Harbour Bridge approaches on the heights, the parklands marking the edges of the precinct, and the connections to working on the wharves and docklands still evident in the street patterns, the mixing of houses, shops and pubs, and social and family histories of the local residents.

The Rocks and the Millers Point & Dawes Point Village Precinct have evolved in response to both the physical characteristics of their peninsular location, and to the broader historical patterns and processes that have shaped the development of New South Wales since the 1780s, including the British invasion of the continent; cross-cultural relations; convictism; the defence of Sydney; the spread of maritime industries such as fishing and boat building; transporting and storing goods for export and import; immigration and emigration; astronomical and scientific achievements; small scale manufacturing; wind and gas generated energy production; the growth of controlled and market economies; contested waterfront work practises; the growth of trade unionism; the development of the state's oldest local government authority the City of Sydney; the development of public health, town planning and heritage conservation as roles for colonial and state government; the provision of religious and spiritual guidance; as inspiration for creative and artistic endeavour; and the evolution and regeneration of locally-distinctive and self-sustaining communities. The whole place remains a living cultural landscape greatly valued by both its local residents and the people of New South Wales.

As an individual component of The Rocks, 46–56 Gloucester Street has historical significance under this criterion at a state level. It was designed and purpose-built by the state as model housing for workers, and was used for public housing for over 100 years, from c1912 to 2016. It has been successively managed by the SHT, Maritime Services Board, and the Department of Housing and its successors.

6.4.2 Criterion B

An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> Shows evidence of a significant human occupation <input checked="" type="checkbox"/> Is associated with a significant event, person, or group of persons 	<ul style="list-style-type: none"> Has incidental or unsubstantiated connections with historically important people or events Provides evidence of people or events that are of dubious historical importance Has been so altered that it can no longer provide evidence of a particular association

46–56 Gloucester Street, The Rocks contributes to the associative significance to the history of The Rocks and the Millers and Dawes Point Village precincts. As an individual component of these precincts, it has significance under this criterion at state level.

46–56 Gloucester Street is associated with the redevelopment of the Rocks by the Sydney Harbour Trust (SHT) following government resumption of the area in 1900. The SHT's primary concern was redevelopment of the port of Sydney through wharf regeneration and road construction. This included the realignment of Gloucester Street immediately prior to the construction of the current building. The SHT, established by Act of Parliament in 1900, was a public agency responsible for resumption and development of land for the control and management of Sydney's port. It initiated one of the state's first government programs for maritime development, public sanitation, infrastructure and residential improvement centred on Sydney Harbour between 1901 and 1936 (when it was renamed the Maritime Services Board), and shaped the waterfront of Sydney in the first decades after Federation.

The building at 46-56 Gloucester Street has a strong association with the NSW Government Architect's Branch (GAB) under the leadership of Walter Liberty Vernon. Vernon, the NSW Government architect from 1890 to 1911, was responsible for the design of many significant government buildings, including the Art Gallery of NSW, Central Railway Station and the Mitchell Library, all built in the classical style. He is also known for many buildings built in the Federation Arts and Craft style such as schools, fire stations, police stations, court houses and Jenolan Caves House,²

The GAB designed a number of model workers' housing facilities in the Rocks and Millers Point, and together with the Housing Board and Sydney Harbour Trust was responsible for the form of the early twentieth century urban renewal of the Rocks. The flats at 46–56 Gloucester Street reflected a change in public housing philosophy, with the emphasis on providing a good living environments for the occupants. The GAB, particularly during its two decades under Vernon' direction, led the way in public architecture in NSW, and was highly influential in developing design principles and values that are unique to Federation-era NSW. The GAB was responsible for dozens of regional Land Board Offices, Fire Stations and Courthouses that have defined the urban landscape of Sydney and regional NSW.

The building is associated with the Housing Board and Housing Commission (later Department of Housing, Housing NSW and currently Land and Housing Corporation), all state significant Government agencies who have administered and maintained the building since its construction.

The building is also associated with community activism during the 1970s surrounding retention of inner city residential communities at a time of rapid redevelopment. The post war boom of the early 1960s gave rise to major development pressures in the city with the coming of high rise buildings. Some of the earliest were erected fronting the southern and eastern frontages of Circular Quay and the southern fringe of Millers Point. The Sydney Cove Redevelopment Authority was created in 1968 to oversee the government's proposals for re-development of The Rocks with high-rise buildings. Residents of The Rocks and Millers Point banded together in opposition to defeat The Rocks' proposal with Green Bans in collaboration with the sympathetic Builders Labourers Federation. The building survives as a result of the Green Bans and has significance under this criterion at state level.

6.4.3 Criterion C

An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or in local area).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> • <input checked="" type="checkbox"/> Shows or is associated with, creative or technical innovation or achievement • Is the inspiration for a creative or technical innovation or achievement • Is aesthetically distinctive • Has landmark qualities • <input checked="" type="checkbox"/> Exemplifies a particular taste, style or technology 	<ul style="list-style-type: none"> • Is not a major work by an important designer or artist • Has lost its design or technical integrity • Its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded • Has only a loose association with a creative or technical achievement

46–56 Gloucester Street, The Rocks, is of aesthetic significance for its contribution to the character and architecture of The Rocks and Millers and Dawes Point Village precincts, which are of aesthetic significance at state level.

As an individual component of these wider precincts, 46–56 Gloucester Street has aesthetic significance under this criterion at a local level. It was designed to fit into an existing residential streetscape of row housing, which is reflected in its architectural form and the regular rhythm of party walls and verandah bays. It is built in the Federation Free Style with restrained Arts and Crafts detailing, including a face brick façade and contrasting brick trim.

The building occupies a prominent location on the inside bend in Gloucester Street, making a significant contribution to the streetscape of terrace housing. The rear of the building, due to its bulk, is also visually prominent looking north along Cambridge Street from Cumberland Place.

The building was designed to provide a healthy living environment in all flats, with all rooms having access to good natural light and ventilation. This development in public housing is of state significance.

The use of dry pressed bricks (fired at high temperatures) for the walls, concrete and steel for the western verandah, communal access stairs and balustrades, and cement render to internal walls and skirtings reflects the developing use of durable, low maintenance and fire resistant materials in public housing. The building also incorporates cavity brick walls, an innovation of the time to prevent damp ingress, and lightweight concrete walls (incorporating fly ash) internally, an innovation to reduce the weight of masonry walls on the upper floors.

The layering of two-storey flats on top of each other allowed the property to achieve much higher density development on the site than achieved in previous developments in the area. This is also a significant development at state level.

6.4.4 Criterion D

An item has strong or special association with a particular community or cultural group in NSW (or local area) for social, cultural or spiritual reasons.

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> • <input checked="" type="checkbox"/> Is important for its associations with an identifiable group • <input checked="" type="checkbox"/> Is important to a community's sense of place 	<ul style="list-style-type: none"> • Is only important to the community for amenity reasons • Is retained only in preference to a proposed alternative

The Rocks and Millers Point and Dawes Point Village precincts have social significance at a state level.

Current and former residents of The Rocks, many with generations of family connection to the area, have a loyal sense of community and a strong connection with the place. In recent years, however, this connection has been gradually eroded through changes in land ownership and relocation of residents away from the area.

The Rocks is also valued by the NSW community for its long and varied history of European settlement, maritime trade and occupancy. This is reflected in the long term interest and involvement in the area of the National Trust (NT), a community based organisation founded for the protection of Sydney's built heritage. The NT listed The Rocks as a conservation area and many of the buildings within it as heritage items, including 46-56 Gloucester Street; it was actively involved in the Green Bans during the 1970s to prevent demolition of the historic precinct; and it continues to advocate for the protection of the area and its local community.

The importance of The Rocks to the Australian community is reflected in the huge number of visitors to the place every year, more than half of which are local Sydney or NSW residents. People visit the place to engage with its history, to experience its spirit, aesthetic qualities and life, to socialise and to celebrate special events such as Australia Day.

As a component of The Rocks and Millers and Dawes Point Village precincts, 46–56 Gloucester Street is not individually significant under this criterion, although it does contribute to the overall character and significance of the state-significant precinct of The Rocks.

6.4.5 Criterion E

An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> Has the potential to yield new or further substantial scientific and/or archaeological information <input checked="" type="checkbox"/> Is an important benchmark or reference site or type Provides evidence of past human cultures that is unavailable elsewhere 	<ul style="list-style-type: none"> The knowledge gained would be irrelevant to research on science, human history or culture Has little archaeological or research potential Only contains information that is readily available from other resources or archaeological sites

46–56 Gloucester Street, The Rocks, has significance at a state level as a benchmark in the development of public housing and residential flat development in Australia. It emulates the form of earlier row housing, but incorporates changes in planning to enable an increased density of occupation on an urban site (through the amalgamation of smaller sites, increased site coverage, layering of two-storey flats on top of each other, and the use of common stairs and verandahs as access corridors). The building demonstrates improvement in the provision of healthy living environments for residents—all rooms have natural light and ventilation, and all flats have kitchens, bathrooms, laundry and outdoor WC facilities. The building also incorporates the use of durable and fire resistant materials for common areas and to achieve fire separation between flats.

The site has low archaeological potential with above ground relics 'mostly disturbed to destroyed' and below-ground archaeological remains 'mostly disturbed'. As such, the site has little archaeological or research potential. If archaeological remains relating to the nineteenth-century occupation of the site were to be present, these may have local significance for their research potential.

There is low potential for archaeological evidence relating to Aboriginal occupation of the site. If present, any archaeological evidence of the Aboriginal occupation of the Rocks would have research value, for its ability to inform our understanding of Aboriginal activity and interactions in the area.

6.4.6 Criterion F

An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> Provides evidence of a defunct custom, way of life or process Demonstrates a process, custom or other human activity that is in danger of being lost Shows unusually accurate evidence of a significant human activity Is the only example of its type <input checked="" type="checkbox"/> Demonstrates designs or techniques of exceptional interest Shows rare evidence of a significant human activity important to a community 	<ul style="list-style-type: none"> Is not rare Is numerous but under threat

46–56 Gloucester Street, The Rocks, is rare at a state level as an unusual transitional example of model public housing developed by the SHT and the NSW Government Architect's Branch during the early twentieth century in that it appears to be a terrace of individual houses in its form, but in reality it is a block of flats incorporating two layers of two-storey 'maisonette' style units accessed by shared stairs and verandahs.

Although the terrace appearance is typical for many early workers' accommodation buildings in The Rocks and Millers Point, such as 15–35 Dalgety Road, 18-20 Munn Street, 2-80 High Street and 1–63 Windmill St (all in Millers Point), the stacking of two-storey flats one on top of the other is unique in the area. Other transitional flat buildings 117-117A Gloucester St and 140–142 Cumberland Street, which are more like tenement buildings than terrace houses, and the flats at 30-42 Lower Fort Street, Millers Point, and 54-62 Balfour Street, Chippendale, represent the next phase of development towards the Interwar apartment building. All have single storey flats rather than two storey. 46–56 Gloucester Street is rare at a local level as an example of early twentieth-century workers' housing in The Rocks that has been in continuous use as such for more than 100 years. Its integrity has been retained through ongoing management and maintenance by public agencies, although this is soon to cease. It demonstrates a way of life soon to disappear from The Rocks.

6.4.7 Criterion G

An item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places or environments (or a class of the local area's cultural or natural places or environments).

Guidelines for Inclusion	Guidelines for Exclusion
<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Is a fine example of its type <input checked="" type="checkbox"/> Has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/> Has attributes typical of a particular way of life, philosophy, custom, significant process, design, 	<ul style="list-style-type: none"> Is a poor example of its type Does not include or has lost the range of characteristics of a type Does not represent well the characteristics that make up a significant variation of a type

<p>technique or activity</p> <ul style="list-style-type: none"> • <input checked="" type="checkbox"/> Is a significant variation to a class of items • <input checked="" type="checkbox"/> Is part of a group which collectively illustrates a representative type • <input checked="" type="checkbox"/> Is outstanding because of its setting, condition or size • <input checked="" type="checkbox"/> Is outstanding because of its integrity or the esteem in which it is held 	
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46–56 Gloucester Street, The Rocks, is of representative significance at a state level for its ability to demonstrate one or more of the principal characteristics of early twentieth-century public housing development within The Rocks and Millers and Dawes Point Village precincts.

The building at 46–56 Gloucester Street has a high degree of integrity and clearly demonstrates the key principles used in the design of model public housing by the state—including the appropriate use of durable and fire resistant materials (dry pressed and fired bricks, concrete, steel, cement render); the use of innovative building technologies (cavity brick wall construction and light weight concrete); and the provision of healthy living environments for all residents (natural light and ventilation to all spaces). Together with examples in Windmill Street, High Street and Lower Fort Street, which are still extant in the Millers Point precinct, it is representative of a period of experimentation in the provision of public housing.

The Rocks and Millers and Dawes Point Village Precinct are of representative significance at state level as nineteenth and twentieth-century maritime precincts that provided work and housing for their populations. This housing later evolved into social housing for descendent families of workers. 46–56 Gloucester Street, which was built as public housing c1908–1912 and is one of the buildings that contributes to the significance of the area.

6.5 Integrity/Intactness

46–56 Gloucester Street, The Rocks, is a largely intact and representative example of a public housing complex constructed in the early twentieth century. It retains its original form, planning and much of its detailing. Upgrades have included enclosure of the rear porches to enable internal access to all facilities. It does not retain any of its original kitchen, laundry, bathroom or WC fit-outs, but the spaces are still clearly legible.

6.6 Statement of Significance

46–56 Gloucester Street, The Rocks, was completed c1912 and is one of the earliest examples of purpose-built flats for public housing in Australia. It demonstrates the concern held in the first decade of the twentieth century for the improvement of the quality of workers' accommodation. It is both a rare and representative example of early public housing in Australia. The building is significant at a state level for its historical, aesthetic and technical values. It also contributes to the character of The Rocks precinct which is of significance to the people of NSW historically, aesthetically and socially.

The building, which was built to provide accommodation for maritime workers close to their place of work on the docks, is historically significant as part of the urban renewal works that were undertaken following the extensive resumptions of The Rocks area in 1900–1901. 46–56 Gloucester Street. It is associated with the Sydney Harbour Trust, the agency responsible for management and improvement of the Sydney Harbour foreshore from 1900. It is also associated with the Government Architect's Branch of the NSW Public Works Department, which, under the leadership of the NSW Government Architect, Walter Liberty Vernon, is responsible for the building's design. In addition, the building is

associated with the Housing Board and Housing Commission (later Department of Housing, Housing NSW and currently Land and Housing Corporation) who have administered and maintained the building since its construction. All these Government agencies are of state significance.

The building is emblematic and survives as a result of the Green Bans social movement instigated by the Builders' Labourers Federation and supported by the National Trust during the 1970s, which aimed to retain inner city communities in early housing stock at a time of rapid city redevelopment.

The building, through its built form, which was designed to fit the existing residential streetscape of row housing and the rocky terrain of the Dawes Point peninsular, contributes to the historic and aesthetic character of The Rocks, a precinct of National significance. It occupies a visually prominent location on the inside bend of Gloucester Street and forms part of a significant streetscape of row housing built to the street boundary. It is also visually prominent looking north along Cambridge Street from Cumberland Place. It has aesthetic significance for its uniformity of design, including regular rhythm of party walls, tall chimneys, western verandah and parapeted façade to Gloucester Street and rear wings that extend towards Cambridge Street. It is designed in the Federation Free Style with characteristic, but restrained, Arts and Crafts detailing, including contrasting brickwork applied to its principal face brick façade.

The building is technically significant and a reference site for its incorporation of materials not common at that time in residential construction, including steel framing and stairs, concrete slabs and lightweight concrete walls. These were unusual in residential buildings of the period and entirely new for public housing. It is also representative of the experimental use of durable, low maintenance and fire resistant materials in the construction of residential flats as a building type for low-cost housing, including the use of dry pressed face bricks for external walls and cement render to internal walls. The building also incorporates cavity brick walls, an innovation of the time to prevent damp ingress.. The use of lightweight fly ash concrete walls is a rare application and has research potential.

The property is a fine and largely intact representative example of a public housing complex constructed in the early decades of the twentieth century and features the use of a two-storey (maisonette) form that was rare in that period. Its design, which includes natural light and ventilation to all rooms, private outdoor spaces and shared services and access, reflects the state's interest in providing healthy living environments for all residents.

The site has limited archaeological significance in relation to Aboriginal or pre-1900s' remains due to the low level of archaeological potential present. Archaeological remains, if present, are likely to be of local significance for their ability to provide information about nineteenth-century occupation of the site. The cultural significance of Aboriginal archaeological remains has not been assessed as part of this CMP.

6.7 Endnotes

¹ *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* 2013, p 2.

² Reynolds, Peter, 1990, *Vernon, Walter Liberty (1846–1914)* in *Australian Dictionary of Biography*, Volume 12, [accessed 8 August 2016] <http://adb.anu.edu.au/biography/vernon-walter-liberty-8916>

7.0 Priority Conservation Works

7.1 Conservation Works

The conservation works listed in Table 7.2 are required to be undertaken to conserve the heritage significance of the property and to ensure its long term sustainability. Additional priority conservation works and timing relevant to particular individual flats are identified in the sections of this CMP relevant to those flats.

Table 7.1 Works Priority Definitions.

Priority	Timing of Works
Urgent	Essential repair work to address deterioration of fabric. These works should be undertaken within the first 3–6 months.
High Priority	Works that must be undertaken to ensure the weather-tightness of the building and prevent decay of the fabric. These works should be undertaken within the first 12–24 months.
Medium Priority	Works should be undertaken within 2 to 4 years.
Low Priority	Works should be undertaken within four to 6 years.
Optional	Works are desirable to remove intrusive elements or enhance heritage significance, but are not required to retain the current heritage significance.

Table 7.2 Schedule of Priority Conservation Works.

Element	Issue / condition	Works required	Flat	Timing
Exterior WCs—parapet and brickwork	Open joints and vegetation—fair condition	Remove plants and point up open mortar joints (profile, appearance, strength and composition to match original).	All	Urgent
Exterior WCs—rafters and bargeboards	Timber decay—poor condition	Check for timber decay, repair as needed matching existing dimensions and details, repaint with appropriate heritage-scheme colours (refer to Appendix E).	All	High
Exterior WCs—roof sheeting and flashings	Corrosion—poor condition	Replace corroded sheeting with new corrugated galvanised steel sheet to match the main and verandah roofs. Check and replace upstand flashing if needed. Retain and point up lead step flashings.	All	High
Exterior WCs—roof plumbing	Missing or badly fixed gutters and downpipes—poor condition	Replace missing elements (profiles in copper or galvanised steel to match existing adjacent). Check and refix loose or sagging gutters, check fall, check and reconnect downpipes.	All 46, 56B	High
Exterior WCs—doors and windows	Timber decay and flaking paint—fair condition	Repair decayed timber to doors and door cases as needed and repaint with compatible or matching heritage colours. Reinstate missing glass louvres to windows. Check and adjust locks, handles and hinges.	All	High
Exterior brick yards	Weeds and debris—fair condition	Remove weeds and rubbish, and apply herbicide.	All	High

Element	Issue / condition	Works required	Flat	Timing
Exterior yard drainage	Lack of maintenance—fair condition	Where storm drains not provided, check brick paving (and regrade as necessary) to ensure runoff is directed away from the building. (Ensure approvals are obtained for any works as archaeology may be present) Ensure no rubbish piled against wall bases and damp-proof courses.	All	High
Exterior fences	Maintenance deferred—fair condition	Repair and/or renew fence panels, rails or palisades as needed. Check and adjust gates and provide secure locks.	All	High
Laundry hoists	Clothes lines in poor condition. Timber frames generally fair condition	Repair clothes lines and make operable.	All	High
Main building—exterior doors	Damage/intrusion	Repair broken glass fanlights. Repair broken French doors.	50A 56B	Urgent
Internal skirtings	Cracks and minor defects	Repair cracks.	46, 50A	High
Internal joinery	Minor damage, defective hardware	Reinstate loose or damaged fanlight panels. Ease and adjust hinges, locks and fanlight mechanisms. Check door swing and hinges and adjust as needed. Replace broken glass in bathroom doors. Any timber repair to match existing profiles and materials. Minor repairs to skirting beads; rehang hall door the correct way up.	50 54C 50, 50A	High
Internal floors	Covered by carpet	Lift carpet, ventilate, and check boards for decay or borer damage.		High
Windows, doors and hardware	General maintenance	Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstate broken or missing internal door knobs. Replace broken glass. Replace unsympathetic door fittings. Replace unsympathetic flush doors with panel doors matching the original form and detail. Reinstate external double doors at lower ground level in flat 52 to match those in adjacent flats.	All 56C 54B 52	High
Ripple iron ceilings	Corrosion	Open up to identify and treat causes of rust staining/streaking behind some cornices (check for leaks in water and drainage services and repair as necessary).	46A	High
Roof terraces	Ponding and leaves	Check stormwater disposal and tiling and remove leaves and debris. Check mesh at roof eaves and repair any damage.	All	High

Element	Issue / condition	Works required	Flat	Timing
Electrical wiring	Electrical safety audit needed for compliance	Check existing wiring for compliance with current standards.	All	High
Fire detection	Fire detection needed for compliance	Install smoke detectors. Install sprinkler system to service tunnel.	All	Urgent
Fire separation	BCA compliance audit	Assess the options for upgrading fire separation between rear balconies on successive levels (develop sympathetic design solutions where fire compliance can be incorporated within additions or alterations).	All	Urgent
Hot water systems	Private systems located in service tunnel (a common area)	Relocate individual hot water systems from service tunnel to individual flats.	Lower flats	Urgent

7.2 Cyclical Maintenance

The building was renovated in 2011–2012 and is now due for a maintenance inspection. It is anticipated that the owners' corporation would be responsible for inspecting and maintaining the common areas, whereas inspection and maintenance of individual flats would be the responsibility of individual flat owners. Any maintenance works to the exterior of the building that affect its overall presentation to the street, such as external painting, even though the responsibility of individual flat owners, would need to be carried out in a consistent manner across the whole building and should be managed in accordance with guidelines established by the owners' corporation. These guidelines should be based on the policies set out in section 9.0 of this CMP.

Table 7.3 contains recommended maintenance actions. Most of the works listed are minor running repairs necessary to maintain the building in good condition. The maintenance frequency is given only as a guide to best practice. However, increasing the times beyond those recommended may give rise to more extensive damage and therefore higher repair costs over time.

Table 7.3 Schedule of Maintenance Works.

Element	Works required	Period between inspections
Maintenance of Common Property		
External brick walls (all elevations)	Investigate signs of salt damp, efflorescence, powdery or crusty deposits on wall surfaces. Remove causes and treat to remove salts. Poison plants and remove roots once dead. Inspect for new cracking or movement and pointing failures and repoint to match original as required.	Monitor for salt damp annually. Remove plants as soon as noticed Inspect walls for cracking/movement every 5 years
Roughcast panels	Check for drumminess, patch repair with matching materials as necessary. Maintenance repainting with matching colours—test for lead, do not strip paint completely.	Annually
Structural timber including roof structure	Termites: Obtain professional advice to inspect for and treat termites. For timbers damaged by termites, wet rot, (etc) retain original fabric in situ (where possible) with supplementary new element.	Annually

Element	Works required	Period between inspections
	Inspect roof structure for timber decay; patch, repair, strengthen or replace decayed timber elements as necessary; check for roof leakage; check connections of trusses and rafters check and clear roof vents to ensure protected from bird entry.	
Galvanised steel roofing	Inspect, clean and check for signs of corrosion; check laps and fixings; resecure lifting sheets; treat rust with rust converter or replace with matching sheet as necessary.	Annually or after high winds or hail, or when leaks occur
Roof flashings (including ridge capping, chimney flashings, step and apron flashings)	Check performance of flashings and weatherings; reseal torn flashings and insert lead clips as necessary; repoint. Use compatible metals.	Annually or after high winds or hail, or when leaks occur
Rainwater goods	Inspect joints/fixings/straps and astragals for stability and corrosion; repair as necessary; check rain-heads, spreaders offsets, pipes and gutters and keep clean; check falls; manually remove blockages; remove plants, soil and leaves; check/repaint cast iron pipes as necessary.	3 months and after heavy rain and hail or when leaks occur
Stormwater drainage	Inspect and clean out blockages; ensure storm drains connect to public stormwater lines; check water falls away from buildings.	3 months or when overflows occur
Roof terraces	Check stormwater disposal and tiling and remove leaves and debris; check mesh at roof eaves and repair any damage.	Annually
Verandahs—timber	Timber decay: Patch repair or strengthen structural members as necessary. Match original detail. Timber joints: Check for movement and/or rot. Resecure or strengthen loose joints if needed. Peeling paint: Check all surfaces for cracking, watermarking and/or weathering of protective cover.	Inspect annually. Paint joinery when peeling and every 5–7 years
Verandahs—metalwork	Peeling paint and corrosion: Ensure all iron and steelwork is kept painted on all surfaces; check for breakdown of paintwork and repaint as soon as possible. Ensure iron and steelwork is cleaned (manually) and primed before painting. Treat corroded areas in iron gates, fences and stays with rust retarder; ease and grease all hinges, bolts and latches.	Inspect twice annually Paint every 5–10 years and/or when paint surface breaks down.
Subfloors	Damp: ensure subfloor area below timber floors is well ventilated and nothing is covering subfloor vents. Check plumbing and drainage if ground remains damp and/or a leak or damp smell is noted.	Ongoing monitoring of level of damp and ventilation twice annually for first 5 years after removal of slabs then annually.
Exterior timber including windows, doors, fascias, barge boards, eaves linings	Leakage through junctions/frames: Locate source and repair. Timber decay and opening of joints: Repair rotted sections of fabric to match original detail and ensure joints are secure. Ensure exposed timber is painted and check for cracks/lifting paint on all surfaces. Painting: sand back and repaint; carry out minor timber repairs to windows (eg, sash stiles/rails, sills) as needed using matching timber and joinery methods.	Annually or after heavy rain/wind and/or when leak occurs. Paint every 7–10 years and/or when paint surface breaks down.
Exterior paving	Damp and vegetation: poison plants and remove roots once dead; remove trip hazards; ensure paving does not extend above damp-proof course.	Annually
Laundry hoists	Clothes lines broken or come loose from fixings: Replace broken lines and repair pulleys and fixings.	Annually Repair as necessary

Element	Works required	Period between inspections
Fences	Loose palings: Refix loose palings as necessary. Decayed structural elements: Replace fences to match existing.	Annually Repair as necessary
Maintenance of Individual Flats		
Interior mouldings and skirtings	Evidence of damp and salt attack (salt encrustations, powdery surface or bubbling paint): Remove bubbling paint and allow wall to dry; remove salts using paper poultice as wall is drying. Repair impact damage, cracks and/or surface deterioration and repair as required.	Ongoing monitoring of salt-damp as part of recommended urgent works. Annual inspection of surfaces and mouldings to identify potential damage.
Interior polished timber (floors)	Maintain unpainted surfaces to floors; clean and burnish with tung oil.	Inspect and re-treat every 5 years depending on wear
Internal paint finishes	Condition and integrity of painted finishes: Keep in good repair with compatible materials. Check and repaint localised paint failures, chips and scrapes to joinery and wall finishes (especially skirtings, staircases, doors).	Painting 10–12 years after initial repair works have been completed depending on surface conditions; Touching up as required.
Plaster ceilings and cornices	Cracks, movement and/or staining of surfaces: Identify cause of problem (leaks, structural damage, loss of adhesion of plaster, etc) and repair to match original fabric/detail. Peeling paint: Remove peeling paint, prepare and repaint using breathable paint. Traditional lime-wash or calcimine is recommended for areas with evidence of these as original finishes.	Annually and/or if cracks or staining are noticed. Repaint every 10–12 years after repair works have been completed depending on surface conditions.
Internal floors	Rotten boards and framing: Ensure floor framing is kept dry and well ventilated. Check for and remove sources of damp including plumbing fixtures, drainage lines, ground surfaces, etc).	Annually
Internal joinery—doors, architraves, fanlights	Evidence of impact damage, timber deterioration and/or opening of joints: Repair damaged sections of fabric to match original detail and ensure joints are secure. Deterioration of finishes: Maintain finishes in sound condition with appropriate materials. Joinery that was not originally painted (to stair, doors and windows, etc) should have original stained/polished surfaces.	Annually
Windows/doors and window furniture/door furniture	Ease and adjust sashes and casements; check and repair existing window catches, stays and locks; reinstate broken or missing internal door knobs.	Annually
Ripple iron ceilings	Check surfaces/fixings for corrosion; identify and treat causes of corrosion.	Annually
Electrical hot water cylinders	Inspect and service.	Annually
Plumbing	Check and service kitchen, bathroom and laundry plumbing. Blockages and leaks: Ensure all pipework and outlets are sound and watertight; repair leaking pipes and unblock outlets as soon as possible.	Annually
Electrical wiring	Electrician to check and repair wiring decay, faulty switches, safety switch and circuit breakers (etc) as necessary. Protect/conservate adjacent significant fabric.	Annually
Smoke detection	Inspect and test, replace batteries as needed.	Annually

8.0 Constraints and Opportunities

8.1 Introduction

The following analysis of opportunities and constraints summarises factors which will influence the use and development of the building based on its significance, condition and integrity (intactness), and the statutory requirements of SHR listing.

This section also considers the requirements of future owners and occupants, including compatible uses and available resources.

8.2 Constraints and Opportunities Arising from Significance

The assessment of significance of 46–56 Gloucester Street has concluded the building has significance at state level arising from its:

- importance as a largely intact representative example of a public housing complex constructed in the early decades of the twentieth century;
- association with government efforts to provide quality public housing for workers in The Rocks, close to their place of work;
- design for the provision of healthy living environments for residents, including the use of natural light and natural ventilation in all habitable spaces—this determined the form of the rear wings;
- links with the urban renewal works that were undertaken following the extensive resumptions and subsequent cleansing operations of The Rocks area in 1900/1901;
- association with the Sydney Harbour Trust, the Government Architect's Branch of the NSW Public Works Department, various public housing authorities and later the social movement associated with the Green Bans of the Builders' Labourers Federation (BLF) and the retention and conservation of worker housing within The Rocks;
- aesthetic values as a well-designed and constructed, largely intact example of a multi-storey residential flat development in the Federation Free Style;
- use of innovative techniques and materials for construction of low-cost housing, such as steel structural elements, concrete slabs and lightweight concrete; and
- importance in contributing to the living cultural landscape of The Rocks, greatly valued both by local residents and the people of New South Wales.

The building retains most of its original form, fabric and detailing with only minor alterations to its internal layout. It is noted that the kitchen, bathroom and laundry fit-outs have been replaced. Opportunities to retain, reinstate and interpret aspects of heritage significance for present and future generations must be based on the understanding of this significance.

The following constraints and opportunities arising from the significance of the place have been identified in the preparation of this CMP:

- The need to maintain the building in residential use into the future to retain its heritage values.

- The need to retain and conserve the building as a unified and cohesive group of flats by controlling changes to the exterior that will impact the group as a whole (such as paint schemes, fences, etc);
- The potential of the place to interpret the provision of social housing within the urban development of The Rocks, especially following the resumptions and redevelopment of the area from 1900.
- The need to retain the terrace form of the building with its verandah facing Gloucester Street, party wall divisions and narrow wings extending to the rear of the property.
- The need to retain the Free Federation style architectural character of the building with its face brick walls and Arts and Crafts detailing;
- The need to retain an appropriate physical setting and key views as defined in this CMP.
- The need to conserve and manage the common areas within the building including its common access stairs, verandah and service tunnel, and common property, such as fences, garbage chutes and laundry hoists.
- The need to retain (with only minor alterations where indicated in this CMP) the original internal layout of the individual flats.
- The need to retain current or original uses in the spaces within the flats.
- The need to retain key healthy design features such as the provision of natural light and ventilation to flats.
- The need to retain private outdoor open space for each of the flats, including the open roof terraces for the upper flats and private fenced yards for lower flats.
- The need to retain and conserve original interior details, including window and door joinery, joinery, skirtings, architraves, picture rails, ripple iron ceilings, cornices, fireplaces and staircases.
- The potential of the site for further archaeological research.

Conservation of the building at 46–56 Gloucester Street should be an integral part of its ongoing management and should follow the principles contained in the Burra Charter. Refer to Section 9.1.1 of this CMP.

8.3 Owner Requirements and Proposed Uses

8.3.1 Residential Use

The building at 46–56 Gloucester Street, The Rocks, was designed and built as public housing and should remain in residential use to retain its cultural significance. Any change to non-residential use would substantially impact on the building's historical and social significance as inner-city housing in continuous occupation. The Rocks embodies a deeply felt sense of connection to the past and to past communities. The importance of The Rocks as a 'living community' with a growing residential population and a community that includes residents, tenants and visitors has been identified as a management priority for the area.¹

Change of use to other than residential could require the building to comply with codes and standards that may not be achieved without major heritage impact. This could also entail changes and adaptations within individual spaces that are incompatible with the building's architectural and spatial integrity. Retaining the building in residential use enables the significant form and layout of the flats to be systematically conserved and minimises the risk of changes needed to accommodate functions other than those for which the building was designed.

8.3.2 Potential Change

The policies in Section 9.0 of this CMP are intended to guide future planning and design to minimise adverse heritage impacts and maintain group cohesiveness.

8.3.3 Common Approach to Management and Change

The building at 46–56 Gloucester Street, The Rocks was designed for a specific occupation type and density (2–3 bedroom maisonette style flats within a four-storey tenement form). It uses common stairs and verandahs for access, and has a consistency of form externally and internally.

The building needs a unified and cohesive approach to its management, conservation and maintenance, as well as development. Works affecting significant fabric must be coordinated so that they are consistent across the group of flats as a whole ensuring that the building is treated as a single architectural entity. There is a need to ensure common property (building structure, service tunnel, western verandah, external access stairs, fireplaces and chimney flues, garbage chutes, laundry hoists and fences) is used, maintained and managed jointly. Periodic maintenance and replacement of decayed fabric (such as rainwater goods, exterior finishes, joinery, brickwork) must also be undertaken across the whole building to ensure consistency of detail.

Management and maintenance guidelines need to be developed by the owners' corporation for conserving common areas (as shown on the strata plan (Figure 1.6 and 1.7) and listed in Section 4.1.3 of this CMP), shared elements and the external envelope of the building. These guidelines must address management and maintenance of access, easements, colour schemes, service tunnel, the western verandah, external access stairs, party walls, chimneys and fireplaces, fire protection, fences, services, garbage disposal, external lighting and security. Refer to Policies 13 and 82.

Service Tunnel

The service tunnel under the front rooms of the ground floor flats is a highly significant shared component of the building. It provides the potential to integrate new services into the building. At present it contains electrical and communications cabling, plumbing, ducting, drainage. At the time of the inspection the tunnel also contained hot water systems belonging to the lower flats, but these have since been replaced with new systems located within the individual flats.

The tunnel is currently accessed via a door in the rear wall of Flat 56B and a metal stair and opening located at its southern end, with access via another stair located over land belonging to SHFA on the neighbouring property of Susannah Terrace. Another opening at the northern end of the tunnel is currently bricked up and partially blocked by the public stair at the northern end of the building. An easement is required over the Susannah Terrace land and the northern stairs to enable continued access to the service tunnel by owners of 46–56 Gloucester Street.

There is an opportunity to use the northern end of the service tunnel as a communal garbage bin store with access provided from the public stair at the northern end of the building. The design of the access will need to be carefully considered to minimise its impact on the building and the public stair.

It is recommended that no doors be permitted to provide access between individual units and the service tunnel to prevent it being adopted and used as private space (for storage or otherwise).

Rear Yards

Rear yards possess a spatial uniformity that should be conserved. Thus, fences should be retained along the site boundaries and between the individual rear yards. The approach to replacement of rear fencing needs to be consistent across the whole property to maintain visual unity and to avoid detrimental visual impact.

The laundry hoists and garbage chutes contribute to the character of the rear yards and interpret the clothes drying and garbage arrangements used in the early twentieth century when the flats were first occupied. These are to be managed as common property.

As the yards are small, no large trees should be planted as these could potentially impact potential archaeological remains and significant fabric of the building and/or services as they grow.

Rear Porches and Balconies

The original porches that gave access to the rooms in the rear wings were enclosed during the 1980s to provide internal access to all rooms. It is not recommended that these porches be reopened. No new balconies are permitted as they will impact significant fabric.

Roof Terraces

The roof terraces of the upper flats are consistent across the group and contribute to the overall form of the building as seen from Cambridge Street. The areas under the skillion roofs originally accommodated laundry facilities, which have since been removed. Therefore, there may be an opportunity to adapt and partially enclose these spaces as private drying spaces or conservatories as set out in the conservation policies included in Section 9.0 of this CMP (Policy 96). The open part of the terraces must not be infilled or roofed over.

Fire Protection

Fire separation between the individual flats, and between the flats and the service tunnel needs to be considered across the building as a whole. Fire detection and suppression systems should also be considered and installed in all flats and the service tunnel as part of a centralised system. Advice on fire-related issues, e.g. fire separation and fire egress, should be obtained from heritage design professionals and fire engineers experienced in dealing with heritage buildings. Approval will be required for such works.

Fireplaces

Many early fireplaces within the building have been blocked up, whereas others retain early chimney pieces, cast iron grates and ranges. All retain their original concrete hearths. Although the fireplaces cannot be used for their original purpose, they contribute to the character of the rooms within the flats and provide evidence of the original heating systems used within the building. The fireplaces and chimneys are to be managed as common property and all surviving original elements must be retained.

8.4 Constraints and Opportunities Arising from Condition and Integrity

8.4.1 Generally

The building and its individual flats have a high degree of integrity and should not be altered other than where indicated in the relevant parts of this CMP.

The building was substantially refurbished in the 1980s. The alterations made at that time had some minor impact on the internal layout of the building, but in most respects these changes were sympathetic to the building. The renovations of 2010–2011 were mainly confined to general repairs and the upgrading of kitchens, bathrooms and laundries. Since then there has been some internal wear and tear from occupation, but externally the building generally appears to be in sound condition.

Section 7.0 includes a schedule of priority conservation works and a schedule of cyclical maintenance works. Statutory approval for works is required to be sought from the relevant consent authorities (refer to policies in Section 9.0 for specific types of work).

Internal Partitions

The flats generally retain all their original internal walls and partitions (rendered brick, lightweight concrete and timber boarded partitions), although some new openings have been cut in some of them. These original walls and partitions define the early layout of the flats and should not be removed. Only partitions installed during the 1980s or more recently may be removed or altered (lower ground and second floor levels only). Refer to Figures 2.13 and 2.16.

Generally, spaces of exceptional, high or moderate significance should not be subdivided.

Kitchens, Laundries and Bathrooms

Bathroom and kitchen fit-outs are in fair condition, having been installed in the 1980s with further refurbishment in the 2000s. The kitchens and laundries were relocated within the building during the 1980s, with some modifications such as the insertion of internal partitions, relocation of doors and opening up of walls, but their current locations are considered acceptable. These facilities may be upgraded within the current spaces to meet current expectations. This includes new fit-outs of these spaces. The location of plumbing however, needs to be very carefully considered so as to minimise its impact on significant spaces and fabric.

The spaces may not be subdivided, although non-original partitions may be removed or relocated within these spaces. Statutory approval for works is required to be sought from the relevant consent authorities.

External Toilets

External outhouses (former WCs) for the lower flats no longer contain WCs and were not restored in 2010–2011 and are therefore in need of repair. These may be reinstated or the spaces adapted for a new use, such as garden store. They should not be removed as they contribute to the overall unity of the building group as a whole.

Timber Staircases

The original timber staircases, which are highly significant and retain a high degree of integrity, remain in all flats. The timber staircases must be retained in their original configuration.

8.4.2 Archaeology

The heritage significance of any site extends beyond its existing structures and measures must be taken to ensure that archaeology is investigated and documented as appropriate before any action occurs that might disturb or remove it.

The archaeological potential of the place is discussed in Sections 3.7 and 3.8.

Archaeological sites and relics within the SHR property are automatically protected under Section 57 of the Heritage Act. A relic is defined as an archaeological deposit, artefact, object or material evidence that relates to the settlement of NSW (not being Aboriginal settlement) that has heritage significance at a local or state level.

Development proposals that affect historical archaeological sites and deposits must include an excavation approval from the Heritage Council of NSW (Section 63 for sites listed on the SHR) for permission to disturb the site. Archaeological advice should be sought wherever works proposed could disturb 'relics' (as defined in Section 4(1) of the Heritage Act).

If the site is assessed to have the potential to contain Aboriginal archaeological remains, an Aboriginal Heritage Impact Permit (AHIP) under Section 90 of the NPW Act should be obtained prior to undertaking any ground disturbance that may potentially harm Aboriginal objects.

Where proposed works involve demolition, new construction, modification of existing open spaces (including gardens), the provision of underground services (sewerage, storm water, power, etc), or the excavation or opening up of building cavities (including subfloor areas), an archaeological assessment should be undertaken before designs are developed to ensure that they meet criteria, and confirm whether an excavation approval is needed.

The integrity of the archaeology in the rear yard is unknown due to the brick paving. No ground disturbance works in the rear yards should be undertaken without a full archaeological assessment, as the area is considered to have some archaeological potential.

The archaeological assessment should include both Aboriginal and historical archaeological components.

8.4.3 Setting

A 'setting' is the 'immediate or extended environment of a place that is part of, or contributes to its cultural significance and distinctive character.'

Part of the significance of The Rocks, and in particular Gloucester Street, arises from the remarkably intact late nineteenth and early twentieth century buildings, including houses, that form picturesque and historically important streetscapes. Maintenance of the current scale and appearance of the terraces, houses and flats in these streetscapes and broader settings requires consideration of the impacts of changes beyond individual property boundaries and ownerships.

The setting of houses and flats in The Rocks is broad as well as intimate. They are visible from a range of vantage points and their visual catchments include public streets and laneways. Within the streetscape, individual façades relate to others within their group as a whole, with the rear façade also being important. The nature and location of any changes to the exterior of buildings must therefore consider their setting and visibility in the round from the public domain, near and far.

The immediate setting of buildings in The Rocks as part of a building group requires careful management to ensure that their consistent and complementary appearance is retained by incoming neighbours. The nature and location of any changes to the exterior of the buildings must therefore consider their setting and visibility in the round from the public domain, near and far.

The building at 46–56 Gloucester Street contributes to the nineteenth and early twentieth century streetscapes of Gloucester and Cambridge Streets and has a strong streetscape presence due to its location on the curve of these streets and its size (Figure 3.18). The rhythm of its western and eastern façades reflects the rhythms of the neighbouring buildings and its terraced construction responds to the steep topography of the site. The mango tree contributes to the streetscape of Cambridge Street (Figure 3.21). The setting and context of the 46–56 Gloucester Street is assessed in section 3.9.1 of this CMP.

8.4.4 Public Domain Views

Part of the significance and charm of The Rocks is created by the remarkably intact late nineteenth and early twentieth century houses that form picturesque and historically important streetscapes which can still be seen from distant vantage points as well as at a pedestrian scale. These views have been recorded from the earliest days of the colony through a variety of media, and many of the views captured in significant early etchings, paintings and photographs are still evident today. Protecting the intact nature of the built urban environment of The Rocks includes the maintenance of views to and from the area (see Policy 87 in Section 9.0).

The long views towards the building from the north and south along Gloucester Street, accentuated by its location on the bend in Gloucester Street, and imposing close-up views from Cambridge Street, provide the place with a strong townscape presence. A views analysis can be found in section 3.9.2 of this CMP.

8.5 Constraints and Opportunities Arising from Statutory Requirements

The principal statutory controls against which potential impacts on the significance of 46–56 Gloucester Street will be assessed include the following:

- *Environmental Planning and Assessment Act 1979* (NSW) (EP&A Act) and associated planning instruments, policies, plans and guidelines;
- the Heritage Act; and,
- the policies contained in this CMP, which is to be endorsed by the NSW Heritage Council.

Other controls, including the NPW Act, the Building Code of Australia (BCA) and the *Disability Discrimination Act 1995 and 2005* (Cwlth) (DDA) are considered in this section.

Approvals for works may be required under both EP&A Act and the Heritage Act.

8.5.1 Heritage Act 1977 (NSW)

State Heritage Register Listing

Heritage items of particular importance to the people of NSW are listed on the SHR which was created in April 1999 by amendments to the Heritage Act. The building at 46–56 Gloucester Street is individually listed on the SHR (Item no.01609).

State Heritage Register Requirements

The SHR is established under Section 22 of the Heritage Act, and pursuant to Section 57(1) of the Act, the approval of the Heritage Council of NSW is required for any proposed development within an SHR listed place, including subdivision, works to the grounds or structures, or disturbance of archaeological 'relics'.

Properties listed on the SHR are required to be maintained in accordance with Section 118 of the Heritage Act as set out in the *Heritage Regulation 2012*, Sections 9–15. The *Minimum Standards of Maintenance and Repair* require weatherproofing; fire protection; security; and essential maintenance and repair.

The Heritage Act Minimum Maintenance Standards can be accessed at:
<www.environment.nsw.gov.au/Heritage/>.

Heritage Act Approvals and Consent Processes

Development approval is required in order to undertake most forms of work to SHR items. In some circumstances, basic maintenance, repairs and minor alterations may be subject to exemption from approval, however, such exemptions must be formally confirmed in writing by the Heritage Council of NSW prior to the start of any work.

Approval may be required under both the EP&A Act and the Heritage Act for works undertaken in The Rocks.

Applications for approval to undertake works to SHR items can be made in one of two ways: as an

(a) Integrated Development Application (IDA) followed by a Section 60 application to the Heritage Council of NSW; or

(b) separately as a standalone Section 60 application followed by a Development Application (DA) to City of Sydney.

IDAs are those DAs that are submitted directly to the City of Sydney Council. Council will refer the application to the Heritage Council of NSW for consideration and general terms of approval before the City of Sydney determines the application. The IDA will also be publicly advertised for 30 days and any submissions will be taken into consideration by both the City of Sydney Council and the Heritage Council of NSW.

Another method of approval is to make an application to the Heritage Council of NSW, under Section 60 of the Heritage Act, followed by a DA. The statutory timeframes for a Section 60 approval is 40 days if there is no material effect on the significance of the item. However, if there is likely to be a material effect, the application needs to be advertised for 21 days. This extends the assessment period from 40 days to 61 days.

For more information, refer to:

<<http://www.environment.nsw.gov.au/Heritage/development/section60.htm>>.

The Heritage Council of NSW also provides some exemptions to the standard consent process for basic maintenance, repairs and some minor alterations if they will have little or no adverse impact on the heritage significance of the item. The applicability of the 2008 Heritage Act standard exemptions for Millers Point must be specifically confirmed with the Heritage Council of NSW before proceeding with any works, including urgent repairs, the removal of damaged or non-significant fabric, landscaping

involving excavation in yards and gardens and conservation works. To eliminate doubt, the Heritage Council of NSW needs to be notified in writing of proposed works using the Exemption Notification form. Request for confirmation that heritage works do not require development consent—Section 57 (2) of the Heritage Act.

Information on exemptions can be found at the following:

<<http://www.environment.nsw.gov.au/Heritage/development/section60.htm>>.

A Heritage Impact Statement (HIS) will need to accompany any application, assessing in detail how the proposal affects the heritage significance of the property and what alternatives were considered to avoid any adverse impacts, and may recommend mitigating actions to reduce material affects. The HIS should follow the standards for such reports issued by the Heritage Council of NSW. It is recommended that the HIS be prepared by a heritage professional and it should address the policies outlined in Section 9 of this CMP.

Refer to:

<<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/hmstatementsofhi.pdf>>.

8.5.2 Environmental Planning and Assessment Act 1979

In November 2008, the NSW Government announced widespread reforms to the state's planning portfolio effective from 1 December 2008. As part of the reforms, all DAs previously assessed by SHFA are now assessed by the Minister of Planning or under delegation by The City of Sydney Council (the consent authority). The Minister for Planning is the consent authority for 'deemed' development with a capital investment value of more than 10 million dollars.

Under the EP&A Act there are a number of Environmental Planning Instruments (EPIs), including the Sydney Cove Redevelopment Authority (SCRA) Scheme, as well as State and Regional Plans and Policies, Development Control Plans and Guidelines that require reference.

Sydney Cove Redevelopment Authority Scheme

The Rocks is covered by the Sydney Cove Redevelopment Authority (SRCA) Scheme, which has the status of an EPI under Schedule 6 of the EP&A Act. The SCRA Scheme comprises a series of Building Site Control Drawings which provide for the maximum height of buildings on any particular site, and which also specify permissible uses for a particular site or precinct. The SRCA Scheme prepared under the former *Sydney Cove Redevelopment Authority Act 1968*, has current validity under savings provisions included in the EP&A Act. The scheme is the key legal (or statutory) planning document for The Rocks, setting out how land and buildings can be used and developed.

The SCRA Scheme consists of a series of drawings which identify the permitted land uses, development controls and heritage controls for sub-precincts within The Rocks as follows:

- Permitted land uses—include commercial, residential and special uses (utilities/ infrastructure), which are broadly defined.
- Development controls—primarily contained in three-dimensional building envelopes, which identify the maximum height and bulk/scale of any development. These often reflect the existing built form given that the buildings are heritage listed.
- Heritage controls—key pedestrian routes (or public rights-of-way) and historic buildings are identified on the drawings, although no specific controls or guidance is given.

These uses and controls may be amended where suitable and justified by an application to vary the SCRA Scheme, supported by a DA.

While the SCRA Scheme has been amended on occasion since commencing in December 1970, its development, design and heritage controls remain limited. It should thus be read in conjunction with key supporting documents including Conservation Management Plans (CMPs).

While The Rocks is located within the City of Sydney Local Government Area (LGA), the City's Local Environmental Plan (LEP) 2012 does not apply. The SCRA Scheme is given legal status under State Environmental Planning Policy (SEPP) State Significant Precincts 2005 Regulation 12A. This SEPP makes the City of Sydney the consent authority for development. Other SEPPs also apply in The Rocks for certain types of uses and development, such as the Infrastructure SEPP, Exempt and Complying Development Codes SEPP, the State and Regional Development SEPP and the Sydney Regional Environmental Plan (Harbour Catchment) SEPP.

8.5.3 State Environmental Planning Policy Exempt and Complying Development Codes

The State Environment Planning Policy (SEPP) Exempt and Complying Development Codes, which provide for some types of development with minimal impact to be undertaken without consent, do not apply in The Rocks except where an exemption has already been granted under s57(2) of the Heritage Act and the development meets the requirements and standards specified by this policy.

For more information, refer to:

<http://www.planning.nsw.gov.au/planning_reforms/p/sepp_exempt_and_complying_development_2008.pdf>.

8.5.4 Sydney Local Environmental Plan 2012

The Sydney Local Environmental Plan (LEP) 2012 does not apply to The Rocks.

8.5.5 The Rocks Heritage Management Plan 2010 and Heritage Policy 2010

The Rocks Heritage Management Plan (HMP) (adopted in February 2002, updated 2010) clearly identifies the heritage values of The Rocks and sets out the principles used to guide conservation and development within The Rocks so that those values are maintained. The Rocks Heritage Policy articulates the Foreshore Authority's vision for The Rocks.

- Copies of these documents can be found at:
<<http://www.shfa.nsw.gov.au/content/library/documents/0B9628D6-B745-73FA-E1F20F992872ED23.pdf>>; and
- <<http://www.shfa.nsw.gov.au/content/library/documents/0B97AE99-BE6D-D5A2-2DB9A05719183F85.pdf>>.

8.5.6 Sydney City Council's Development Control Plan 2012

The Sydney City Council's Development Control Plan 2012 (DCP) applies to all land as designated on the DCP map, which includes The Rocks. Currently The Rocks is not identified as a Locality, Specific site or Specific area in the DCP. However, the General Provisions, including Heritage (Section 3.9), Development Types (Section 4.1) and certain Schedules apply.

A copy of the DCP can be found at: <<http://www.cityofsydney.nsw.gov.au/development/planning-controls/development-control-plans>>.

8.5.7 City of Sydney Council—General Requirements

The City of Sydney Council provides some exemptions to the standard consent processes to recognise the importance of regular maintenance and minor repairs that do not have any adverse impacts on heritage significance. These include re-painting a building in an original or acceptable colour scheme, replacing rusty gutters and downpipes to match original details or restoring a front verandah to its original detail. Pre-application advice from the relevant council staff is needed before submitting such an application. There is no fee for this request.

All works, including urgent conservation work, need to be confirmed as acceptable, in writing, by the City of Sydney Council prior to commencement.

Please note that confirming that an action or proposed work is exempt from requiring approval by the City of Sydney Council does not mean that it is also exempt from requiring approval from the Heritage Council of NSW. It is essential to confirm the applicability of exemptions with the City of Sydney Council and the Heritage Council of NSW.

For more information, refer to:

<http://www.cityofsydney.nsw.gov.au/__data/assets/pdf_file/0004/195241/Request-for-confirmation-that-Heritage-works-do-not-require-Development-Consent.pdf>.

8.5.8 National Parks and Wildlife Act 1974—Aboriginal Heritage

Legislative management and protection of Aboriginal objects and places comes under the NPW Act. It is an offence under that Act to disturb or otherwise alter Aboriginal archaeological items without the express permission of the Director General of the NSW National Parks and Wildlife Service (NPWS).

The protection accorded to Aboriginal objects and places applies, irrespective of the level of their significance or issues of land tenure. Any future development at Millers Point should be undertaken with due consideration of requirements. Contractor and subcontractor contracts should also specify obligations which need to be met relating to the NPWS.

The NPW Act provides statutory protection for all Aboriginal objects and places (consisting of any material evidence of the Indigenous occupation of NSW) under Section 90 and for 'Aboriginal places' (areas of cultural significance to the Aboriginal community) under Section 84. Aboriginal objects and places are afforded automatic statutory protection in NSW whereby it is an offence (without the Minister's consent) to damage, deface or destroy Aboriginal sites without prior consent.

8.5.9 National Construction Code (Incorporating Building Code of Australia)

The National Construction Code (NCC), incorporating the BCA, is a national set of building regulations with some state-specific variations. The performance requirements of the BCA are mandatory, although the introductory sections of the NCC make clear that not all requirements will apply to a given case. The NCC includes 'deemed-to-satisfy' requirements which are accepted as meeting the performance requirements. However, the NCC also makes provision for alternative solutions to meet the performance requirements, subject to satisfactory verification.

Under the *Environmental Planning and Assessment Regulation 2000* (EP&A Regulation), all new building work must be carried out in accordance with the BCA. In the case of an existing building, there is generally no requirement to comply with the BCA unless works are being carried out. However, where works (in particular alterations or additions) are proposed, the building in question will need to

comply on completion with the relevant performance requirements of the BCA (EP&A Regulation Clause 145). In addition, where an existing building has a change of use, the structural capacity and fire safety of the building must be acceptable for the new use. Alterations to a building where the use remains unchanged must not reduce its structural capacity and fire safety (EP&A Regulation Clause 143).

In certain circumstances, exemption can be obtained from the requirements of the BCA under Clause 187 of the EP&A Regulation. Because in most cases there will be an acceptable alternative solution to satisfy the performance requirements of the BCA, applications for exemption are sought comparatively rarely. If such an application is contemplated, it should be sought at development application stage and include advice from an appropriately qualified professional with experience with heritage buildings.

8.5.10 Disability and Discrimination Act 1995 and 2005 (Cwlth)

The DDA makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the DDA requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA does not require equitable access to be provided to single flats, although occupants may wish to provide it for their own use. Where the DDA does apply, heritage places are not exempt from it, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship. Works proposed to be undertaken to comply with the DDA are not exempt from the need for approval under the Heritage Act. If such an application is contemplated, it should be sought at development application stage and include advice from an appropriately qualified professional with experience with heritage buildings.

Refer for more information to: <<https://www.humanrights.gov.au/frequently-asked-questions-access-premises%20-%20heritage>>.

8.6 Endnotes

¹ Sydney Harbour Foreshore Authority, The Rocks Heritage Management Plan, Vol 1, 2010, p 42.

9.0 Conservation Policies

9.1 Introduction

This section sets out conservation policy recommendations to guide the care and development of 46–56 Gloucester Street so as to retain its cultural significance. Their intent is to:

- retain the cultural significance of the site, including its significant character, elements and fabric and relationship to its wider setting;
- provide recommendations for the conservation (including adaptation) of areas, elements and fabric of the site;
- identify elements which adversely affect the site and need modification or removal;
- identify where and how adaptation and new works can be carried out that are compatible with the above policies and will provide for the conservation and long-term security of the significant features of the site; and
- identify how conservation requirements should be coordinated with the other demands on the site (functional, financial, etc) to ensure acceptable solutions for its development and management in the short and longer term.

The policies in this section are consistent with the series of standard policies developed for properties being sold by the Department of Housing in Millers Point and endorsed by the NSW Heritage Council in September 2015.

9.1.1 The Burra Charter Approach

In Australia, the *Australia ICOMOS Burra Charter, 2013* (the Burra Charter) and Practice Notes are the main reference documents that provide guidance for the conservation and management of places of cultural heritage significance. The Burra Charter can be downloaded at [<http://australia.icomos.org/publications/charters/>](http://australia.icomos.org/publications/charters/).

The main principles of the Burra Charter consist of:

- using cautious approach to change—do as much as is necessary but as little as possible;
- making use of all the skills and disciplines which can contribute to the care and study of a place;
- preferring traditional techniques and materials for the conservation of significant fabric;
- considering all aspects of cultural significance without unwarranted emphasis on any one value at the expense of others;
- considering all the factors affecting the future of a place such as the owner's needs, resources, external constraints and its physical condition; and that
- policy for managing a place must be based on an understanding of its cultural significance.

9.1.2 Conservation in Accordance with Significance

Policy 1—Significance Guides Planning and Assessment

The statement of cultural significance and assessments of the significance of individual elements must guide all planning for, and the carrying out of, work and activities on the place.

The statement of cultural significance for 46–56 Gloucester Street has been revised as part of this CMP. The SHR listing for the property should be updated to incorporate the revised statement of significance.

Policy 2—Significance Guides Conservation

Individual assessments of significance must guide the conservation of significant areas, elements and fabric of the place as well as key visual and functional relationships. In this context conservation includes all the activities ascribed to it in the Burra Charter including maintenance, restoration, reconstruction, preservation and adaptation.

Significant fabric must be retained and conserved in accordance with recognised conservation principles and procedures such as that included in the Burra Charter.

Policy 3—Minimal Intervention

The overall approach to changes to the fabric identified to be retained and conserved requires a cautious approach of changing as much as necessary but as little as possible.

9.1.3 Adoption and Review Policies

Policy 4—Adoption of CMP

The conservation policies set out in this document must be adopted by owners and owners' corporation as a guide to future conservation and development of the place.

Policy 5—Review of CMP

CMPs must be reviewed and updated within five years to remain relevant to ongoing change and use of the place, and statutory compliance. A review of the CMP should also be undertaken after significant changes to the property. Future review and updating of this CMP should continue to deal with the properties as a group by the owners' corporation.

As the sub-division has not been registered, following the registration of the sub-division of the site the revised CMP will need to be re-submitted to the Heritage Council for re-endorsement including a revised sub-division plan and adjustments to text and diagrams as necessary.

9.1.4 Minimising Impacts of Change on Significant Fabric

Article 3 of the Burra Charter states that conservation is to be based on a respect for the existing fabric of a place and must therefore involve as much as is necessary and as little as possible physical intervention in order not to distort the evidence provided by the fabric. A key objective therefore is to retain as much of the significant fabric as possible.

Policy 6—Minimising Impact on Heritage Significance

Any work to fabric of exceptional, high and moderate significance must be of a minor nature and have little or no adverse impact on the heritage significance of the place.

Policy 7—Impact on Areas of Lesser Significance

Intervention for purposes other than conservation of the fabric must be restricted to areas of lesser rather than higher significance.

Spaces of moderate, high or exceptional significance must not be subdivided or amalgamated with other spaces, unless specifically permitted under Specific Conservation Policies included in Section 9.2 of this CMP.

Policy 8—Elements of Exceptional Significance

Elements of exceptional significance are rare or outstanding elements that directly contribute to the place's overall heritage significance. These elements must not be removed or obstructed by new works, structures or services and they must be clearly visible and interpreted as part of any new works. Where elements of exceptional significance have been damaged they must be repaired with sympathetic materials in preference to replacement.

Minor change may be permitted only in accordance with Specific Conservation Policies set out in Section 9.2 of this CMP.

Policy 9—Elements of High Significance

Elements of high significance have a high degree of original fabric and demonstrate key aspects of the place's overall heritage significance. These elements must not be obstructed by new works, structures or services and they must be clearly visible and interpreted as part of any new works. Where elements of high significance have been damaged they must be repaired with sympathetic materials in preference to replacement. High quality reconstructions and fabric introduced in the 1988 and 2011 repair works may also be of high significance for its contribution to retaining the identity of the building.

Minor change may be permitted in accordance with Specific Conservation Policies set out in Section 9.2 of this CMP.

Policy 10—Elements of Moderate Significance

Elements of moderate significance have been altered or modified or do not demonstrate the key aspect of the significance of the place. Minor change is acceptable so long as it does not adversely affect values and fabric of exceptional or high significance.

Alterations may be permitted in accordance with Specific Conservation Policies set out in Section 9.2 of this CMP.

Policy 11—Elements of Little Significance

Elements of little significance do not substantially add to the significance of the place in a positive way, neither do they detract from its overall significance. Elements of little significance may have been substantially altered or modified or may reflect non-significant phases of development. Changes are acceptable so long as they do not adversely affect values and fabric (eg shared walls or doors) of exceptional, high or moderate significance.

Policy 12—Intrusive Elements

Intrusive elements detract from the clear interpretation of the place. Elements identified as intrusive should be removed.

9.1.5 Managing Change

Undertaking change must be done in an orderly and methodological manner to encourage careful investigation of alternative uses or developments for particular areas, elements and/or fabric in order to minimise adverse impacts on, and retain the significant values of the place. This includes ensuring appropriate professional advice and expertise is sought.

Policy 13—Coordinated Approach to Development

Proposed changes or development must be considered within the context of the property as a whole. Piecemeal or incremental change must be avoided.

Owners and owners' corporation must ensure a unified approach to change affecting all external elements/fabric, all common areas, fabric shared by adjacent properties within the group and services. Common property includes external staircases, verandahs, structural and party walls, fences, garbage chutes, chimney stacks, flues and fireplaces, the service tunnel, and other fabric as listed in Section 4.13 of this CMP. It also includes storm water drainage, sewerage and other services. The need for a common approach is particularly important for the Gloucester Street façade including the front verandahs, which are highly visible and important townscape elements of exceptional significance. Change to the verandahs is not permitted except where indicated in Policy 70 Fire Safety.

Guidelines that are consistent with the conservation policies in the CMP must be developed by the owners' corporation for managing maintenance and change across the property as a whole to ensure the significance, integrity and presentation of the group is maintained. Refer also to Policy 82.

Policy 14—Relevant and Experienced Advice

Relevant and experienced conservation advice and practitioners must be used to assist the development of works proposals for the place, for assessment and works programs for the place, grounds and archaeological remains, for carrying out conservation and related works on significant elements and fabric, and for updating the CMP.

Policy 16—Relevant and Experienced Direction

All work shall be carried out by suitably qualified tradesmen with practical experience in conservation and restoration of similar heritage items. Work should be directed by a suitably qualified heritage consultant, architect and/or relevant materials specialist/s or conservator, and with reference to historical documentation.

Policy 17—New Work

New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place. Alterations or new work to areas of exceptional, high and moderate significance should be reversible.

Policy 18—Reconstructions

Reconstruction is appropriate only where a place is incomplete through damage or alteration, and only where there is sufficient evidence to reproduce an earlier state of the fabric. In some cases, reconstruction may also be appropriate as part of a use or practice that retains the cultural significance of the place. Reconstruction should be identifiable on close inspection and should be based on reliable evidence.

Policy 19—Modern Additions

Overtly modern additions are not acceptable due to the general consistency of the townscape. Refer to policies in Sections 9.1.16 and 9.1.17.

9.1.6 Joinery

Policy 20—Adding or Relocating Joinery

Where joinery needs to be added to or relocated within significant spaces, it should match adjacent original joinery while being on close inspection distinguishable from the original. Wherever possible, existing joinery which can be demonstrated to have been moved from its first place of installation should be returned to that place. Minor change to internal or external joinery as defined in Site Specific Conservation Policies may be allowable. Refer to section 9.2.

9.1.7 Inappropriate Works

Policy 21—Replacing Inappropriate Materials

Previous maintenance or repair works using inappropriate materials or methods should be replaced, when practicable or necessary, using materials and methods which replicate the original, or otherwise retain the significance of the fabric as a whole.

9.1.8 Masonry

Policy 22—Retention of Original and Early Masonry

Original and early stone masonry and brickwork should be retained intact and maintained. If new stone is required, a durable stone of suitable colour and texture should be used. Where brick repairs are required, the original bricks should be reused wherever possible, or recycled bricks of the same colour, size and shape as the originals.

Policy 23—Mortar

Masonry units should be laid with mortar of matching appearance, strength and composition to the original. Where previous repairs in cement are causing the original materials to deteriorate, they should over time be replaced using the original material. Consolidants or sealants should not generally be used.

Policy 24—Pointing

Original pointing and mortar material should be retained wherever possible. Repointing if required should be carried out to match existing work without widening of existing masonry joints, in a mortar of similar appearance and strength to the original. Pointing finish should match the existing original 'struck' finish. Areas of previous pointing using inappropriate materials or methods may be removed and reconstructed provided this can be achieved without damaging bricks.

Policy 25—Cleaning

Exterior facework should only be cleaned if it is necessary to remove deposits that are causing damage to the masonry surface. Cleaning methods should be gentle and non-abrasive and undertaken at mains pressure only. Great care should be taken during cleaning to preserve tooling marks and original or early pointing.

Policy 26—Roughcast Render

Roughcast render to the west elevation should be repaired when necessary with mortar of matching appearance, strength and composition, and to match the original textured finish.

9.1.9 Doors and Windows

Policy 27—Retention of Original Fabric

Original or early doors and windows should be retained and repaired as required for adequate weatherproofing. Repairs should aim to preserve the maximum amount of original fabric. Where original elements have deteriorated beyond repair, they should be carefully salvaged for future interpretation and stored on site. These elements and any missing elements should be reconstructed, preferably using matching second-hand items from storage. If second-hand items are unavailable, durable reproductions, matching existing original elements, are acceptable.

Policy 28—Glass

Early window, door and highlight glass should be retained and re-used wherever possible.

The wired glass in the front doors of the flats may be replaced with opaque or clear glass. Obscured glass in the arched openings in the rear wings may be replaced with clear glass. Missing louvre glass in the former WCs may be reinstated using glass that replicates the form and character of original handmade glass.

Policy 29—Locks and Hardware

A system of locks and keys which requires as little adaptation as possible to existing doors and windows should be developed and maintained so as to minimise the need for changes of locks in the future. Where necessary, doors and frames should be carefully patched and repaired in solid timber. In addition, original door locks and other original window and door hardware should be retained, if possible restored to working order and provided if necessary with appropriate keys.

9.1.10 Roofs and Roof Drainage

Policy 30—Materials

Existing corrugated iron roofs should be preserved and maintained. They should be repaired and if necessary repainted with traditional roofing paints to prolong their life. Only when the roofing is beyond repair should it be replaced, using plain galvanised corrugated steel sheeting in traditional lengths fixed using traditional fastenings.

Policy 31—Roof and Rainwater Accessories

Roof and rainwater accessories should be replaced when necessary to match the original detailing and in the original materials, except for concealed elements such as internal downpipes which, as they wear out, may be replaced with other appropriate and durable materials. Flashings should be replaced in lead, using traditional stepped flashings to slopes. Profiles and sizes of replacement rainheads, gutters and downpipes should be based on evidence from documentary and physical research; in the absence of any such evidence, replace to match existing profiles and sizes.

Policy 32—Roof Spaces and Other Roofing Elements

Original and early members of the roof structure should be preserved and repaired rather than replaced. The original configuration of shared roof drainage from the main rear wing and verandah

roofs should also be retained and conserved. The boarded ends to the verandah roof should also be retained and conserved.

Roof spaces should not be modified, fitted out or adapted for private use, storage or services other than if needed for fire separation (Refer to Policy 70). Party walls should not be demolished and spaces above separate flats should not be amalgamated.

9.1.11 Floors

Policy 33—Timber and Other Flooring

Original and early timber floor boards should be retained in situ, and should be scrubbed rather than sanded so as to prolong their life. Traditional oil based finishes should be used. These should be formulated from natural oils (eg polyurethane-free tung oil) and waxes. Modern hard synthetic finishes such as polyurethanes and epoxies should not be used.

Fitted carpets may be retained, replaced and/or installed over existing flooring.

Concrete floors (eg verandahs) should not be cleaned using methods which would erode the surface. Original and early concrete paints/finishes should be retained. Paints and maintenance coatings should be compatible with the concrete and should not change its appearance or promote decay.

9.1.12 Painting

Policy 34—Treatment of Unpainted Surfaces

All exterior and interior unpainted surfaces (including polished finishes) originally intended to be unpainted should remain unpainted. Exposed surfaces originally intended to be unpainted which have subsequently been painted, should when practicable be returned to their original state.

Policy 35—Treatment of Painted Surfaces

Exposed surfaces which were previously painted and originally intended for painting as a preservative measure should be repainted when needed, bearing in mind technical and heritage requirements. Sound painted surfaces should be repainted as part of cyclical maintenance without disturbing the original decorative surfaces underneath and without damaging timber or glazing. The colours and schemes for painted external fabric should be consistent across the entire building to maintain visual cohesiveness. A decorative scheme developed by NSW Government Architect's Office in 2011 provides a reference (although some exterior fabric has been changed since this scheme was devised).

Policy 36—Early Decorative Schemes

Research should be undertaken into the original and early decorative treatments of both the interior and exterior of the buildings prior to any major removal of unsound old paint for redecoration or alteration. Significant early finishes should be preserved and interpreted at the place. Where appropriate, significant spaces should be repainted in a way that reflects the character of the original scheme.

Knowledge of earlier decorative schemes should be made available for the purpose of updating significance or management policy. An interior scheme was developed for this building by NSW Government Architect's Office in 2011, based on paint scrape analysis (refer to Appendix E). This may be used as a basis for internal redecoration by individual owners.

9.1.13 Archaeological Management

Policy 37—Archaeological Potential

The historical and Aboriginal archaeological potential of the place must be conserved, including in the rear yard, side and rear passageway, wall cavities, sub-floor areas and inter-floor and roof cavities.

Policy 38—Archaeological Assessment

An archaeological assessment by a suitably qualified historical archaeologist, experienced in working on state significant sites, must be carried out as part of the assessment process prior to Heritage Council of NSW approval of any works that may disturb archaeological relics.

The aim of this archaeological assessment is to gather information about the previous layouts and character of the specified area to inform future conservation, interpretation and upgrading work, and determine if works will have an archaeological impact or whether further archaeological investigation is likely to be required.

Policy 39—Research Design

An acceptable on-site investigation strategy (an archaeological methodology and research design) must be prepared and submitted to the Heritage Council of NSW as supporting documentation for any applications for excavation on this property.

Policy 40—Application for Excavation

As the property is SHR listed, an archaeological approval under the *Heritage Act 1977 (NSW)* (the Heritage Act) will be necessary as part of any application for excavation. This must be informed by an acceptable research design and archaeological methodology undertaken by a suitably qualified and experienced historical archaeologist. Approved works must be appropriately documented.

Policy 41—Archaeological Monitoring

All ground disturbance associated with future development of the site in areas not previously investigated through archaeological excavation must be undertaken consistent with the proposed archaeological methodology and any conditions of the archaeological approval, which may include archaeological monitoring or salvage excavation.

The progress of such excavation work must be appropriately documented in written and photographic form.

Policy 42—Obligations of Contractors

Suitable clauses must be included in all contractor and subcontractor contracts to ensure that on-site personnel are aware of their obligations and requirements in relation to the archaeological provisions of the *Heritage Act 1977 (NSW)*. Contractor and subcontractor contracts must also specify obligations which need to be in compliance with the *National Parks and Wildlife Act 1974* relating to Aboriginal objects or places.

Policy 43—Documentation of Archaeological Relics

In the event that historical archaeological relics are exposed on the site, they must be appropriately documented according to the procedures outlined in the archaeological methodology accompanying the application for an excavation under the *Heritage Act 1977 (NSW)*.

Policy 44—Unexpected Finds

Should any unexpected archaeology be uncovered during excavation works, the Heritage Council of NSW must be notified in accordance with Section 146 of the *Heritage Act 1977 (NSW)*. Works must stop and a suitably qualified archaeologist experienced in working on state significant sites, must be brought in to assess the finds. Depending on the results of the assessment, additional approvals may be required before works can recommence on site.

Policy 45—Subsurface Disturbance

Subsurface disturbance must be restricted where possible to reduce the impact on archaeological remains at this site.

Policy 46—Works Adjacent to Relics

Where works are proposed to be carried out in close proximity to known or probable archaeological relics able to be retained in situ, strategies must be put in place to ensure that construction work and/or heavy machinery does not disturb or damage those relics.

9.1.14 Works in Rear Yards

Future designs for and work to the rear garden areas must take into account available documentary, physical and/or archaeological evidence of earlier layouts, character and detailing, as part of the conservation, adaptation and upgrading of these areas.

Policy 47—Visibility from the Public Domain

Proposed designs for the use of rear gardens must take into account the impact of visibility of garden fixtures and equipment or services on the public domain.

Policy 48—Front Fences

The existing front fences should not be removed, raised, infilled or changed. Any repair or maintenance should be undertaken with as little alteration to the existing fabric as possible.

Policy 49—Rear Fences

Lightweight rear yard fences and gates (such as timber paling fences) may be replaced with similar fences. New fences should be consistent in form and style in line with Policy 13 Coordinated Approach to Development.

9.1.15 Landscaping

Some activities associated with general gardening do not require approval as they are exempt under the Heritage Council of NSW's Standard Exemption for landscaping. However, if landscaping works involve more than normal garden works (such as paving, raised garden beds and plantings), and excavation of 300mm or deeper is required (such as for drainage works), then approval from City of Sydney Council and the Heritage Council of NSW is required and an archaeologist may need to be involved with the works (see Policies 37–46).

Policy 50—Conservation of Significant Landscape Elements

Significant landscape elements and vegetation on the property must be conserved and managed. This includes the early concrete steps and timber-framed laundry hoists existing in rear yards and the mango tree in the rear of Flat 52.

Policy 51—Re-landscaping

Re-landscaping, or introducing new landscaping, is acceptable provided it does not damage building fabric (for example the activity of tree roots, trunks and limbs, the raising of soil levels, covering of vents or damp proof courses, and increased moisture and salts due to watering) or obscure significant views. Removal of trees requires the approval of the Heritage Council of NSW and the City of Sydney Council. Note that certain species that may be exempt from approval to remove by the City of Sydney Council will still need approval by way of Exemption Notification or a Section 60 Approval under the Heritage Act.

Policy 52—Appropriate Investigation

Landscape works must be preceded by an investigation of the substrate and any paving surfaces, early footings, drains, cisterns or other water storage features and cesspits identified. Any significant surviving features, including early paving or surfaces, are to be retained and incorporated into the landscaping of the rear yard.

Policy 53—Excavation/Digging for Landscaping

Any landscaping work which disturbs or removes soil and which may result in the disturbance of archaeology, such as excavation to lay paving or plant trees, may require approval by way of Exemption Notification or a Section 60 Approval under the Heritage Act. Digging in the rear yards must be undertaken with care as the site, and particularly the rear yards, is considered to have some archaeological potential.

9.1.16 Alterations and Additions

Alterations and additions need to be considered in terms of location, form, height and materials and the effect they have on the existing fabric in terms of significance, fabric changes and use changes. Such works require approval from the relevant consent authority.

Design in a historic context or infill design aims to conserve the special qualities that give a place character in a way that respects the old while reflecting the new and meeting the amenity needs of its users. Designing in context does not mean imitation or following inflexible design rules. A wide range of solutions may emerge for any design problem after careful analysis of surrounding buildings and sympathetic interpretation of their design elements. For specific policies relating to alterations and additions to flats refer to Section 9.2 of this CMP.

Policy 54—Appropriate Documentation

When undertaking works to the place, owners, owners' corporation and developers must ensure adequate documentation is prepared so that the full impacts can be assessed.

Policy 55— Sympathetic Design

Any proposed alterations and additions must be designed and constructed in a way that conserves, maintains and interprets the property. This will require detailed consideration of the location, form, height and scale, as well as the colours and materials proposed and the impact they will have on the existing place, its context and building fabric in terms of its significance, fabric changes and use. See the Heritage Council of NSW's publication Design in Context for more information. This can be found at:

<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/DesignInContext.pdf>

Policy 56—Alterations and Significance

Proposed alterations to existing exterior surfaces and elements of interior spaces should be limited to works in accordance with the assessed significance of the components of the place. Alterations or new work to spaces of exceptional, high and moderate significance should be reversible. Figures 0.1–0.9 describe and illustrate areas where alterations may be allowed, and the types of alterations that can be made. Specific policies provide further details on the scope of such alterations within individual flats. Refer to Section 9.2.

Policy 57—New Additions

New additions to properties are suitable if changes:

- are consistent with CMP policies;
- do not impact areas and fabric of exceptional or high significance;
- do not impact significant views to and from the property;
- are consistent with the need for a unified, building-wide approach;
- do not obscure significant public views;
- are confined within the existing building envelope (ie do not extend upwards or outwards); and
- do not obscure significant elements of the building.

Additions to fabric and spaces of moderate significance may be permitted provided they respect and do not impact on fabric or spaces of high or exceptional significance. Figures 0.1–0.9 illustrate areas where new additions may be allowed, and the types of additions that can be made. Specific policies provide further details on the scope of such additions within individual flats. Refer to Section 9.2 of this CMP.

Policy 58—Building Envelopes, Later Additions

Figures 2.13–2.21 illustrate elements or areas where later additions have occurred. Site specific policies outline the type and scope of change allowable to additions of little or neutral significance. As a matter of principle, change may be acceptable if the:

- replacement addition is consistent with the building footprint or form and envelope of the building and does not adversely impact on the significance of the original floorplan on any of the four floors; and
- replacement will not have an adverse impact on the heritage significance of the place.

Policy 59—Building Envelope, Original Building

The existing building envelope is not to be increased upwards or outwards.

Policy 60—Modern External Blinds and Shutters

Modern type external blinds and shutters to existing openings on significant façades and those visible from the public domain are not acceptable.

Policy 61—Traditionally Detailed External or Internal Blinds and Shutters

New shutters and blinds to any existing opening on significant façades and those visible from the public domain may be appropriate where there is documentary and/or physical evidence that these once existed. Where any such additions are proposed there should be a common approach to ensure re-introduction of original or early details is consistent, does not adversely impact on the visual integrity and cohesiveness of the building exterior, is viable from a maintenance standpoint, and is done in strict accordance with the evidence.

Internal blackout or layered performance Holland type blinds may be acceptable in heritage terms for solar control on the western elevation.

Policy 62—Window and Door Grills

If security grilles are considered necessary by the owners' corporation they may be acceptable to window and door openings in areas of lesser significance, not visible from the public domain and subject to a detailed design by a heritage architect. The installation of these grilles is subject to approval by the consent authorities.

9.1.17 Ancillary Structures

It is important that the original external appearance and form of the place is retained. Ancillary structures for communication, energy efficiency, etc can be installed so long as their installation is planned to minimise damage to fabric and they are concealed from view within areas of lesser significance or located in inconspicuous positions and designed to be self-effacing (such as on the rooftop terraces of the rear wings). No ancillary structures should be added to the western verandah.

Advice from appropriately qualified professionals must be sought prior to any ancillary structures being considered. Statutory approval for the introduction of ancillary structures is required to be sought from the relevant consent authorities.

Policy 63—External Aerials and Satellite Dishes

Addition of external aerials and satellite dishes, if required, should be located in areas of lesser significance, not visible from the public domain and not adversely impacting on significant fabric.

Policy 64—Solar Panels

Installation of solar panels to the main roof or rear wing roofs, located in areas of lesser significance, not visible from the public domain and not adversely impacting on significant fabric, may be considered only if the potential risks and impacts in terms of fabric durability and maintenance (eg direct or indirect damage due to additional penetrations, visual intrusiveness due to glare, decay of metal roofing from dissimilar metals corrosion) have been fully assessed. Such works require input at feasibility stage from appropriately qualified professionals, including heritage specialists. Such works require approval from the relevant consent authority.

Policy 65—Skylights

Installation of skylights that are discreetly proportioned and aligned with the roof, located in areas of lesser significance, not visible from the public domain and not adversely impacting on significant fabric or its durability or maintenance, may be permitted. Works of this nature require approval from the relevant consent authorities. Skylights are not acceptable on the front roofs of the building.

Policy 66—Water Tanks

The installation of water tanks within the rear yard at ground level of the properties that are not visually intrusive may be acceptable, depending on the proposal. Similarly, small rainwater tanks may be installed on the roof terraces provided they are not visible from the surrounding streets. Works of this nature require approval from the relevant consent authority.

Policy 67—Miscellaneous Additions

Miscellaneous additions, such as meter boxes, including those required by regulatory authorities, must be unobtrusively located. Miscellaneous additions should be unobtrusive in colour, form and scale and placed in inconspicuous locations. They are not permitted to be attached by drilling into bricks. For letterboxes refer also to Policy 101.

Policy 68—Car Parking

The adaptation of rear yards and outbuildings for car parking would adversely affect the character and significance of the place and its setting. On-site car parking is not possible within the current context.

9.1.18 Accessibility

The Disability Discrimination Act 1992 (DDA) makes it unlawful to discriminate against people on the grounds of their disability. Section 23 of the DDA requires non-discriminatory access to premises which the public or a section of the public is entitled or allowed to use.

The DDA does not require equitable access to be provided to single dwellings, although occupants may wish to provide it for their own use. Where the DDA does apply, heritage places are not exempt from it, although the Australian Human Rights Commission has advised that heritage significance may be taken into account when considering whether providing equitable access would result in unjustifiable hardship. Internal stairs and level changes may preclude access to parts of individual buildings. Some dwellings are not suitable for people who are not ambulant.

Policy 69—Disabled Access

Due to the topography of the land and the lack of level access to most parts of the site from accessible streets, the property is generally unsuitable for people who are not ambulant. It may be possible to provide access to the lower ground floor of flat 56B. However, the original internal timber staircase, which provides access to the upper floor of the flat, is steep, narrow and of exceptional significance. It is not suitable for installation of a chair lift. There is no potential for installation of a lift internally or externally without substantial modifications being made to the internal layout of the flat and without impacting significant fabric.

Changes to facilitate disabled access may only be acceptable if they can be designed and implemented to affect areas of lesser significance rather than those of higher significance, and where all the options to create reasonable access have been conscientiously investigated (and this investigation is demonstrated). Relevant and experienced advice and practitioners must be used to assist in works of this nature.

9.1.19 Code Compliance

Compliance with building regulations should be achieved using their objectives and performance requirements rather than deemed-to-satisfy provisions of BCA. Some construction features of 46–56 Gloucester Street may not comply with the deemed-to-satisfy requirements because of the original construction methods and materials used. The BCA permits alternatives to its deemed-to-satisfy

requirements provided that these can be demonstrated to achieve at least the same level of compliance with its performance requirements. Relevant and experienced advice and practitioners must be used to assist in works of this nature.

Policy 70—Fire Safety

The building must not be used for any purpose for which compliance with fire safety regulations would adversely affect its significance. This policy is not intended to rule out, for example, the sympathetic installation of fire safety equipment to enable a building to continue to be used for housing.

Changes to achieve fire safety may be acceptable provided they are planned to occur in areas of lesser significance in preference to areas of higher significance and provided that all alternatives are conscientiously investigated and demonstrated to have been investigated. Any required upgrade must be carried out in a sympathetic and unobtrusive way. Advice on fire-related issues, e.g. fire separation and fire egress, should be obtained from heritage design professionals and fire engineers experienced in dealing with heritage buildings.

Methods of complying with ordinance requirements which utilise fire or smoke detection and active fire suppression are preferred to the addition of fire rated material, which may obscure extant early finishes.

Fire separation between the upper and lower flats should be investigated. Fire rated material, if required, should be added to the ceilings of the ground floor spaces in preference to the floors of the spaces above. If ceilings require upgrading, the existing cornices should be salvaged and reinstated to the new ceilings.

There is currently no fire separation between the service tunnel and the lower flats. Fire rated material may be added to the ceiling of the service tunnel. Fire detection and suppression systems may be installed within the tunnel.

Fire separation between flats within the roof space should also be investigated and any openings in party walls bricked up or fire rated. Any necessary fire upgrades to the roof structure or louvred vents in the end walls of the building must be concealed within the roof space. These upgrades should be undertaken in a way that causes minimal alteration to the existing fabric.

Fire separation between external openings in walls of adjacent flats should be investigated. Any required upgrade to the original arched openings to the former porches in the rear wings should be addressed in association with other alterations to these openings as set out in policy 95 of this CMP.

9.1.20 Adaptation for Structural, Service and Hazardous Material Reasons

Other than for fire safety, adaptation for reasons such as the following may need to be addressed:

- for structural reasons;
- for replacement of existing services;
- for installation of new services and equipment;
- to meet other statutory requirements, or
- to deal with asbestos and other hazardous materials.

The integrity of the building at 46–56 Gloucester Street, The Rocks, extends to the provision, performance and upgrading of plumbing, electrical and other services. The construction is very economical in its use of space and allows little room for the integration of new services except where these can be ducted through the service tunnel and integrated into the kitchens in the lower flats via blocked up doors.

Policy 71—New Services

The insertion of new services (for instance for electricity, gas, drainage and communications) is acceptable, so long as their installation minimises damage to fabric and they are located within areas of lesser significance and concealed from view, or located in inconspicuous positions and designed to be self-effacing. The shortest distance between two points should not be considered necessarily the best solution for the provision of conduits.

The use of wireless technology for the introduction of new electronic services must be considered.

Ducted air conditioning and window-mounted air conditioning units are not acceptable.

Policy 72—Retention of Evidence of Historic Services

Ensure that evidence of historic services and fixtures are retained and actively conserved. A gas light bracket exists in flat 56B, which should be retained and conserved. Refer also to Section 9.2.

Policy 73—Replacement of Existing Utility Services

The replacement of existing services (for instance for electricity, gas, water, drainage, heating, cooling, hot water, communication and internal access) is acceptable, so long as their installation minimises damage to fabric and they are concealed from view within areas of lesser significance or located in inconspicuous positions and designed to be self-effacing.

Policy 74—Installation of New Services

Any extension to or upgrading of existing services also needs to consider the need for a common approach to change as described in Section 8.3.3, 9.2.2 and Policies 13 and 82. The chasing-in of new services to face-brick or masonry, even if painted, is not acceptable. Specialist heritage advice must be sought for the reticulation of new services and alternatives to chasing in must be explored with materials to match those existing.

Stacks and drainage pipes as well as larger service pipes should be boxed in, if internal. Every alternative to chasing in should be explored, eg the use of building cavities and tunnel spaces or other areas of moderate or low significance. No UPVC is to be used in external areas.

Policy 75—Structural Adaptation

Adaptation of fabric to prevent structural failure of existing fabric is acceptable, provided that alteration of significant fabric is minimised. The structural adequacy of existing fabric must be assessed from first principles by a structural engineer qualified and experienced in the assessment of heritage buildings if it is considered to be inadequate with reference to current deemed-to-satisfy codes.

Policy 76—External Lighting

Due to the location and the significance of the place, floodlighting of external spaces would be visually intrusive and is not acceptable. Unobtrusive external lighting of traditional appearance may be appropriate in the rear yards and would be subject to approval by the consent authorities.

Policy 77—Cameras and Intercoms

Due to the location and the significance of the place intercoms or security cameras to the front elevations would be visually intrusive and are not acceptable.

Policy 78—Hazardous Materials

Adaptation of fabric identified to be conserved where shown to contain or requiring removal of asbestos or other hazardous materials is acceptable. Removal of fabric, where it cannot practically be sealed from future disturbance, is acceptable. In such cases and where exposed to view in its normal configuration, fabric must be replaced with fabric of matching appearance. The removal of sound lead-based paint, or lead roofing materials and accessories, is generally not appropriate.

9.1.21 Conservation, Maintenance and Repair of Fabric—Ongoing

The maintenance, repair and conservation of fabric must be managed into the future. If a property falls short of statutory minimum maintenance standards as specified by the *Heritage Act 1977 (NSW)*, the provisions of the *Heritage Act 1977 (NSW)* can be enforced to ensure that such works are carried out.

Policy 79—Minimum Maintenance Requirements

Properties listed on the State Heritage Register are required to be maintained in accordance with Section 118 of the Heritage Act. The Minimum Standards of Maintenance and Repair require weatherproofing; fire protection; security; and essential maintenance and repair. These standards can be found at:

<<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infominimumstandards.pdf>>.

Policy 80—Schedule of Priority Conservation Works

Any works identified as Priority Conservation Works should be implemented as a priority action and as part of long-term management and maintenance of individual properties. These works will be monitored by the consent authority in the DA process. A schedule of priority conservation works is included in Section 7.0 of this CMP. Additional priority conservation works relevant to particular individual flats are identified in the later sections of this CMP that are relevant to those flats.

Policy 81—Cyclical Maintenance Schedule

Cyclical Maintenance Schedules should be regularly implemented for each property to assist the owners' corporation and individual owners to plan ahead for the ongoing upkeep and conservation of their property. A maintenance schedule is included in Section 7.0 of this CMP.

9.1.22 Managing the Building for Presentation and Shared Services

The relationships between individual flats are important as the flats were constructed at one time as a single property. This has implications for aspects such as external colour scheme, roofing materials, rainwater goods and drainage, fenestration patterns and building services.

Policy 82—Ongoing Maintenance of the Building as a Single Entity for Presentation and Shared Services

Owners and owners' corporation should ensure a unified approach to cyclical maintenance to ensure that the outcome is appropriate to all significant elements and fabric of each dwelling. This approach requires coordination with neighbours to address:

- ongoing repairs affecting elements/fabric shared with adjacent properties within the group (including roofs, external staircases, verandahs, balustrades, party walls, shared floor/ceiling between upper and lower flats, garbage chutes, chimney stacks, flues and fireplaces, fences, service tunnel and associated fabric, and other fabric as listed in Section 4.1.3 of this CMP, and storm drainage and sewerage services); and
- periodic renewal of the fabric of common or co-owned property as it reaches the end of its service life (including repainting of joinery and steelwork, repointing, repair of verandah timbers and roofing, and corrosion treatment of stairs, handrails and balustrades).

This requires a common approach as described in Section 8.3.3 and Policy 13. The common approach is particularly important for the Gloucester Street façade and the front verandahs. The verandahs are highly visible and important townscape elements.

Guidelines that are consistent with the conservation policies in the CMP must be developed by the owners' corporation for managing maintenance of common property and across the property as a whole to ensure the significance, integrity and presentation of the group is maintained. Refer to Policy 13.

Policy 83—Sinking Fund for Future Strata Sub-Division

Maintenance funds should be provided in line with common management as described in policies 13 and 82. As this property is to be strata sub-divided, it is recommended that in addition to a regular maintenance fund, a separate sinking fund be established to fund any unplanned maintenance and repairs of the common property of the lot.

9.1.23 Building Use

Buildings designed and built as multi-occupancy dwellings with common features and characteristics should continue to be used and managed as such. Uses which require an unacceptable degree of intervention for upgrading to ordinance compliance should be avoided.

Policy 84—Building Use

The property should continue in use as a single multi-residential building to minimise changes that could have a negative impact on heritage values. The way the place is used must maximise the conservation of the fabric considering the effects of:

- structural loadings;
- statutory requirements;
- code compliances;
- service installations; and
- meeting access needs.

The use of the place and its circulation pattern must be arranged to involve the least intervention in the fabric.

Policy 85—Site or Property Amalgamation

Properties must not be amalgamated for contiguous use because of the negative impact upon building fabric, historic form and use, and loss of the original building and site layout.

Policy 86—Leasing of Flats

If a dwelling is leased, compliance with this CMP should be incorporated into the terms of the lease and compliance with the policies monitored by the owners' corporation.

9.1.24 Views

All new work needs to avoid adversely affecting significant views to and from the property and the setting of the property within The Rocks.

Potential impacts on the setting of the property and key views to and from the property (as identified in Section 3.3) will need to be carefully considered in the heritage impact assessment process. The significant views identified in Section 3.3 are to be conserved and consideration of impacts will need to be included in development applications.

The management of streetscapes and presentation of the group of flats as a single building in the streetscape is an important element to be conserved (see Policy 82).

Policy 87—Conservation of Views

Significant views should be conserved. Change to items must not impede or obstruct a significant view and must not negatively impact upon a contributing element to a view.

9.1.25 Interpretation

Interpretation is an essential part of the conservation process. In residential properties, opportunities to interpret the heritage values of the property through conservation works and new development must be incorporated in development proposals.

Policy 88—Interpretation Requirements Generally

Measures to appropriately interpret the major aspects of the significance of the place must be incorporated into substantial development application proposals for properties. Interpretation must include all aspects of the place included in the Statement of Significance.

Policy 89—Interpretation through Conservation Works

Particular combinations of conservation, preservation, restoration and reconstruction of key significant elements, areas and fabric are the preferred method of meaningfully interpreting important attributes and associations of the property. Where adaptation is part of the conservation work, measures must be incorporated to show the location, character and/or role of removed or altered elements.

Revealing previously hidden elements and fabric and defining new fabric and elements used as part of reconstruction and adaptation (as recommended in the Burra Charter and the general policies section of this report) are among the other methods of interpretation which may prove acceptable.

Policy 90—Interpretation as Part of New Works

Acceptable measures to interpret the history and significance of the place as a whole must be incorporated into any new work.

Interpretation measures may include physical elements which reflect past features as well as more formal means such as historic photographs and brief historical accounts.

Policy 91—Interpretation Plan

Where works proposed are substantial, an Interpretation Plan must be prepared and submitted for approval by the Heritage Council of NSW before any building work commences on the place. The recommendations of the Interpretation Plan must be informed by the CMP and any overarching Interpretation Strategy for The Rocks. They must be implemented before the occupation of the proposed development to the satisfaction of the Heritage Council of NSW, with a copy provided to the City of Sydney Archives.

The requirement for an interpretation plan is commensurate with the scope of works envisaged.

9.1.26 Archival Recording

Acceptable recording prior to significant works allows a proper record of the place to be made to record changes made over time.

Policy 92—Archival Recording

Any significant elements proposed for demolition or works will be subject to archival photographic recording. This must include photography and measured drawings if required. Archival recording must be undertaken in accordance with the Heritage Council of NSW 2006 *Guidelines for Photographic Recording of Heritage Items*. These guidelines can be found at:

<<http://www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf>>.

It is recommended that a progressive record of works to the property be prepared and retained by the owners, to guide future conservation as well as to inform future editions of the CMP.

Policy 93—Accessibility of Information

Copies of Conservation Management Plans, Archival Recordings and Interpretation Plans must be lodged with the City of Sydney and Heritage Council of NSW and made publicly accessible. A copy of any CMP must also be retained on site at all times by the owners' corporation for use by those responsible for the management and conservation of the place.

9.2 Specific Conservation Policies

9.2.1 Managing the Exterior of the Building

The following policies relate to works that would affect the exterior of the building. The building exterior, including structural fabric, is common property (as described in Section 4.0 of this CMP).

Policy 94—Western Elevation

The upper level of the western verandah, including the steel access stairs at each end of the verandah, is common property and provides access to the upper level flats. It must not be subdivided.

It is also an important architectural element of the principal façade of the building. No ancillary elements, such as external sunblinds, partitions or gates are permitted on the verandahs.

There may be a need to address fire egress requirements from the upper level flats to meet current standards. This may involve modification of the dividing wall between Flats 52A and 54A on the upper verandah on Gloucester Street. Careful consideration of alternative solutions and the input from heritage design professionals is required (See also Section 9.1.19).

Policy 95—Former Porches in Rear Wings

The former porches in the rear wings have been enclosed to provide internal access to all spaces within the flats (Figure 4.14). The balustrades, linings and windows that infill the arched openings to the former porches are not original and may be upgraded or replaced. However, any change to these elements must involve a unified approach across the whole property with all porches treated in the same way.

The arched brick openings must be retained in their original configuration. Any new infill elements must continue to interpret the former porch balustrades on the outside face of the building.

Policy 96—Roof Terraces

Though sizes vary, roof terraces are similar in form and contribute to the cohesive roofline. They express the social importance of contained, private outdoor space for resident families for washing and household duties.

There is no scope to extend roof terraces, roofs over the roof terraces or to create new external spaces without compromising architectural form and functional integrity. External canvas blinds as evident in early photographs (Appendix A Figure 25) may be permitted under the existing timber beams supporting the skillion roofs.

Policy 97—French Doors onto Roof Terraces

French doors and weatherboard walls to the roof terraces may be altered provided the impact on heritage values and significant fabric or spaces is minimal.

The French doors inside Flats 52 and 52A (rear porches) must not be altered as these are original to the building.

Policy 98—Rear Yards

Rear yards are of high significance and possess a spatial uniformity that should be conserved with fences retained on all boundaries, including those between rear yards. Replacement timber paling fences should be undertaken in such a manner to ensure consistency and unity across the whole of the property. The stone or brick bases to the fences should be retained and conserved. The existing laundry hoists (clotheslines) should also be retained and conserved.

Brick paving can be changed, but care must be taken to retain appropriate falls to ensure surface water drainage away from the building, and roof and storm water drainage systems are not blocked or altered.

The potential to build ancillary structures in rear yards or to extend into the external space of each flat is limited by the need for a common approach and the need to minimise impact. Addition of ancillary structures is limited by the exceptional significance of the fabric, the setting of the place and the need to maintain views. This policy includes such items as awnings over doors.

Refer to policies for archaeology (37–46), landscaping (50–53) and ancillary structures (63–68).

Policy 99—External WCs

Outside toilets are suitable for fitting out and use as garden storage (shelving etc). Brick walls should not be demolished or doorways widened. Existing boarded doors should be retained. Windows should not be enlarged, but glass louvres may be reinstated to the existing window frames where missing. Roofing should be replaced as needed using corrugated steel roofing to match the existing in form and

detail. Re-use as WCs is only possible if they are accessed from the yard only: rear walls to flats may not be opened up for internal access.

9.2.2 Managing Common Property (Shared Areas)

The following policies relate to management of the common areas as identified in the strata plan and by-laws.

Policy 100—Garbage Bins

Garbage bins should not be stored on the front verandah of the building or on the public footpath. As there is no practical area available for storage of garbage bins within the separate flats or their private yards, a designated garbage bin store may be accommodated within the service tunnel. Refer to policy 103 of this CMP.

Policy 101—Letterboxes

Existing letterboxes should be retained in their current locations (slots in front doors to the lower flats; and in front fence under the access stairs for the upper flats).

Policy 102—Garbage Chutes

Original concrete tables and brick supports for garbage chutes survive in some flats. They are exceptionally significant and should be retained. Traces of other garbage chutes (notably remnant flashing strips in mortar joints) should also be retained.

All except the two northernmost garbage chutes were removed in earlier restoration work. These were replaced with modern replicas for the purpose of interpreting the historic forms of garbage disposal in the original building concept. Although not original per se, these replicas are of high significance and should be retained. Matching replicas in corresponding locations (as documented for each flat) along the central and southern part of the rear façade are permitted.

The strata arrangement of the flats prevents the reinstatement of the original functional use of the garbage chutes. Alternative garbage facilities are discussed in policies 99 and 102.

Policy 103—Service Tunnel

The service tunnel is a highly significant spatial component of the original design and a feature of public housing typologies of the period.

The access door at the southern end of the tunnel should be retained to provide access to the services within the tunnel. The bricked-up opening at the northern end of the tunnel may be reopened, if required for upgrading or providing shared services within the tunnel, by removing the brick infill to the existing opening. An alternative access door may be considered in this wall if it is not possible to unblock the existing opening due to the existing public stair configuration. Any such changes must be made in consultation with a heritage architect to minimise impact on fabric of high or exceptional significance, and will be subject to approval by the consent authorities.

Access doors between the lower ground floor flats and the service tunnel should remain blocked up or be blocked up to prevent private use of the service tunnel by flat owners or occupants. Private hot water systems should be located within individual flats and not within the service tunnel.

Internal subdivision or removal of walls within the tunnel is not permitted.

The tunnel may be used to integrate new services into the building where this can be achieved without adverse heritage impact and in conformance with Policy 13.

The northern end of the service tunnel may be used for storage of garbage bins in a clearly designated area. The bins must not intrude on access to and emergency egress from the tunnel. Access for the bins must be designed in consultation with a heritage architect to minimise impact on the original fabric of the building. Refer to Policy 100.

Policy 104—Fireplaces and Chimney Flues

Fireplaces and chimney flues are identified in the strata plan as common property. Early fireplaces and chimney flues including chimney pieces, fireplace surrounds, mantel pieces, grates, ranges and concrete hearths must be retained.

Although fireplaces may be reopened if blocked up, they must not be made functional and must remain ornamental only. The flues must remain blocked off. Fireplaces may also be reconstructed to evidence of the original chimney/fireplace in this space. New fire surrounds introduced where fireplaces are reopened must be consistent in scale, materials and design with those used elsewhere in the block. The Perspex coverings may be removed from the fireplaces where these exist. The hearths are significant and must be retained, even if the fireplaces are to remain blocked up, although they may be covered by carpet.

The use of the chimney flues for other purposes, such as running services, must be agreed with the owners' corporation.

9.2.3 Managing the Interior of the Building

The following policies relate to works that would affect the interior of the flats and also apply to works by individual owners.

Policy 105—Use of Natural Light and Natural Ventilation

The building was specifically designed to provide natural light and natural ventilation to all habitable spaces within the flats. These characteristics should be retained. Doors, windows and fanlights should remain operable and in use to permit passive air exchange and cross ventilation. Users should maintain natural daylight to all habitable spaces (living rooms, bedrooms, kitchens, etc). Fanlights over doors to provide light and air to internal spaces such as hallways and bathrooms should be retained and remain operable to minimise the need for additional artificial lighting. Any alterations for the purpose of improving interior comfort must prioritise the use of natural or passive technologies.

Policy 106—Laundries/Kitchens

Laundry and kitchen fit-outs may be altered. Partition walls of low significance, eg those between laundry and kitchen on the lower ground floor, may be removed.

Concrete kitchen floors at lower ground level limit the potential for new concealed plumbing services. Any upgrading should be planned with input from heritage design professionals.

Hot water systems should be relocated to these areas. An inconspicuous, but easily accessible location for servicing, would be under the stairs.

Where there is evidence of original kitchen door openings on second floor landings, the kitchen door may be reinstated within the existing original frame, all joinery details to match the original. Refer to Policy 111.

Policy 107—Bathrooms

Bathroom fit-outs may be altered. Bathrooms have limited or no mechanical ventilation. The building was originally ventilated by natural means through the rear porches. Additional mechanical ventilation may be introduced only where it can be shown there is minimal impact on significant fabric or finishes.

2010–2011 photographs indicate that floor joists have been cut to accommodate additional or revised plumbing services. Any new or upgraded plumbing must therefore be undertaken in ways that can be shown to have minimal impact on significant structure, fabric and finishes. Additional cutting of structural timbers should be avoided.

Policy 108—Internal Joinery

There are opportunities to reinstate altered joinery (such as replacing flush doors and reproduction panel doors) and to relocate doors back to their original positions (based on physical evidence).

Policy 109—Internal Staircases

Where internal staircases have been enclosed at lower ground floor level, the lightweight timber stud and board partitions (lower ground floor) may be removed. Original timber stringers, timber vertical boarding and other original stair components must be retained and conserved. The timber boarding to the underside of the staircases must be retained and not covered over.

Policy 110—Internal Partitions

Original internal walls (including rendered brick, light-weight concrete or timber boarded) cannot be removed or changed. New finishes (including acoustic, fire or thermal insulation) should not be applied to these walls.

Any proposal for new lightweight additions must minimise adverse heritage impact and consider the need for a common, building-wide approach.

Late twentieth century partitions may be removed to create more open spaces in areas identified in Figures 0.6–0.9 (Refer also to Policy 105).

Policy 111—Internal Built-in Furniture and Storage

Internal built-in cupboards to landings on the second floor may be removed in accordance with Policy 11. Under-stair voids may be utilised if needed for purposes other than storage (such as incorporation of services or installations where these can be incorporated in line with Policy 74). Where there is evidence of original kitchen door openings on second floor landings, the kitchen door may be reinstated within the existing original frame, all joinery details to match the original.

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11.0 Appendices

Appendix A

Historical Context: extract from Knaggs M and Kanellaki Lowe C, *46–56 Gloucester Street, The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (pp 39–94)

Appendix B

2010–11 Conservation Works: extract from Knaggs M and Kanellaki Lowe C, *46–56 Gloucester Street, The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (pp 94–96)

Appendix C

Inventory Sheet 91 (46–56 Gloucester Street The Rocks): extract from Higginbotham, E, Kass, T and Walker, M, *The Rocks and Millers Point Archaeological Survey*, prepared for Sydney Cove Authority and the Department of Planning, 1991, Volume 2 : Inventory

Appendix D

46–56 Gloucester Street, The Rocks: SHR and S170 Register Inventory Sheets

- State Heritage Register record
- State Heritage Register curtilage map
- Department of Housing s170 Register record
- The Rocks Conservation Area

Appendix E

Paint Scrape Analysis, February 2011, from Knaggs M and Kanellaki Lowe C, *46–56 Gloucester Street The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (Appendix)Appendix F

Appendix A

Historical Context: extract from Knaggs M and Kanellaki Lowe C, *46-56 Gloucester Street The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (pp 39–94)



1 WEST ELEVATION
GLOUCESTER STREET



46-56 GLOUCESTER STREET THE ROCKS

CONSERVATION MANAGEMENT PLAN REVIEW

Prepared for the Sydney Harbour Foreshore Authority

Report No. 11052

July 2012



Planning & Infrastructure
Sydney Harbour Foreshore Authority

1.1 HISTORICAL CONTEXT

1.1.1 THEMATIC HISTORY

In order to better understand how Nos. 46-56 Gloucester Street, The Rocks, developed, this history has been approached thematically, as such a framework offers multiple storylines for the place to assist in understanding all of its cultural values. This method of approach can provide contextual patterns and associations, especially in relation to human activities in the environment, which would not be immediately obvious were a strictly descriptive or chronological approach taken.

The NSW Heritage Branch has developed a thematic framework for use in heritage assessment and management. The Thematic Framework identifies thirty-eight principal themes. The organising principal for the thematic framework is the dynamism of human activity:

The historical development of an area or item can be understood as occurring in a thematic way. A physical illustration of this can be seen when we think about a landscape or building or arrangement of artefacts as a series of layers, each one representing a progressively earlier or later theme, or historical influence. Thinking about a place in terms of themes can help us understand its significance.¹

The theme of “Building settlements, towns and cities” and State historical theme of “Accommodation (Housing)” was used in this history to guide research questions, interpret the history, and structure the narrative of the development of the Terraces at Nos. 46-56 Gloucester Street, The Rocks, within the context of the development of The Rocks.

Australian Theme	NSW Theme	Notes
4. Building settlements, towns and cities e	Accommodation	Provision of accommodation including workers flats

1.1.2 EARLY DEVELOPMENT OF THE AREA

The area regarded today as “The Rocks” stretches along George Street, north of the Cahill Expressway overpass to Dawes Point. However, in its early years until the late 1820s and 1830s, The Rocks was less linear and extended from Church Hill (present day Grosvenor Street) to around Argyle Street to the

¹ NSW Heritage Office, Heritage Information Series, Historical Research for Heritage, Baskerville, Bruce, (2000) p. 2.

north.² The area was named “The Rocks” because it was located on a high sandstone outcrop, which significantly was bordered on three sides by deep water anchorages. The topography, location and proximity to shipping anchorages have influenced the physical appearance of the area, street pattern and overall development.³

By 1800 George Street itself was a “track” running roughly parallel to the natural shoreline, however, the real focus concentrated on the rocky slopes above, particularly the areas behind the first provision stores in (present day) Grosvenor Street, behind the first General Hospital, on what is now Globe Street and around Harrington and Gloucester Streets.⁴

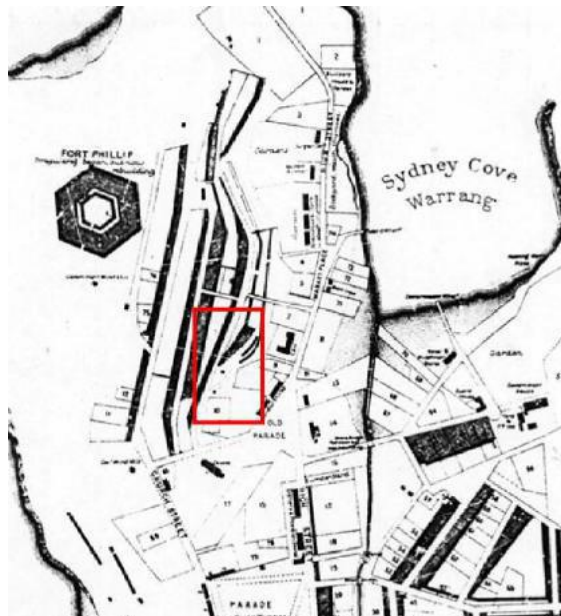
By the time the first issues of the Sydney Gazette appeared in 1803 the area was already well established and a well known quarter of town. The Gazette published stories of the drinking and brawling that went on there but also described the steepness of the area and unusual arrangement of buildings, accessed by little more than “tracks”.⁵

Meehan’s map of the town of Sydney dated 1807 (Figure 4) shows the general arrangement of the area at this time. The map combines leaseholders (numbered on the plan) with permissive occupants indicated by the thick black edging along the streets and in vicinity of the subject site.

Figure 1

Meehan’s Plan of the Town of Sydney, 1807, showing the general arrangement of the area.

(Source: Mitchell Library, Z M2 811.17/1807/1)



In 1810, the rugged footpaths and crooked rows were given a sense of order when Governor Macquarie officially named them, replacing the localised (more

² Karskens, G., *The Rocks Life in Early Sydney*, (1997) p. 1.

³ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, (undated) p.8.

⁴ Karskens, G., *op. cit.*, (1997) p. 1.

⁵ *ibid* p. 20.

descriptive) names with regal or vice regal titles. The main, or High Street, was renamed George Street (after the then reigning monarch) and from the highest ridge in descending order, he proclaimed Princes Street (Windmill Row), Cumberland Street (Church Row), Cambridge Street, Gloucester Street and Harrington Street. A series of cross streets and paths were also named, terminating at Argyle Street.⁶

The streets, however, were not all continuous or well marked out. In 1820, Surveyor James Meehan reported that there was no regular line of communication in The Rocks. The rocky ledges of Gloucester, Cambridge and Harrington Streets were discernible at the less inhabited northern end, near Argyle Street, but converged in confusion in the area further south. Successive surveyors, including Meehan, tactfully left spaces and streets unnamed on the surveys. Confusion also occurred between Cambridge and Gloucester Streets. Cambridge Street was originally the one below Cumberland Street, however, in the early 1830s Cambridge and Gloucester Streets became intertwined and difficult to separate at the southern end. New surveys and the granting of freehold titles in the 1830s finally solved the problem by reversing the street names to their present configuration, with Cambridge becoming the lower and Gloucester Street the higher.⁷

Buildings constructed by the 1820s on the subject site all faced the east, that is modern Cambridge Street, with back yards abutting Gloucester Street.

The problems with the early street pattern were complicated by the fact that occupants of the area had simply appropriated allotments and built houses and buildings on them without any official grant or lease. As early as 1802, Governor King had foreseen the problems associated with the non-legal, unrecorded dealings of land ownership, often transferred by verbal agreement. It was not until 1822 that Governor Brisbane commissioned a survey of Sydney and other towns, in an effort to resolve the confusion. The Rocks land, however, had already been appropriated by one means or another and the legitimisation of occupation was not really effected until Governor Darling resolved to begin the long process of granting freehold titles in 1829. More than two decades of slow surveys and investigations, to untangle the rights of the claimants of the land, followed.⁸

Part of Gloucester Street had been formed by 1807 and up to 1836 maps of the area show a number of small buildings in the area. The Armsden/Legge house, was constructed opposite the subject site by 1795 and whole Gloucester Street frontage opposite the site was built on by the 1820s. The 1823 Harper map

⁶ ibid p. 21.

⁷ ibid p. 28.

⁸ ibid p. 29.

indicates a number of buildings in the vicinity, including a building, later known as Tyrone Cottage, on the subject site. In 1836 the site of Susannah Place was granted to James Byrne, a licensed victualler, for a yearly rent on the condition that he “erect a permanent dwelling-house, store or other suitable building”.⁹

By the mid 1840s the Argyle Cut was being constructed and Gloucester Street was in the process of being extended northwards to George Street. As a result of, or in anticipation of, increased access more intensive development took place along Gloucester Street in the mid 1840s. Town houses and smaller scale terrace houses were being constructed, replacing the earlier single storey cottages. Both sides of the street were being developed and due to the topography of the area, with substantial basements and retaining walls, particularly on the eastern side of the street.¹⁰

Susannah Place, Nos. 58-64 Gloucester Street completed in 1844, is the only surviving example of this type of multiple dwelling building constructed during this period. It was a well built, brick structure with fire insulation between each residence, drainage and adequate ventilation. Each house is believed to have been connected to sewer (and water) in the late 1850s and unlike other buildings in the area, was “owner-occupied”. This may also explain the connection to the water supply, which indicated a “higher” class of resident, as a levy was charged for the service.¹¹

Susannah Place was constructed with retaining walls and basement, to allow access and address to the higher Gloucester Street. The alignment of the rock shelf at the rear is reflected in the building. The four units within are not regular in plan, as the building was constructed exactly to the property boundary to maximise floor space. The remainder of the houses in the block were single storey cottages, such as “Tyrone Cottage”, constructed on the subject site between c.1800 and 1825. The majority of these earlier cottages also faced Sydney Cove.¹²

By 1850 the character of Gloucester Street was transformed by the construction of multiple dwelling terrace houses. Regular building alignments were being formed along the eastern side of the street and construction of retaining walls and basement kitchens was now common practice. The natural rock shelves which gave the area its name, no longer dominated the pattern of development and placement of buildings. More intensive development of the precinct was to follow, particularly with the construction of the Jobbins Building (Nos. 103-111 Gloucester Street) in the mid 1850s.¹³ Terraces to the north of the site were constructed during the 1880s and 1890s.

⁹ A building is indicated here in 1823

¹⁰ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction”, (1997) Thesis, p. 89.

¹¹ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 8.

¹² Op.cit, p. 98.

¹³ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction”, (1997) Thesis, p. 101 &110.

By the turn of the century the area had become a deteriorated inner urban area. Improvements to the sanitary conditions and the construction of a higher standard of housing had occurred in the 1880s, however, many pockets of low standard accommodation survived.¹⁴ Much has been written about the squalor in The Rocks and even though there had been some concern during the 19th century, it was the bubonic plague, which struck Sydney in January 1900, that necessitated urgent attention to the living and sanitary conditions in Sydney's industrial maritime suburbs.¹⁵

1.1.3 1900 RESUMPTIONS

As a result of the Plague, part of The Rocks was quarantined and cleansed by the Government in an effort to improve the sanitary conditions. In May 1900, under the Land for Public Purposes Acquisitions Act, the quarantined wharf areas and adjacent housing were resumed. This resumption included Millers and Dawes Point but not The Rocks.¹⁶ However, in December 1900 a further resumption was proclaimed, incorporating all The Rocks and the western shore of Sydney Cove. Unlike the previous resumption this was made under the recent Public Works Act which appears to have been to provide for the approaches of the proposed Harbour Bridge, not as a response to the outbreak of the plague.¹⁷

Cleansing operations included the photographing and recording of all houses for compensation assessment. Carahers Lane and the rear yards of the adjacent Cumberland Street properties were photographed.¹⁸ Wide scale demolitions followed, overseen by the Government Architect's Branch.¹⁹ The Whaler's Arms diagonally opposite the subject site was demolished along with other buildings on the western side of Gloucester Street. This site has remained essentially "vacant" of buildings to this time. During the 1950s it was used as The Department of Government Transport Omnibus Park, functioning as a parking depot for buses. It was part of a major archaeological investigation (Cumberland/ Gloucester Streets Archaeological site) and has since been developed as a Youth Hostel. Buildings immediately north of Susannah Place were also demolished including "Tyrone Cottage" which occupied the middle section of the subject site. Susannah Place was not demolished as it did not fit into the popular description of an "infested hovel".²⁰

Private land owners were compensated for their resumed properties, a process which took some time to finalise. Many of the estates had been largely

¹⁴ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 129.

¹⁵ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 8.

¹⁶ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 134.

¹⁷ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 135.

¹⁸ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 133-134.

¹⁹ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 142.

²⁰ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 9.

unimproved since the mid 19th century and ownership of the individual terraces had been divided by descendants of the original owners. Few of the properties were occupied by the owners, but instead by tenants who in some cases had resided in the area for generations. In general the population was transient, spending usually just a few years in each house before relocating to another close by. This has been demonstrated by Karskens in her study *Inside The Rocks* (Hale and Iremonger, 1997) and Crook et al in *Keeping Up with the MacNamaras* (Historic Houses Trust, 2005).

By 30 June 1905, it was estimated that the State Government had spent over 4 million Pounds on the Darling Harbour and The Rocks Resumptions.²¹

The Sydney Harbour Act of 1900 allowed for the formation of the Sydney Harbour Trust which was to maintain and manage the resumed areas. The City Improvement Advisory Board was also established in March 1901 to assist in overseeing the resumed area.²² The Sydney Harbour Trust subsequently was responsible of a portfolio of over 800 properties, rented at market rents, and became the first government housing authority in NSW.²³

The City Improvement Advisory Board also considered the question of re-housing the population displaced by the demolitions. It was recognised that a large proportion of those occupying the area worked in the area and that workmen and their families should continue to be provided with residences in the locality. The Board determined that the only practical way of dealing with the issue was to build large residential blocks on suitable sites.²⁴

A study of tenement housing in England and Europe followed. The Government Architect's Branch prepared a number of schemes for model workers housing, based on the overseas prototypes. The first model houses were constructed in Windmill Street, Millers Point. These reflected a change in philosophy with the emphasis on providing a good living environment for the occupants, in contrast to the earlier planning schemes, that maximised floor space.²⁵

A process of redesigning of the individual blocks occurred throughout The Rocks. A plan dated c. 1908 (Figure 5)²⁶ indicates how the realignment of Gloucester Street was achieved. Projecting front gardens were removed and the buildings in the north western side of the street demolished to allow the alterations.²⁷ The site for the Australian Hotel, constructed on a triangular shaped site in c. 1914 is also shown on the plan.

The Government Architect's Branch under the Government Architect Walter Liberty Vernon, designed the new commercial, institutional and residential

²¹ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 136-137.

²² Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 137.

²³ Department of Housing Website, "About Us - History

²⁴ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 142-143.

²⁵ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 144.

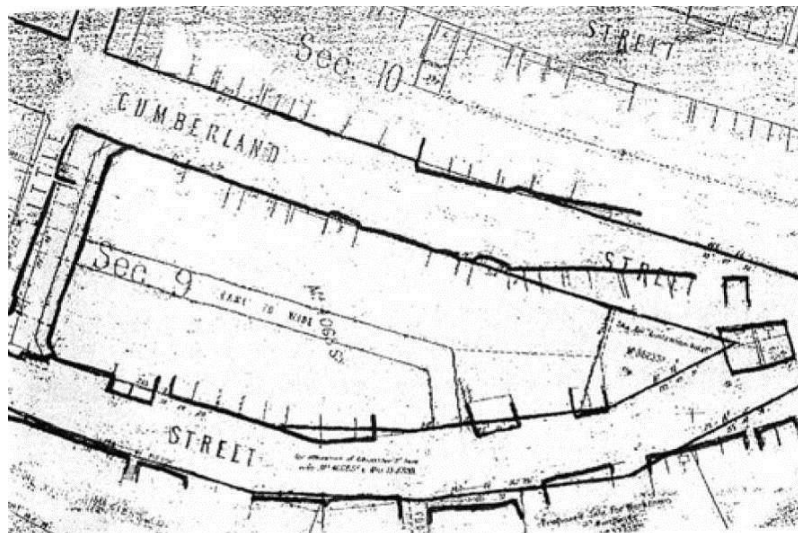
²⁶ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 144.

²⁷ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 144.

buildings in The Rocks and Millers Point area until 1912. In 1909/1910 eight contracts for new buildings were underway in The Rocks. The Housing Board was established in May 1912 to manage the properties resumed in 1900 and 1901, with the exception of the waterfront properties which were under the control of the Sydney Harbour Trust. The Housing Board undertook a considerable range of building projects and despite interruptions caused by the First World War, completed the realignment of streets, the construction of new bridges over the Argyle Cut as well as the erection of workers' housing. The relationship between the design office of the Housing Board and the Government Architect's office is not clear, however, the Government Architect's Branch completed the buildings already underway, with the majority of the building works being completed by 1914. The Housing Board's Architect, W Foggit, was responsible for the majority of the workers' houses in The Rocks and Millers Point from 1912 onwards.

Figure 2

Plan indicating the realignment of Gloucester Street, c. 1908.



Another plan of part of The Rocks dated 1908 (Figure 6) shows the proposed workers housing projects around Gloucester Street.²⁸ Although more tenements were planned, only two multi-storey unit blocks were constructed in The Rocks north of Little Essex Street.

Nos. 46-56 Gloucester Street remain largely intact and since c.1988 have been leased to Department of Housing (and its successor agencies). Only a small portion (the northern units) remains of the other, larger scale development of some 30 units constructed in Gloucester Street (No. 117), Little Essex Street and Cumberland Street (No. 140-142). The surviving units have been conserved by the Sydney Cove Authority for use as residences. The remainder of the building was demolished by the construction of the Cahill Expressway.²⁹ The surviving units at Nos. 117-119 Gloucester Street illustrate the quality of the

²⁸ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 148.

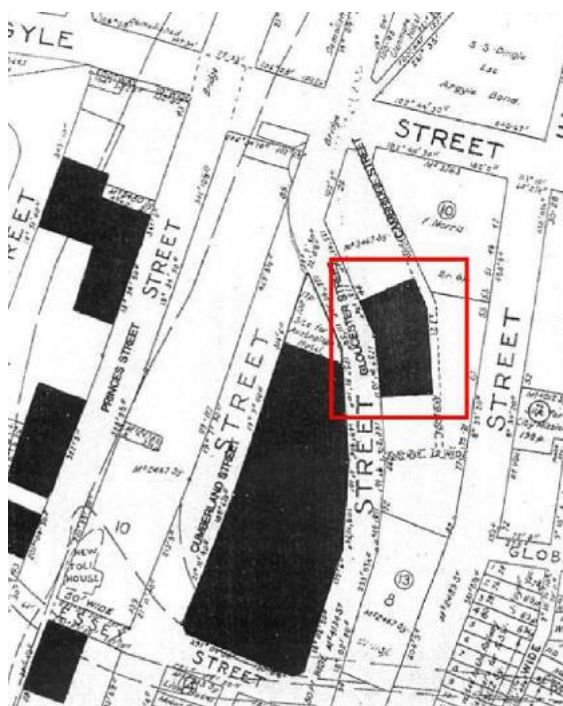
²⁹ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 148

The Housing Board was careful to retain the previous mix of corner shops, public houses and residences. The traditional relationship with the corner “public house” was retained. The awkward corner site created by the realigning of Gloucester Street was utilised for the re-building of the Australian Hotel. Other such sites were used for the Glenmore and Mercantile Hotels. Each of these had previously occupied near-by sites.³⁰

The Board was only in operation for 12 years and was disbanded in 1924. The remaining 19th century and post 1900 public housing in The Rocks and Millers Point areas were then administered by the Sydney Harbour Trust, as rental accommodation, and later by the Maritime Services Board until the late 1960s.³¹

The Government Architect and subsequently the Housing Board introduced a highly urbanised form of tenement living in The Rocks, based on English and European precedents which in the early decades of the 20th century transformed it into an area with “model” workers’ housing. The surviving examples are some of the earliest examples of public housing in Australia.³²

Detail from a plan dated c. 1908 indicating the proposed workers housing in Gloucester Street.



³¹ Boyd, N., Gloucester Street, *The Rocks A Study of Its Development and Construction*, (1997) Thesis, p. 144-146.

³² Boyd, N., Gloucester Street. The Rocks A Study of Its Development and Construction". (1997) Thesis, p. 155.

Figure 4

1823 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012)



Figure 5

1835 site plan overlaid on
2012 aerial photograph

(Foreshore Authority 2012)



Figure 6

1865 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012)

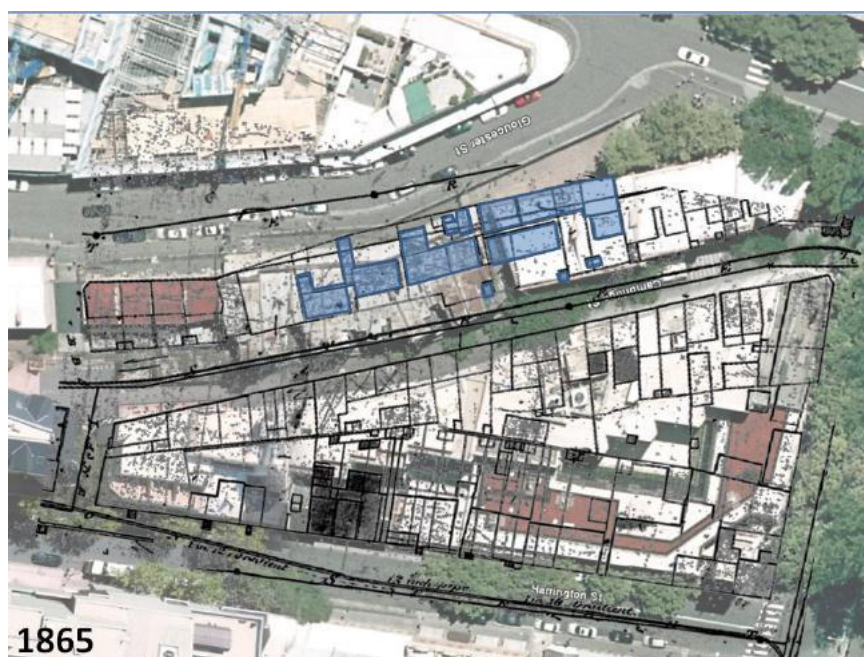


Figure 7

1866 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012).

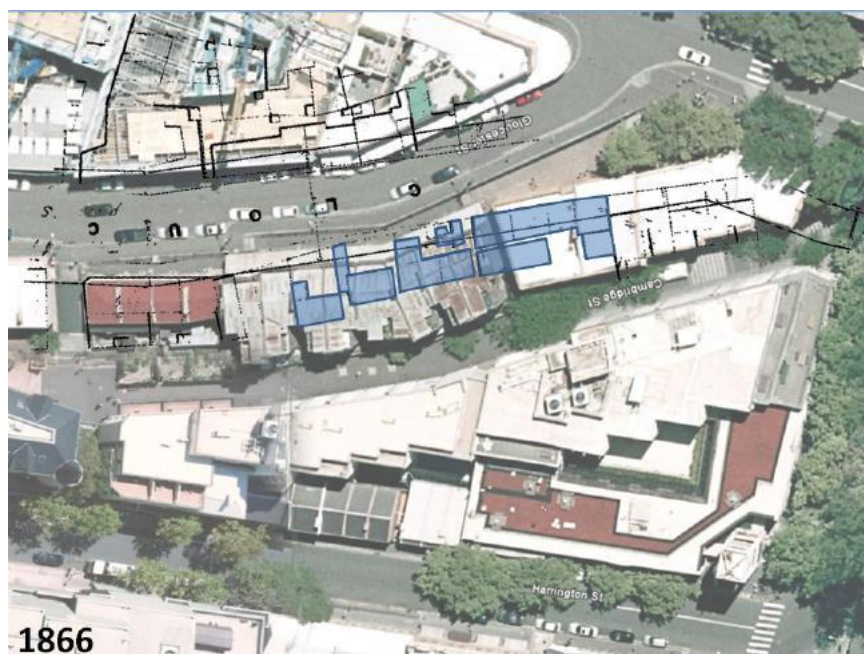


Figure 8

1880 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012).



Figure 9

1895 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012).

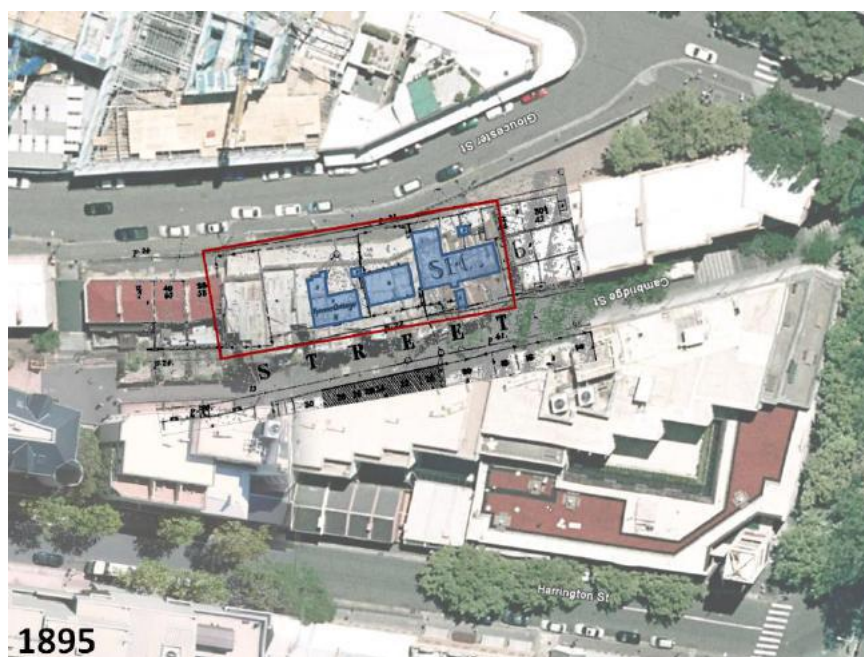


Figure 10

1901 site plan overlaid on
2012 aerial photograph.

(Foreshore Authority 2012)..



1.1.4 DEVELOPMENT OF THE SITE

The site now occupied by 46-56 Gloucester Street was part of Section 76 of the Parish of St Philip and appears to have been granted and claimed by at least four parties during the 1830s, following Governor Darling's initiative in 1829.

In general, the houses on the subject site prior to 1912 addressed Cambridge Street, their back yards bounded by Gloucester Street. These houses survived until the Housing Board constructed the existing terrace.

The northern-most portion, Allotment 4, was claimed by G. Gibbs (date unknown). The adjacent lot, Allotment 3 was granted to William Long in June 1839. Allotment 2 was granted to Jane Farrell in May 1836 and Allotment 11, the southern-most portion, was granted to Mary Lupton in April 1839.³³ Land Titles relating to all of these parcels could not be located, however, the Primary Applications relating to part of Allotments 2 and 3 shows that the sites were both conveyed in the 1860s and consolidated by William and John Smith, Customs House Agents, during the 1870s.³⁴

The 1865 Trigonometrical Survey of Sydney (Figure 7),³⁵ made between the years 1854 and 1865, indicates that part of this land had been developed by this time. A number of buildings are shown in the middle and northern sections of the site which also appears to be broken up into small allotments facing Cambridge Street. The southern portion is vacant. The four terraces, now known as Susannah Place are also shown, numbered Nos. 64-70.

Land and Property Information Map, U1845-1123-

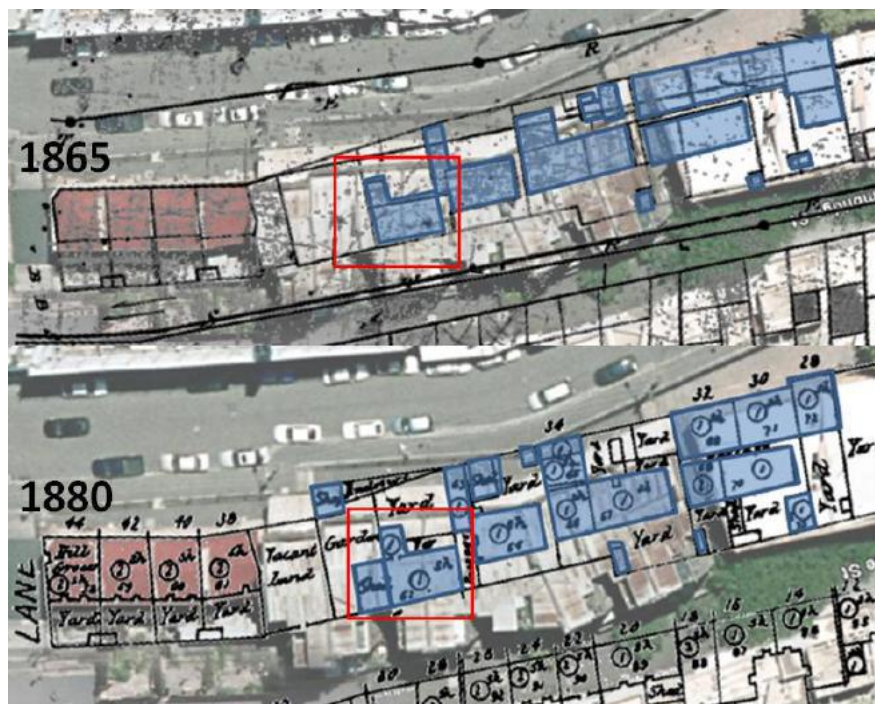
Property Information, DP-52183-

A plan of Lot 11, which also shows Lot 2 and part of Lot 3 dated 1863³⁶ (Figure 8), notes that W Smith was the owner and occupier of an “L” shaped structure on Lot 2. W Smith is also noted as the owner of the adjacent property to the north, occupied by “Burne”. In the same year John Stone Lord purchased a rectangular shaped parcel of land, part of Lot 11, extending between Cambridge and Gloucester Streets, with just over 22 feet frontage to each. The parcel of land illustrated on the title (Figure 9), and southern most section of the subject site, is occupied by a rectangular structure constructed to the party wall of what is now known as Susannah Place. A note on the drawing indicates that Mrs Riley owned/ occupied the site to the immediate south and W Smith the land to the immediate north. The title shows that this parcel was transferred again in 1876 and 1893.³⁷

In May 1873, the northern part of Lot 11 was purchased by John Bros and George Wall, also Customs House Agents, from William Smith.³⁸ The “L” shaped parcel featured just over 22 feet frontage to Cambridge Street and just over 52 feet frontage to Gloucester Street and wrapped around land and buildings owned by William Smith. This land was subsequently transferred to John Smith in 1890.³⁹

Figure 11

Tyrone Cottage (c1820-1905)
in 1865 and 1880 with 2012
Photographic overlay.



11 Cambridge Street: Tyrone Cottage

The earliest building known on the site is Tyrone Cottage, in existence by 1823,

as indicated on Harper's map of that year. In May 1836 this property was officially granted to Jane Farrell, who would have been the lessee for some time earlier. The name Tyrone Cottage can be seen written above the door in photographs from 1901, and the earliest reference to this name has so far been traced to 1871.⁴⁰ The earliest known inhabitants of the cottage were Jane and James Farrell from 1829.

Figure 12

August 1901 photograph looking north along Cambridge Street with 'Tyrone Cottage' (at left) and other buildings occupying the site at mid shot.

(Source: NSW State Records)



Figure 13

September 1901. Cambridge Street Looking South,

(Source: NSW State Records)



⁴⁰ Reporting the death of Ann Smith. Sydney Morning Herald (SMH) 7 April 1871, p1

Figure 14

(Left) Painting - Unknown

(Right) Photo – Cambridge Street looking towards Argyle Street. C1889

(Source: SHFA Historic Image Collection)



Jane & James Farrell

Jane Williams (1798-1860) arrived in the colony as a convict on the *Catherine* in 1814, with a sentence of 7 years.⁴¹ In 1822 she married fellow convict James Farrell (1794-c1866) who had also arrived in 1814, on the *Three Bees*, and with a life sentence for stealing a watch.⁴² Both were originally from Dublin. Jane registered her claim on the property in April 1834, and it was formally granted to her in 1836.⁴³ In most cases the grants were made to people who had been resident on the sites for some time. It is therefore possible that Jane and James had lived on the site for some time, possibly responsible for the construction of the house prior to 1823. Jane certainly asserted her claim in the Sydney Gazette in 1829 when over four consecutive issues she declared:

I HEREBY caution the Public against purchasing my HOUSE, No, 6, situate in Gloucester-street [i.e. Cambridge Street], Rocks, Sydney, as I do not intend to dispose of the same, neither have I authorised any other Person to do so.

JANE FARRELL.

*TO THE PUBLIC.*⁴⁴

Jane presents a formidable character. Although it is not currently known for what crime she was transported, she was often in trouble due to drunkenness, and her ready temper. Diminutive in stature, she was described in 1836 as 4

⁴¹ There is no "Jane Williams" or Jane anything, listed among the convicts of the *Catherine* in 1814, despite the 1828 Census listing for her, her Prison Entrance record of 1836 and James Farrell's statement in the Sydney Morning Herald of 16 Aug 1847, p1 which all claim she arrived on the *Catherine*.

⁴² James Farrell was still living in Cambridge Street between 1861 and 1865 when he is described as a "waterman" in the Sands Directory. The Rates record lists him as owner and resident in 1863, but the next record of 1867 lists the owner and resident as William Farrell. It is probable that James died between 1863 and 1867, and a James Farrell, drayman, Millers Point, appears in the funeral notices in SMH 27 May 1862.

⁴³ The claim, No 903, was assessed 25 April 1834, referring to Cambridge Street "formerly called Gloucester Street and Gloucester Street formerly called Cambridge Street".

⁴⁴ Sydney Gazette 24, 27, 29, 31 Oct 1829, p4

feet 11 ½ inches high, stout, with a fresh complexion, dark brown hair and grey eyes.⁴⁵

Having served her sentence by 1820 Jane first appears before a magistrate in December 1826 for stealing a watch, and for which she was released on bail. A humorous report published in the Sydney Gazette in 1831 reported another of Jane's days in court:

"not drunk, but not sober" as per constable's deposition; according to her own account "didn't think she was drunk," in addition to which, assaulted Mr. Charles, the publican, who preferred enjoying the black eye Miss Jane had conferred upon him, "in silent solitude" to appearing at the Police Office, paid five shillings for the benefit of the poor.⁴⁶

The following year Jane's pugilist skills again brought her to public attention:

Jane Farrell was indicted for an assault upon John Hull. It appeared in evidence that defendant, in the first place, wetted plaintiff's jacket, then cold pressed it with a piece of flat iron, and finally cracked his cranium with a three-legged iron pot, that caused said jacket to change, like the hide of a chameleon, from blue to red. In defence Jane Farrell attempted to prove that it was merely the bone of her stays she used and then only demolished his pipe, for calling her queer names. Guilty. Mr. Hull stated to the Court that it was a family feud, which had existed, for six years, and would, without it was put an end to, be handed down from sire to son. The Court ordered her to pay a shilling, and find securities to keep the peace for twelve months.⁴⁷

James Farrell, on the other hand, despite his early conviction for stealing a watch in Dublin, appears to have managed to lead a sober life in Sydney. He was relatively tall by the standards of the day, standing 5 feet 5 ½ inches. His certificate of freedom goes on to describe him as having a ruddy complexion, brown hair with hazel eyes, and with scars on his upper lip and left side of his nose.⁴⁸

All early references refer to the land in Cambridge Street as belonging to Jane.

By 1835 Jane and James built a new house directly to the north of Tyrone Cottage, into which they moved, and Jane sold the earlier house to Peter Hanslow (1798-1866). Hanslow held publican's licences from 1838-58, although it is unclear for what purpose he used Tyrone Cottage; his pub- the Horse and Jockey- being in George Street, Brickfield Hill, from 1838.⁴⁹ The Sydney Gazette mentions a town allotment in Sydney registered to Hanslow on

⁴⁵ State Archives NSW; Series: 2517; Item: 4/6299; Roll: 85, no 1676.

⁴⁶ Sydney Gazette 6 Aug 1831, p3

⁴⁷ Sydney Herald 23 Jul 1832, p2

⁴⁸ 8 October 1831: Register of Tickets of Leave, 29 Jul 1824-8 Mar 1827. NSW State Records Fiche 753-754.

⁴⁹ In 1834 Hanslow was living in Clarence Street. Sydney Gazette 16 Aug 1834, p2.

15 November 1837, which may be the transfer of Tyrone Cottage from Farrell.⁵⁰ The following year Hanslow's neighbour, William Long, advertised land for sale in Gloucester Street, adjoining Hanslow and Farrell's properties (and also on the site of 46-56 Gloucester Street). Hanslow felt it necessary to remind the public that his property was not included in the sale:

THE Public are hereby cautioned from purchasing at the sale of the property of Mr. William Long, a House and Premises containing by ad measurement five perches, and situated in the town of Sydney, Cambridge-street, parish of St. Phillip, Allotment No. - of Section No. 76, having purchased it from the Grantee Mrs. Jane Farrell, and now hold the Grant in my possession.

*PETER HANSLOW January 20, 1838.*⁵¹

Further dispute arose over the property in 1847 when Hanslow sold Tyrone House to John Tugwell (1814-1866). For some as yet unexplained reason, James Farrell objected to the sale on grounds that it had not been his wife's to sell. The newspaper reports of the time offer some interesting details about the Jane Farrell, but the outcome was that the land was indeed hers to dispose of.

DOE DEM TUGWELL V. FARRELL. This was an action of ejectment, brought to recover five perches of land in tile parish of St. Phillip, Sydney. The defendant pleaded the general issue.

Mr. MICHIE appeared for the plaintiff; and Mr. FOSTER for the defendant.

It appeared from the evidence that the lessor of the plaintiff bought of one Hanslow, who purchased of one Jane Farrell, the wife, as it was said, of the present defendant, who at the time she parted with the property, was a prisoner of the Crown for life. The grant from the Crown to the said Jane Farrell, the deed of conveyance from her to Hanslow, and Hanslow's deed to the present plaintiff, were then proved and read in evidence; and, lastly, the indent, to prove that the defendant, James Farrell, came out to the colony a prisoner for life in the year 1814, in the ship The Three Bees. The latter was also identified by a fellow-prisoner.

Mr. Foster moved for a nonsuit, on the ground that the conveyance from Mrs. Farrell was void for uncertainty, but after some argument his Honor over-ruled the objection.

Mr. Foster then proceeded to address the jury, contending as before that the deed was void for uncertainty, being neither a bargain and sale nor a feoffment and that the indent was not made out according to the terms of the statute which authorised its admission in evidence. A witness was

⁵⁰ Sydney Gazette 3 March 1838, p4

⁵¹ Sydney Herald 22 Jan 1838, p3

then called, who proved the marriage of Mrs. Farrell to the present defendant, twenty-seven years ago.

His Honor in summing up, told the Jury that he considered the deed from Mrs. Farrell to Hanslow as a bargain and sale; and this being the case, the documentary part of the plaintiff's case had been clearly made out. Also; that the indent was sufficient in his opinion to prove that the defendant was a convict, though it did not state the offence for which he was transported: for it was the punishment and not the offence, that would show whether a man was a prisoner or not. And there being satisfactory evidence, therefore, that the defendant was a prisoner at the time of the grant being made to Mrs. Jane Farrell, and that she conveyed in her own name to Hanslow, in accordance with the late Sir Francis Forbes' judgment in the case of Doe Dem Smithers v. Clark (1831), Mrs. Jane Farrell was, in the eye of the law, a femme sole, and could therefore alone convey her property.

The jury found a verdict for the plaintiff, damages 1s.⁵²

James Farrell felt obliged to correct some details published in the above report:

Cambridge-street,

24th August, 1847.

To the Editor of the Sydney Morning Herald.

GENTLEMEN,-In reference to the

report of a trial in the Supreme Court, Doe dem. Tugwell V Farrell, I would merely beg to remark that I arrived in this colony in the year 1814, in the Three Bees, under sentence of transportation for life; that I have resided in the colony ever since, during the whole of which period of thirty-three years, I have never been before any Court for any crime or misdemeanor.

My wife, Jane Farrell, arrived also in 1814, in the ship Catherine, under sentence of seven years, and obtained her certificate of freedom on the 3rd January, 1820.

Gentlemen, my reasons for having the above inserted is to contradict, in part, the report of the trial which appeared in your journal on last Friday, in which it was reported that my wife was a prisoner for life.

By giving the above one insertion,

You will oblige yours, &c.

JAMES FARRELL.⁵³

⁵² SMH 13 Aug 1847, p3 and Sydney Chronicle 14 Aug 1847, p2

⁵³ SMH 16 Aug 1847, p1

Although James' accusations over the property sale to Hanslow reflected on his wife's rights as a landowner, he was obviously not prepared to suffer the suggestion that she had been transported for life (as indeed he had been), but rather for 7 years.

Between c1837 and 1848 the occupancy of Tyrone Cottage is unclear. John Tugwell may have owned the cottage briefly, as the Council's rate record for 1848 lists *William* Farrell as the owner. Tugwell was living in Fort Street in 1848, and Kent Street in 1850 according to the Electoral Rolls. During the Gold Rushes he moved to Ballarat (c1853) where he managed a number of prospecting-related companies. He died unexpectedly in late 1866.

Sydney Council's rate records for 1848 and 1852 show the house to have been empty. By 1856 the owner/ occupant is waterman William Smith.

William Hudson Smith (1822-1889)

William Hudson Smith owned Tyrone Cottage from around 1856 until his death in 1889. During that time the property saw the deaths of a number of residents of the Smith Family: William's wife Ann in 1871, mother Mary in 1873, and second wife Anne Danaher in 1888, before Smith's own death the following year. Smith advertised for a servant in 1888 following his 2nd wife's death, which may be indicative of his wealth or at least social standing.

Smith is described in the Sands Directories most commonly as a bricklayer, although occasionally he is mentioned as a plasterer (1865) and a waterman (1861).

In May 1873, the northern part of Lot 11 was purchased by John Bros and George Wall, also Customs House Agents, from William Smith.⁵⁴ The "L" shaped parcel featured just over 22 feet frontage to Cambridge Street and just over 52 feet frontage to Gloucester Street and wrapped around land and buildings owned by William Smith. This land was subsequently transferred to John Smith in 1890.⁵⁵

By the 1880s it was increasingly unusual that houses in the Rocks were actually occupied by their owners as the reputation of the area decreased. Following William's death the property passed to his son John Hudson Smith, who owned the property until it was resumed by the Government around 1902. In that 13 or so years John Smith did not live at Tyrone Cottage, but leased it to a succession of tenants; the longest term resident being John Sealey from 1896-1900. Sealey moved to 22 Cambridge Street for a few years before leaving The Rocks in 1904.

⁵⁴ Land and Property Information, Certificate of Title Volume 158 Folio 163.

⁵⁵ Land and Property Information, Certificate of Title Volume 158 Folio 163.

Tyrone Cottage disappears from the Sands and Council Rates records around 1905.

Smith's occupation of almost 35 years on the site is further evidence of the sense of "belonging" to The Rocks that is expounded by Karskens in her publications-.i.e. it was a community. This is further evidenced by the Kirkman/ Dolton descendants' long association with the current building on the site, and indeed with this part of The Rocks for over 130 years.

9 Cambridge Street

Built by the Farrells by 1835, this cottage was set further back from Cambridge Street than its neighbour, and it was to here that Jane and James Farrell moved when they sold Tyrone Cottage to Peter Hanslow.

Jane Farrell it seems was unable to quietly live with her neighbours. Following an appearance in court in October 1836, Jane was ordered to pay £10 or spend four months in Darlinghurst gaol. She opted for the latter, and was released in February 1837.

Figure 15

9 Cambridge Street (c1835-
c1890) with 2012
Photographic overlay.



Figure 16

Painting by Samuel Elyard

(Source: State Library,
incorrectly titled 'Lower Fort
Street 1867')



In 1840 she accused the child Margaret Keefe of stealing:

WARRANT.-A child apparently about six years of age, named Margaret Keith, appeared on warrant at the Police-office, on Tuesday, charged by a woman named Jane Farrell with having stolen it purse containing £8 10s from one of her rooms. The reason assigned by the woman for believing that the child had stolen her money was, that on the day she missed it the child had been in the room where the purse lay on a table; and shortly after wards the child's parents, who she said were very poor, were having legs of mutton or pieces of beef every day. The child stood apparently as unconscious of the proceedings as the piece of cake she was eating at the time, and when told that she was discharged made no motion until her mother took her-away.⁵⁶

MARGARET KEEFE. aged seven years, charged with stealing a purse containing £8 10s from Mrs. Jane Farrell. Jane Farrell deposed that the purse was on a table in her bed-room; sent the child for 3 glasses rum (having had 2 glasses before), that the child was the only person in the room at the time, and that no other person could have gone into the room but the prisoner; fourteen days had elapsed between the losing of the purse and the complaint. Discharged.⁵⁷

⁵⁶ Australasian Chronicle 29 May 1840, p3

⁵⁷ Sydney Monitor 1 June 1840, p3

The Farrells took in lodgers, as evidenced by the account in 1842 of another theft from the house.

John Fitzpatrick was indicted for stealing a hat, jacket, and waistcoat, the property of James Jones, on the 23rd November, 1841. It appeared that the clothes had been stolen from the bedroom of the prosecutor, who lodged at the house of a woman named Jane Farrell, in Gloucester-street. The prisoner and another man had been at the house that day, and were left in the room where the prosecutor slept, during the absence of the landlady, but the clothes had never been found; three other persons slept in the same room as the prosecutor; the clothes were safe at dinner time, but when the prisoner came home in the evening they were gone, and the prisoner was also gone. There was no evidence to show that the prisoner knew anything of the robbery, and the jury immediately returned a verdict of not guilty, and the prisoner was discharged.⁵⁸

The Farrells appear to have lived out the remainder of their lives at 9 Cambridge Street without attracting more adverse media attention. James is recorded in Sydney Council's rate records from 1848-1863 as the owner of the property. The Sands Directories of 1859-61 list him as a waterman. In 1860 Jane died, and James dutifully placed her funeral notice in the Sydney Morning Herald.

FUNERAL. — The Friends of Mr. JAMES FARRELL are respectfully requested to attend the Funeral of his departed wife JANE FARRELL. To leave his residence at 3 o'clock, THIS AFTERNOON, from 9, Cambridge-street.⁵⁹

James' own fate is unclear. His death possibly occurs between 1863 and 1865. The Sands Directory entry for 1865 (compiled in August 1864) still lists him as a waterman at 9 Cambridge Street. The last clear reference in the Council rates record is in 1863. To add to the confusion, in 1867 the rates record refers to a William Farrell as the owner and resident. This may be a confusion between James Farrell and his next door neighbour (who later purchases the property) William Smith. Alternatively, the childless James and Jane Farrell may have left their property to a relative, William Farrell. James may also have moved away from the property he had lived on for over 40 years. Further research is required to find out whatever happened to James Farrell.

The house had a number of tenants in the following decades and was demolished in the late 1880s-90s.

⁵⁸ Australasian Chronicle 8 January 1842, p2

⁵⁹ SMH 7 June 1860, p5

Figure 17

5-7 Cambridge Street (c1820-
c1905) with 2012
Photographic overlay.



5-7 Cambridge Street

George Cribb (1774-c1845) (William and John Stafford Lett)

On his marriage to widowed publican Sophia Lett in 1818, George Cribb became the trustee of land bequeathed to Sophia's sons William and John Stafford Lett by their father Stafford senior.⁶⁰ The 1823 plan shows a building on the site by this time. Cribb's name, and those of the Lett boys, appears as grantee on the 1835 plan of the site. Cribb transferred the title to the Lett brothers in 1839. By the 1850s the Lett brothers were living in Sale, Gippsland, where they owned land. John Stafford Lett, however, died in Sydney in 1905. Further research is necessary to trace the transfer of ownership between 1839 and when the property came to be owned by John Rochester around 1850.

⁶⁰ Karskens, G. (1999): *Inside The Rocks*. (Hale and Iremonger), pp41-44

Figure 18

Cambridge Street c1901

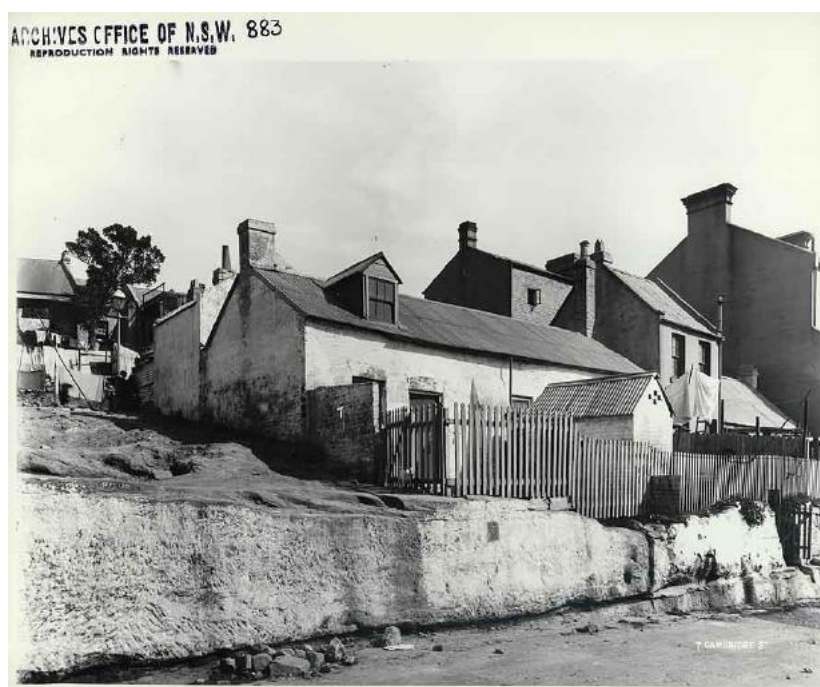
(Source: NSW State Records)



Figure 19

7 Cambridge Street,
September 1901.

(Source: NSW State Records)



John (1799-1852) and Eleanor Rochester (1805-1876)

Ellen (or Eleanor) Flaherty arrived as a convict from Longford, Ireland in the *Elizabeth* in 1818. In 1822 she married William Lindsay, who died soon after. By 1828 she was acknowledged as the wife of sailor John Rochester (1799-1852) who she formally married in 1829. The following year John Rochester became the licensee of one of the best known pubs in The Rocks, the *Erin Go Bragh*, which he held until his death in 1852, and which his widow held until her death. In all, the Rochesters were publicans of the *Erin Go Bragh* for 46 years. The

pub was initially located further to the south in Cambridge Street near Little Essex Street/ Fraziers Lane but later moved to Cumberland Street, and it was here that the Rochesters lived, amid a number of adjacent properties that they also owned.

John Rochester purchased 5-7 Cambridge Street around 1850. The semi-detached houses on site appear to be the same as those shown on Harpers plan of 1823, and stood until about 1905. John Rochester died in 1852, and Eleanor managed their pub and property portfolio until her death 24 years later, at her residence at 30 Cambridge Street in 1876. She had a formidable reputation and is well represented in newspaper accounts (mainly police or court related) during her lifetime. In her final years she often changed her will as various family members fell in or out of favour. This led to a dispute when a previously unknown will surfaced soon after her death, which casts an interesting light on Eleanor in her final years. One of the previous wills was witnessed by her neighbour, William Smith of Tyrone Cottage.

For the evidence in reply it appeared that Mrs. Rochester had, after many applications, induced the parents of Joseph John Murphy, as far back as 1861 to allow her to adopt him. In that year he was sent to Sydney to live with Mrs. Rochester, who had him educated by Mr. Cutcliffe. He afterwards served as a barman in the old lady's public house and in time used to transact her business and act as her right hand. After consultation with Archdeacon M'Encroe and the Rev. Father O'Farrell, Mrs. Rochester, in 1863, formally adopted John Joseph Murphy as her son, in a room off St. Mary's Cathedral: a certificate was given, and afterwards handed to Mr. Norton. Since that ceremony, Joseph John Murphy had been called Joseph John Rochester, and he called flip old lady "mother." On the 26th of July, 1871, Rochester was privately married; that night his wife went to Maitland, and he never saw her again. Some years afterwards she died. Rochester lived with the old lady as her son till 1873. In that year she heard of his private marriage. After much abuse and some blows from her crutches, he was turned out of the house. The old lady was very capricious, hasty in temper, and coarse and violent in language, when her feelings were aroused. The next day she sent for "Joe." as she called Rochester, an explanation was given, and he was again taken into favour, and lived in the house for a few days. The clandestine marriage still rankled in the old lady's mind, and her hasty temper provoked a fresh quarrel, and he again left. Another message was sent, and peace made. One night Rochester, when in bed, was assaulted by the old lady with her crutch, with great violence and coarse language. The next day he finally left, and never again lived with her, though, she frequently sent for him, and they lived on friendly terms. She directed him, at one interview, to take a public-house of hers, which he refused, but without a quarrel. He always

refused to discuss the old lady's will, or to take part in any conversation as to the disposition of her property. For about three months before her death Rochester had not seen her. He heard of her death on the 24th September, and on the same afternoon, went to the house, and saw Mr. Martin and others searching among her papers, where the will of the 7th March was found. Rochester was again married in 1875, and had for about three years been employed in the Harbours and Rivers Department at Blackwattle Swamp. Mr. Norton had been Mrs. Rochester's attorney and legal adviser for very many years. From the year 1870 till the 19th of February, 1876 five wills were prepared for her in his office. In each the disposition of her property was different. In January 1870, a will was executed devising her property to "Joseph John Rochester, my adopted son," and to a legatee in Ireland. In July 1872 a will was executed in favour of Joseph John Rochester, in October, 1873 a will was executed in favour of some of her relatives called "Flaherty," and two nieces in Ireland. In January 1874 a will was drawn and engrossed, and most probably executed, in favour of Joseph John Rochester. On the 19th February, 1876, a will was executed by which the bulk of her property went to John Rochester Sullivan, and three houses to Joseph John Rochester. For each of these wills instruction would be given, and altered many times, and in a most material manner. The drafts would be also altered. It was almost impossible to ascertain her wishes. Before the will of the 19th February 1876 the old lady expressed to Mr. Norton that she wished to leave some legacies to the Roman Catholic Church, and wished him to be the executor of her will. He declined, and advised her to have her will prepared by Messrs. Ellis and Makinson, who were the solicitors of the Romish Church, and would be familiar with the trusts she wished to create. She refused to adopt Mr. Norton's advice. The will of February was accordingly prepared by Mr. Dixon, in Mr. Norton's office. Mrs. Rochester, after the execution of that will, took all her deeds into her own keeping. When Mr. Norton was sent for to prepare, the will of the 7th March, 1876, nothing was said of the will prepared and executed the month before in Mr. Norton's office.

The trial lasted four days. Mrs. Eleanor Rochester's estate was valued at about £9000.

His HONOR summed up the evidence, and directed the jury. After retiring for twenty minutes, the jury found that the will of the 6th of September, 1876, was the last will and testament of Eleanor Rochester, deceased.⁶¹

In 1880 5-7 Cambridge Street was advertised for sale from the Rochester

⁶¹ SMH 2 June 1877.

Estate:

LOT 2. THREE HOUSES. GLOUCESTER-STREET, being Nos.54, 56, and 58, also Nos. 5 and 7, CAMBRIDGE STREET. These houses are substantially built of stone, with shingled roof, situate a short distance beyond ESSEX-STREET, and at present let to tenants at a rental of £2 2s 6d weekly, or £110 yearly.

Messrs. NORTON and SMITH, Solicitors for Vendors.⁶²

For over a year the properties remained on the market.⁶³

Unlike its neighbours, 5-7 Cambridge Street was occupied by tenants rather than the owners during the second half of the 19th century. No 7 was occupied by William Maggs (1785-1873) in 1861. Maggs' wife Susannah (1810-1864) died there, and from which her funeral proceeded.⁶⁴

The various parcels of land that make up the subject site continued to be transferred and sold. Purchasers predominantly worked in the area. In December 1896, John Smith and James Augustus Adrian, both Customs House Agents, acquired part of Allotment 3.⁶⁵ At the same time, John Smith also acquired part of Allotment 2.⁶⁶ In July 1897 Smith also purchased part of Allotment 2 with over 29 feet frontage to Cambridge Street.⁶⁷ In the same year Smith and Adrian consolidated all of Allotment 3 granted to William Long on 22 June 1839 and part of Allotment 2 originally granted to Jane Farrell in May 1836. The site featured just over 19 feet frontage to Gloucester Street and nearly 29 feet frontage to Cambridge Street.⁶⁸

⁶² SMH 13 Oct 1880, p10

⁶³ SMH 12 Oct 1881, p12, 20 Jan 1882, p9

⁶⁴ SMH 26 Oct 1864, p8

⁶⁵ Land and Property Information, PA 10255.

⁶⁶ Land and Property Information, PA 10254.

⁶⁷ Land and Property Information, Certificate of Title Volume 1224 Folio 230.

⁶⁸ Land and Property Information, Certificate of Title Volume 1230 Folio 115.

Figure 20

c. 1863 plan of Lot 11, Section 76 and southern portion of the site.

(Source: Land and Property Information)

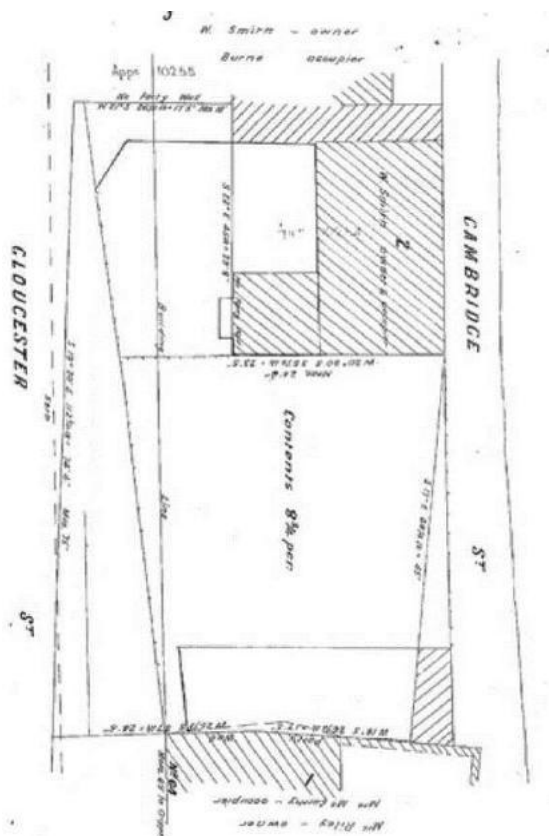


Figure 21

Plan dated 1863 showing the southern portion of the site purchased by John Stone Lord in 1869.

(Source: Land and Property Information)

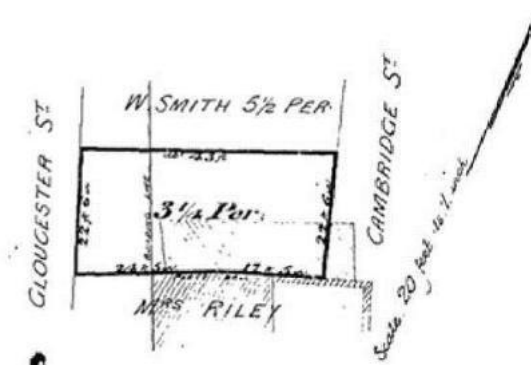


Figure 22

c. 1880 Percy H Dove plan.

(Source: City Archives)

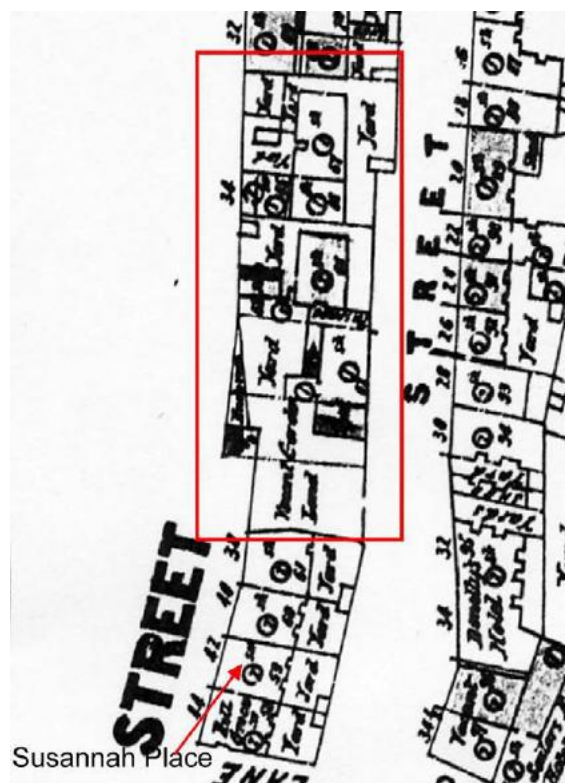
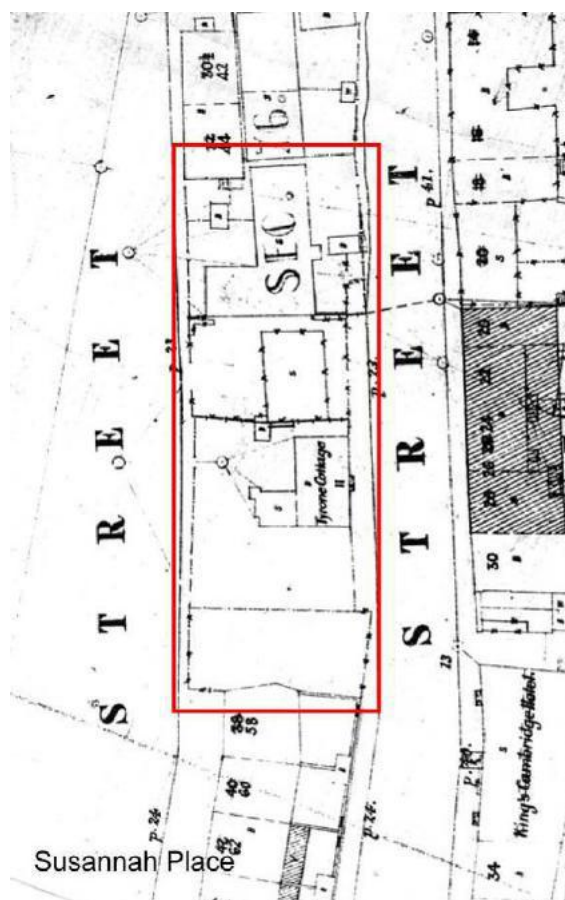


Figure 23

1887 Sydney Water plan,
amended in 1895.

(Source: Sydney Water Plan
Room PWD 310/1544).



1.1.5 RESUMPTIONS & DEMOLITIONS

In 1901 the entire site was resumed and vested with the Minister for Public Works by the operation of the 40th section of the Public Works Act 1900 and in pursuance of the Gazette Notice produced and entered 2 July 1901.⁶⁹

The “cleansing operations” in the area included the photographing and recording of buildings to be demolished.⁷⁰ A set of photographs, dated 1901,⁷¹ show buildings occupying the site at this time, including “Tyrone Cottage”. Elevated high above Cambridge Street, it was a simple, gable roofed structure. The small brick building constructed on the street alignment is also visible. “Tyrone Cottage” is also visible with its steeply pitched gable roof and dormers on the east facing roof slope.

Another photograph dated 1900 (Figure 27), looking north along Gloucester Street, shows the building occupying the north western section of the site at this time. It is clear that the early buildings on the site faced Cambridge Street and possibly the Harbour and not Gloucester Street. The buildings to the north of the site further along Gloucester Street and the early street level are also visible.⁷²

It would appear that demolition of the buildings followed, probably overseen by the Government Architect’s Branch.⁷³ No record of the criteria for selecting buildings to be demolished has been located. The decision to demolish may have been related to the extent of fire separation or hazard. All buildings constructed before the introduction of building regulations requiring fire separation in 1838, were demolished in the Gloucester Street area. Substantial buildings such as Susannah Place (1844) which were constructed with party walls were retained. A few other buildings survived in other parts of The Rocks if they were substantially constructed of stone or rubble.⁷⁴

⁶⁹ Land and Property Information, Certificate of Title Volume 1230 Folio 115, Volume 1224 Folio 230.

⁷⁰ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction”, (1997) Thesis, p. 133-134.

⁷¹ Mitchel Library, City Rocks Area Photographs, PXE 921.

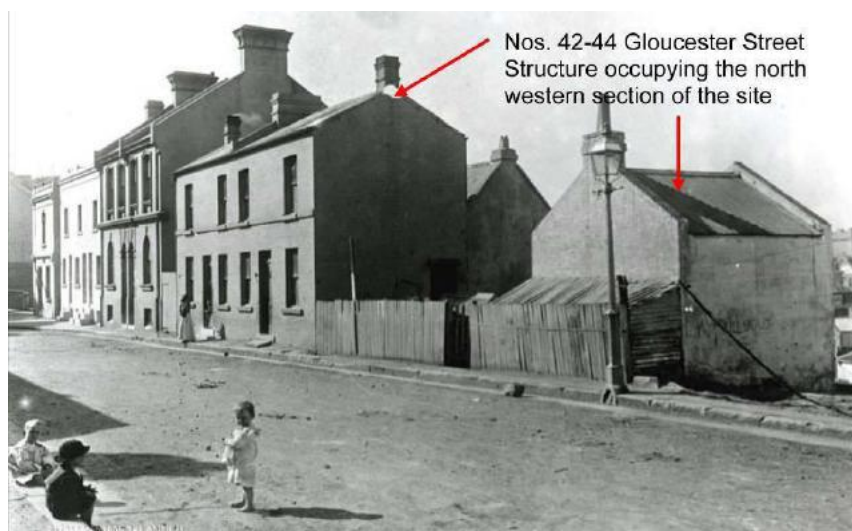
⁷² SHFA, 26-44 Gloucester Street looking north. Tyrrell Collection, GL 07 31484.

⁷³ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction”, (1997) Thesis, p. 142.

⁷⁴ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction”, (1997) Thesis, p. 152.

Figure 24

Photograph looking north along Gloucester Street showing the building occupying the north western section of the site and terrace buildings further north along Gloucester Street, c. 1900. (Source: SHFA)



In 1906 the NSW Government adopted the Local Government Act enforcing reasonable building and health standards in the construction of housing.⁷⁵ The residential buildings designed by the Government Architect and the later the Housing Board achieved a higher density, replacing single and two storey 19th century buildings. The buildings of this period also demonstrate that some attention was given to the provision of sanitation, ventilation and open air yards and balconies and roof terraces. The housing forms and plan layouts were very well resolved.⁷⁶

The 1908 plan (Figure 6) of proposed workers' housing projects includes the subject site on the eastern side of Gloucester Street. The site continued to feature frontage to Cambridge Street, by this time reduced to a 12 feet wide "footway". Possibly in preparation of the proposed works, the level of Gloucester Street around the site and Susannah Place was raised. The pavement and road were at a similar level until c. 1910, from which time Cumberland and Gloucester Streets were realigned. A later archaeological excavation in front of Susannah Place revealed evidence of large sandstone flags which formed the original paving in front of the building.⁷⁷ The front garden and the original configuration of the front steps to the Jobbins Building were also removed in an attempt to create an even street alignment in Gloucester Street.⁷⁸

No early plans of the building or site could be located, however, the Sands Directory indicates that the last of the earlier buildings occupying the site was demolished around 1902 and current buildings constructed between 1902 and 1911. Nos. 46-56 Gloucester Street are first listed in the Sands, with sixteen occupants, in 1912.

1.1.6 CONSTRUCTION AND OCCUPATION OF THE BUILDING

⁷⁵ Department of Housing Website, "About Us - History".

⁷⁶ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 154.

⁷⁷ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 100.

⁷⁸ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 128.

Based on the 1908 plans and Sands Directory, it is assumed that the Gloucester Street flats were constructed between 1908 and 1912, possibly one of the eight 1909/1910 contracts undertaken and completed by the Government Architect's Branch by 1914.⁷⁹ The Sands indicates that most were continually occupied from this time (refer to Sands Directory summary in Appendix).

The Federation terrace taste for unrendered or face brickwork prompted important developments in building practices and technological developments in the manufacture of building elements. The concerns of the Housing Board, in addition to a general concern about increased durability of materials and ease of construction, may have influenced the design and construction of these buildings. Bricks at this time were generally dry pressed and fired at higher temperatures and therefore harder and more durable, which made sense for this type of "public" housing. Of greater importance, however, was the adoption of double skin brickwork, which was an innovation of this time.⁸⁰ The general concern and requirement for improved and "low maintenance" materials is emphasised here with the incorporation of more "durable" elements such as the steel framed stair, wrought iron balustrades and concrete slab to the upper landing in preference to timber detailing typical of this period. These considerations befitting the "public" use of the buildings.

The building fabric suggests that the original form of the buildings generally remains today. Whilst some internal modification is apparent, the original layout is discernible. The early design philosophies and requirement for a good living environment for occupants is reflected in the provision of outdoor space in the case of the lower dwellings and maisonette-style units for the upper dwellings. An assumed original layout has been interpreted from measured drawings and plans dated from the 1980s (Figures 31 & 32). The form of the building featured the traditional two rooms deep and "tunnel back" form used for terraces. Like Susannah Place, the building was raised on a basement (lower ground) level so that the terraces could address Gloucester Street. The lower cottages accessed the basement area (below the entry verandahs) and also featured two distinct rooms separated by a solid wall and externally accessed, but attached WC on the lower ground floor. The eastern room features fireplace breast and it is assumed was the original kitchen. The western room, with corner copper was laundry and wash area. An internal stair extending up the party wall connected the kitchen to the upper level which comprised entry hall, parlour with splayed breast and two bedrooms. A small room next to the smaller, eastern bedroom may have been a pantry, closet or early bathroom/wash area.

⁷⁹ Boyd, N., Gloucester Street, The Rocks A Study of Its Development and Construction", (1997) Thesis, p. 144-146.

⁸⁰ Howells, T., Morris, C., Terrace Houses in Australia, 1999, p. 70.

Figure 25

An image from c.1900
showing the subject building.
(detail below)

(Foreshore Authority JHH
H91_300_20).



The upper dwellings comprised entry hall, bedroom, parlour, also with splayed chimney breast, pantry and kitchen at the eastern end. It is assumed that the small landing may have been “open” with simple balustrade. A stair extended up to the top floor which comprised two bedrooms and an open terrace with copper and externally accessed WC at the eastern end.

The Housing Board, established in 1912, probably took control of the buildings until 1924 when it was disbanded. From this time the Sydney Harbour Trust administered the sites and buildings resumed. It is not clear if any works were carried out during this period. A photograph of the building dating from the 1930s, looking south along Gloucester Street, shows the same building form visible today. The change and rise of the Gloucester Street level is apparent when looking at the adjacent building at 42-44 Gloucester Street.

Figure 26

Detail of Figure 28.

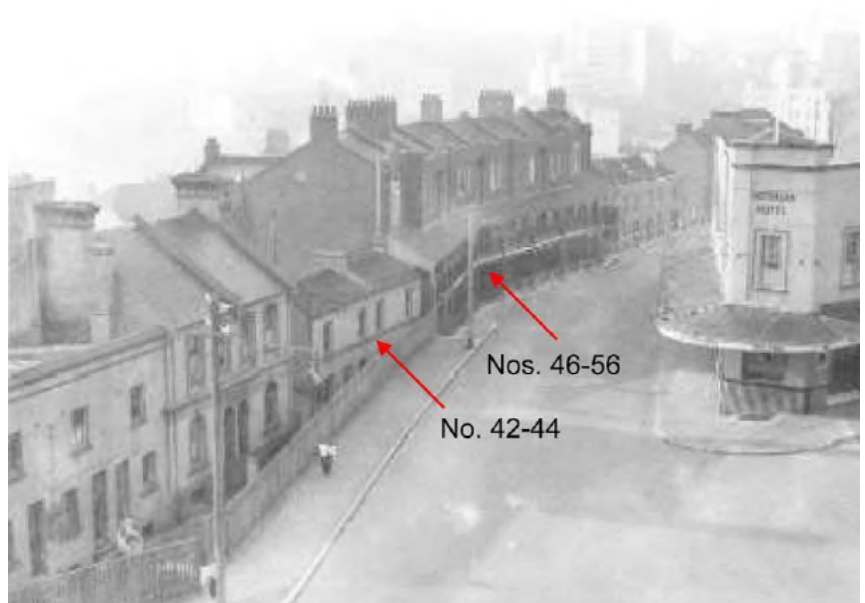
(Foreshore Authority JHH
H91_300_20).



Figure 27

Photograph looking south east along
Gloucester Street, c.1930s.

(NSW Heritage Branch Database No.
5053226)



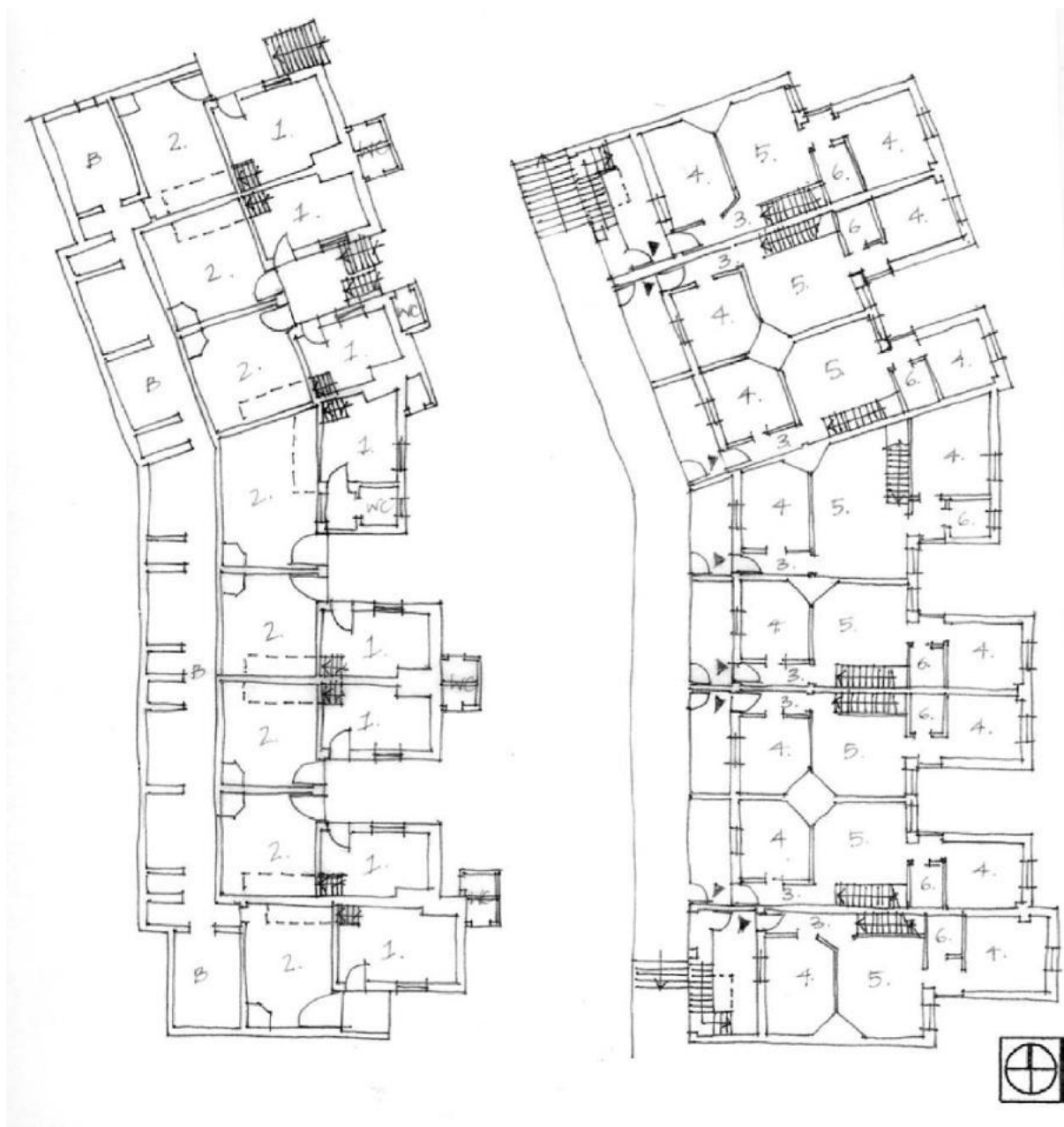


Figure 28

Possible original configuration of the basement and ground levels, based on drawings prepared in the 1980s and extant fabric (PMA 2006).

- 1. Kitchen
- 2. Laundry/wash area
- 3. Entry hall
- 4. Bedroom
- 5. Parlour/ living
- 6. Closet/pantry, facing open, central landing/balcony
- B. Basement



Figure 29

Possible original configuration of the 1st and 2nd levels, based on drawings prepared in the 1980s and extant fabric (PMA 2006).

- 1. Kitchen
- 4. Bedroom
- 5. Parlour
- 6. Closet/ pantry facing open balcony
- 7. External Terrace, laundry/ wash area with copper.

In the 1930s the Maritime Service Board took over management of the area. The construction of the Sydney Harbour Bridge (opened in 1932) also impacted on the immediate environs and effectively split The Rocks in two. This also resulted in large scale demolitions in the area and total removal of Princes Street.⁸¹ Further changes occurred in the area due to the construction of the Cahill Expressway which opened in March 1957. The Expressway had significant impact on the southern end of Gloucester Street, cutting it in two and necessitating further demolitions.⁸²

In 1970 the Sydney Cove Redevelopment (SCRA) became the landlords following the Sydney Cove Redevelopment Authority Act, 1968.⁸³ A photograph of the terrace from this time (Figures 34 & 35) shows that the buildings remained intact despite the successive physical and management changes in the area.

1.1.7 THE DEPARTMENT OF HOUSING OCCUPANTS: 1912-C1972

Smith's occupation of almost 30 years, and Farrell's of around 45 years on the site is further evidence of the sense of "belonging" to The Rocks that is expounded by Karskens in her publications, i.e. it was a community of long term residents.⁸⁴ This is further evidenced by the Kirkman/ Dolton descendants' long association with the current building on the site.

Margaret Dolton and her family

John Kirkman (1797-1874), son of John and Margaret Kirkman, was a farm labourer from Bolton, Lancashire. Along with his second wife Alice Wilson (1808-1887) he arrived in Sydney in January 1842 on the ship *Agnes Ewing* with John's daughters Ellen (b1824), Margaret (b1828) and Alice (1830-1901), and son James (1821-1868) from his previous marriage. Also on the ship were Thomas Kirkman (1815-1897) of Bolton, son of Adam and possibly a cousin, and his wife Elizabeth (1814-1869).

John and Alice Kirkman's daughter Alice (1830-1901), married Thomas Gilson (d1896). Thomas and Alice Gilson lived in Cumberland St from at least 1861. Alice's sisters were strongly connected with the Cumberland Street (YHA) site, which is where Alice died (4 Carahers Lane) in 1901.⁸⁵ Her daughter Margaret (1852-1926), married Frederick Dolton (d1896) in 1873 and lived nearby at

⁸¹ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 9.

⁸² Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 9.

⁸³ Robert A Moore Pty Ltd in association with the Historic Houses Trust, Susannah Place 58-64 Gloucester Street The Rocks Conservation Analysis & Guidelines, p. 10.

⁸⁴ See Karskens, G. (1999): *Inside The Rocks*. (Hale and Iremonger)

⁸⁵ Karskens, G. (1999): *Inside The Rocks*. (Hale and Iremonger), pp183-4

Cumberland St from at least 1877 until the time of Frederick's death in 1911. His death was just prior to the completion of the Housing Board terrace. The following year the widowed Margaret became the first occupant of 48a Gloucester Street.

The wives of the Dawson, Douglas and Lucas families who lived at various addresses in 46-58 Gloucester Street were all daughters of Margaret and Frederick Dolton; Thomas Dawson married Wilhemina Dolton in 1917, Frank Lucas married Victoria Dolton in 1907, and Emily Dolton married Thomas Douglas in 1900. Emily Douglas was at No 48 from 1923-29, moving to No 54 from 1929-33. Frank and Victoria Lucas lived at 46a from 1916-1972. When Margaret Dolton died in 1926 her son Bruce stayed on for a year, and then his sister Wilhelmina and her husband Thomas Dawson were the occupants until 1964. In all, the Dolton family lived in various residences within the row of terraces for 60 years, from 1912-1972.

Other occupants of the terraces, not related to Margaret Dolton, were also long-term residents, and many had lived elsewhere in the precinct with their families/parents etc, prior to moving to 46-56 Gloucester Street. Primary records such as the Sydney Harbour Trust/ MSB Tenancy Cards from 1927-1972 (held by SHFA), Sydney Council Rates Records (1845-1948) and the Sands Directories (1859-1933) have been used to research some former residents and their periods of occupation:

Conwell 1928-69

Bridgen 1927-60

Robinson 1936-72

Brown 1941-72

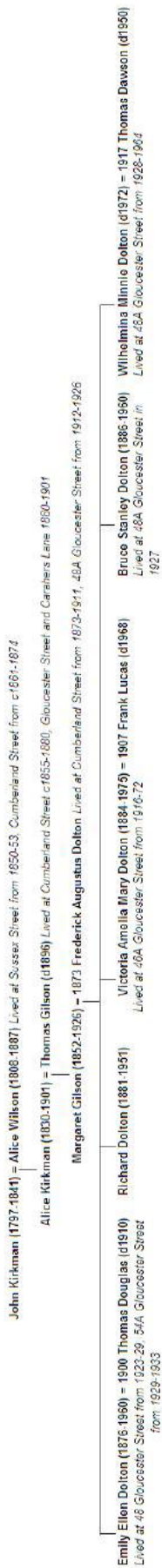
Gallagher 1912-32

Engelston 1912-32

Future research would reveal further details on these families. The Conwells for example had lived in The Rocks since the 1870s, and two generations of the family occupied the terraces during their 41 years there. Thomas Conwell, operated a transport business in the mid-century, and a descendant (Tony Stevens) continues the family's link with the area and currently operates a coin and stamp stall at The Rocks Market.

Future research can also fill in the gaps of occupancy from 1972-present.

Kirkman, Gilson and Dolton Families and their descendants in Cumberland/ Gloucester Streets (1855-1972)



Margaret Dolton and her descendants: 1912-1972

46	48	50	52	54	54B	56	56B
	Emily (Dolton) Douglas (1923-1929)						
Basement and Ground Floors							
46A	48A	50A	52A	54A	54C	56A	56C
Frank and Victoria (Dolton) Lucas (1916-1972)	Margaret Dolton (1912-1926)			Emily (Dolton) Douglas (1929-33)			
	Bruce Dolton (1927)						
	Thomas & Wilhelmina (Dolton) Dawson (1928-1964)						
1st and 2nd Floors							

THE SYDNEY COVE REDEVELOPMENT AUTHORITY

A report prepared for the Sydney Cove Redevelopment Authority dated January 1984 noted that all 16 dwellings were occupied at this time.⁸⁶ Six of the sixteen were occupied by Housing Commission tenants.

It was the policy of the SCRA to provide low cost housing within The Rocks to those eligible for Housing Commission housing and to previous SCRA tenants who had been relocated.

At this time it was intended to retain the existing fabric and maintain current Housing Commission standards in terms of amenity and accommodation.⁸⁷ The 1984 report noted that the layout and arrangements of the dwellings and flexibility of three bedrooms was to be maintained. The report highlighted that the two main dwelling types were not comparable with housing commission standards of the time. Bathroom facilities had only been added recently (date unknown but the report notes approximately 10 years (c. 1970s)) and kitchen facilities were described as “primitive”. At this time the lower dwellings on the basement and ground floors featured kitchen, dining and wash areas on the basement floor and the entry, living area and two bedrooms on the ground floor. The bedrooms and bathroom in this type were therefore separated by the living area and stair. For the dwellings on the first and second floors, the living area and kitchen areas were on first floor with laundry and external WC on the second floor. Bedrooms are similarly separated from the bathroom.⁸⁸

Significantly the lavatory accommodation was noted as being “outside” at this time. A large laundry/store room was provided on the basement floor but this room was described as being poorly ventilated and without natural light.⁸⁹

⁸⁶ Philip Cox and Partners Pty Ltd, The Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), Present Condition (no page numbers).

⁸⁷ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), Present Occupants (no page numbers).

⁸⁸ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), present Occupants (no page numbers).

⁸⁹ Philip Cox and Partners Pty Ltd, the Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), Present Occupants (no page numbers).

Figure 30

Image from *The Rocks Sydney* / drawings by Unk White ; text by Olaf Ruhen various editions, first published 1966.

The subject property is in the middle ground.

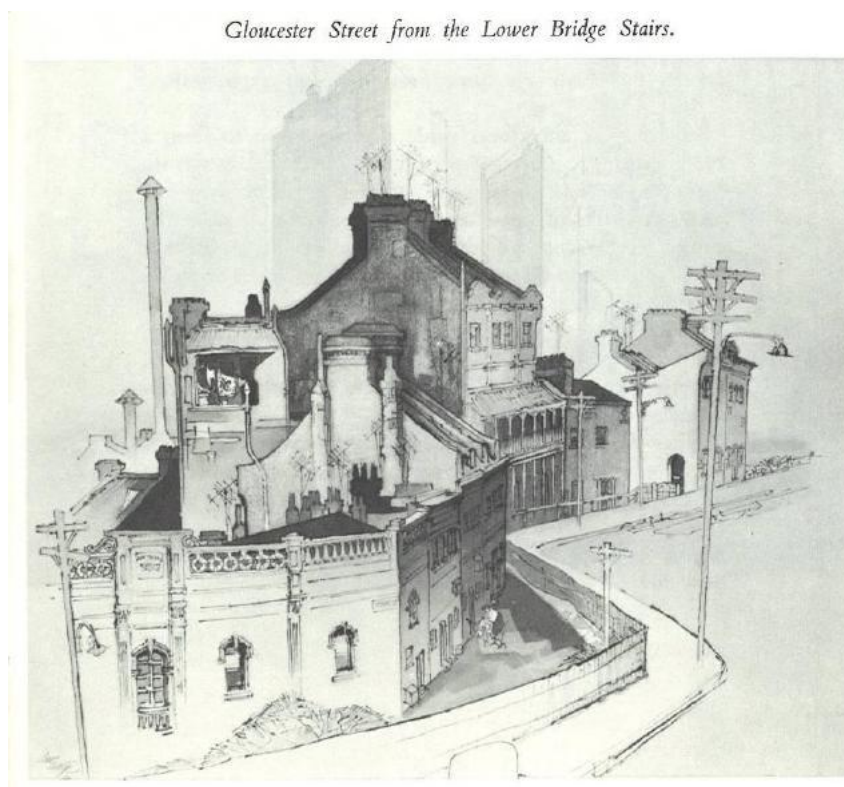


Figure 31

Detail showing of No. 42-56 Gloucester Street from a c.1970s photograph. (Source: SHFA)



Figure 32

Photograph of No. 42-56
Gloucester Street c.1970s.
(Source: SHFA)



Figure 33

A backyard view from the City
of Sydney archives thought to
be one of the subject terraces.
No date.
(COS_010263_backyard)



1.1.8 DEVELOPMENT OF BUILDING COMPONENTS

A study dated 1984, prepared by Philip Cox and Partners Pty Ltd⁹⁰ for SCRA outlined upgrading and “development” works to the building and site. The study also refers to a parcel land to the immediate north of the site which was considered to be part of the study and at the time contained two “derelict” cottages. In accordance with the planning strategies of the Sydney Cove Redevelopment Authority it was intended to demolish these cottages and use the land to form a link, “pocket park” between Gloucester and Cambridge Streets. The report included measured drawings of the terraces (Figures 38 &

⁹⁰ Philip Cox and Partners Pty Ltd, The Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), Introduction (no page numbers).

39). The subject building was described as being in fair condition structurally, however, the level of amenities and services were not in accordance with the Housing Commission guidelines of that time.

Externally, the condition of the building was generally noted as being “almost entirely original but for the removal of shutters and recent modifications to the eastern façade that necessitated the removal of balconies”. Generally “lean-to additions” and “iron fences” were also noted as “detracting” from the eastern façade. The condition of the eastern façade at this time was noted as being in “an advanced state of decay, in need of major upgrading” and in “need of substantial repair”. Detailed comments for the eastern (Cambridge Street) façade are summarised as follows:

- the entire terrace was littered with rusty redundant garbage chutes together with numerous service pipes;
- there was evidence of recent downpipe replacement to some of the cottages;
- the basement had a number of unsightly iron lean-tos;
- the roofing to the outside lavatories was rusty;
- the yards were too small to be usable;
- window and door frames were generally in need of replacement due to rotting timberwork from severe weathering and lack of maintenance;
- some dwellings had erected timber and wire cages to the second floor external terraces; and
- the addition of the bathrooms to the dwellings has resulted in the removal of the external balconies to the ground and first floors and associated doorways had been replaced by bathroom windows and timber panelling.

It was noted that the western façade had “recently” undergone repainting. The only apparent deterioration noted was on the external access way on the first floor. The walkway was described as a “concrete slab walkway on steel support beams spanning between brickwork buttresses”. Detailed comments for the western (Gloucester Street) façade included:

- cracking to the concrete walkway slab and some dislodging of the buttress brickwork caused by thermal movement of the steelwork on the external access way on the first floor;
- evidence of shutters being fixed to the windows on the second floor; and
- timberwork and iron railings had recently been repainted, however, some windows were deteriorated.

Figure 34

The rear of the property 1984 (from Cambridge Street). Note the use of the timber clothes lines on the top balcony and the dilapidated state of the garbage shutes.

(Source: Foreshore Authority Image 49763_CEM_31).



The report noted that the internal condition of the dwellings appeared good, with no evidence of “damp, spongy floors, unsound staircases or sagging ceilings”⁹¹ in the units inspected. There was some concern that the dwellings had no views or outlook. The condition of the interiors included in the report is described as follows:

- electrical and plumbing services were generally exposed or surface mounted;
- ceilings were corrugated metal with simple timber moulded corniced and in some rooms exposed beams support the walls above;
- remote controlled opening fanlights above the doorways had been painted over and rendered inoperable;
- the fireplaces appeared operational with some having quite handsome

⁹¹ Philip Cox and Partners Pty Ltd, The Edwardian Cottages 46-56 Gloucester Street The Rocks Sydney the Upgrading and Development of Existing Terraces for Residential Use (1984), Internal Condition (General) (no page numbers).

marble surrounds and mantels;

- floors, with the exception of the basement laundries, were timber;
- walls were plastered masonry and appeared in fair condition;
- the main living areas and the laundries on the basement floor did not enjoy a high level of light or ventilation, however, most other rooms have sufficient natural light and ventilation;

acoustic privacy between the cottages appeared adequate due to solid party walls. The metal and timber floors between the upper and lower maisonette flats also appeared to be the only acoustic separation.

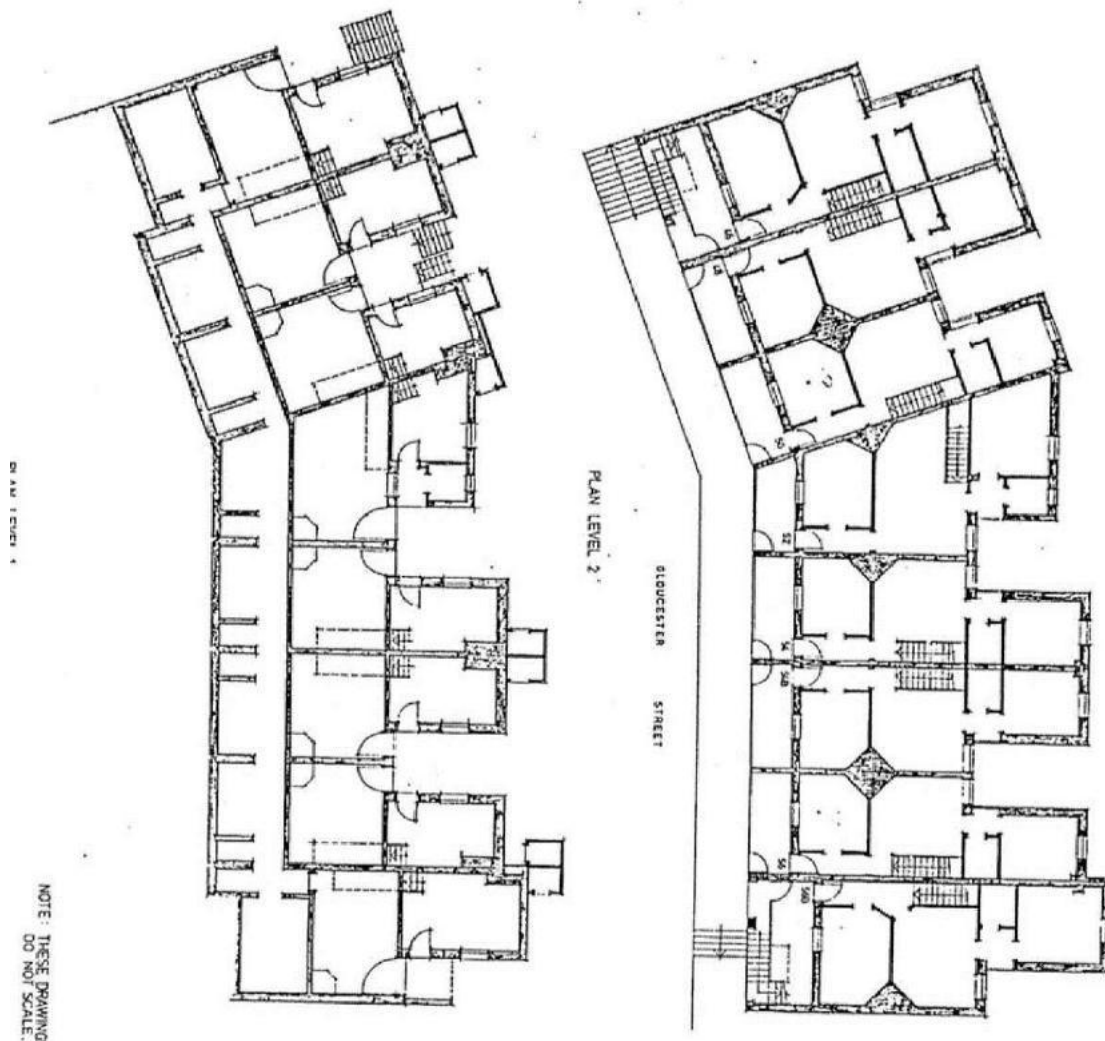


Figure 35

Basement and Ground Floor existing layout drawings prepared by Philip Cox and Partners Pty Ltd dated June 30th 1980. (Source: Foreshore Authority Library)

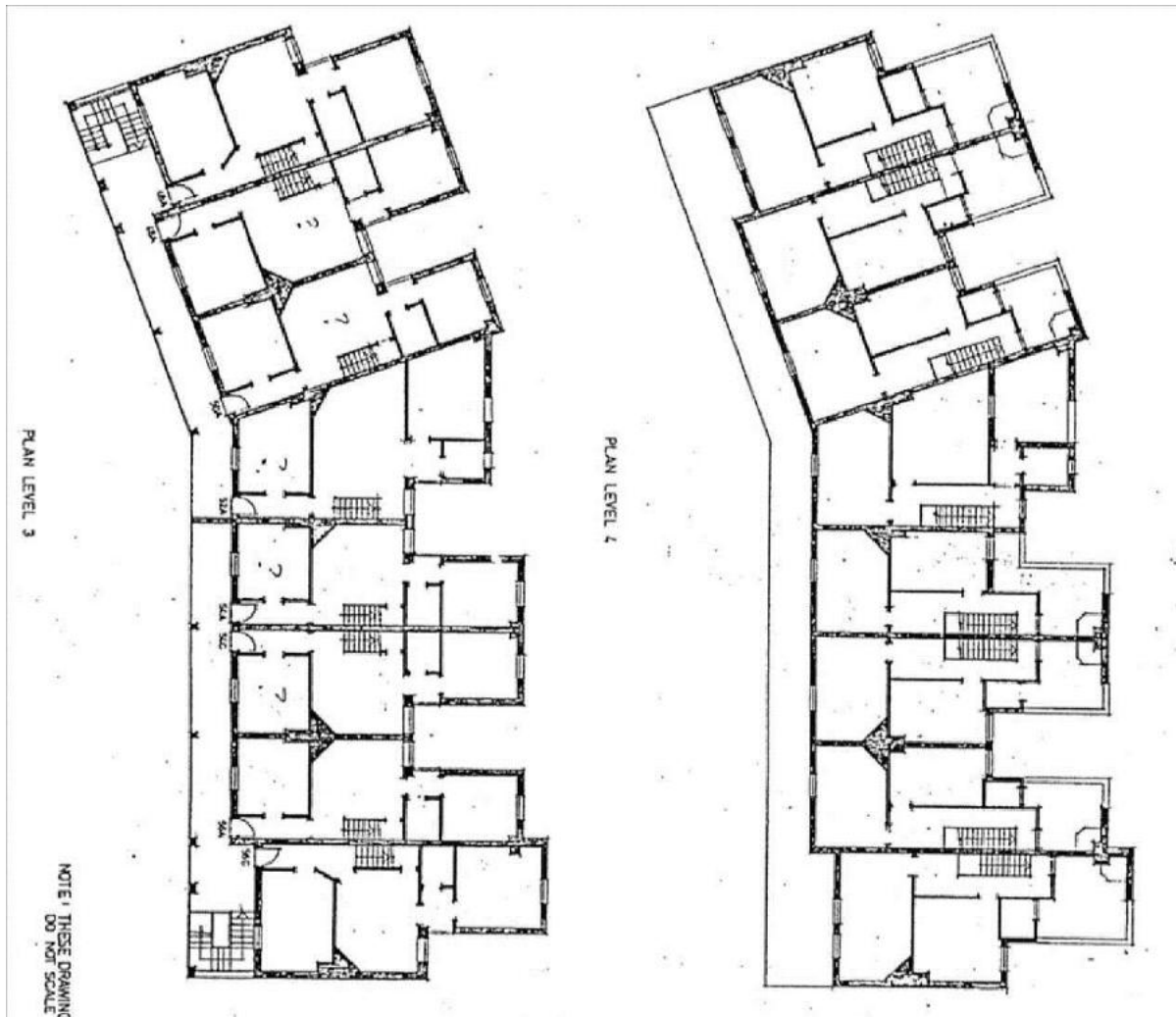


Figure 36

First & Second Floor existing layout drawings dated June 30th 1980. (Source: Foreshore Authority Library)

Figure 37

The rear of the property c.1980 (from Cambridge Street). Note that the vacant lot in the foreground is being used as a drying area.

(Source: Foreshore Authority Image 40329_SCRA_162).



It was recommended that the cottages be upgraded to provide accommodation compatible with current Housing Commission standards and that the present pattern of tenants, being Housing Commission or SCRA tenants, be maintained. The recommended works at that time concentrated on the improvement of the living conditions of the dwellings and included:

- closer relationship between the kitchen, living and dining areas and where possible provision of access to outside space;
- arrangement to address the spectacular view eastwards over Circular Quay wherever possible;
- removal of existing fireplaces, as they “encroach on valuable floor area”, however, in view of their high standard and appearance, possibly only an option on Ground and First Floor levels;
- the reintroduction of outside space on Ground and First Floor levels is desirable;
- the external lavatories on the basement level to be removed to increase usable outdoor space and allow the introduction of natural light and morning sunshine in the living area of the lower dwellings;
- the general improvement of lighting levels and ventilation;
- positioning of living areas on Ground and Second Floor Levels and the bedroom areas of the two cottages on the First Floor, to form a quiet buffer zone and achieve a greater level of acoustic privacy between the upper and lower cottages; and
- electrical, plumbing and sanitary installations upgraded to current codes.

The report included recommended floor plans and a site plan with terraced “pocket park” on the site to the immediate north of the site (No. 42-44 Gloucester Street) and stairs running along the northern wall of No. 46 Gloucester Street. It would appear that these works were not carried out, however, some of these principles were included in subsequent plans prepared by Philip Cox and Partners Pty Ltd for the Housing Commission.

1.1.9 THE HOUSING COMMISSION/DEPARTMENT OF HOUSING

In May 1984, discussions relating to the lease of the buildings were held between the Authority and the then Housing Commission. The proposal provided for a 53 year lease on a minimal rental. Discussion also covered the issue of rehousing some of the Authority’s tenants. Discussions and negotiations continued and it was proposed that the lease term would be extended to 99 years. There was some confusion relating to the rental and other issues between the Authority and Commission including the rehousing of

the Authority's tenants, so the agreement or lease was not finalised at this time, although the building was "handed over" for the Commission to administer in January 1985.⁹²

During 1985 there was further correspondence, but the terms of the occupation beyond year 53 remained unsettled. Whilst this continued the Commission proceeded with the preparation of plans for the refurbishment of the building.⁹³

Drawings prepared by Philip Cox and Partners for the Housing Commission of NSW dated September 1985⁹⁴, show the proposed works for Nos. 46-52a Gloucester Street only. The "Strip Out" plan⁹⁵ shows that at this time the basement level (lower dwellings) generally comprised of two separate areas divided by a solid wall (Figure 41). The eastern spaces appear to be kitchen spaces with fireplaces and sinks and stair connecting to the upper storey rising up the party walls. A single doorway opens to the rear yard and provides access to the western room which appears to be wash area with simple painted brick walls, "coppers", shower and bathroom space noted on the plans. Lavatories are shown attached to the eastern, external wall.

The Ground Floor (upper level of the lower dwellings) generally comprises entry hall, bedroom with splayed fireplace, living room and stair, bathroom and kitchen at the eastern end. The First Floor, (lower level of the upper cottages) features the same layout. The second floor (top level) comprises two bedrooms, one also with splayed fireplace, landing and stair and external space, three with coppers, accessing separate WCs and bathrooms.

⁹² Authority meeting No. 250 of 17th December, 1987 Director's Report No. 229/87 Item No. 9 SHFA File No. RE 0272.01.01.

⁹³ Authority meeting No. 250 of 17th December, 1987 Director's Report No. 229/87 Item No. 9 SHFA File No. RE 0272.01.01

⁹⁴ Provided by SHFA.

⁹⁵ Philip Cox and Partners Pty Ltd, 46-52a Gloucester Street The Rocks for the Department of Housing, dated Sept 85, Drawing No. 8353/A/001

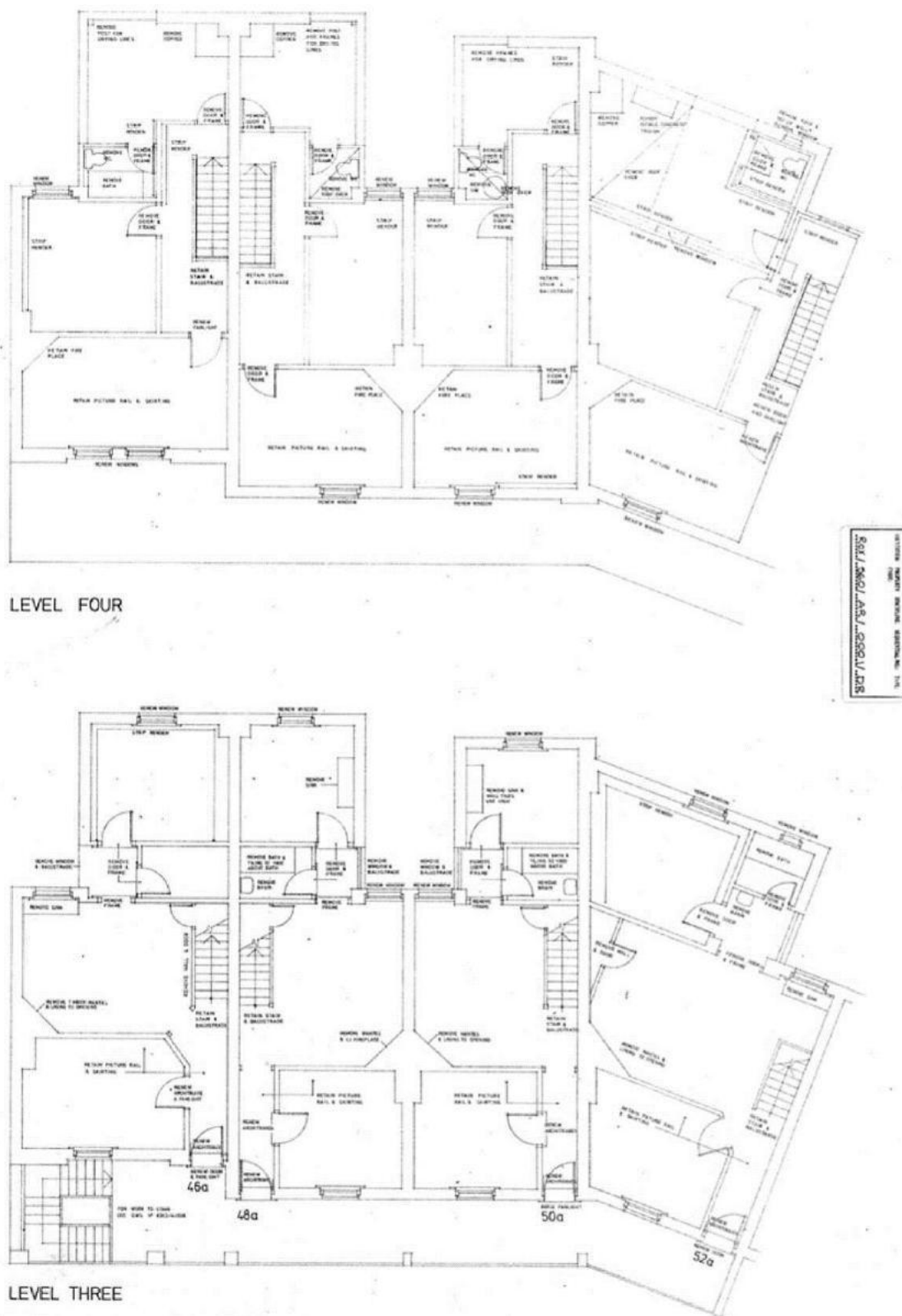


Figure 39

1985 "Strip Out" Plan of First and Second Floor Levels. (Source: Foreshore Authority Library)

The Philip Cox and Partners drawing shows that it was intended to alter the service areas at this time, with sink and coppers noted to be removed. Other “strip out” works included:

- removal of mantel and linings to lower ground floor;
- removal of some render (for repairs);
- removal of paint to brick walls (for render and paint finish);
- removal of bathrooms, WCs and baths; removal of the removal of door frame and in case of No. 52a window on the central landing adjacent to the bathroom spaces; and
- the “renewal” of door architraves and fanlights and windows.

With the exception of No. 52a, it was generally noted that the stairs and balustrades to each of the units were to be retained.

The plan entitled “new works” shows the proposed new bathroom, laundry and kitchen areas and opening up of the spaces to increase living and “outdoor” area. For example, the two distinct spaces on the ground floor of the lower cottages were joined by the opening up of the intermediate wall and eastern living area enlarged by the enclosure of part of the external, open passage. The relationship between bedroom and bathroom spaces and living and kitchen areas were altered in accordance with the 1984 report recommendations and as a result, the four central cottages, Nos. 48-50, were converted into two bedroom cottages.

There were some delays in obtaining development approval from the Authority due to conditions relating to the historic significance of the buildings. The proposed works were to be staged and Stage 1 of the Development Application was received by the Authority in November 1985 and approved with conditions in December of the same year. The conditions, from the Heritage and Conservation Branch of the Department of Environment and Planning, are summarised as follows:

- new work was to be kept in character with the existing;
- one typical lower dwellings and one typical upper dwelling in either Stage 1 or Stage 2 was required to be kept, also retention of all fireplaces, Wunderlich metal ceilings and block mounted electrical fittings;
- retention of timber ceiling corniced in all rooms except those with lowered ceilings;
- retention and reuse of existing four pane glass doors with new rebated double door sets to match; and
- rimlocks and handles to internal doors to be consistent with existing Edwardian furniture.

The Department of Housing objected to many of the conditions of approval and continued discussions with the Heritage Council and Authority. Looking at the buildings today, it would appear that these works were not carried out. Discussions relating to the lease of the buildings continued and in December 1987, it was recommended that, subject to the approval of the Minister, the Authority advise the now Department of Housing that it would be prepared to lease the terrace buildings at Nos. 46-56 Gloucester Street to the Department for a term at 99 years at a minimal rental, subject to the Department accepting a commitment to rehouse SCRA remaining tenants.⁹⁶

In November 1988 Sydney Cove Redevelopment Authority formally leased all of the units to the New South Wales Land and Housing Corporation for a term of 99 years, ending in November 2087.⁹⁷ Under the terms of the lease, the lessee would:

- not permit any person to make any alteration or addition to the structure or exterior of the premises or interior without prior written consent;
- repair and maintain, amend, replace and renew and keep the premises in good condition; and
- permit the lessor to periodically inspect and request works to be undertaken.

1.1.10 1980S REFURBISHMENT AND RESTORATION WORKS

In the same year the Urban Renewal Group of the Department of Housing prepared a Development Application (DA) for the refurbishment of the premises to provide one 3 bedroom apartment and fifteen 2 bedroom apartments. The DA (No. 88/DA/29) was approved by the Sydney Cove Authority in May 1988.⁹⁸

The drawings, (Figures 43 & 44) show the proposed layout of the units and concern for the retention of the earlier form and spatial quality. The basement floor generally comprised of kitchen, dining, laundry and storage spaces. An improved relationship between the new kitchen and dining spaces and external yard was achieved by the provision of a wide opening in the dividing wall between the formerly separate east and western rooms and new “full height windows to kitchens”, drawn as two leaf doors (French doors). The external lavatories are noted as a “store” and mechanical vent is shown over the kitchen spaces.

⁹⁶ Authority meeting No. 250 of 17th December, 1987 Director's Report No. 229/87 Item No. 9 SHFA File No. RE 0272.01.01

⁹⁷ Lease, SHFA File RE 0272.01.01.

⁹⁸ Letter from Sydney Cove Authority to Urban Renewal Group Department of Housing, dated 2 June 1988 (SHFA File RE 0272.01.01) and stamped drawings, 10415/1/1 Sheet Nos. 1- 3 (SHFA).

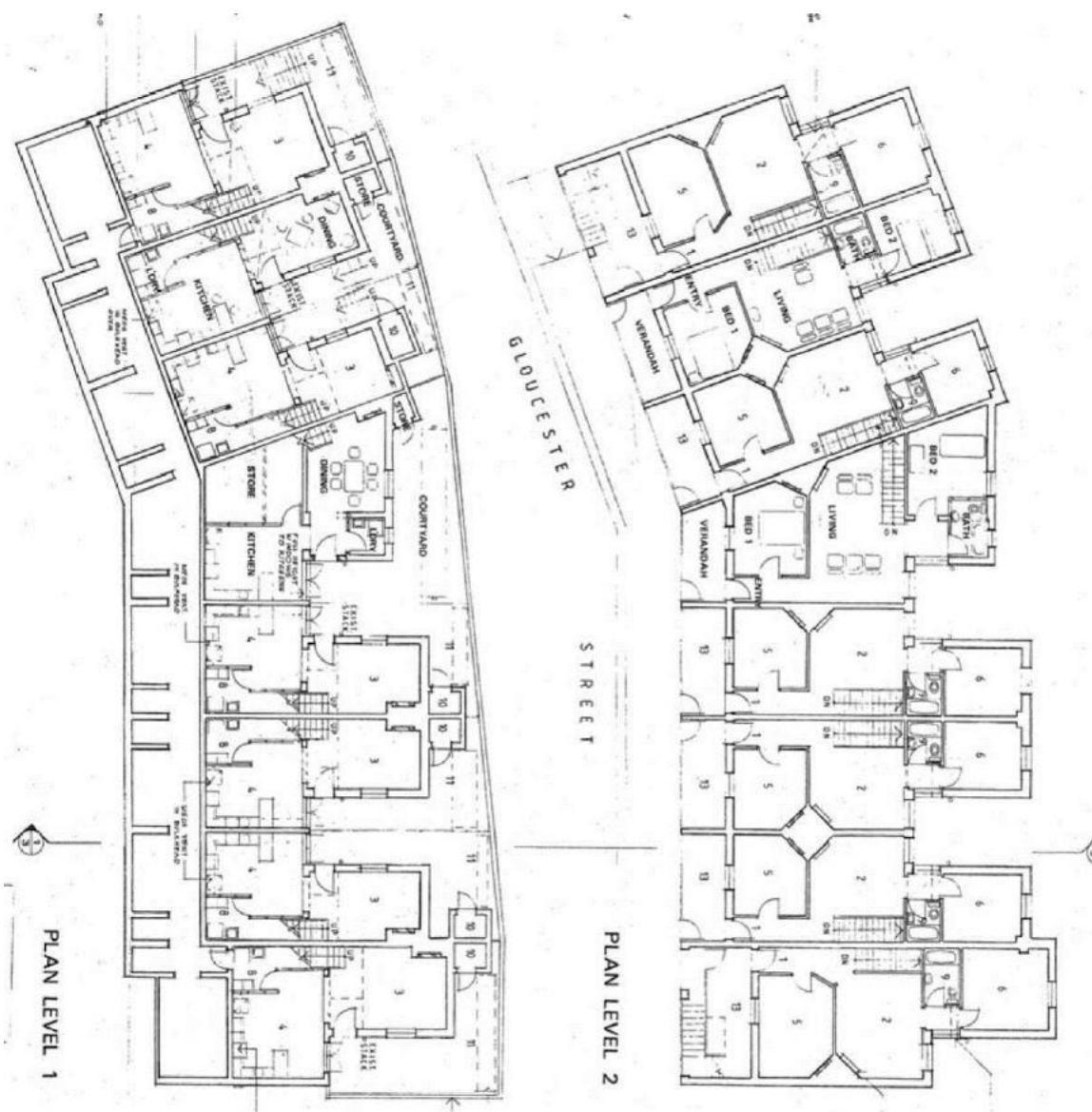


Figure 40

1988 Plan of Basement and Ground Floor levels. (Source: Foreshore Authority Library)

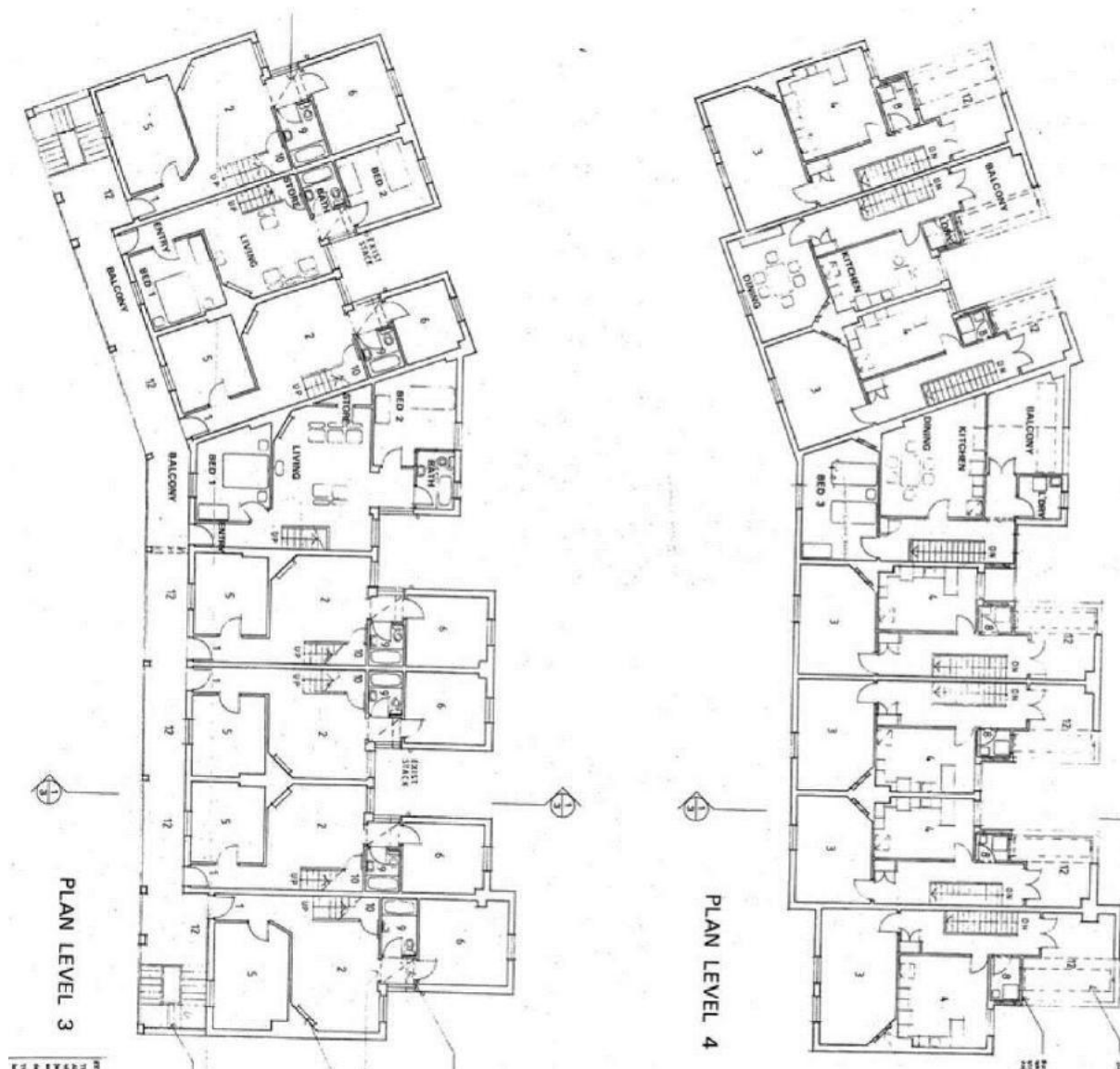


Figure 41

1988 Plan of First and Second Floor levels. (Source: Foreshore Authority Library).

Ground and first floors, comprise entry from Gloucester Street, hall, two bedrooms, living room with splayed fireplace and breast and stair and compact bathrooms. Brick infill is shown to the other fireplaces. The second floor generally features kitchen, small laundry and open terrace with clothes line. No. 52a however features combined kitchen and dining room and a third bedroom.

The scope of works was described as “the rehabilitation of a four storey block of terrace dwellings with associated alterations. The work included the restoration of the street facades, provision of new services, landscaping, fencing and

paving”.⁹⁹

The proposed external works are summarised as follows:

- Roof; removal and replacement of roof cladding. All flashing, capping, fascias, eaves linings, gutters and downpipes to be replaced. Verandah roof to be removed and replaced. Rainwater heads at front to be removed and replaced, downpipes at upper levels at front to be provided with spreaders. Downpipes at front lower levels to be connected directly to gutters. Rainwater heads at lower levels at front to be removed. Roofs at rear over outhouses to be removed and replaced. All flashings, fascias, eaves linings, downpipes and gutters to be removed and replaced;
- External Joinery: provide new windows to match existing to lower level kitchens. Provide new doorway to match existing in lower level dining room of corner, unit No. 52. Existing door to kitchen of No. 52 to be made good and re-used. General repairs to be made to all other external joinery including windows and doors;
- External Paving: all courtyards and stairs to be paved with brickwork. Provide stormwater drainage and timber dividing fences to future details. Provision of clothes lines and brickwork boundary fence;
- External Services: all plumbing, vent pipes, hot and cold water lines to be removed and replaced and amended;
- External Steelwork: steelwork to front verandah and stairs to be generally repaired;
- Painting: removal of paint on brickwork. Painting of all timberwork, metalwork including gutters and downpipes, steelwork and roughcast render to be painted in existing colours;
- External walls: a new skin of brickwork was to be provided in laundries of Nos. 46A, 48A, 50A, 52A, 54A, 54C, 56A and 56C as indicated on plans. All studwork walls to the rear of upper level units to be stripped and re-clad with weatherboard. New French doors and windows to match existing to be provided to upper level units at rear; and
- Waterproofing: provision of waterproof membrane to all upper level terraces at rear of units Nos. 46A, 48A, 50A, 52A, 54A, 54C, 56A and 56C.

Internal works comprised:

- Floors: general repairs to all tongue and grooved timber floors and

⁹⁹ Scope of Works, RE 02072.01.01.

provision of new reinforced concrete floors to lower ground kitchens, dining rooms and laundries. New compressed fibrous cement floors to be provided to all wet areas in the upper levels;

- Ceilings: false ceilings to be provided to bathrooms and associated hallway;
- Steel beams: provision of fire rating to steel beams at lower ground floor ceilings (in accordance with Ordinance 70);
- Fire Rated Ceilings: fire rated ceilings to be provide to ground floor units separating the lower and upper level units (in accordance with Ordinance 70);
- Walls: new fibrous cement or plasterboard lined timber framed walls to be provided where indicated on plans. Openings in existing brickwork to be provided where indicated and surrounding walls to be made good. Fireplaces to be reinstated in living rooms only, others to be removed and surrounding walls made good;
- Internal Joinery: general repairs to be made to all internal joinery including architraves, fireplace surrounds, doors and timber stairs;
- Kitchen cabinets and bathroom fittings: to be provided as indicated on plans. Laundries to be provided with single bowl tub and provide for dryer. All existing WC pans to be removed and floor to be made good; and
- internal Services: provision of mechanical ventilations to all lower level laundries and to all bathrooms. All plumbing and electrical systems to be renewed.

1.1.11 2010-2011 CONSERVATION WORKS

- A program of extensive maintenance and repairs was commissioned by Housing NSW in 2009. Drawings were initially prepared by Clive Lucas Stapleton and Partners Pty Ltd (CLSP). In 2010 NSW Public Works was commissioned to manage implementation of the external works. The initial brief was extended and Public Works undertook implementation of both internal and external works to the building and preparation of a full set of measured drawings.

Internal works carried out during 2011 included:

- lead paint stripping from windows and badly deteriorated wall and ceiling surfaces
- repair of physical damage/deterioration of wall fabric;

- repair/replacement of termite and borer damaged structural and joinery timber including floor joists, stair stringers, lining boards and trim;
- patch repair or replacement of damaged Kauri floor boards;
- reinstatement of polished timber floors with Tung oil floor finish generally
- carpet finish to First Floor rooms generally and rear rooms on Ground Floor
- treatment of all exposed existing and new timber elements with Boracol;
- lowering of soil levels under timber framed floors in rear Basement Level rooms, where possible;
- installation of copper caps under timber bearing points;
- installation of mechanical sub-floor ventilation in the basement void space;
- installation of a master aerial TV (free-to-air) system and centralised Foxtel satellite dish and cabling system , with main control gear amplifiers located in the Basement Level void space;
- installation of new telephone MDF in the Basement Level void space;
- installation of new aerial, telephone and data cabling and outlet points throughout building;
- provision of additional power outlets throughout building;
- stripping out of kitchens, laundries and bathrooms;
- installation of waterproof membranes to laundries and bathrooms;
- provision of mechanical exhaust system to bathrooms;
- provision of new kitchen, bathroom and laundry fitouts;
- provision of power to the upper unit laundries;
- repair of top lights to external and internal doors including reinstatement of fan light operators;
- identification of paint colours over life of the building and suggestions for internal colour schemes;
- Internal painting;

External works included:

- Re-roofing in corrugated, galvanised steel with installation of foil-backed fibreglass blanket insulation;
- Installation of new rainwater heads designed by CLSP;

- Installation of new zinc box and eaves gutters and downpipes to upper levels including redirection of downpipes off Second Floor decks;
- Repair and installation of cast iron downpipes;
- Reconnection of downpipes to in-ground stormwater system;
- Chimney repairs and reinforcement including replacement of missing chimney pots;
- Repair of sandstone blocks on west elevation;
- Repair of concrete verandah slab at northern stair;
- Repair and reinstatement of cast iron / wrought iron external staircases including balustrades, and supporting steel beams;
- Repair or replacement as necessary of corroding cast iron window lintels;
- Repair or replacement as necessary of timber window sills;
- Repair of cracked brick verandah piers;
- Repair/rebuild external Second Floor decks including waterproofing, and tiling;
- Install new clothes lines to Second Floor decks;
- Repair and re-pointing of external brick walls;
- Interpretative reinstatement of two garbage chutes in their original configuration;
- Identification of external paint colours used over life of the building;
- Painting of all previously painted elements of the building to an authentic historic colour scheme;

The NSWLHC continues to lease and maintain the place.

Appendix B

2010–11 Conservation Works: extract from Knaggs M and Kanellaki Lowe C, *46–56 Gloucester Street The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (pp 94–96)



1 WEST ELEVATION
GLOUCESTER STREET



46-56 GLOUCESTER STREET THE ROCKS

CONSERVATION MANAGEMENT PLAN REVIEW

Prepared for the Sydney Harbour Foreshore Authority

Report No. 11052

July 2012



Planning & Infrastructure
Sydney Harbour Foreshore Authority

1.1.1 2010-2011 CONSERVATION WORKS

- A program of extensive maintenance and repairs was commissioned by Housing NSW in 2009. Drawings were initially prepared by Clive Lucas Stapleton and Partners Pty Ltd (CLSP). In 2010 NSW Public Works was commissioned to manage implementation of the external works. The initial brief was extended and Public Works undertook implementation of both internal and external works to the building and preparation of a full set of measured drawings.

Internal works carried out during 2011 included:

- lead paint stripping from windows and badly deteriorated wall and ceiling surfaces
- repair of physical damage/deterioration of wall fabric;
- repair/replacement of termite and borer damaged structural and joinery timber including floor joists, stair stringers, lining boards and trim;
- patch repair or replacement of damaged Kauri floor boards;
- reinstatement of polished timber floors with Tung oil floor finish generally
- carpet finish to First Floor rooms generally and rear rooms on Ground Floor
- treatment of all exposed existing and new timber elements with Boracol;
- lowering of soil levels under timber framed floors in rear Basement Level rooms, where possible;
- installation of copper caps under timber bearing points;
- installation of mechanical sub-floor ventilation in the basement void space;
- installation of a master aerial TV (free-to-air) system and centralised Foxtel satellite dish and cabling system , with main control gear amplifiers located in the Basement Level void space;
- installation of new telephone MDF in the Basement Level void space;
- installation of new aerial, telephone and data cabling and outlet points throughout building;

- provision of additional power outlets throughout building;
- stripping out of kitchens, laundries and bathrooms;
- installation of waterproof membranes to laundries and bathrooms;
- provision of mechanical exhaust system to bathrooms;
- provision of new kitchen, bathroom and laundry fitouts;
- provision of power to the upper unit laundries;
- repair of top lights to external and internal doors including reinstatement of fan light operators;
- identification of paint colours over life of the building and suggestions for internal colour schemes;
- Internal painting;

External works included:

- Re-roofing in corrugated, galvanised steel with installation of foil-backed fibreglass blanket insulation;
- Installation of new rainwater heads designed by CLSP;
- Installation of new zinc box and eaves gutters and downpipes to upper levels including redirection of downpipes off Second Floor decks;
- Repair and installation of cast iron downpipes;
- Reconnection of downpipes to in-ground stormwater system;
- Chimney repairs and reinforcement including replacement of missing chimney pots;
- Repair of sandstone blocks on west elevation;
- Repair of concrete verandah slab at northern stair;
- Repair and reinstatement of cast iron / wrought iron external staircases including balustrades, and supporting steel beams;
- Repair or replacement as necessary of corroding cast iron window lintels;
- Repair or replacement as necessary of timber window sills;
- Repair of cracked brick verandah piers;
- Repair/rebuild external Second Floor decks including waterproofing, and tiling;
- Install new clothes lines to Second Floor decks;
- Repair and re-pointing of external brick walls;
- Interpretative reinstatement of two garbage chutes in their original

configuration;

- Identification of external paint colours used over life of the building;
- Painting of all previously painted elements of the building to an authentic historic colour scheme;

The NSWLHC continues to lease and maintain the place.

1.2 OUTLINE CHRONOLOGY

By 1863	A number of buildings had been constructed on the site, including five single-storey structures and a two-storey structure (probably Tyrone House).
1901	The entire site was resumed and vested with the Minister for Public Works and demolition followed.
1902	The last of the earlier buildings on the site was demolished.
1908	Realignment of Gloucester Street.
Between 1908 and 1912	Current building (46-56 Gloucester Street) was constructed. Most likely 1909/10.
1912 - 1924	Buildings administered by Housing Board.
1924 - 1970	Buildings administered by Sydney Harbour Trust.
1970	Buildings placed under the management of Sydney Cove Redevelopment Authority.
c1970s	Bathroom facilities added, resulting in the removal of eastern balconies to First & Second Floors.
By 1984	Shutters had been removed. A number of iron lean-tos had been added in the eastern, rear yard areas and iron fences.
1985	Sydney Cove Redevelopment Authority 'handed over' the building to the Housing Commission, while negotiations continued on the terms of a 53 year lease. Drawings were prepared by Philip Cox and Partners for the Housing Commission of NSW, dated September 1985. The works were approved with conditions in December 1985, though it appears that the works were not ever carried out.
1988	Sydney Cove Redevelopment Authority leased the building to the New South Wales Land and Housing Corporation for a term of 99 years, ending in 2087.
1988	The Urban Renewal Group of the Department of Housing prepared a DA for the refurbishment of the building including restoration of the street facades, provision of new services, landscaping, fencing and paving. The works were to provide one 3 bedroom apartment and fifteen 2 bedroom apartments.
1997	Sydney Cove Redevelopment Authority became the registered proprietors of the land.
2009	Drawings were prepared by Clive Lucas Stapleton and Partners Pty Ltd, on behalf of the NSWLHC, for 'catch-up' maintenance and conservation works to the building.
2010-2011	Heritage Branch of the Government Architect's Office undertook the management of the implementation of works.

Appendix C

Inventory Sheet 91 (46–56 Gloucester Street The Rocks): extract from Higginbotham, E, Kass, T and Walker, M, *The Rocks and Millers Point Archaeological Survey*, prepared for Sydney Cove Authority and the Department of Planning, 1991, Volume 2 : Inventory

The Rocks and Millers Point Archaeological Management Plan.

Inventory page 287

<p>Location details.</p> <p>Inventory 91</p> <p>Land category Allotment of land.</p> <p>Section</p> <p>Allotment</p> <p>Title PL 3223-3000.</p> <p>Street no 40-50b.</p> <p>Location Gloucester Street.</p> <p>Suburb The Rocks.</p> <p>Name</p>	<p>Historic sequence of development.</p> <p>Buildings by</p> <p>Historical notes</p> <p>References</p>
<p>Above ground archaeological remains.</p> <p>Site category</p> <p>Original use Sydney Harbour Trust terraced housing.</p> <p>Description 1917.</p> <p>Sydney Harbour Trust terraced housing.</p> <p>References SCA, Building Data Sheets.</p>	<p>Management plan.</p> <p>Recommendations</p> <p>Above ground archaeological remains. An archaeological watching brief or monitoring programme is recommended.</p> <p>Below ground archaeological remains. An archaeological watching brief or monitoring programme is recommended.</p> <p>Refer to the 'Basemap', to locate any site included in this inventory. This plan is included in the Archaeological Management Plan, Volume 1.</p> <p>A recommendation for an archaeological watching brief or monitoring programme is made for all streets not included in the inventory.</p> <p>Refer to the Archaeological Management Plan, Volume 1, for:</p> <ol style="list-style-type: none"> 1. Legal obligations for the protection of archaeological resources (Chapter 6). 2. Circumstances in which archaeological investigations are required (Chapter 7). 3. The types of archaeological investigations and the procedures associated with them (Chapter 8). 4. Permits and other approvals (Chapter 9). <p>The Archaeological Management Plan does not affect, or remove any obligations or requirements that apply by way of legislation to The Rocks and Millers Point.</p>
<p>Below ground archaeological remains.</p> <p>Assessment of condition Mostly disturbed.</p> <p>Basis for assessment Recently restored.</p> <p>terraced into hillside.</p>	
<p>Archaeological investigations.</p> <p>Type of investigation</p> <p>References</p>	

Appendix D

46–56 Gloucester Street, The Rocks: SHR and S170 Register Inventory Sheets

- State Heritage Register record
- State Heritage Register curtilage map
- Department of Housing s170 Register record
- The Rocks Conservation Area



[Home](#) > [Heritage](#) > Search for heritage

Terraces

Item details

Name of item: Terraces
Other name/s: Edwardian Cottages
Type of item: Built
Group/Collection: Residential buildings (private)
Category: Terrace
Location: Lat: -33.8597713726 Long: 151.2073921420
Primary address: 46-56 Gloucester Street, The Rocks, NSW 2000
Parish: St Philip
County: Cumberland
Local govt. area: Sydney
Local Aboriginal Land Council: Metropolitan

Property description

Lot/Volume Code	Lot/Volume Number	Section Number	Plan/Folio Code	Plan/Folio Number
LOT	1		DP	740303

Eora

Boundary:

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
46-56 Gloucester Street	The Rocks	Sydney	St Philip	Cumberland	Primary Address

Owner/s

Organisation Name	Owner Category	Date Ownership Updated
Sydney Harbour Foreshore Authority	State Government	

Statement of significance:

Nos. 46-56 Gloucester Street are of State heritage significance for their historic and scientific cultural values. The site and buildings are also of State heritage significance for their contribution to The Rocks area which is of State heritage significance in its own right.

The Terraces at Nos. 46-56 Gloucester Street are historically significant as part of the major public works undertaken following the urban clearances in The Rocks. The buildings are good and largely intact early examples of public housing constructed in the first decade of the 20th century probably by the NSW Government Architect's Branch and demonstrate a concern for reasonable building and health standards in the construction and provision of housing to The Rocks residents.

The Terraces at Nos. 46-56 Gloucester Street are of historical and social significance due to the association with a number of government bodies including the Sydney Cove Redevelopment Authority, Department of Housing their predecessors and their various tenants, who have administered, maintained and occupied the building from its construction.

Nos. 46-56 Gloucester Street are technically and aesthetically significant in providing an innovative response to provision of housing on a sloping site, incorporating two storey duplexes that fit into the stepped topography. The stacking of the two storey dwellings also demonstrates a design philosophy and requirement to provide ample public housing and the Government Architects Branch reference to overseas prototypes and models.

The Terraces significantly form part of a row of terraces (Nos. 26-72 with the exception of the No. 42-44, c.1985) that demonstrate the evolution of terrace houses in Australia and are highly visible and make an active contribution to the Gloucester and Cambridge Streets streetscape.

The fabric and form of the building is representative of and demonstrates welfare and living standards and evolving construction techniques and materials of the early 20th century. They are a rare example of an early 20th century public housing scheme designed by the NSW Government Architects Branch constructed in The Rocks that also incorporates two storey units. (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

Date significance updated: 26 Jun 02

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Construction years: 1914-1914

Physical description: The terrace, referred to as The Edwardian Cottages, at 46-56 Gloucester Street, The Rocks is a group of 16 duplex style three bedroom units arranged in eight terraces on four levels. The principal (or western) frontage is to Gloucester Street and there is a further frontage to Cambridge Street to the east. The terrace gently curves with the street. Style: Edwardian terrace; Storeys: 4; Facade: Brick; Floor Frame: Timber; Ceilings: Metal

Physical condition and/or Archaeological potential: Archaeology Notes: 1917. Sydney harbour Trust terraced housing (See also: AM002; AM030; AM042; AM056; AM064; AM071-072; AM083-084; AM119-121; AM123-124; AM137).

Archaeology Assessment Condition: Mostly disturbed. Assessment Basis: Recently restored. Terraced into hill slope.

Date condition updated: 03 May 01

Current use: Residences

Former use: Residences

History

Historical notes: The site now occupied by the Terraces was part of Section 76 of the Parish of St Philip and appears to have been granted and claimed by at least four parties during the 1830s. The northern most portion, Allotment 4, was claimed

by G. Gibbs (date unknown). The adjacent lot, Allotment 3 was granted William Long in June 1839. Allotment 2 was granted to Jane Farrell in May 1836 and Allotment 11, the southern most portion, was granted to Mary Lupton in April 1839.

Primary Applications relating to part of Allotments 2 and 3 shows that the sites were both conveyed in the 1860s and consolidated by William and John Smith, Customs House Agents, during the 1870s.

The 1865 Trigonometrical Survey of Sydney indicates that part of this land had been developed by this time. A number of buildings are shown in the middle and northern sections of the site which also appears to be broken up into small allotments facing Cambridge St. The southern portion is vacant. The four terraces, now known as Susannah Place are also shown, numbered Nos. 64-70.

A plan of Lot 11, which also shows Lot 2 and part of Lot 3 dated 1863 notes that W Smith was the owner and occupier of an L shaped structure on Lot 2. W Smith is also noted as the owner of the adjacent property to the north, occupied by Burne. In the same year John Stone Lord purchased a rectangular shaped parcel of land, part of Lot 11, extending between Cambridge and Gloucester Sts, with just over 22 feet frontage to each. The parcel of land illustrated on the title, and southern most section of the subject site, is occupied by a rectangular structure constructed to the party wall of what is now known as Susannah Place. A note on the drawing indicates that Mrs Riley owned/ occupied the site to the immediate south and W Smith the land to the immediate north. The title shows that this parcel was transferred again in 1876 and 1893.

In May 1873, the northern part of Lot 11 was purchased by John Bros and George Wall, also Customs House Agents, from William Smith. The L shaped parcel featured just over 22 feet frontage to Cambridge St and just over 52 feet frontage to Gloucester St and wrapped around land and buildings owned by William Smith. This land was subsequently transferred to John Smith in 1890.

The building outlines are also clear on the c.1880 Percy H Dove map of the area and highlights the fact that the earlier buildings on the site faced Cambridge St and the harbour. Two single storey structures are shown on the northern portion of the site. The structures are set back from the Cambridge St boundary with smaller structures and yard area behind in the western portion of the allotments, fronting Gloucester St. A two storey structure is shown on the middle section of the site with shed, yard and what is assumed privy behind, extending to the Gloucester St boundary. A passage separates the building from an L shaped, single storey structure constructed to the Cambridge St boundary with yard extending to the Gloucester St frontage. The adjacent allotment also features a smaller structure abutting the L shaped between and open area noted as garden. The four terraces (Susannah Place) to the immediate south of the site are also shown, numbered Nos. 38-44. The southern allotment, adjacent to these terraces is now labelled vacant land.

A Sydney Water survey plan dated 1887 amended in 1895 shows the land occupied by several substantial buildings, all appearing to face Cambridge St. The northern portion of the site is occupied by a large stone, L shaped structure with two small brick outbuildings, one constructed to the Cambridge St boundary line. A regular shaped stone building is also shown in the next allotment to the south, however, this has been struck out, possibly indicating that it had been demolished by the time the plan was amended in 1895. Another L shaped, brick and stone building noted as Tyrone Cottage occupies the adjacent lot. The building which was present on the earlier plans clearly faces Cambridge St with open land around. The southern most portion of the site, adjacent to Susannah Place, is shown vacant at this time. The plan also indicates that the street numbering altered to the present numbers, in the period

between 1887 and 1895.

The various parcels of land that make up the subject site continued to be transferred and sold. Purchasers predominantly worked in the area. In December 1896 John Smith and James Augustus Adrian, both Customs House Agents, acquired part of Allotment 3. At the same time, John Smith also acquired part of Allotment 2. In July 1897 Smith also purchased part of Allotment 2 with over 29 feet frontage to Cambridge St. In the same year Smith and Adrian consolidated all of Allotment 3 granted to William Long on 22 June 1839 and part of Allotment 2 originally granted to Jane Farrell in May 1836. The site featured just over 19 feet frontage to Gloucester St and nearly 29 feet frontage to Cambridge St.

In 1901 the entire site was resumed and vested with the Minister for Public Works. The cleansing operations in the area included the photographing and recording of buildings to be demolished. A set of photographs, dated 1901 show buildings occupying the site at this time, including Tyrone Cottage. A photograph looking south west along Cambridge St shows the building that occupied the northern section of the site at this time. Elevated high above Cambridge St, it was a simple, gable roofed structure. The small brick building constructed on the street alignment is also visible. Tyrone Cottage is also visible with its steeply pitched gable roof and dormers on the east facing roof slope. Another photograph also dated 1901 looking north along Gloucester St, shows the building occupying the north western section of the site at this time. It is clear that the early buildings on the site faced Cambridge St and possibly the Harbour and not Gloucester St. The buildings to the north of the site further along Gloucester St and the early street level are also visible.

It would appear that demolition of the buildings followed, probably overseen by the Government Architect's Branch. All buildings constructed before the introduction of building regulations requiring fire separation in 1838, were demolished in the Gloucester St area. Substantial buildings such as Susannah Place (1844) which were constructed with party walls were retained.

The 1908 plan of proposed workers housing projects includes the subject site on the eastern side of Gloucester St. The site continued to feature frontage to Cambridge St, by this time reduced to a 12 feet wide footway. Possibly in preparation of the proposed works, the level of Gloucester St around the site and Susannah Place was raised. The pavement and road were at a similar level until c. 1910, from which time Cumberland and Gloucester Sts were realigned.

No early plans of the building or site could be located, however, the Sands Directory indicates that the last of the earlier buildings occupying the site was demolished around 1902 and current buildings constructed between 1902 and 1911. In 1902 a Mrs Bridget Tate is listed in the Sands Directory occupying No. 46 Gloucester St. In the following years there is no listing between No. 44 and No. 58 Gloucester St. Nos. 46-56 Gloucester St are first listed in the Sands, with sixteen occupants, in 1912.

The Federation terrace taste for unrendered or face brickwork prompted important developments in building practices and technological developments in the manufacture of building elements. The concerns of the Housing Board, in addition to a general concern about increased durability of materials and ease of construction, may have influenced the design and construction of these buildings. Bricks at this time were generally dry pressed and fired at higher temperatures and therefore harder and more durable, which made sense for this type of public housing. Of greater importance, however, was the adoption of double skin brickwork, which was an innovation of this time. The general concern and requirement for improved and low maintenance materials is emphasised here with the incorporation of more durable elements such as the steel

framed stair, wrought iron balustrades and concrete slab to the upper landing in preference to timber detailing typical of this period.

The Housing Board, established in 1912, probably took control of the buildings until 1924 when it was disbanded. From this time the Sydney Harbour Trust administered the sites and buildings resumed. It is not clear if any works were carried out during this period. In the 1930s the Maritime Service Board took over management of the area.

In 1970 the Sydney Cove Redevelopment (SCRA) became the landlords. A report prepared for the Sydney Cove Redevelopment Authority dated January 1984 noted that all 16 cottages were occupied at this time. Six of the sixteen were occupied by Housing Commission tenants.

It was the policy of the SCRA to provide low cost housing within The Rocks to both those eligible for Housing Commission housing or previous SCRA tenants who had been relocated. At this time it was intended to retain the existing fabric and maintain current Housing Commission standards in terms of amenity and accommodation. A study dated 1984, prepared by Philip Cox and Partners Pty Ltd for SCRA outlined upgrading and development works to the building and site. The study also refers to a parcel land to the immediate north of the site which was considered to be part of the study and at the time contained two derelict cottages. In accordance with the planning strategies of the Sydney Cove Redevelopment Authority it was intended to demolish these cottages and use the land to form a link, pocket park between Gloucester and Cambridge Sts. The report included measured drawings of the terraces. The subject building was described as being in fair condition structurally, however, the level of amenities and services were not in accordance with the Housing Commission guidelines of that time.

In May 1984, discussions relating to the lease of the buildings were held between the Authority and the then Housing Commission. The proposal provided for a 53 year lease on a minimal rental. Discussions and negotiations continued and it was proposed that the lease term would be extended to 99 years. There was some confusion relating to the rental and other issues between the Authority and Commission including the rehousing of the Authority's tenants, so the agreement or lease was not finalised at this time, although the building was handed over for the Commission to administer in January 1985.

During 1985 there was further correspondence, but the terms of the occupation beyond year 53 remained unsettled. Whilst this continued the Commission proceeded with the preparation of plans for the refurbishment of the building. In November 1988 Sydney Cove Redevelopment Authority formally leased all of the units to the New South Wales Land and Housing Corporation for a term of 99 years, ending in November 2087. (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
3. Economy- Developing local, regional and national economies	Agriculture-Activities relating to the cultivation and rearing of plant and animal species, usually for commercial purposes, can include aquaculture	(none)-
4. Settlement- Building settlements, towns and cities	Accommodation-Activities associated with the provision of accommodation, and particular types of accommodation – does not include architectural styles – use the theme of Creative Endeavour for such activities.	(none)-

Assessment of significance

SHR Criteria a)

[Historical significance]

The irregular shape of the site is significant as it represents the early, 'organic' growth of the area and realignment of the street following cleansing operations and attempt to rationalise the natural landform of the area in the first decade of the 20th century.

The Terraces at Nos. 46-56 Gloucester Street are historically significant as part of the major public works undertaken following the urban clearances in The Rocks. The buildings are good and intact early examples of public housing constructed in the first decade of the 20th century probably by the NSW Government Architect's Branch and demonstrate a concern for reasonable building and health standards in the construction and provision of housing of The Rocks residents.

The construction of the terraces is in part a result of a social and civic concern for the population of local residents and workers displaced by the urban clearances and demolitions. The terraces significantly retain their original form and spatial configuration and have continuously been used for public housing since their construction.

The buildings meet this Criterion on a State level. (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

SHR Criteria b)

[Associative significance]

The Terraces at Nos. 46-56 Gloucester Street are associated with a number of government bodies including the NSW Government Architect's Branch under the leadership of Walter Liberty Vernon, Housing Board, Sydney Harbour Trust, Sydney Cove Redevelopment Authority, Housing Commission and later Department of Housing, who have administered and maintained the building from its construction. The Government Architect's Branch prepared a number of schemes for "model" workers housing. Whilst the design of the terraces reflects the earlier, standard terrace house layout, the "stacking" of the dwellings and use of roof terraces may have been influenced by overseas prototypes. The housing constructed during this period by the Government Architects Branch, such as Nos. 46-56 Gloucester Street and terraces in Lower Fort Street are most like the later tenements designed by the Housing Board and differed in form and details from those constructed by the Sydney Harbour Trust.

The buildings meet this Criterion on a State level. (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

SHR Criteria c)

[Aesthetic significance]

The Terraces are aesthetically significant as good and largely intact examples of Federation multistorey residential development that retain their original form, fabric and detailing. The buildings were designed to respect the scale of traditional terrace housing but significantly have been adapted to suit the site and local housing requirements.

Nos. 46-56 Gloucester Street are technically and aesthetically significant in providing an innovative response to provision of housing on a sloping site, incorporating two storey duplexes that fit into the stepped topography. The incorporation of basement levels allowed the building to be raised and address the higher Gloucester Street address. The stacking of the two storey dwellings also demonstrates a design philosophy and requirement to provide ample public housing adopted by the Government Architect's Branch. The design and form of the building incorporates typical Federation period details such as face brick planes, rough cast rendered detail and timber details to verandah, but

also advancements and improvement of building materials in the use of high brick walls, steel and concrete.

The Terraces significantly form part of a row of terraces (Nos. 26-72 with the exception of the No. 42-44, c. 1985) that demonstrate the evolution of terrace houses in Australia and reference to overseas models. The buildings occupy a prominent location, on the kink of the street and are highly visible when looking north and south of this section of Gloucester Street, their face brick facades and two storey verandahs being in contrast to the neighbouring bald face, rendered terraces on the eastern side of Gloucester Street. The buildings have a strong visual relationship with the Australian Hotel and make a positive contribution to the Gloucester Street streetscape.

The buildings are also visually prominent looking north along Cambridge Street from Cumberland Place. Again the large face brick planes of the south and eastern facades of the building are in contrast to the rendered and painted facades of the neighbouring buildings. The linear nature of the banded brick detail and access verandah on Level 3 reinforces the angle and kink of Gloucester Street. The smaller scale of Susannah Place and curve and form of the buildings also emphasises the aesthetic character of the buildings.

The buildings meet this Criterion on a State level (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

SHR Criteria d)
[Social significance]

The terraces at No. 46-56 Gloucester Street have strong association with the Department of Housing and its predecessors and to a lesser extent the Foreshore Authority and its predecessors as one of the earliest public housing properties that has and high social significance in the local community for its continuous provision of public housing in The Rocks area.

From 1912 the terraces have continued to be occupied by a number individual and long term Sydney Harbour Trust/ Maritime Services Board/ SCRA, Housing Commission and now Department of Housing tenants.

The buildings meet this Criterion on a State level (Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

SHR Criteria e)
[Research potential]

The Terraces are technically significant for the incorporation of steel framing and concrete slabs and details to the front of the building in contrast to other contemporary buildings and early public housing constructed by the Sydney Harbour Trust which used prominent timber framing and details. This reflects both a consideration of local site conditions, but more so, improvements in building materials and design innovation relating to low maintenance and durability of building fabric, befitting public buildings.

The building retains its original form and evidence of the welfare and living standards of the early 20th century, construction techniques and materials. The terraces demonstrate changes in standard of living and technology with the rearrangement of spaces and provision of kitchens, internal wash areas and WCs.

The building straddles a sandstone ledge which is indicated along the north and southern site boundaries, however, the cleansing operations and demolitions in the first decade of the 20th century combined with the construction of the terraces would have disturbed most archaeological features or deposits relating to the former uses of the site. However, the houses sit on bedrock and are not cut into the bedrock, therefore wells, cesspits and rock

SHR Criteria f)

[Rarity]

cut features could still exist.

The buildings meet this Criterion on a State level.
(Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

The Terraces are a rare example of an early 20th century public housing scheme designed by the NSW Government Architects Branch and constructed in The Rocks. Other contemporary examples are located in Millers Point or designed by the Housing Board.

Nos. 46-56 Gloucester Street are a rare example of the two storey, Federation period public housing dwellings. Other units constructed during this time are single storey.

The buildings meet this Criterion on a State level.
(Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)


SHR Criteria g)

[Representativeness]

The building is a good and largely intact representative example of a public housing complex constructed in the early decades of the 20th century. It is one of the earliest such buildings that represents a shift in the design of housing and contemporary concern for improvement of living conditions and provision of adequate housing following the urban clearances in The Rocks.

The buildings meet this Criterion on a State level
(Perumal Murphy Alessi Pty Ltd Heritage Consultants 2006)

Integrity/Intactness: Archaeology mostly disturbed.

Assessment criteria: Items are assessed against the  [State Heritage Register \(SHR\) Criteria](#) to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Recommended management:

The conservation of the precinct must be in a form appropriate to its important role in the history and development of Australia. - This terrace and their restoration, are essential in establishing the original charm and character of Gloucester Street. Thus a vital part of the Nation's heritage shall be preserved for further developments in the precinct to respect. In this regard the terrace set the scale and character of the precinct to be responded to by new buildings fronting Gloucester Street. The restoration of the terrace shall firmly establish the order of scale, height roof form and architectural treatment. - The sense of history must be reinforced while revitalising city streets through a substantial residential population. - The terrace shall thus form part of the medium to low rise development in a precinct containing residential units and small scale commercial concerns. Above ground archaeological remains: An archaeological watching brief or monitoring program is recommended. Below ground archaeological remains: An archaeological watching brief or monitoring program is recommended.

Procedures /Exemptions

Section of act	Description	Title	Comments	Action date
57(2)	Exemption to allow work	Standard Exemptions	<p>SCHEDULE OF STANDARD EXEMPTIONS HERITAGE ACT 1977 Notice of Order Under Section 57 (2) of the Heritage Act 1977</p> <p>I, the Minister for Planning, pursuant to subsection 57(2) of the Heritage Act 1977, on the recommendation of the Heritage Council of New South Wales, do by this Order:</p>	Sep 5 2008

			<p>1. revoke the Schedule of Exemptions to subsection 57(1) of the Heritage Act made under subsection 57(2) and published in the Government Gazette on 22 February 2008; and</p> <p>2. grant standard exemptions from subsection 57(1) of the Heritage Act 1977, described in the Schedule attached.</p> <p>FRANK SARTOR Minister for Planning Sydney, 11 July 2008</p> <p>To view the schedule click on the Standard Exemptions for Works Requiring Heritage Council Approval link below.</p>	
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 [Standard exemptions](#) for works requiring Heritage Council approval

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Heritage Act - State Heritage Register		01609	10 May 02	85	2865

Study details

Title	Year	Number	Author	Inspected by	Guidelines used
SCA Register 1979-1998	1998	B072, AR091	Sydney Cove Authority (SCA)		Yes

References, internet links & images

Type	Author	Year	Title	Internet Links
Written	Higginbotham, Kass & Walker	1991	The Rocks and Millers Point Archaeological Management Plan	
Written	Perumal Murphy Alessi Pty Ltd Heritage Consultants	2006	Conservation Management Plan, 46-56 Gloucester St	
Written	Philip Cox and Partners P/L,	1984	The Upgrading and Development of the Edwardian Cottages, 46-56 Gloucester Street, The Rocks	
Written	SCRA	1982	Building Data Sheet CS/18	

Note: internet links may be to web pages, documents or images.



(Click on thumbnail for full size image and image details)

Data source

The information for this entry comes from the following source:

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Database number: 5053226

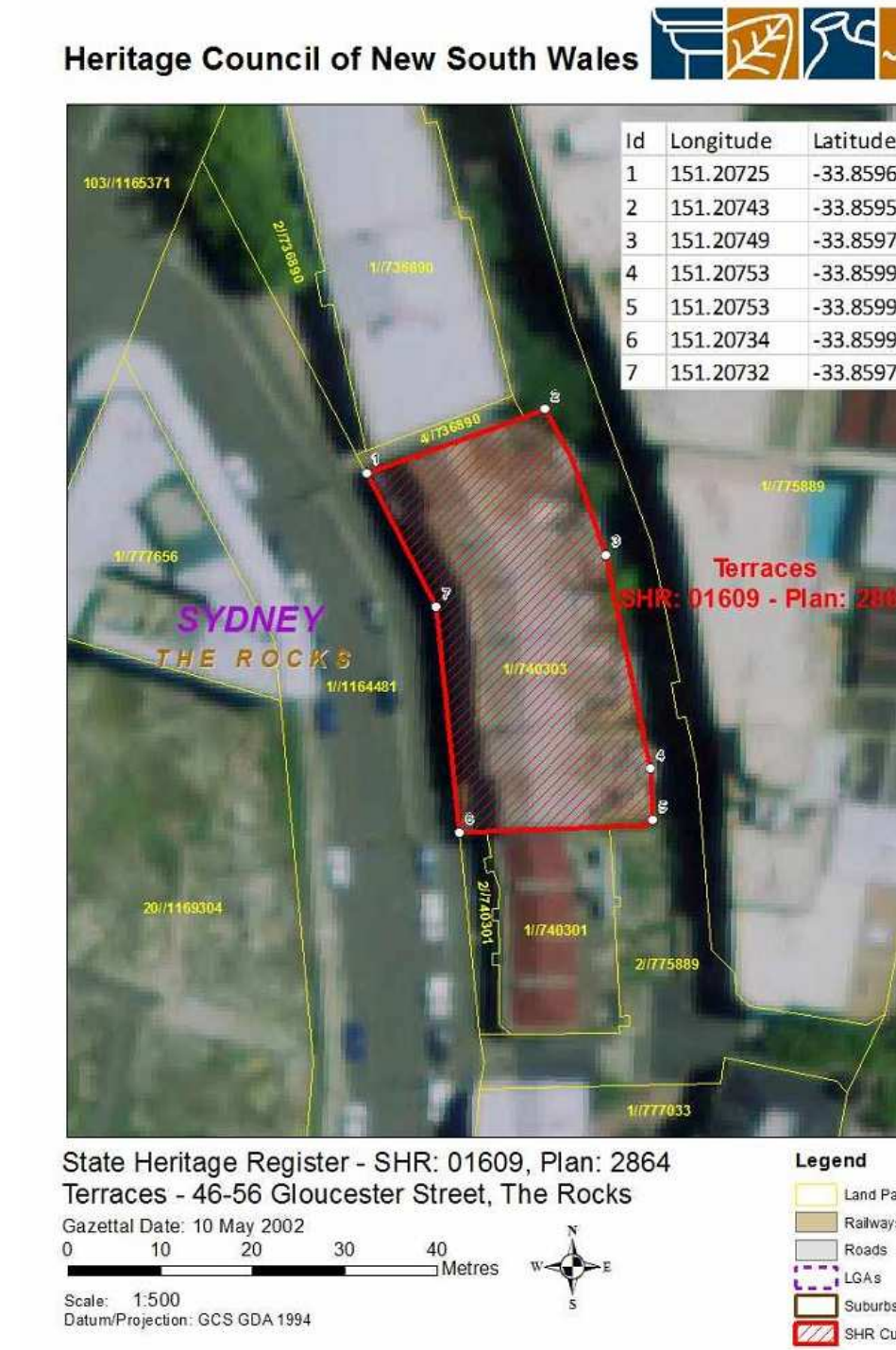
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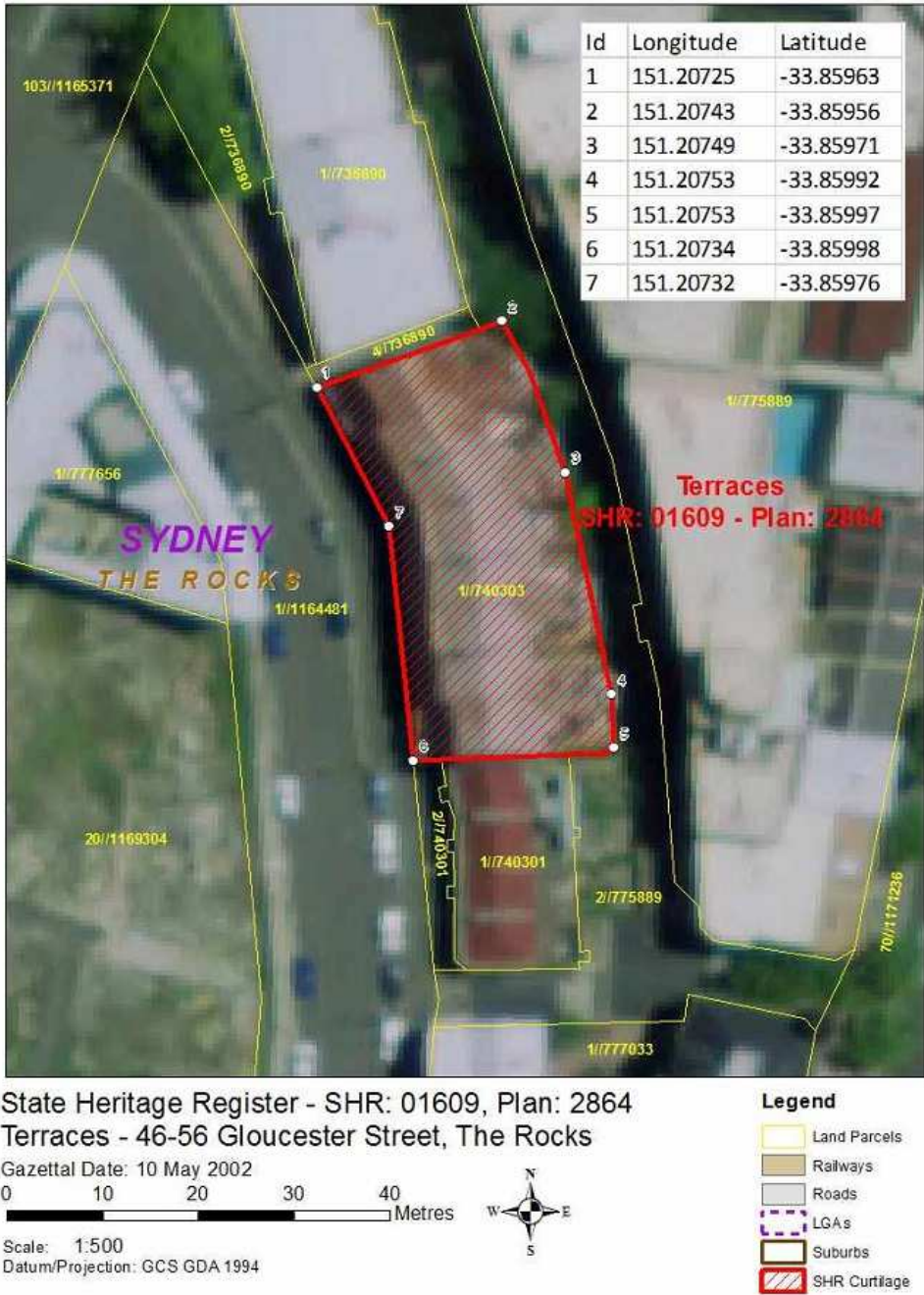
Terraces





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[Back to Detail Page](#)



<p>Name : Residence</p> <p>Location : 46 , Gloucester Street, The Rocks NSW - 2000</p> <p>Current Use : Residence</p> <p>Year Completed : 1910</p> <p>Physical Condition : External: Good</p> <p>Recommended Management : This building forms part of an interesting terrace group. Refer to DOH Heritage Asset Management Guidelines before carrying out maintenance, upgrading or refurbishment, which must be in context. Seek advice from a Heritage Architect, and liaise with LGA planners before carrying out any work.</p> <p>Physical Description : Part of an interesting three-storey terrace group with restrained face brick detailing and pebble dash upper storey gable. The building has steel and concrete raised balconies; double hung sash windows with 6 panes on upper and one or two panes on the lower sections; and entrance doors with glass panels and transom lights over. Each level of this three storey terrace contains a two bedroom unit. Storeys: 3 Construction: Face brick walls chimneys, iron roof. Concrete and masonry first storey verandah. Style: Federation</p> <p>Historical Notes : The Rocks is one of the earliest areas of European settlement in Australia, and a focus for maritime activities. These are a group of early twentieth century workman's terraces built c.1910 as part of the post plague redevelopment by the Sydney Harbour Trust. First tenanted by DoH in 1990.</p> <p>Statement of Significance : The Rocks is an intact residential and maritime precinct forming part of The Rocks Conservation Area. It contains residential buildings and civic spaces dating from the earliest European settlement of Australia and is an</p>	   
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important example of C19th adaptation of the landscape. This is one of a group of Federation style three storey face brick terraces built as part of the post-plague redevelopment of the area. It is an important streetscape element.



[Home](#) > [Heritage](#) > Search for heritage

The Rocks Conservation Area

Item details

Name of item: The Rocks Conservation Area
Other name/s: The Rocks Heritage Precinct, Inc. Circular Quay West, Dawe:
Type of item: Complex / Group
Group/Collection: Urban Area
Category: Other - Urban Area
Location: Lat: 33' 51S Long: 151' 12E
Primary address: The Rocks, The Rocks, NSW 2000
Parish: St Philip
County: Cumberland
Local govt. area: Sydney

All addresses

Street Address	Suburb/town	LGA	Parish	County	Type
The Rocks	The Rocks	Sydney	St Philip	Cumberland	Primary Address

Owner/s

Organisation Name	Owner Category	Date Ownership Updated
Sydney Harbour Foreshore Authority	State Government	

Statement of significance:

SHORT FORM

The Rocks, with its complex layering of significant fabric, uses and associations, is a precinct of national cultural significance. The Rocks is valued as a place of major social history, reflecting more than two centuries of significant activity; including European invasion, early contact between Aboriginal people and European settlers, and colonial settlement. The drama of cross-cultural encounters reflects The Rocks' focal location as a place linking continental, colonial, city and maritime histories. The Rocks was saved through fierce battles for its conservation, and by government ownership. Despite ongoing incremental change in The Rocks, continuity and authenticity remain major themes, manifest in increasingly rare and fragile relics of original topography and built fabric, remnants of history and a living community.

LONG FORM

The Rocks is a major visual element of Sydney Harbour and Circular Quay, with a dramatic setting at the narrowest point in the Harbour. Visible layers of change are founded on the sandstone topography which gives the precinct its name. Less tangible aspects such as harbour sounds and breezes and water views are crucial to The Rocks' sense of place on the foreshore.

The Rocks is important in a world context as a foreshore port settlement and historic focus of social and economic activity,

commencing in Australia's colonial period. The Rocks remains as one of the few places in Australia where authentic early convict evidence is accessible to the public.

The Rocks is the place of first sustained contact in the continent between Aboriginal people and European settlers. Physical evidence of pre-European Aboriginal culture at The Rocks has been largely destroyed. The lack of such evidence is a poignant reminder of loss to current and future generations. Aboriginal cultural sites which may have survived such impacts are of great significance to the Aboriginal community of Sydney who consider their continued experience and association with The Rocks as symbols of endurance.

The Rocks contains a rich accumulation of features that demonstrate layers of Australian history from 1788 until the present. The precinct displays an unparalleled diversity in townscape and building style, form and texture. Distinctive low-rise scale and fine grain textures in The Rocks contrast with, yet complement, the imposing built forms and modern architecture of the city centre beyond.

The Rocks landscape, urban form, built structures and subsurface archaeological features, in conjunction with extensive documentary records, provide a physical chronicle of outstanding research potential.

The Rocks and adjacent areas of Millers Point and Dawes Point are symbols of community survival, with the associated present-day communities representing and connected to the processes of struggle, perseverance and change that have shaped these places.

Owned and managed in the public interest for over a century, The Rocks has been the stage for Government innovation in public works, town planning and social engineering. It is known for major historic events such as the 1901 plague, slum clearances and green bans. It has become a showcase for conservation practice and is an example of public land ownership and sustainable urban management under one Government agency.

The Rocks is an important Australian tourist icon presented as the birthplace of Australia and representing significant story lines. The Rocks symbolises a powerful statement about who we are as Australians.

Date significance updated: 27 Nov 06

Note: There are incomplete details for a number of items listed in NSW. The Heritage Branch intends to develop or upgrade statements of significance and other information for these items as resources become available.

Description

Designer/Maker: A vernacular townscape with some particular designers for individual sites.

Construction years: 1788-

Physical description: The Rocks is sited on a rocky promontory projecting into the Harbour on the western side of Sydney Cove, with the southern approach of the Sydney Harbour Bridge along the ridge marking the western boundary of the area, and is some 21 hectares in area. The ground falls steeply to the east, in a series of sandstone escarpments, giving the important harbour views characteristic of the area. The topography gave rise to an erratic street pattern with many cuts into the rock to provide building materials and enable streets and stepped pedestrian ways to traverse the area. The conservation of The Rocks from the 1970s has reinforced these diverse streetscapes, laneways and pedestrian links.

There is a mixture of individually important buildings by significant architects and more humble shops, cottages and terraces from different eras. Within this diversity the area has a coherent and consistent character of streetscapes and urban spaces in a very strong topographical setting. It has a strong maritime character,

with warehouses and bond stores, and philanthropic buildings for seamen who also were abundantly catered for in the provision of public houses. A large amount of public open space is included in the area, including Dawes Point Park, with its early fortifications and archaeological remains, Foundation Park, West Circular Quay, First Fleet Park, the public domain around the Museum of Contemporary Art, Overseas Passenger Terminal, Campbells Cove, Park Hyatt and the Hickson Road Reserve.

South of the Cahill Expressway the area has pockets of heritage items and streetscapes intermingled with high rise buildings dating from the 1970s.

Physical condition and/or Archaeological potential:

The built form of the Rocks is well maintained being mostly in the care of Government Authorities. The archaeological potential of the area is outstanding (see Assessment fields).

Date condition updated: 05 Dec 99

Modifications and dates:

The Rocks Conservation Area has been modified continuously since 1788. Little is known of the Aboriginal occupation of this area.

Current use: Mixed Commercial High tourism use.

Former use: The level of residential use was much higher prior to the 1960s and 70s.

History

Historical notes:

The First Fleet anchored in Sydney Cove interrupting what had been a very long association between the local indigenous people, (called erroneously by Europeans 'The Eora' people) Sydney Harbour and its adjoining landscape. Being a prominent headland in the harbour it is likely that it was used for fishing and other cultural activities as well as surveillance by the indigenous people, the Cadigal. The cove was know as 'Warrane' by the Cadigal people and the harbour as 'Cadi'.

The colonisation of Australia which began at Sydney Cove and The Rocks is significant in the history of European exploration and colonisation of the 17th and 18th centuries. Though the primary focus for the British colony was a place for the housing of convict overspill, the trade and industrial opportunities offered were soon exploited, and it became important as a source of wealth from whaling, from wool, and later, from gold. Australia was in an important position in regard to trade with South East Asia, for the exploitation of the Southern Fisheries (whale oil was like crude oil to the pre 1850s world) and for ongoing British exploration (George Vancouver was supplied from Sydney for his 1790s exploration of the west coast of Canada).

The Rocks was given its name the members of the First Fleet, who, on 26 January, 1788, were landed on the rocky peninsula on the western side of Sydney Cove. This was the site of the first convict encampment, military camp, bakehouse and hospital. As the colony grew, the land close to the water's edge was used for government purposes: hospital, gaol, Government Dockyard (1797) and Commissariat Stores (1809). Later, merchants established private wharfage facilities, starting with Robert Campbell at Campbells Cove, and the High Street (later named George Street by Governor Macquarie) became the hub of Sydney's wharf side trading life. The ridge was developed for purposes of fortification and windmills and was also the preferred location for the residences of the more well-to-do.

The rugged slope overlooking the Cove defied orderly settlement. The sandstone bedrock was quarried for building material and houses clustered along the cuttings catering for

convicts and emancipists, as well as seamen from all parts of the world, in "a straggly, vernacular, unplanned place". (Somerville, 1999: 4). Construction of proper roads and drainage was particularly difficult. Vehicular routes tended to run parallel with the ridge while narrow lanes and steep stairs provided pedestrian ways between the ridge and the water. Gradually hundreds of cottages and terraces were built, representing "a virtually complete compendium of Sydney housing styles in the 19th century." (Kelly 1981: 2/68). Land tenure was in the form of grants, leases and (most often) unofficial occupancy. From the 1830s, on the basis of a series of surveys, the occupation of land was formalised through grants.

Most of The Rocks came into public ownership in 1900 following an epidemic of bubonic plague, when lands within the "Darling Harbour Resumption Area", considered to be in the worst condition, were resumed by the Crown and large areas of housing were demolished. An advisory board consisting of Messrs Hickson, Davis and Vernon submitted a scheme for the replanning of the area in 1903, which was the basis for the realignment of streets and redevelopment with terrace housing and residential flat buildings. (Lydon 1992: 4.0) However, it was only prior to the First World War that a limited redevelopment program for housing in the area commenced and continued into the 1920s. Some land was sold back into private hands but much continued to be managed by the Sydney Harbour Trust until the end of the 1960s.

The construction of the Sydney Harbour Bridge (1925 - 1932) swept away many streets and houses and split the peninsula along its spine. The area west of the Bridge became known as Millers Point. In the late 1950s, the construction of the Cahill Expressway across Circular Quay caused further evictions and extensive demolition to the point where over one third of the area was vacant, mainly that south of the Cahill. With talk of redevelopment, little effort was exerted in maintaining the buildings in public ownership.

During the early 1960s, several redevelopment proposals for the area were canvassed by the Government, with proposals for building mainly high rise residential and office accommodation. Following the election of the Askin Liberal Government, these proposals did not proceed. In 1967, at the request of the new Government, Sir John Overall, Chairman of the National Capital Development Commission, made proposals for the area and advised that an Authority should be set up to implement them. He recommended the setting up of a separate authority to have complete control of the planning, design and redevelopment of The Rocks area. (SCRA 1978: 9).

The Sydney Cove Redevelopment Authority (SCRA) Act of 1968 established the Authority to plan, redevelop and manage the area. Most of the land in the area was handed over to the Authority under its Act and a few areas in private ownership were purchased. There remain areas of land which are owned by the Maritime Services Board, the Commonwealth Government and the Catholic Church.

The Authority's original scheme, made public in February, 1971, was for broad scale high-rise redevelopment, with accompanying plazas. Only nine historic buildings were to be retained, including St Patrick's Church, Science House, Argyle Bond Store, the Ordnance Store, the Mining Museum and Campbells Storehouse. Other historic buildings were marked for "sympathetic redevelopment", mainly facadism. Everything else was to be demolished and replaced with multi-storey office and residential buildings and hotels.

In the early 1970's, public opinion about large scale redevelopment of areas such as The Rocks began to change. People began to become aware of the importance of communities and there was a growing awareness of the need to preserve some historic places from our brief past. The

Government of the day did not reflect these changes in attitude and people resorted to other means to achieve their aims. After a year of lobbying government, residents appealed to the unions who imposed "green bans" (union bans on construction work for environmental reasons). The Rocks became one of the most publicised areas where the confrontation between the resident/union coalition and the Government took place.

All redevelopment plans were effectively halted for a period of years in The Rocks and the Authority tentatively began to carry out some minor developments itself and began the refurbishment of some of the buildings. The Argyle Centre was established as a craft and shopping centre in the early 1970s and work began on "restoring" the frontages of the buildings in George Street to provide an attractive shopping centre. Tourists began to be attracted to the area, and the Authority's perception of the area began to change. Meanwhile the SCRA scheme was reviewed in 1974.

The election of the Labor State Government in 1976 with its emphasis on environmental conservation effectively spelt the end of the large scale redevelopment proposals for the area north of the Cahill expressway. State heritage legislation in 1977 and a further review of the Authority's operations in 1978 led to general agreement that although most existing buildings in this northern area were to be retained and refurbished, the area to the south of the Expressway could, as part of the CBD, be redeveloped. In the late 1970s, sites were leased for the first private developments in the area. In 1982-83 the original scheme was changed to reflect the new attitudes of the community and an exhibition of the new, more modest proposals which made up the scheme was held.

The survival and reuse of buildings and the efforts at streetscape control in The Rocks demonstrate changing attitudes to heritage conservation. The Argyle Centre complex, in 1971-1972 was among the first historic buildings in NSW to be recycled for new uses in a way designed to respect the earlier historical significance of the buildings. The complex therefore represents an important landmark in the history of conservation and provides clear evidence of early conservation practice and philosophy. Subsequent conservation and streetscape projects reflect changing, and more rigorous, practice. This followed the development of the Burra Charter in 1979 setting out principles of conservation practice and the methodology for the preparation of conservation plans prior to proposing change to heritage places in the mid 1980s.

The Sydney Harbour Foreshore Authority replaced SCRA as the place manager of The Rocks in February 1999. At the same time planning powers moved from SCRA to the NSW Minister for Urban Affairs and Planning.

In November, 1999 the Award of the Decade for Tourism Excellence in the category "Heritage & Cultural Tourism" was presented to the Sydney Harbour Foreshore Authority for The Rocks.

Historic themes

Australian theme (abbrev)	New South Wales theme	Local theme
2. Peopling- Peopling the continent	Convict-Activities relating to incarceration, transport, reform, accommodation and working during the convict period in NSW (1788-1850) - does not include activities associated with the conviction of persons in NSW that are unrelated to the imperial 'convict system': use the theme of Law & Order for such activities	(none)-
3. Economy- Developing	Commerce-Activities relating to buying, selling and exchanging goods and services	(none)-

local, regional and national economies		
3. Economy-Developing local, regional and national economies	Environment - cultural landscape-Activities associated with the interactions between humans, human societies and the shaping of their physical surroundings	(none)-
3. Economy-Developing local, regional and national economies	Industry-Activities associated with the manufacture, production and distribution of goods	(none)-
4. Settlement-Building settlements, towns and cities	Towns, suburbs and villages-Activities associated with creating, planning and managing urban functions, landscapes and lifestyles in towns, suburbs and villages	(none)-
7. Governing-Governing	Government and Administration-Activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs - includes both principled and corrupt activities.	(none)-

Assessment of significance

SHR Criteria a)

[Historical significance]

The Rocks is an area of national historical significance. It was a site of Aboriginal occupation prior to the advent of the Europeans. It is the site of the first permanent settlement by Europeans in Australia, and retains elements that illustrate aspects of our history from all periods of settlement to the present day. It has significant convict associations. For a period from 1788 it was the hub of the colony's developing administration, economy and self reliance with the Government Dockyard, the Commissariat Stores, the dry docks, the Boat Master's Cottage, the observatory, hospital, fortifications and bake house located there, as well as the first commercial wharf in Australia. It was the maritime centre of the Colony. Significant elements from this and subsequent periods remain in The Rocks today.

The Rocks provides physical evidence of changing fabric and functions from the end of the 18th century and through the 19th and 20th centuries.

SHR Criteria b)

[Associative significance]

The Rocks has high association value with a numerous convicts, settlers, military, medical and administrative people. These associations are too numerous to list and many went on to help shape New South Wales and Australia.

SHR Criteria c)

[Aesthetic significance]

The Rocks has outstanding landmark qualities being sited on a prominent rocky headland on the western side of Sydney Cove crowned by the approach to the Sydney Harbour Bridge on its eastern boundary. It is highly visible from Circular Quay, from East Circular Quay and from the Harbour. Its historical development with an abundance of warehouses and wharves near the water and small scale commercial and/or residential buildings, combined with its topography of sandstone escarpments, cuttings and retaining walls and its street pattern and stepped walkways gives it a coherent and consistent townscape character of great aesthetic appeal. Within the area or travelling around it, a series of views and glimpses is afforded of diverse but harmonious streetscapes comprising buildings of diverse character and style (many of which have high individual architectural merit) of narrow picturesque stepped laneways, urban spaces and

SHR Criteria d)
[Social significance]

water, which adds to its aesthetic appeal.

The Rocks has high social significance for a large number of national and international visitors to NSW and Australia. It has special meaning to the residents of the area, including Millers Point, who have fought hard for the retention of the built fabric of The Rocks, and for their right to continue to live in the area. In addition, it has a special significance for those who campaigned vigorously with the residents against plans for its full scale redevelopment by the Sydney Cove Redevelopment Authority in the 1960s and 1970s. It has special value to historians, heritage professionals and others who hold The Rocks in high regard for its historical, archaeological and architectural significance and research potential.

SHR Criteria e)
[Research potential]

The history of The Rocks and the uses of its buildings illustrate and inform of the aspirations and way of life of the Colony and, later, the State. The construction of the buildings illustrate changing building technology from early times of the Colony to the present day. Stylistically the buildings illustrate the architectural and building practices of Sydney and The Rocks and the translocation of contemporary British building to the Colony.

The Rocks has been subject to several archaeological investigations resulting in a large body of archaeological and artefactual evidence for the past. This resource has very significant research potential.

The Rocks has yielded, and has the ongoing potential to yield, new and further substantial scientific, historical, cultural, technical and archaeological information relevant to earlier uses and the development of the area. It provides physical evidence of ways of life, customs and technologies and processes from 1788 through successive generations to the present day.


SHR Criteria f)
[Rarity]

The Rocks is rare in its ability to provide evidence of the early development of the Colony and how the early settlers responded to the new and strange environment.

SHR Criteria g)
[Representativeness]

Development in The Rocks is representative of the historical phases from 1788 to the present day, and has associations with significant figures in the history of Sydney throughout this time.

Integrity/Intactness: Little evidence of the pre 1788 occupation by the Aboriginal inhabitants of Sydney Cove remains. A high level of integrity and intactness remains of the building fabric, street pattern and archaeology from all periods since 1788, despite the constant development and change which has occurred since that date.

Assessment criteria: Items are assessed against the  [State Heritage Register \(SHR\) Criteria](#) to determine the level of significance. Refer to the Listings below for the level of statutory protection.

Recommended management:

The Rocks is an area of national cultural heritage significance. From a conservation point of view, it is desirable that it continues with the majority of the area in public ownership, to enable coordinated and consistent conservation management by experienced heritage professionals. A Heritage Management Plan for The Rocks has been prepared to identify the heritage significance of The Rocks and the principles and practice that will enable a coordinated approach to this important heritage resource. This Heritage Management Plan should inform relevant planning instruments and development controls for the area. To promote public appreciation and a comprehensive

understanding of the history of the place, an Interpretation Plan has been prepared. A co-ordinated and best practice approach is required to all forms of interpretation, education and heritage tourism in The Rocks. Any work undertaken should have regard to the heritage significance of The Rocks. The historic pattern of streets, lanes, pathways and subdivision should be maintained. The historical places within The Rocks should be retained and conserved, not just for their aesthetic value but for their ability to reveal information to current and future generations about Australia's cultural background. Any new work should give consideration to removing or minimising the impact of unsympathetic elements, where appropriate. The impact of views to and from The Rocks should be carefully considered in any proposal.

Listings

Heritage Listing	Listing Title	Listing Number	Gazette Date	Gazette Number	Gazette Page
Heritage Act - s.170 NSW State agency heritage register	Sydney Harbour Foreshore Authority				

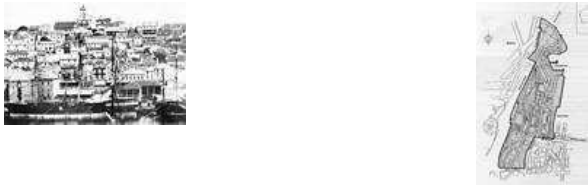
Study details

Title	Year	Number	Author	Inspected by	Guidelines used
SCA Register 1979-1998	1998	P022	Sydney Cove Authority (SCA)		Yes

References, internet links & images

Type	Author	Year	Title	Internet Links
Written	Dr Edward Duyker	1999	The Rocks	
Written	Godden Mackay Logan for Sydney Harbour Foreshore Authority	2002	The Rocks Heritage Management Plan (revised 2006)	
Written	Higginbotham, Kass & Walker	1991	The Rocks and Millers Point Archaeological Management Plan	
Written	Jyoti Somerville	1999	Mercantile Hotel 25-27 George Street, the Rocks - Conservation Management Plan	
Written	Kelly, M	1997	Anchored in a Small Cove - A History and Archaeology of the Rocks, Sydney	
Written	Kelly, M.	1981	The Heritage of Australia - The Illustrated Register of the National Estate	
Written	SCA - J Lydon 1992	1992	Archaeological Monitoring - The Australian Hotel and Adjoining Shops, The Rocks, Sydney	
Written	SCA - Johnson, W.	1998	Archaeological Work in The Rocks, 1978-1998	
Written	SCRA	1978	Building Data Sheets 1978-	

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Appendix E

Paint Scrape Analysis, February 2011, from Knaggs M and Kanellaki Lowe C, *46–56 Gloucester Street The Rocks Conservation Management Plan Review*. Prepared for the Sydney Harbour Foreshore Authority, 2011 (Appendix)



46-56 GLOUCESTER ST

EXTERNAL PAINT REPORT

February 2011

46-56 GLOUCESTER STREET

PAINT SCRAPE ANALYSIS REPORT

Mary Knaggs

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1. INTRODUCTION

This report provides an analysis of paint samples taken from selected external painted surfaces at 46-56 Gloucester St. The painted elements chosen for investigation include door frames, steel handrails, steel stairs, timber brackets, verandah rafters, window sashes and window sills. The paint samples were taken during a site visit in December 2010 to aid in determining the original or early colour schemes of the building.


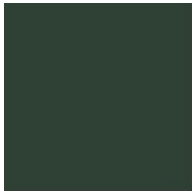

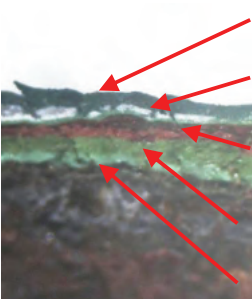
2. THE SITE




No. 46-56 Gloucester Street consists of sixteen duplexes designed and constructed between 1910 and 1912. The building is four storeys with its front façade addressing Gloucester Street (western façade). This front façade is characterised by two storey verandahs with a skillion roof supported on brick pieces and timber posts with brackets. The building currently has the following colour scheme of Light Cream and Red Oxide to the external timber joinery, and Mid Brunswick Green to the external steel work.



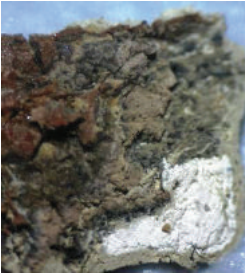
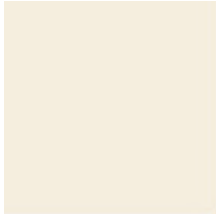
3. EXAMPLE PROPOSED SCHEME



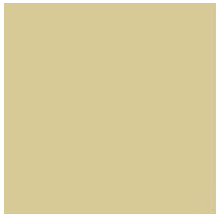







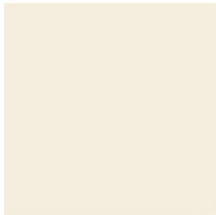
4. PAINT COLOUR ANALYSIS


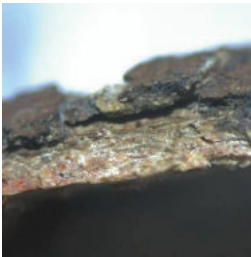
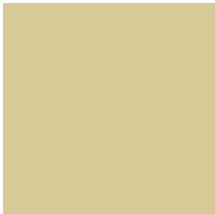

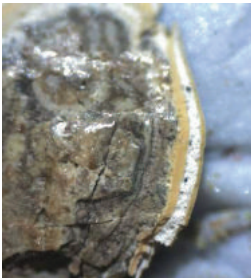
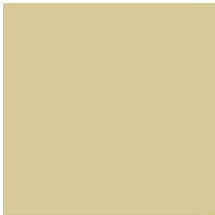
Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Steel Beam		No scrape taken but assumed would have been same colour as stair and handrails.	Likely earliest colour as handrail below: Brunswick Green	 <i>Deep Brunswick</i>
Steel Handrail			<p>Brunswick Green</p> <p>White (undercoat)</p> <p>Red (Indian Red or Rust Treatment?)</p> <p>Brunswick Green (faded)</p> <p>Lighter green (undercoat?)</p>	As above
Steel Stair			As above	As above



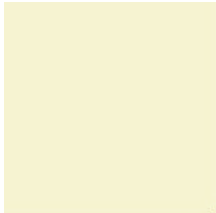
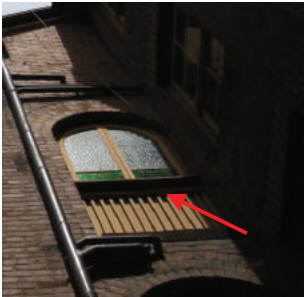
Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Gutters (currently weathered copper but CMP recommends zinc)		Currently weathered copper (installed c.1980s) Not applicable	Likely original was painted galvanised or zinc finished steel. Likely originally colour Bronze Green	Current proposal is to leave the gutters with as unpainted zinc finish similar colour to this sample below. 
Rainwater Heads & downpipes (currently weathered copper but CMP recommends zinc)		As above	As above	As above


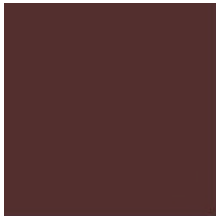


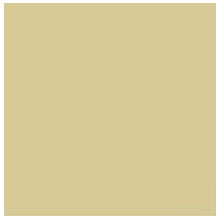

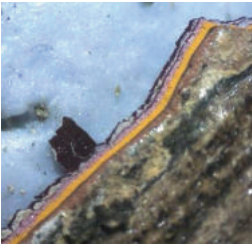
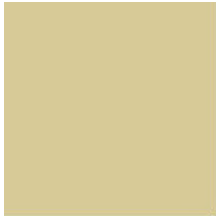
Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Garbage Shutes		Scrape not possible. Current colour is similar to Dulux 'Red Oxide'	Possibly originally left as galvanised or zinc finish	Current proposal is to leave the gutters with as unpainted zinc finish
Eaves Lining Boards			<p>Paint scrape difficult to analyse.</p> <p>Possible earliest finishes are greatly discoloured from weathering & dirt build-up.</p> <p>The flat ceilings on the balconies are relatively recent (c.1980s) and an 'Oxblood' finish is still visible to the lining boards under. However this could be a 1960s mission brown.</p> <p>The eaves and rafters may have been given a "limewash" type finish using "stone" tones.</p> <p>Due to the need to maximise light into the apartments a light cream is recommended.</p>	 <i>Lime White</i>





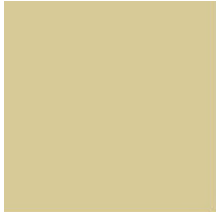

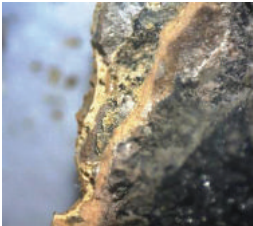
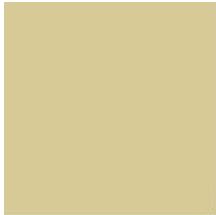
Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Exposed eaves rafters			<p>Paint scrape difficult to analyse.</p> <p>Possible earliest finishes are greatly discoloured.</p> <p>The eaves and rafters may have been given a "limewash" type finish using "stone" tones – in this case traces of an 'ochre' type limewash are discernible.</p> <p>New colour chosen in the 'ochre' range but with some vibrancy and light reflective properties.</p>	 <i>Light Straw</i>
Balcony soffit and associated cornice. (ripple iron)		No scrape	These are recent alterations / additions (c. 1980s).	Soffit (ripple iron): <i>Lime White</i> Timber Cornice: <i>Light Straw</i>
Balconies		No scrapes	<p>These are recent alterations / additions (c. 1980s).</p> <p>Due to the need to maximise light into the apartments predominantly light colours are recommended.</p>	Weatherboards: <i>Lime White</i> Trim: <i>Light Straw</i> Doors: <i>Lime White</i> Architraves: <i>Light Straw</i>


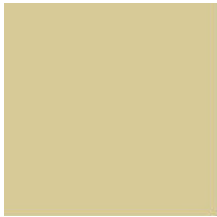
Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Balconies (paving paint)		No scrape. Currently a green paving paint (Berger Forest Green?)	The front balconies have cement floors which originally appear to have been coloured with an ochre pigment.	Berger "Jet Dry" <i>Autumn Path</i>
Verandah Roof framing		 Currently similar to Dulux Regency Cream	Paint scrape difficult to analyse. Possible earliest finishes are greatly discoloured. The eaves and rafters may have been given a "limewash" type finish using "stone" tones – in this case traces of an 'ochre' type limewash are just discernible. Due to the need to maximise light into the apartments a light cream is recommended.	 <i>Lime White</i>

Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Verandah Roof Beams		 Currently similar to Dulux Regency Cream	<p>Paint scrape difficult to analyse.</p> <p>Possible earliest finishes are greatly discoloured.</p> <p>The eaves and rafters may have been given a "limewash" type finish using "stone" tones – in this case traces of an 'ochre' type limewash are just discernible.</p> <p>New colour chosen in this range but with some vibrancy and light reflective properties.</p>	 Light Straw
Timber Column		 Currently similar to Dulux Regency Cream	<p>Earliest clour appears to be an ochre colour.</p> <p>New colour chosen in this range but with some vibrancy and light reflective properties.</p>	 Light Straw

Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Timber Bracket		 <p>Currently an off-white similar to Dulux Lemon Chambers</p>	<p>Earliest colour appears to have been a pale ochre colour.</p> <p>A contrast to the Column clour is considered appropriate.</p>	 <p><i>Lemon Chambers</i></p>
Enclosed Timber Balcony		<p>Currently a scheme in colours similar to Dulux Regency Cream and Indian Red.</p>	<p>These balconies were altered c.1980 and may have been modified before then. Earlier photos indicate these could have been a railing which could be metal in keeping with the front verandah detail.</p>	<p>Architrave / frame / sill: <i>Lemon Chambers</i></p> <p>Window 'Sash' <i>Deep Brunswick</i></p> <p>Top rail / backing boards and vertical timber balustrade: <i>Deep Brunswick</i></p>

Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Archbars		Previous paint layers removed or minimal.	Assume originally red oxide	 <i>Ox Blood</i>
Door / Window Frames			Earliest layer is a pale ochre. New colour chosen in this range but with some vibrancy and light reflective properties.	 <i>Light Straw</i>
Window Sill (and frame)			Earliest layer is a pale ochre. New colour chosen in this range but with some vibrancy and light reflective properties.	 <i>Light Straw</i>

Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Window Sash			Earliest layer is a a brunswick green..	 <i>Deep Brunswick</i>
Louvred Timber Vent		Previous paint layers removed or minimal.	Paint match window frames.	 <i>Light Straw</i>
Roughcast			Earliest colour is a pale ochre. The roughcast may have had an oxide colour to resemble sandstone. New colour chosen in this range but with some vibrancy and light refelctive properties.	 <i>Light Straw</i>

Building Element	Existing Colour Scheme	Paint Scrape (magnified)	Paint Layer Analysis / Notes	Recommendation (Paint colours from Dulux Traditional range)
Verandah painted render detail. Post caps.			Previous paint layers removed or minimal. May have been coloured render to resmble sandstone.	 <i>Light Straw</i>

Final Report
46-56 Gloucester Street, The Rocks
Paint Scrape Analysis

10 June 2011

Christopher Marks B.Arch.
Conservation Consultant

Introduction

This report was commissioned to investigate the historic sequence of interior colour schemes in the row of terrace houses at 46 – 56C Gloucester Street, The Rocks. The group comprises 16 two level residential units over a total of four stories in height, laid out on a “dog-leg” plan with six units at the northern end and ten in the southern wing. A full height brick wall divides the block into two halves. Access to the lower units is via the footpath at Gloucester Street level while the upper floor units are accessed by a verandahed gallery with steel framed staircases at either end.

The units are curiously numbered: 46-52 and 46A-52A for the lower and upper units respectively in the northern half of the building, then 54-56, 54A-56A, 54B-56B and 54C-56C for the remaining eight units. Based on the 2001 Millers Point Conservation Study, the building was constructed in 1910-12 and designed in the office of the NSW Government Architect Walter Liberty Vernon as “workman’s dwellings” in the Observatory Hill Resumption Area.

The scope of this study was to establish, by paint scrape analysis, the sequence of historic colour schemes to the interiors of at least two units that could be taken as representative of the block and to establish, where possible, the original colour schemes for these units. The historic colour schemes of the interior joinery were also investigated. Ultimately paint scrapes were taken from interiors of 54B, 54C and 56A.

The findings of the paint scrapes have been tabled in an appendix to this report. It is important to remember that at the time these houses were first painted, and indeed until well into the 1920s, it was the practice of house painters to mix their own colours using pigment pastes and oils. It is therefore virtually impossible to achieve a perfect match to original colours, but every effort has been made to match colours as closely as optically possible to currently available paint manufacturer’s colour charts.

The brief also called for recommendations for new colour schemes with two options: one based on the original or early documented scheme with dado and one based on a later documented wall “body” colour with no dado, subject to contemporary aesthetic “sensibilities”.

Some middle rooms and front rooms retain their original fireplaces. Among the units that were accessible (all except 56 and 56C) the middle room (Level 2) fireplace to 54B and the upstairs front rooms (Level 4) to 50A, 52A, 54B (painted white), 54C and 56A are the only units to retain their original surrounds of red “King Edward” marble and ceramic tile “slips” to the cast iron registers. These tiles are glazed in either a strong salmon pink or olive green colour. The front rooms (Level 2) of 46, 54 and 56B retain their original cast iron fireplace surrounds with ceramic tile slips of olive green glaze.

Recommendations

The proposed strategy in devising a new coordinated colour scheme for the interiors of the terraces is based on the idea of interpretation of an historic colour scheme without necessarily pinning that scheme to any particular point in time.

Where there are existing feature elements, like the coloured marble fireplace surrounds and tiles to the rooms mentioned above, and the original colour scheme was clearly derived from the key colours of the marble and tiles, it is recommended that the original scheme with dado be reinstated.

The original colour for all internal joinery including door and window architraves, window sashes, door leafs and staircases, was a mid olive green (equivalent: Taubmans "Box Tree"). It is proposed that this colour be used universally for all internal joinery (except stair handrails and newel posts, which were originally dark brown in colour). This olive green colour is complementary to salmon pink and will tone well with any derivative of that colour. It will also harmonize well with colours of Light Stone, Cream, Straw, Pale Blue/Grey, Apple Green and Pale Blue/Greens.

All rooms other than those with their marble fireplaces in place, can then have their walls painted in a single colour, chosen to reflect an earlier colour found in the paint scrape investigations, or a tonal modification of such colours to make them compatible with contemporary tastes.

OPTION 1

Reinstate all rooms their original colour schemes including dados and dado stripes to walls, as described in the summaries contained in the Appendix.

OPTION 2

Reinstate the Level 2 middle room and contiguous stair hall in 54B, and the Level 4 front rooms to 50A, 52A, 54A, 54C and 56A to their original colour schemes, including dados and dado stripes to walls.

For all other units, use the original "Box Tree" green colour of the joinery as a unifying element and select a series of plain wall colours for the various rooms of each unit based on an early wall body colour found in the paint scrape investigation.

OPTION 2

Colour Schedule

54B Middle Room, Level 2 and Rear Room, Level 1

50A, 52A, 54A, 54C and 56A Front Rooms, Level 4

Wall Body	Dado	Stripe	Skirting	Joinery*	Frieze
Bristol "French Fries"	Bristol "Hearth Brown"	Taubmans "Fire Wheel"	Bristol "Spanish Eyes"	Taubmans "Box Tree"	Taubmans "Lisbon"

- * Except handrail and newel posts: Bristol "Dark Horse" B148-12.
- Ceiling and Cornice: Dulux "Lime White".
- Red marble fireplace to 54A Front Room Level 4 has been painted white and must be stripped back and marble finish restored.
- Dado is 1230mm above structural floor level to top of stripe. Dado stripe is 25mm wide.
- The dado stripe is to be painted in the traditional manner, set out with chalk line and painted by hand using a lining fitch.

46-56B Front Rooms Level 2

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Dry Bamboo" **	Taubmans "Box Tree"	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

** A shade lighter than B. "French Fries".

46-56B Entrance Halls Level 2

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Dry Bamboo"	Not Applicable	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46-54 and 56-56B Middle Rooms Level 2 and Rear Room, Level 1

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Dry Bamboo"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46-56B Rear Rooms and Lobby Level 2

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Taubmans "Kenyan Stone"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46A-56A Front Rooms Level 3

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Taubmans "Kenyan Stone"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46A-56A Entrance Halls* Level 3

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Whippoorwill"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

* Extends to Stair Hall (Level 4) for 46A and 56C

46A-56A Middle Rooms Level 3 and Stair Halls Level 4

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Dry Bamboo"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46A-56A Rear Rooms and Lobbies Level 3

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Sonata"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

46A-48A Front Rooms Level 4

Wall	Fireplace Surrounds	Window /Door Joinery, Picture Rail	Skirting	Ceiling and Cornice
Bristol "Dry Bamboo"	N/A	Taubmans "Box Tree"	Bristol "Spanish Eyes"	Dulux "Lime White"

All Staircase Joinery

Stringers, Balusters and Vertical Boarding	Handrails, Newel Posts and Tread and Riser Margins
Taubmans "Box Tree" T104-8G	Bristol "Dark Horse" B148-12.

Note: Skirting stringers to be painted in with skirting colour: B. "Spanish Eyes".

General Notes:

1. All joinery and skirtings should be painted in enamel paint of the **lowest** gloss level recommended by the manufacturer for interior use.
2. All wall colours should generally be made in low sheen acrylic (or manufacturer's equivalent gloss level) except for dados and dado stripes which may be of the **lowest** gloss level recommended by the manufacturer for interior use.
3. Ceilings and cornices should be painted in flat acrylic.
4. A prototype room should be painted out in the selected colours for approval, and allowance made for adjustments in colour shades before commencing on the final painting work.

Appendix: Paint Scrapes

56A, Level 3: Back Room

Interior Window Architrave, Frame and Sashes

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Blue/Grey	Taubmans "Silverstone Grey"	T164-2W
	Mid Brown	Taubmans "Little Hartley"	T127-7A
	Cream	Taubmans "Sambu"	T22-3W
	Mid Brown	Taubmans "Burra Brown"	T128-8A
Original	Dark Green	Taubmans "Box Tree"	T104-8G

56A, Level 3: Middle Room

Interior Window Architrave, Frame and Sashes

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
1 Present	Pale Blue/Grey	Taubmans "Silverstone Grey"	T164-2W
2	Mid Brown	Taubmans "Little Hartley"	T127-7A
3	Cream	Taubmans "Sambu"	T22-3W
4	Mid Green	Bristol "Chives"	B102-09
5	Mid Brown	Taubmans "Burra Brown"	T128-8A
6	Pale Stone	Bristol "Hiking Path"	B121-08
7	Sandstone	Solver "Tobacco Brown"	2697 AB
8	Mid Brown	Bristol "Hearth Brown"	B138-12
9 Original	Dark Green	Taubmans "Box Tree"	T104-8G

56A, Level 3: Front Elevation
Exterior Window Frame

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Crimson	Taubmans "Dark Crimson"	T174-6
	Brilliant Yellow	Bristol "Tulip"	B004-10
	Red/ Brown	Bristol "Tuckerbox"	B142-09
	Black/Green	Solver "Bottle Green"	2378 BL
	Mid Green	Solver "Cowell Jade"	2348 OC
	Pale Stone	Bristol "Hiking Path"	B121-08
	Light Stone	Bristol "Camel"	B134-07
Original	Dark Brown	Taubmans "Belgian Chocolate"	T120 8MB

56A, Level 3: Front Elevation
Exterior Window Sashes

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Beige	Solver Heritage "Light Stone"	8522
	Cream	Solver "Sunray"	2155 DT
	Brilliant Yellow	Bristol "Tulip"	B004-10
	Red/ Brown	Bristol "Tuckerbox"	B142-09
	Black/Green	Solver "Bottle Green"	2378 BL
	Mid Green	Solver "Cowell Jade"	2348 OC
	Pale Cream	Bristol "Shortbread "	B005-04
	Pale Stone	Bristol "Camel"	B134-07
Original	Mid Earth	Bristol "Eager Beaver"	B133-08

Correlation Table

Scheme	Window Frame Colour	Window Sash Colour
Present	Taubmans "Dark Crimson"	Solver Heritage "Light Stone"
		Solver "Sunray"
	Bristol "Tulip"	Bristol "Tulip"
	Bristol "Tuckerbox"	Bristol "Tuckerbox"
	Solver "Bottle Green"	Solver "Bottle Green"
	Solver "Cowell Jade"	Solver "Cowell Jade"
		Bristol "Shortbread "
	Bristol "Hiking Path"	
	Bristol "Camel"	Bristol "Camel"
Original	Taubmans "Belgian Chocolate"	Bristol "Eager Beaver"

56A, Level 3: Front Elevation

Exterior Entry Door Frame

(Same as for Window Frame)

Exterior Entry Door Leaf (including Bolection Mouldings and Panels)

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Chinese Blue	Bristol "Blue Flannel"	B077-05
	Manilla	Solver Heritage "Manilla"	8505 WH
	Cream	Solver "Sunray"	2155 DT
	Brilliant Yellow	Bristol "Tulip"	B004-10
	Pale Stone	Bristol "Camel"	B134-07
Original	Dark Brown	Taubmans "Belgian Chocolate"	T120 8MB

54B Level 2 Interiors
Middle Room Wall

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Grey Dew"	B155-02
	Pale Lemon	Bristol "Sunlight"	B124-05
	Blue/Grey	Bristol "Grey Cloth"	B159-05
	Cream	Bristol "Dry Bamboo"	B012-04
Original	Warm Beige (Distemper)	Bristol "French Fries"	B012-06

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Grey Dew"	B155-02
	Pale Lemon	Bristol "Sunlight"	B124-05
	Blue/Grey	Bristol "Grey Cloth"	B159-05
Original	Rich Tan	Bristol "Dimboola"	B140-12

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Grey Dew"	B155-02
	Pale Lemon	Bristol "Sunlight"	B124-05
	Blue/Grey	Bristol "Grey Cloth"	B159-05
Original	Dark Red/Brown	Taubmans "Fire Wheel"	T126 8RW

Skirting

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Grey Dew"	B155-02
	Pale Lemon	Bristol "Sunlight"	B124-05
	Blue/Grey	Bristol "Grey Cloth"	B159-05
Original	Dark Brown	Bristol "Spanish Eyes"	B142-10

54B Level 2 Interiors

Middle Room

Picture Rail

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Rhinstone"	B086-01
	Olive Drab	Bristol "Garden Path"	B116-07
	Venetian Red	Taubmans "Venetian Red"	
	Middle Stone	Taubmans "Paxton"	T25 8A
	Mid Earth (several coats)	Solver "Stucco"	2735 WH
Original	Mid Green	Taubmans "Box Tree"	T104-8G

Frieze

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Lime Green	Bristol "Sweet Grass"	B112-10
	Beige	Solver "Warm Beige"	8516 WH
Original	Pale Beige	Taubmans "Lisbon"	T109-2W

Summary

54B Level 2 Interiors

Middle Room

Original Colour Scheme: Wall Elements

Body	Dado	Stripe	Skirting	Picture Rail	Frieze
Bristol "French Fries"	Bristol "Dimboola"	Taubmans "Fire Wheel"	Bristol "Spanish Eyes"	Taubmans "Box Tree"	Taubmans "Lisbon"

Hall

Original Colour Scheme: Wall Elements

Body	Dado	Stripe	Skirting	Picture Rail	Frieze
Bristol "French Fries"	Bristol "Dimboola"	Taubmans "Fire Wheel"	Bristol "Spanish Eyes"	Taubmans "Box Tree"	Taubmans "Lisbon"

Rear Room

Original Colour Scheme: Wall Elements

Body	Dado	Stripe	Skirting	Picture Rail	Frieze
Taubmans "Kenyan Stone"	Taubmans "Red Cedars"	Taubmans "Fire Wheel"	Bristol "Spanish Eyes"	N/A	Taubmans "Lisbon"

54B Level 2 Interiors

Hall

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Rhinstone"	B086-01
	Pale Blue/Grey	Bristol "Sky High"	B072-01
	Pale Lemon	Bristol "Cotton Field"	B127-03
	Beige	Solver "Caramel"	
	Cream	Solver "Rich Cream"	8524 DT
Original	Warm Beige (Distemper)	Bristol "French Fries"	B012-06

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Rhinstone"	B086-01
	Pale Blue/Grey	Bristol "Sky High"	B072-01
	Pale Lemon	Bristol "Cotton Field"	B127-03
	Beige	Solver "Caramel"	
	Tan (2 layers)	Bristol "Hearth Brown"	B138-12
Original	Dark Tan (2 layers)	Bristol "Dimboola"	B140-12

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Original	Red Brown (4 layers)	Taubmans "Fire Wheel"	T126 8RW

Skirting

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Pale Blue	Bristol "Rhinstone"	B086-01
	Pale Grey	Bristol "Snowdrift"	B150-02
	Light Stone	Solver "Deep Taupe"	8553 DT
	Pale Green	Bristol "Light Olive"	B110-07
	Red Brown	Bristol "Hearth Brown"	B138-12
Original	Mid Brown	Bristol "Spanish Eyes"	B142-10

54B Level 2 Interiors

Rear Room

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	PaleStone	Bristol "Parafin"	B121-03
	Pale Grey	Bristol "Oyster Point"	B161-01
	Dusky Pink	Bristol "Bramble Beige"	B025-05
Original	Light Olive	Taubmans "Kenyan Stone"	T105-5W

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	PaleStone	Bristol "Parafin"	B121-03
	Pale Grey	Bristol "Oyster Point"	B161-01
	Dusky Pink	Bristol "Bramble Beige"	B025-05
	Mid Green	Bristol "Chives"	B102-09
Original	Rich Tan	Taubmans "Red Cedars"	T129-8A

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	PaleStone	Bristol "Parafin"	B121-03
	Pale Grey	Bristol "Oyster Point"	B161-01
	Dusky Pink	Bristol "Bramble Beige"	B025-05
Original	Reddish Brown	Taubmans "Fire Wheel"	T126 8RW

54B Level 2 Interiors

Architrave to Doorway, Hall to Middle Room

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Vanilla Slice"	B008-02
	Chinese Blue	Bristol "Antique Blue"	B073-08
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Rich Cream	Taubmans "Pontiac"	T25-4W
	Tan	Bristol "Barrel o' Rum"	B135-10
	Beige	Taubmans "Toasted Wheat"	T21-4W
	Light Green	Taubmans "Javelle"	T99-4W
	Cream	Bristol "Bisque Tint"	B005-05
	Tan	Taubmans "Tabernacle"	T127-5W
	Dark Brown	Bristol "Éclair"	B143-10
	Reddish Tan	Taubmans "Little Hartley"	T127-7A
Original	Dark Green	Taubmans "Box Tree"	T104-8G

54B Level 2 Interiors

Window Sash, Rear Room

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Fetta"	B005-01
	Pale Stone	Bristol "Kernel"	B136-05
	Pale Grey	Taubmans "Silvertone Grey"	T164-2W
	White	Bristol "Unicorn "	B000-01
	Pink	Bristol "Bombay"	B041-07
	Middle Earth	Bristol "Earth Kiss"	B135-07
	Pinkish Brown	Bristol "Roadhouse"	B137-07
Original	Dark Green	Taubmans "Box Tree"	T104-8G

54B Level 1 Interiors

Rear Room**Wall Body**

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Lemon	Bristol "Grape Fruit"	B127-06
	Lime Green	Bristol "Yellow Leaf"	B125-09
	Light Stone	Solver "Mid Biscuit"	8506 WH
	Pale Jade Green	Bristol "Climbing Vine"	B102-06
	Bright Mid Green	Bristol "Shrub Green"	B107-10
	Pale Jade Green	Bristol "Climbing Vine"	B102-06
	Pale Grey/Green	Bristol "Antique Green"	B099-07
	Grey Green	Bristol "The Dandenongs"	B103-08
Original	Flesh Tone (Distemper)	Bristol "French Fries"	B012-06

54C Level 3 Interiors

Hall Wall

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Pale Blue/Green	Bristol "Whipporwill"	B101-08
Original	Aqua	Bristol "Velveteen"	B100-06

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Pale Blue/Green	Bristol "Whipporwill"	B101-08
Original	Tan	Bristol "Hearth Brown"	B138-12

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Pale Blue/Green	Bristol "Whipporwill"	B101-08
Original	Dark Red/Brown	Taubmans "Fire Wheel"	T126 8RW

Skirting

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream (5 layers)	Bristol "Cream Sateen"	B122-01
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Pale Blue/Green	Bristol "Whipporwill"	B101-08
Original	Dark Brown	Bristol "Spanish Eyes"	B142-10

54C Level 3 Interiors

Middle Room: Staircase Joinery

Vertical Boarding

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	White	Bristol "Unicorn"	B000-01
	Bright Yellow	Bristol "Toucan"	
	Saddle Brown	Bristol "Highland Glen"	B133-12
	Mid Green	Bristol "Foliage"	B103-07
	Reddish Brown (3-4 coats)	Taubmans "Little Hartley"	T127-7A
Original	Dark Green	Taubmans "Box Tree"	T104-8G

Stringer and Skirting

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	White	Bristol "Unicorn"	B000-01
	Black Olive	Solver "Panda"	2658 BL
	Venetian Red	Taubmans "Venetian Red"	T173 5SR
	Saddle Brown	Bristol "Highland Glen"	B133-12
	Mid Green	Bristol "Foliage"	B103-07
	Reddish Brown (3-4 coats)	Taubmans "Little Hartley"	T127-7A
Original	Dark Green	Taubmans "Box Tree"	T104-8G

Balusters

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	White	Bristol "Unicorn"	B000-01
	Gold	Dutch Metal "Gold" Leaf	
	Venetian Red	Taubmans "Venetian Red"	T173 5SR
	Saddle Brown	Bristol "Highland Glen"	B133-12
	Mid Stone	Bristol "Grasslands"	B122-08
	Pinkish Brown	Bristol "Tiger Stripe"	B141-08
Original	Olive Green	Taubmans "Box Tree"	T104-8G

Handrail and Newel Post

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	White	Bristol "Unicorn"	B000-01
	Black Olive	Solver "Panda"	2658 BL
	Venetian Red	Taubmans "Venetian Red"	T173 5SR
	Saddle Brown	Bristol "Highland Glen"	B133-12
	Mid Stone	Bristol "Grasslands"	B122-08
	Mid Green	Taubmans "Lupy Lupin"	T96-7A
	Reddish Brown (3 coats)	Bristol "Tuckerbox"	B142-09
Original	Dark Brown	Bristol "Dark Horse"	B148-12

56A Level 3 Interiors

Front Room (West Wall)

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Beige	Solver "Mid Biscuit"	T149-5W
	Pale Green	Bristol "Mint Frost" or Taubmans "Olive Shadow"	B101-06 T106-6A
	Lining Paper		
3 rd Dado Scheme	Blue/Grey (Distemper)	Bristol "Wind Star"	B151-06
2 nd Dado Scheme	Green (Distemper)	Bristol "Eden"	B107-08
Original 1 st Dado Scheme	Pale Jade Green	Taubmans "Leopold"	T96-3W

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Beige	Solver "Mid Biscuit"	T149-5W
	Pale Green	Bristol "Mint Frost" or Taubmans "Olive Shadow"	B101-06 T105-6A
	Lining Paper		
3 rd Dado Scheme	Tan	Bristol "Gingernut"	B140-11
2 nd Dado Scheme	Mid Green	Taubmans "Lupy Lupin"	T96-7A
Original 1 st Dado Scheme	Jade Green	Taubmans "Green Plaza"	T96-6A

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
3 rd Dado Scheme	Reddish Brown	Taubmans "Fire Wheel"	T126 8RW
2 nd Dado Scheme	Reddish Brown	Taubmans "Fire Wheel"	T126 8RW
Original 1 st Dado Scheme	Venetian Red	Taubmans "Venetian Red"	T173 5SR

Skirting

Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Tan	Bristol "Gingernut"	B140-11
	Dark Brown	Bristol "Spanish Eyes"	B142-10
Original	Dark Green	Taubmans "Box Tree"	T104-8G

54 Level 2 Interiors

Front Room

Fireplace Surround (Cast Iron)

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Mid Grey	Taubmans "Thelma Bay"	T149-5W
	Pale Grey	Taubmans "Silverstone Grey"	T164-2W
	Mid Green	Bristol "Capsicum"	B103-09
	Tan	Bristol "Teddy Bear"	B138-10
	Reddish Brown	Bristol "Dimboola"	B140-12
Original	Dark Green	Taubmans "Box Tree"	T104-8G

56B Level 1 Interiors

Rear Room

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Lemon	Bristol "Grape Fruit"	B127-06
	Cream	Solver "Rich Cream"	8524 DT
	Pale Grey/Green	Bristol "Shimmering Glade"	B100-04
	Cream	Bristol "Quicksand"	B122-05
3 rd Dado Scheme	Mid Grey	Bristol "Grey Cloth"	B159-05
2 nd Dado Scheme	Jade Green	Bristol "Antique Green"	B099-07
1 st Dado Scheme (Original)	Jade Green	Bristol "Antique Green"	B099-07

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Lemon	Bristol "Grape Fruit"	B127-06
	Cream	Solver "Rich Cream"	8524 DT
	Pale Grey/Green	Bristol "Shimmering Glade"	B100-04
	Cream	Bristol "Quicksand"	B122-05
3 rd Dado Scheme	Jade Green	Bristol "Antique Green"	B099-07
2 nd Dado Scheme	Terra Cotta	Bristol "Hearth Brown"	B138-12
1 st Dado Scheme (Original)	Dark Tan	Bristol "Dimboola"	B140-12

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Lemon	Bristol "Grape Fruit"	B127-06
	Cream	Solver "Rich Cream"	8524 DT
	Pale Grey/Green	Bristol "Shimmering Glade"	B100-04
	Cream	Bristol "Quicksand"	B122-05
3 rd Dado Scheme	Brunswick Green	Bristol "Garden Island"	B103-12
2 nd Dado Scheme	Dark Red/Brown	Taubmans "Fire Wheel"	T126 8RW
1 st Dado Scheme (Original)	Dark Red/Brown	Taubmans "Fire Wheel"	T126 8RW

56A Level 3 Interiors

Rear Room

Wall Body

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Mid Biscuit	Bristol "Chipmunk"	B140-05
	Taupe	Bristol "Clancy Brown"	B141-07
1 st Post Dado Scheme	Blue Green	Bristol "Cosmos"	
	Mid Biscuit	Bristol "Chipmunk"	B140-05
	Pale Stone	Bristol "Goondoowindi"	B134-04
Original	Pale Blue (Distemper)	Bristol "Sonata"	B091-02

Dado

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Present	Pale Cream	Bristol "Cream Sateen"	B122-01
	Mid Biscuit	Bristol "Chipmunk"	B140-05
	Taupe	Bristol "Clancy Brown"	B141-07
	Blue Green	Bristol "Cosmos"	B091-05
3 rd Dado Scheme	Red Brown	Bristol "Hearth Brown"	B138-12
2 nd Dado Scheme	Pink Brown	Bristol "Roadhouse"	B137-07
1 st Dado Scheme (Original)	Dark Brown	Bristol "Spanish Eyes"	B142-10

Dado Stripe

Scheme	Generic Colour	Nearest Practical Equivalent Colour	Code
Original	Dark Red/Brown	Taubmans "Fire Wheel"	T126 8RW

Bristol "French Fries"

Taubmans "Fire Wheel"

Taubmans "Box Tree"

Bristol "Hearth Brown"

Bristol "Spanish Eyes"

OPTION 1: Dado Scheme

Taubmans "Box Tree"

Bristol "Sonata"

Bristol "Spanish Eyes"

Rear Rooms Level 3

Taubmans "Lisbon"

Taubmans "Box Tree"

Bristol "Dry Bamboo"

Bristol "Spanish Eyes"

OPTION 2: Middle Rooms

Part 2

46–56 Gloucester Street, The Rocks

SHR No. 01609

Conservation Management Plan

Report prepared for NSW Land and Housing Corporation

October 2016



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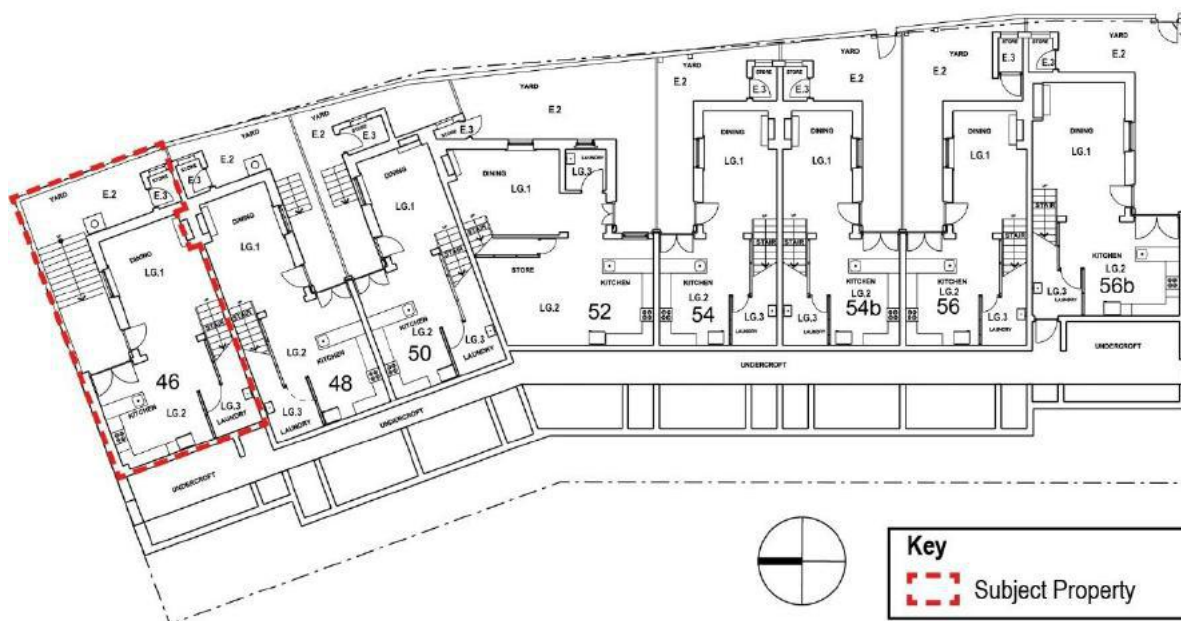
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1.0 Flat 46 of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street CMP refers only to Flat 46 Gloucester Street. It should be read in conjunction with the preceding sections. Figure 1.1 shows the location of the flat within the building. Figure 1.2 and Figure 1.3 show the configuration of flat 46.

Number 46—Property Plan, Lower Ground Floor



Number 46—Property Plan, Ground Floor



Figure 1.1 Location plan—Flat 46 / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 46—Plans

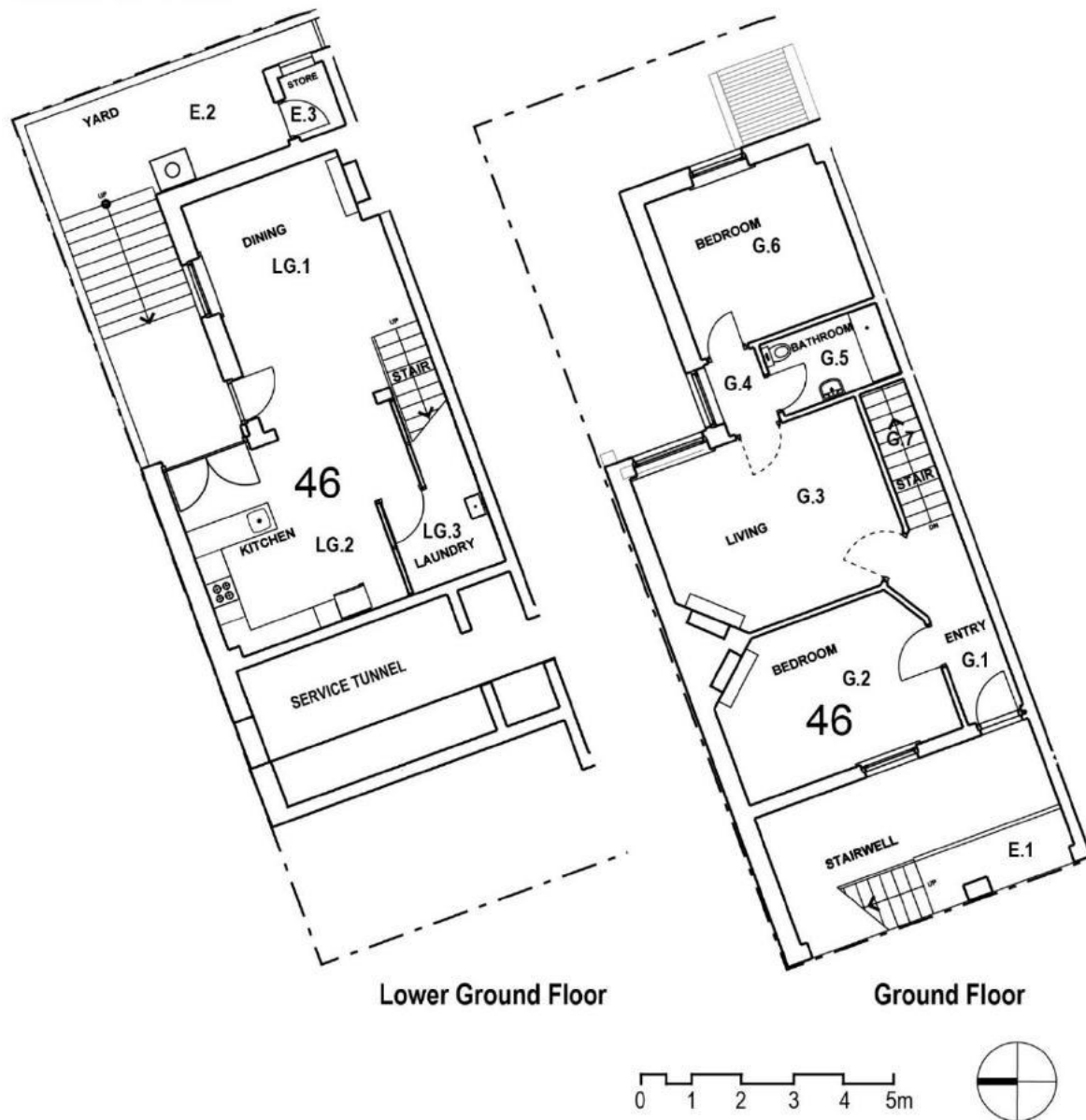


Figure 1.2 Plans of Flat 46 / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 46—Elevations

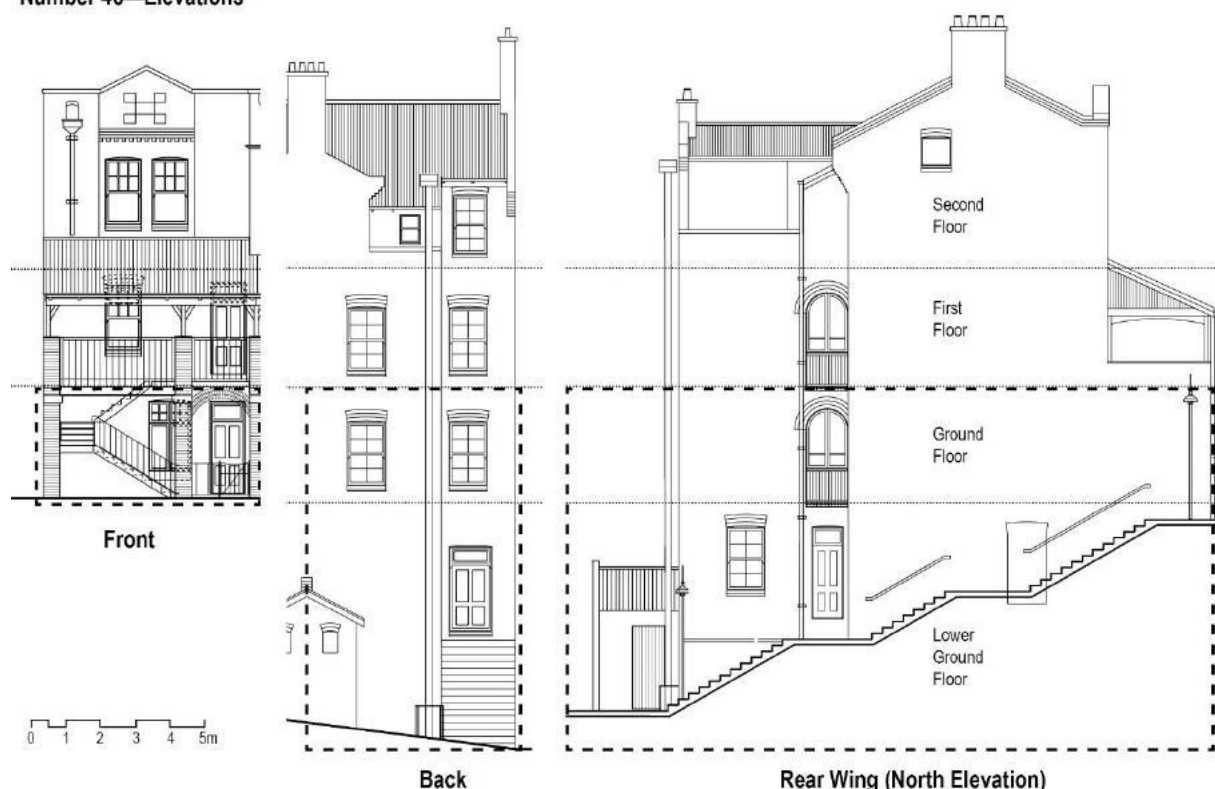


Figure 1.3 Elevations of Flat 46 / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

1.1 Summary of Heritage Significance

Flat 46 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the Conservation Management Plan (CMP). It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual flat owners and the owners' corporation.

1.2 Physical Description of Flat 46

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

1.2.1 Typology

Flat 46 is one of 8 maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 46 is a Type 3 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 3 Flats are the end flats. They have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor

dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 to another.

1.2.2 External

The flat is separated from adjoining flat (Flat 48) by a structural party wall running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The north wall is the external gable wall of the block of flats. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56b) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 1.7 and Figure 1.8). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 1.7) The fence is set back and flows into the handrail of the common stairway to the verandah.

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 1.57). The yard is on two levels with a flight of concrete steps between. It has an external (former) WC (space E.3). Unlike the other flats, there is no reconstructed traditional timber clothes hoist inside the fence. There is no private access from Cambridge Street.

At the rear, the property shares rainwater services with Flat 46A above (stainless steel square section downpipes) (Figure 1.57).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 1.7) The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 1.9). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, a central brass knob, letterbox, spyhole, and modern mortise lock. There is a pivot fanlight over (Figure 1.15). The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a mullion and transom style casement with side-hinged four-light top casements and single light lower casements, and has a chamfered brick sill. The door has a slate threshold (Figure 1.10, Figure 1.11 and Figure 1.12)

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 1.51, Figure 1.52 and Figure 1.53) The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street with a set of louvre glazing panels.

The rear elevation is of common brick in stretcher bond, struck jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 1.56) The exception is the round-arched

window of the former rear porch, which faces north towards the Cambridge Stairs (Figure 1.58). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a solid timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 1.47, Figure 1.48 and Figure 1.49)

1.2.3 Internal—Ground Floor

As with the other Type 3 flat (Flat 56B), entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the front bedroom and living room with pivot fanlights over. In Flat 46 the door between the hall (space G.1) and the living room (space G.3) is angled at 45 degrees from the hallway axis and the door has been removed, although the frame and fanlight survive (Figure 1.21). There is a transverse beam across the hallway. The front bedroom (on the left) has timber floor, cement run skirtings, timber cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and double casement window (as described above) (Figure 1.18). It has a corner fireplace with cast iron grate and mantel piece with concrete hearth (Figure 1.17).

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figure 1.22). Between the stairs (G.7) and the living room is a coke breeze partition wall.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway (door removed) with fanlight over. The former porch (space G.4) has a timber floor, painted unrendered brick internal wall faces with timber cornice, and timber skirting under the window (Figure 1.26 and Figure 1.29). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under.

The bathroom (space G.5) has a modern fit-out with modern ceramic tiled floor and walls. A new ceiling structure has been inserted below the original ripple iron ceiling and timber cornice (Figure 1.30, Figure 1.31, Figure 1.32). The bathroom has a half-glazed timber door in the original frame, with moulded sunk panels (flush panels inside), opaque glass and fixed fanlight over.

The rear bedroom (space G.6) has cement run skirtings, timber cornice, scroll pattern vents, timber floor, modern hollow core flush door, and one timber double-hung sash window (four lights over four) (Figure 1.33 and Figure 1.34).

1.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, with coke breeze partition above, original timber handrail and balustrade with newel post (to the lower section), timber skirtings and stringers (Figure 1.35 and Figure 1.36). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 1.39). The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original fireplace (boarded-out and converted to shelving)

with concrete hearth, scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall (Figure 1.37). Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained. The laundry (space LG.3) has been divided from the kitchen by a modern partition wall. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 1.45 and Figure 1.46)

1.3 Phases of Development

Figure 1.4 and Figure 1.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 46—Phases of Development, Plans

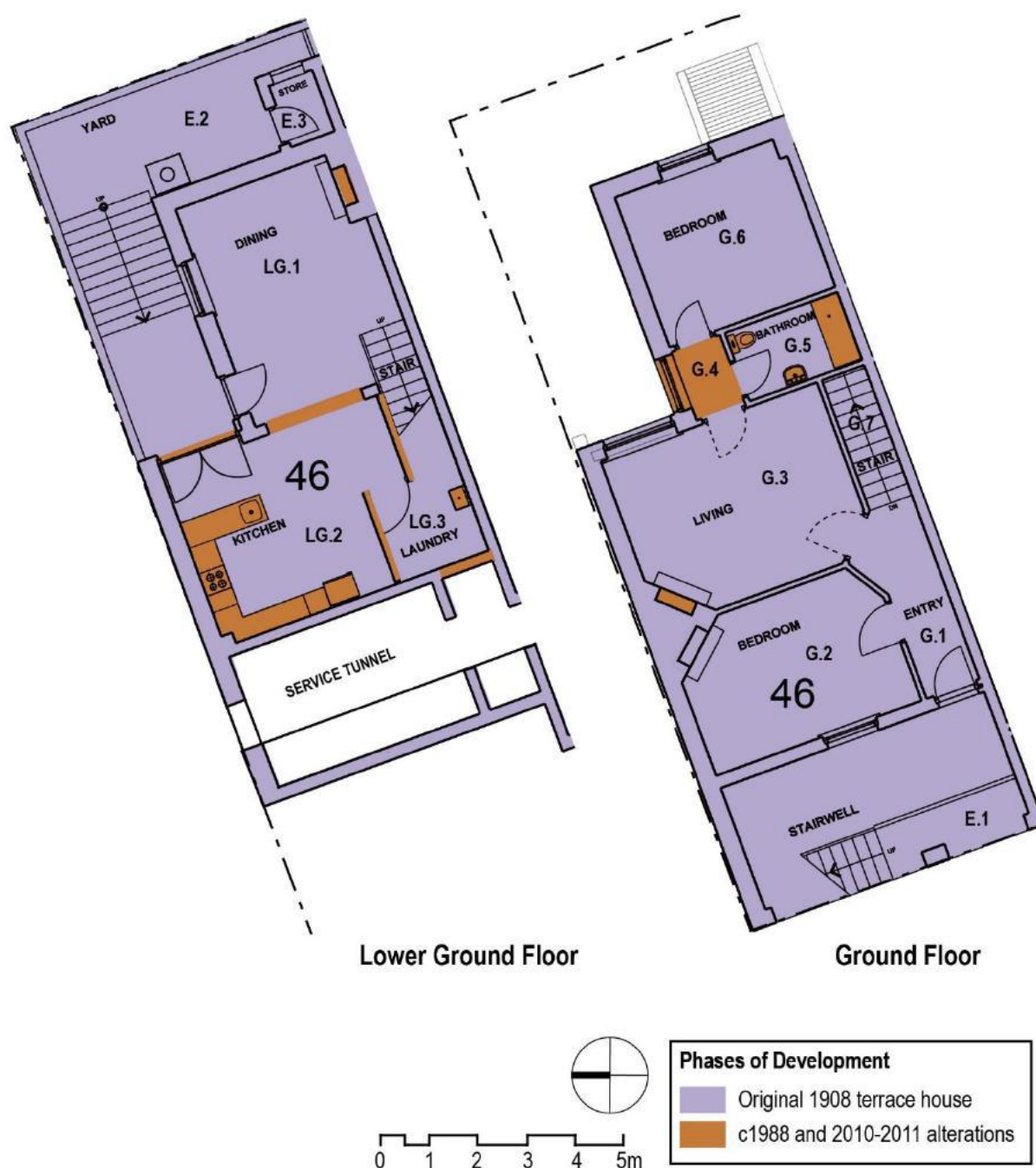


Figure 1.4 Plans showing phases of development—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46—Elevations, Phases of Development



Figure 1.5 Elevations showing phases of development—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

1.4 Significant Components of Flat 46

As with all the flats at 46–56 Gloucester Street, Flat 46 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 46.

1.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures 11.6-11.59) document the elements and spaces of 46 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 1.6 Overall façade of 46 Gloucester Street, showing front verandah (common property), shared guttering and downpipe on the boundary with 46 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 1.7 Front verandah looking down from Gloucester Street—46/46–56 Gloucester Street, showing the eastern stair access (common property) to the upper floor verandah and contrasting brick arch and sandstone bolster supporting the steelwork—46/46–56 Gloucester Street. (Source: GML Heritage, November 2015)

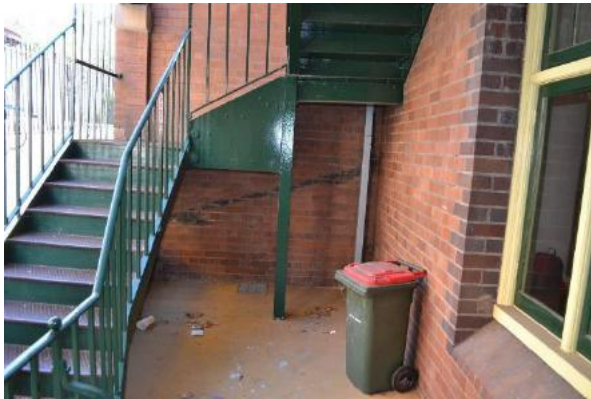


Figure 1.8 Front yard area (space E.1) showing steel down pipes and face brick end wall—46/46–56 Gloucester Street. (Source: GML Heritage July 2016)



Figure 1.9 Front yard (space E.1) showing the wrought iron fence and gate—46/46–56 Gloucester Street. (Source: GML Heritage July 2016)



Figure 1.10 Detail of western elevation to Flat 46 at ground-floor level, showing original casement window with—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.11 Timber four panel bolection moulded door with wired glass to the upper panels—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

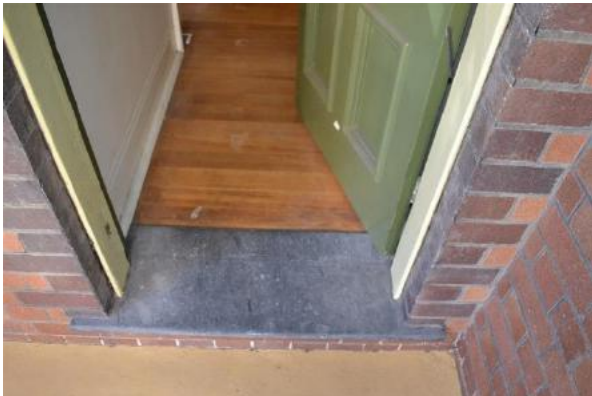


Figure 1.12 Original slate threshold to front door—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.13 Early letter slot and door handle to the front door—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.14 Entry (space G.1) showing timber floor cement run skirting and timber door frames to the living room (space G.3) — 46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.15 Original fanlight and reproduction fanlight mechanism to front door—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.16 Front bedroom (space G.2) showing the timber floors, cement run skirting and fireplace—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.17 Original cast-iron chimney piece and grate (covered with Perspex) in the front bedroom (space G.2)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.18 Front bedroom (space G.2) showing the casement window—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.19 Front bedroom (space G.2) showing the timber four panel door with original fanlight—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.20 Front bedroom (space G.2) showing detail of timber picture rail, decorative plaster wall vent and plasterboard ceiling—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.21 Ceiling of entry hall (space G.1) showing beaded timber beam and cornices, lightweight concrete wall, fanlight and architrave—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.22 Living room (space G.3) showing timber floors, cement run skirting, moulded timber picture rail and plasterboard ceiling and cement hearth to the original fireplace (blocked up)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.23 Original timber double-hung window to the living room (space G.3)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.24 Living room (space G.3) showing the original doorway with fanlight (door is missing) to entry hall (space G.1)—46 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

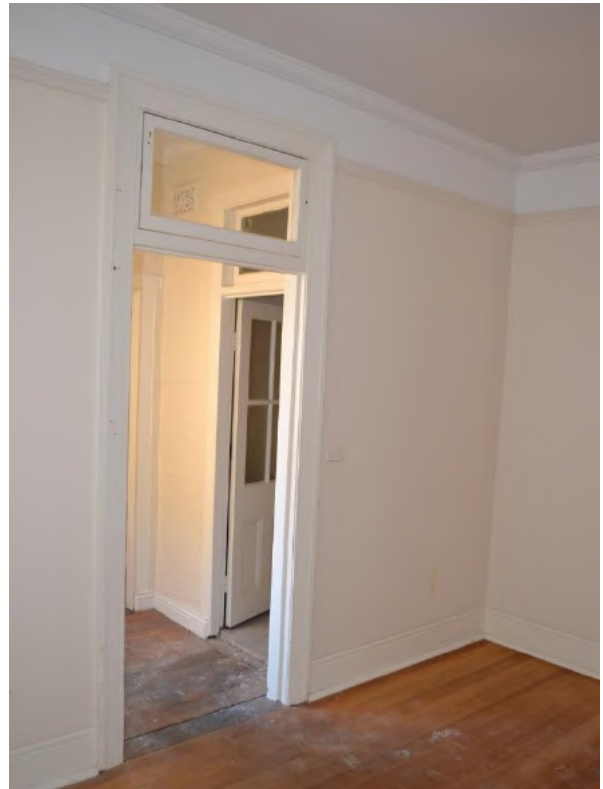


Figure 1.25 Original doorway, with fanlight above, between the living room (space G.3) and the infilled porch (space G.4)—46 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.26 Infilled former rear porch opening (space G.4). The original arched opening has been infilled with vertical boarding and casement windows—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.27 Infilled former rear porch opening (space G.4) showing half-glazed timber door to bathroom with original architraves—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

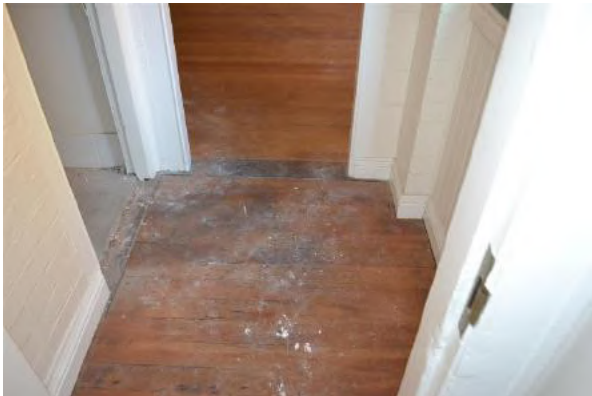


Figure 1.28 Infilled former porch opening (space G.4) with timber flooring and original timber step treads—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.29 Infilled former porch opening (space G.4) showing the arched brick heads above door, decorative plaster wall vent and plaster ceiling—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.30 Bathroom (space G.5). The plasterboard ceiling has been removed—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.31 Bathroom (space G.5) showing the original fanlight and decorative plaster wall vent—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.32 Bathroom (space G.5) showing the modern refit—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.33 Rear bedroom (space G.6) showing timber double hung sash window, timber floor boards, cement rendered skirting and decorative plaster wall vent—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.34 Rear bedroom (space G.6) showing the plaster board ceiling, cement rendered skirting and modern door—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

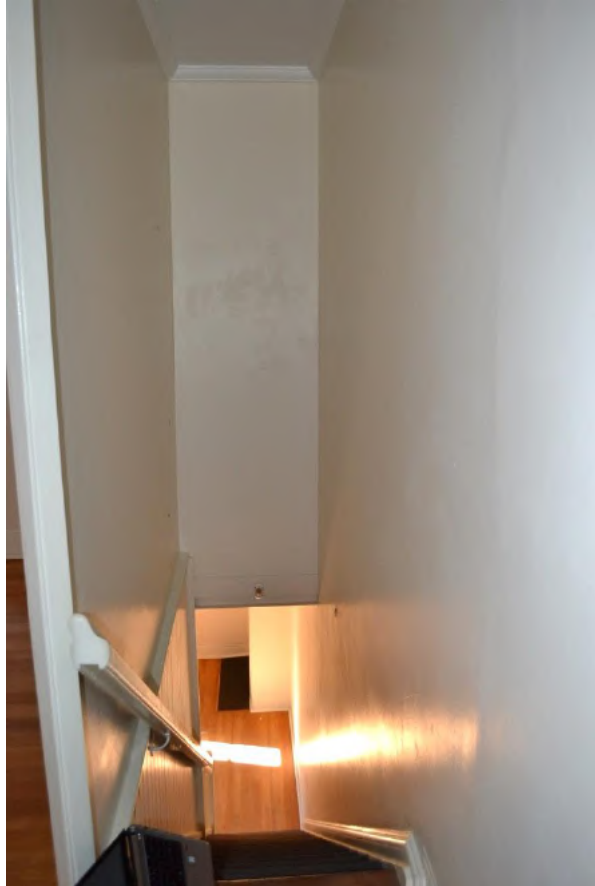


Figure 1.35 Staircase (space G.7) leading from the living room (space G.3) to the lower ground dining room (space LG.1)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.36 Original stair (space LG.1) with closed string, square balusters and newel posts, and moulded timber handrail—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.37 Lower ground floor level, showing the original timber stair, large opening cut through to kitchen (space LG.2) and enclosure to create a laundry under the stairs c1988 (space LG.3)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.38 Dining room (space LG.1) showing the timber double-hung sash window—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.39 Ceiling of the dining room (space LG.1) showing the ripple iron and steel support beams—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

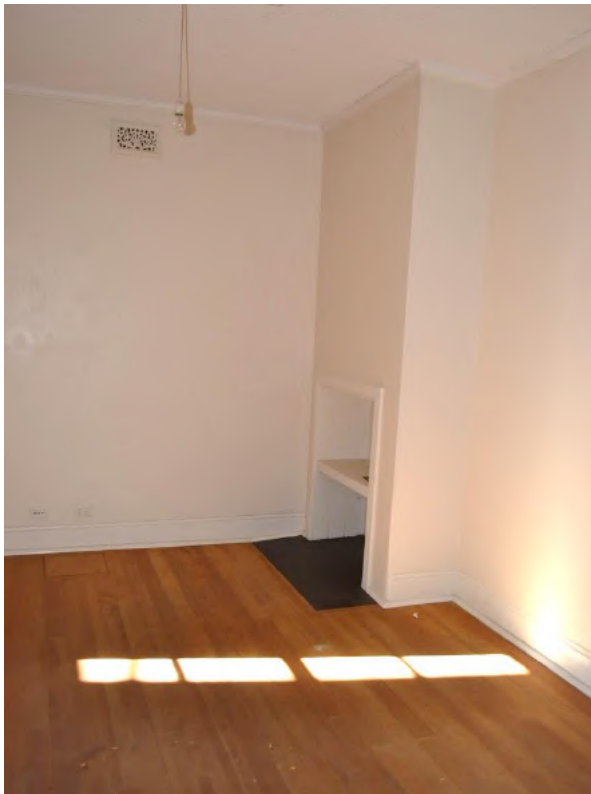


Figure 1.40 Dining room (space LG.1) showing the timber floor boards, cement run skirting and original concrete hearth with fireplace converted into shelves—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.41 timber four panel door with bolelection mouldings and fanlight to rear yard (space E.2)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.42 Kitchen (space LG.) showing concrete floor and modern refit—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.43 Original ripple iron ceiling in the kitchen (space LG.2)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.44 Half-glazed timber door with fanlight above from kitchen (space LG.2) to rear yard (space E.2)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.45 half-glazed timber door to laundry (space LG.3)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.46 Laundry (space LG.3) showing the modern refit and timber soffit to stair—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

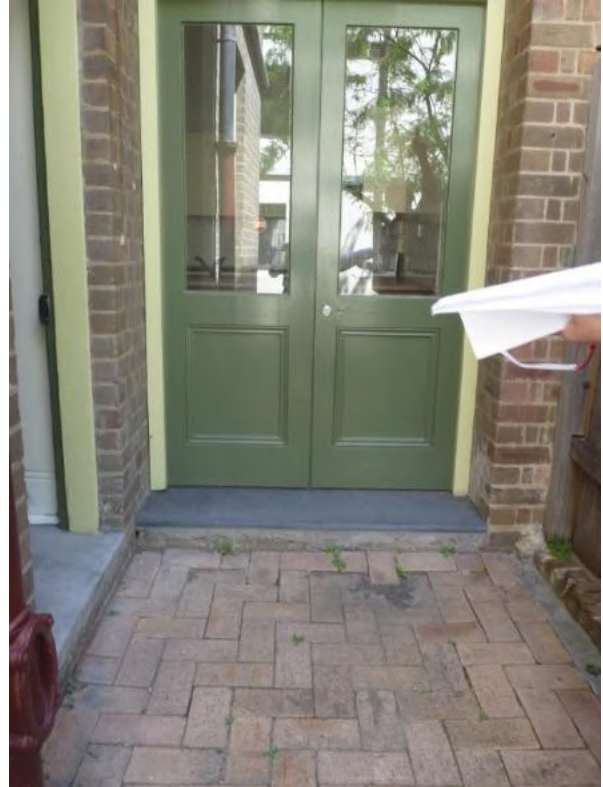


Figure 1.47 Half-glazed timber doors to the kitchen (space LG.2) with concrete threshold—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.48 Fanlight and arch bars above exterior door—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.49 Concrete threshold to dining room door (space LG.1)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.50 External timber double-hung sash window with brick arch and chamfered brick sill—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.51 External WC or store in common brick (space E.3) with skillion roof and timber door with brick arch above—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.52 External store (space E.3) showing the original painted bricks and louvred glass window with brick arch above—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.53 Ceiling of the external store (space E.3) formed by the underside of the corrugated metal roof—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.54 External store (space E.3) showing the ledgered and sheeted timber door and arched detail brick on the internal wall—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.55 Failed guttering and down pipe to the roof of the external store (space E.3)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.56 Rear façade, showing the northern timber fence, window to living room (space G.3) and half-glazed timber double doors to the kitchen (space LG.2)—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.57 Rear (east) façade showing the sandstone retaining wall, timber fence, external WC or Store (Space E.3) and the common brick walls to flat 46—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 1.58 round-arched window of the former rear porch—46/46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 1.59 Northern boundary of flat 46, showing the sandstone retaining wall stepped up the slope, timber fence and common brick wall to the lower ground of the flat—46/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

1.4.2 Significance Gratings Diagrams for Flat 46

Figures 46 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 1.1 to 1.5).

Number 46—Plans, Gradings of Significance



Figure 1.60 Plans showing gradings of significance—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46—Elevations, Gradings of Significance



Figure 1.61 Elevations showing gradings of significance—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

1.4.3 Significant Fabric and Condition—Flat 46

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 1.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
	Dark face brick round arch over front yard	O	E	G
	Sandstone bolsters supporting the arch	L 20 th	E	G
Party walls	Cross wall adjoining flat 48 with sandstone bolster supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Downpipes	Galvanised steel downpipe to northern end of front elevation	E 21 st	L	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th / E 21 st	M	G
	Brass knob, spyhole and letterbox	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double mullion & transom style casement window	O	E	G
	Plain glass (original glass in the top lights of the casements)	O/L 20 th	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta cavity vents	O	E	G

Table 1.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G/F
Gutters and downpipes	Steel	L 20 th	H	G
	Cast iron square downpipes	O	E	G
	Copper and cast iron downpipes/service pipes to rear wing north elevation	O / Early 21 st	E	G
Door threshold	Concrete threshold to rear door	L 20 th	M	G
Door set	Four-panel sunk moulded rear main door	O / L 20 th	E	G
	Half-glazed French doors with top hung fanlight to rear yard from kitchens	L 20 th	M	G
	Door furniture	L 20 th	M	G
Fanlight	Central pivot fanlight over rear main door	O	E	G
	Reproduction mechanism	E 21 st	M	G

Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G
Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	M	F
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 1.3 Exterior (North elevation)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north elevation	Common brick	O	E	G
	Infill to former tunnel opening	L 20 th	M	G
Door heads	Arched brick head to former service tunnel opening	O	E	G

Table 1.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Stairs	Steel stairway	O	E	G
Space E.2—Rear Yard				
Fence—east & north	Timber paling	L 20 th	M	F
	Rock faced sandstone	L 20 th on original fence line	H	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence- north	Timber paling	L 20 th	M	F
Paving	Brick pavers	L 20 th	L	F/P
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Chute	L 20 th Reconstr.	H	G
	Concrete table and supports	O	E	G
Clothes hoist	Timber hoist frame and pulleys fixed to rear wall (no corresponding posts at the fence)	L 20 th Reconstr.	H	F

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron (mini orb, not standard)	Structure: O Sheeting: E 21st	Form: O Sheeting: H	F
Gutters and downpipes	Copper gutters and downpipe	O	E	F
Eaves and verges	Exposed rafter, timber bargeboard	O	E	F
Door set	Ledged and braced timber door with strap hinges and original door furniture	O	E	P
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber fixed louvre frame including glass	O	E	F
Window heads	Common brick arch with hoop iron lintel bar	O	E	G
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G

Table 1.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Modern quad mould	O E 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	F
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Front door (see Exterior (front)) Internal door frame to stair hall (door leaf removed)	O O	E E	G G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over doorway to living room (no mechanism)	O	E	G
Other	Light fittings	L 20 th	L	Not tested
Space G.2—Front Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O E 21 st	E M	G G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Cast iron fire surround (painted) and grate.	O	E	G
	Perspex cover to grate)	E 21 st	L	F
	Concrete hearth	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	E 21 st h	M	G
Window joinery	Timber double casement window, timber frame and sill board with moulded timber architrave. Orig. glass in upper lights.	O	E	G
	Door furniture: pendant catches	O	E	G
	Door furniture: brass stays	E 21 st	L	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	F

Space G.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	M	G
Walls	Painted set plaster above dado	O	E	G/F
	Cement render below dado	O	E	G/F
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace blocked off and rendered and skirted over	O	E	unknown
	Fireplace infill	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Timber frame	O	E	G
	Door leaf removed for rear porch			
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway, no mechanism	O	E	G
Window joinery	Timber double hung sash window (six-over-one), timber box frame, sillboard and moulding with moulded timber architrave	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	E 21 st L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level) Original floor (construction unknown) Timber step treads with nosings from adjacent rooms	O, E 21 st repairs O O	E E E	G unknown G
Skirting	Timber, under window Timber, against bathroom wall	L 20 th O?	L E	G G
Walls	Painted finish Original brickwork	L 20 th O	E E	G G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Round headed double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Grill type (to bathroom wall)	O	E	G

Space G.5—Bathroom

Floor	10cm ceramic tiles Original and repaired timber boards and joists beneath	L 20 th / E 21 st O, E 21 st	L E	G unknown
Skirting	Ceramic tile	E 21 st	L	G
Walls	Painted render/plaster Ceramic tile	O Early 21 st	E L	G G
Ceiling	Fire rated plasterboard to false ceiling Ripple iron behind ?	L 20 th O	M E	(partly removed) P
Cornice	Timber quarter round	O	E	P
Door set	Half-glazed panel door with textured glass in original frame to porch, flush panels on the inside moulded on the outside Door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Transom light	Pivot fanlight (non operable, mechanism removed)	O	E	F
Wall vents	Decorative plaster	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services, plastic ceiling vent	L 20 th / E 21 st	L	G/F

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space G.6—Rear Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Hollow core flush door in original frame (entry from porch, no fanlight)	L 20 th / E 21 st	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Light fittings	L 20 th	L	F
Space G.7— Stairs				
Floor	Timber	O	E	G
	Carpet	E 21 st	L	F
Stairs	Timber stair, moulded handrail (balustrade side only), closed strings, balustrade with square section balusters (dining room), timber skirtings.	O	E	G
	Boarded soffit under stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Coke breeze partition wall between stair and living room	O	E	G
	Vertical T & G boarded lining to staircase	L 20 th	M	G
Space LG.1—Dining Room				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O, E 21 st	E	G
Ceiling	Ripple iron	O	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
Fireplace and chimney piece	Vertical boarded alcove	L 20 th	L	G
	Concrete hearth	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G

Space LG.2—Kitchen

Floor	Concrete slab Vinyl tiles	O L 20 th	E L	G G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render Timber and plasterboard partitions Large Opening	O L 20 th L 20 th	E L M	G G n/a
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber to double doors	L 20 th	L	G
Other	Kitchen fit-outs and services Light fittings	L 20 th / E 21 st L 20 th / E 21 st	L L	F F

Space LG.3—Laundry

Floor	Concrete slab Ceramic tiles	O L 20 th	E L	G G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Rendered brick, painted Plasterboard partitions	O L 20 th	E L	G G
Cornice	Timber quarter round to partitions Timber quarter round to brick walls	E 21 st ? O?	L E	G G
Ceiling	Ripple iron Timber boarded soffit to staircase	O L 20 th	E L	G G
Architraves	Timber door architrave	L 20 th	L	G
Door set	Original half-glazed timber panel door with old glass (possibly reused from another space in the building) Fanlight	O, E 20 th E 21 st	H L	G G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater Electrical fixtures	E 21 st L 20 th / E 21 st	L L	G G

1.5 Priority Conservation Works

1.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

1.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

1.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 46 should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.
- Repair fence and retaining wall in the rear yard
- Check and repair galvanised iron roof covering and flashings
- Reify gutter from external WC in rear yard and reconnect downpipe.
- Check for timber decay, borer or termite damage.

- Remove weeds and rubbish, and apply herbicide to rear yard.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Repair and reinstate damaged timber cornices.
- Check over and adjust pivot fanlights.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstate broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

1.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

1.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

1.7 Specific Conservation Policies for Flat 46

There are no specific policies for Flat 46 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 46 must comply with the conservation policies set out in Part 1 Section 9.0.

1.8 Areas for Possible Change for Flat 46

Areas for possible change within the flat at 46 Gloucester Street are shown on Figure 1.62 and Figure 1.63

Number 46—Plans, Areas for Possible Change

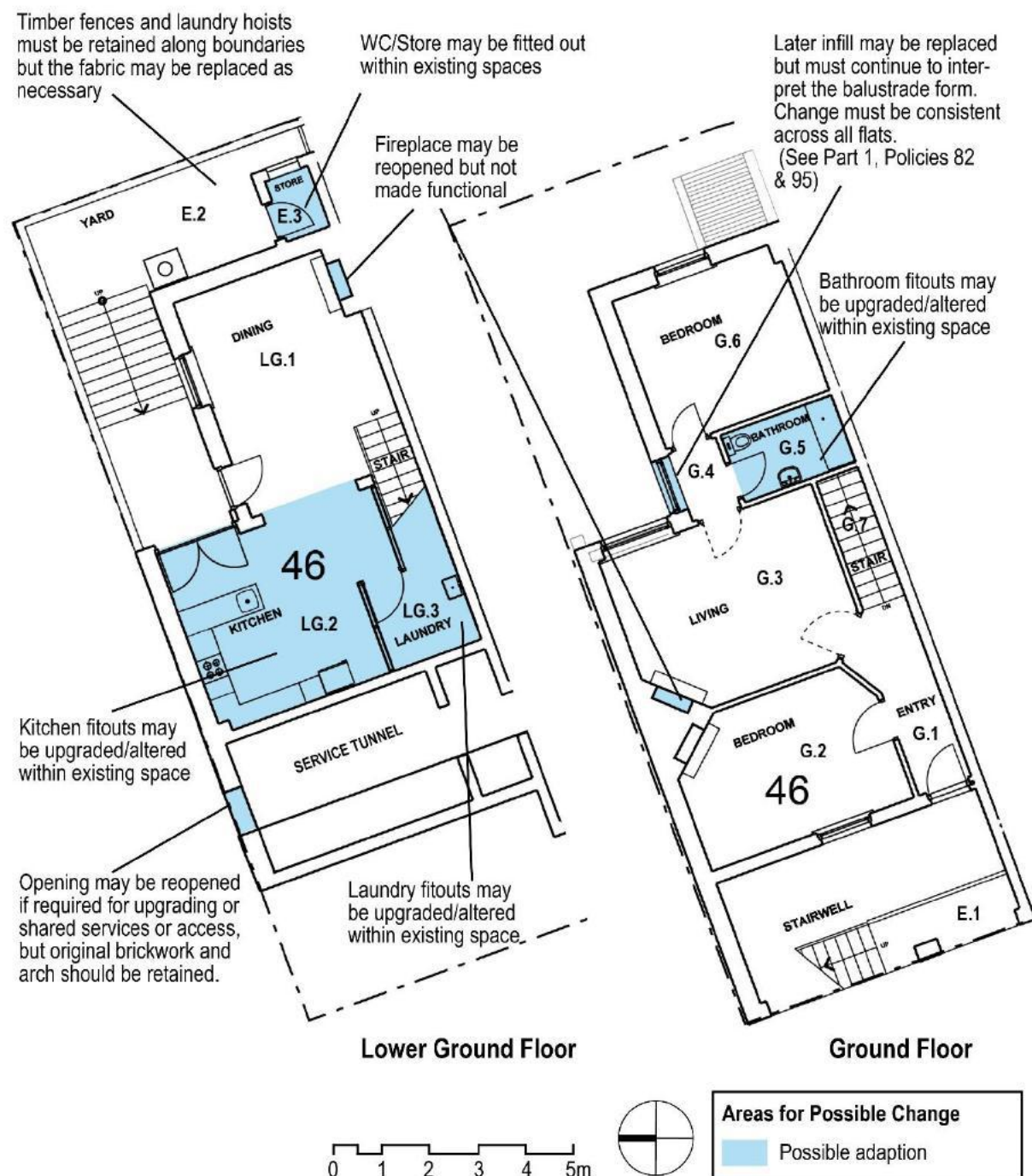


Figure 1.62 Plans showing areas for possible change—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46—Elevations, Areas for Possible Change

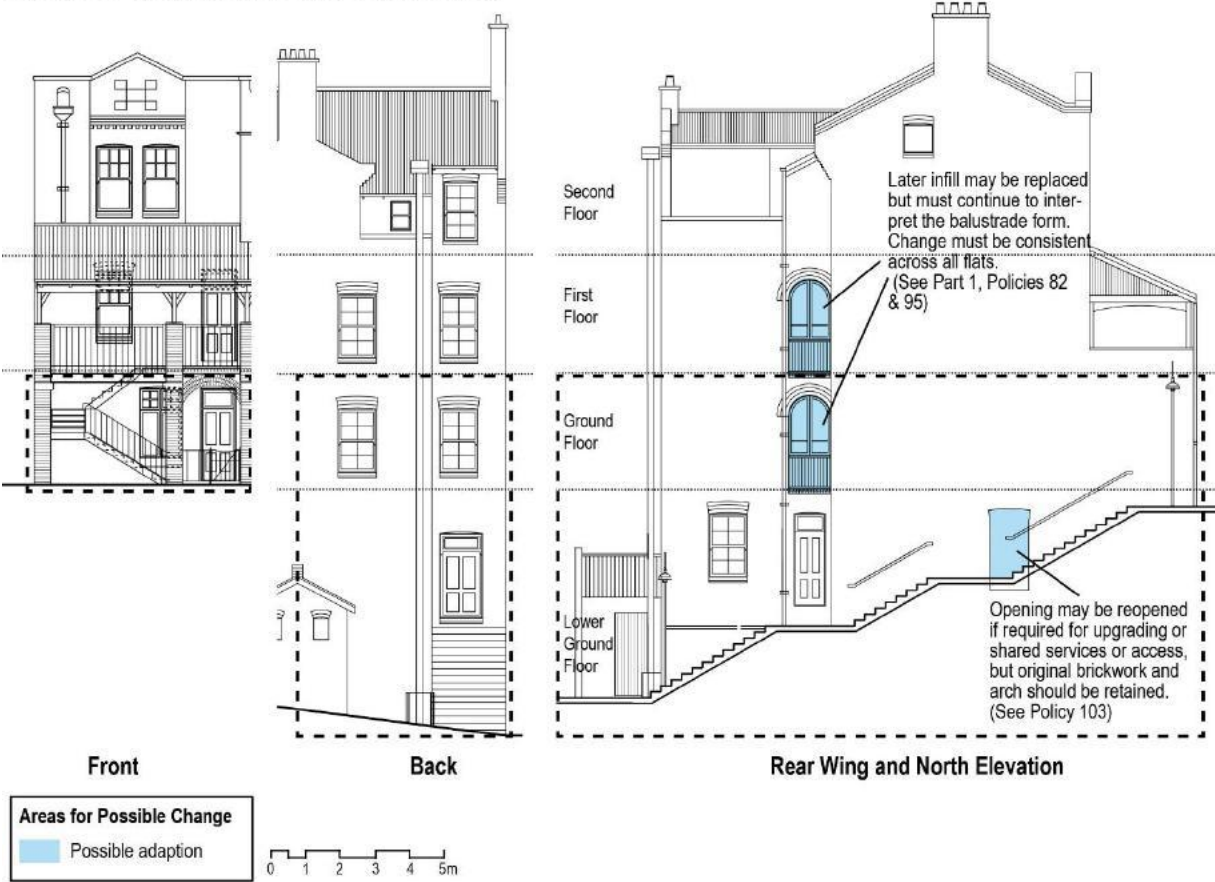
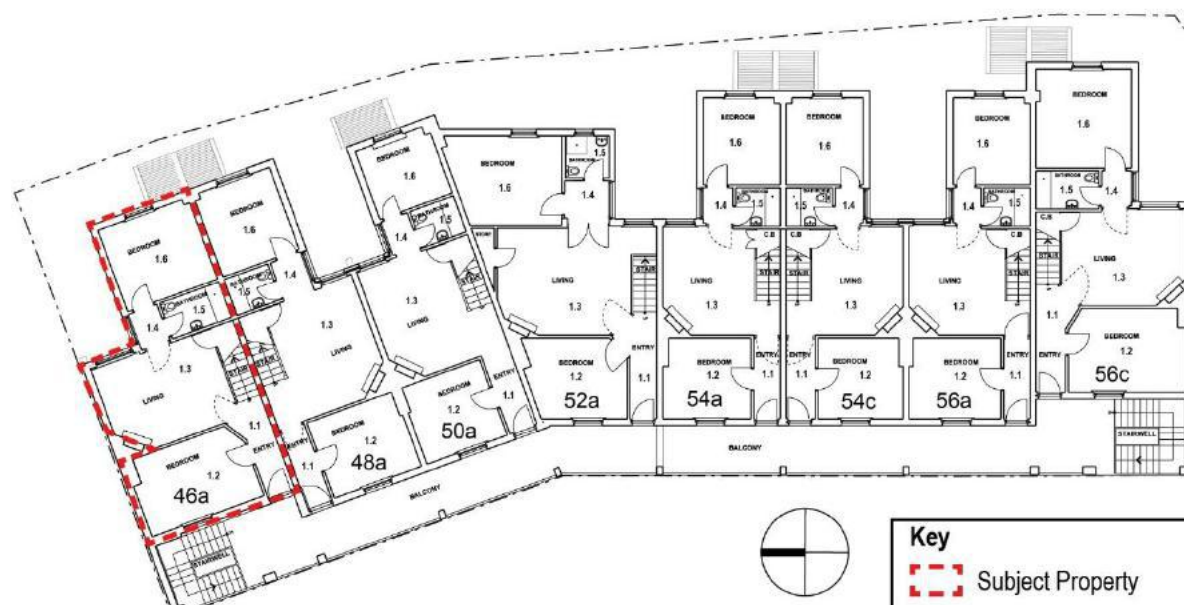


Figure 1.63 Elevations showing areas for possible change—Flat 46 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

2.0 Flat 46A Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 46A Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 2.1 shows the location of the flat within the building. Figure 2.2 and Figure 2.3 show the configuration of Flat 46A.

Number 46a—Property Plan, First Floor



Number 46a—Property Plan, Second Floor

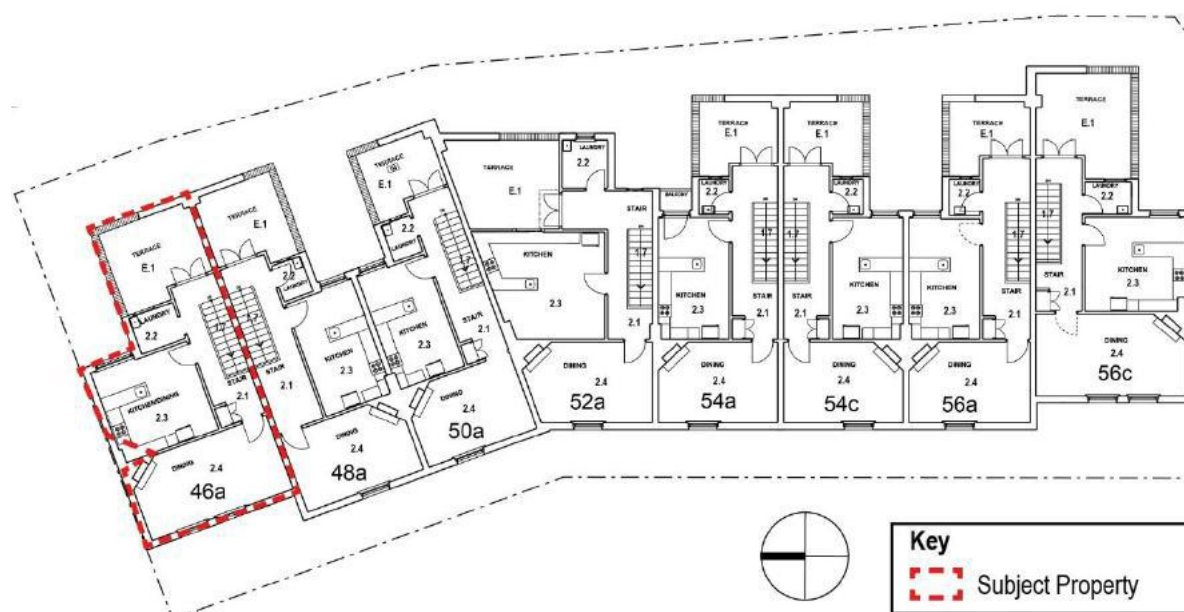


Figure 2.1 Location plan—Flat 46A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 46a—Plans

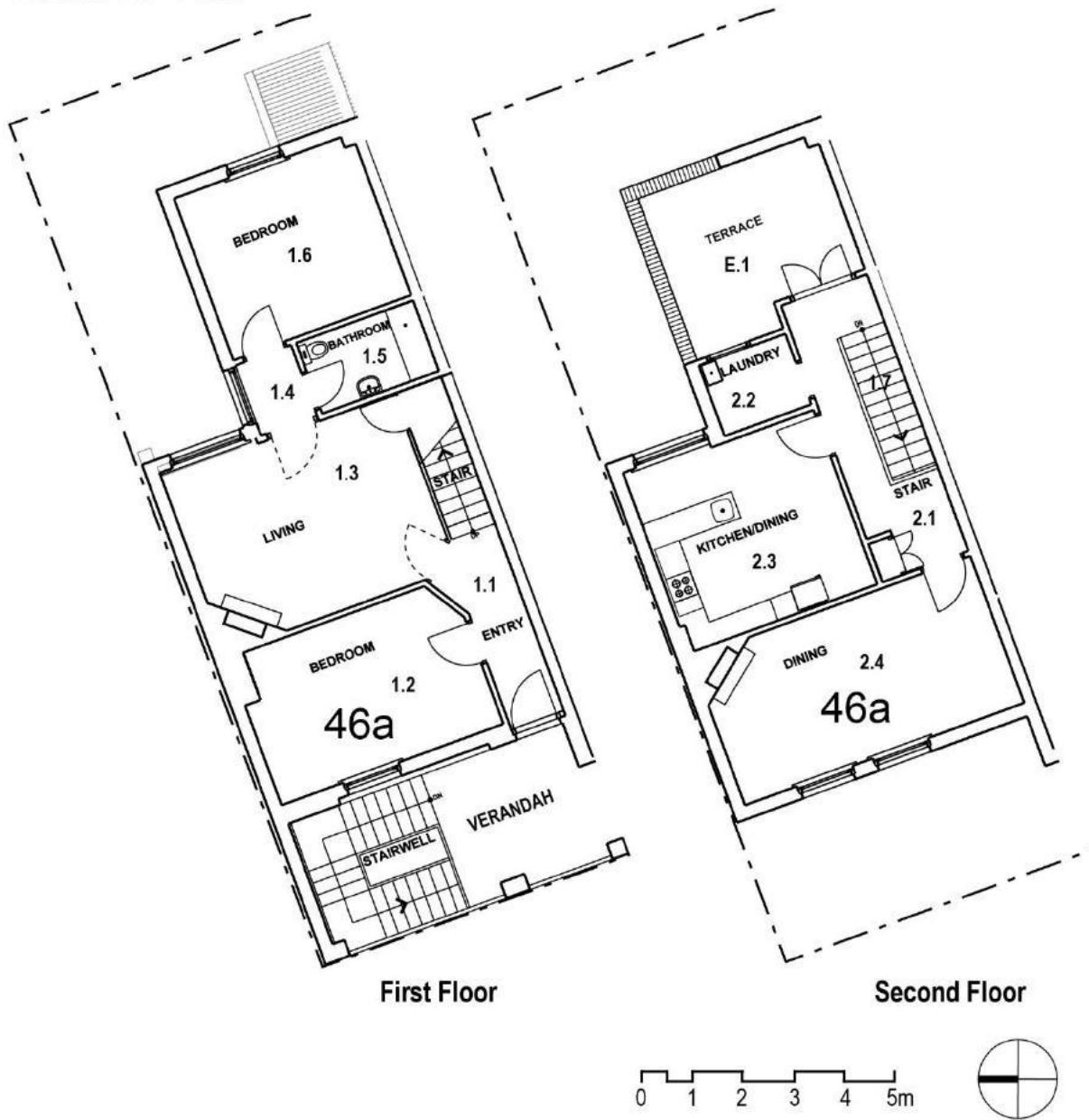


Figure 2.2 Floor plans of Flat 46A / 46-56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 46a—Elevations

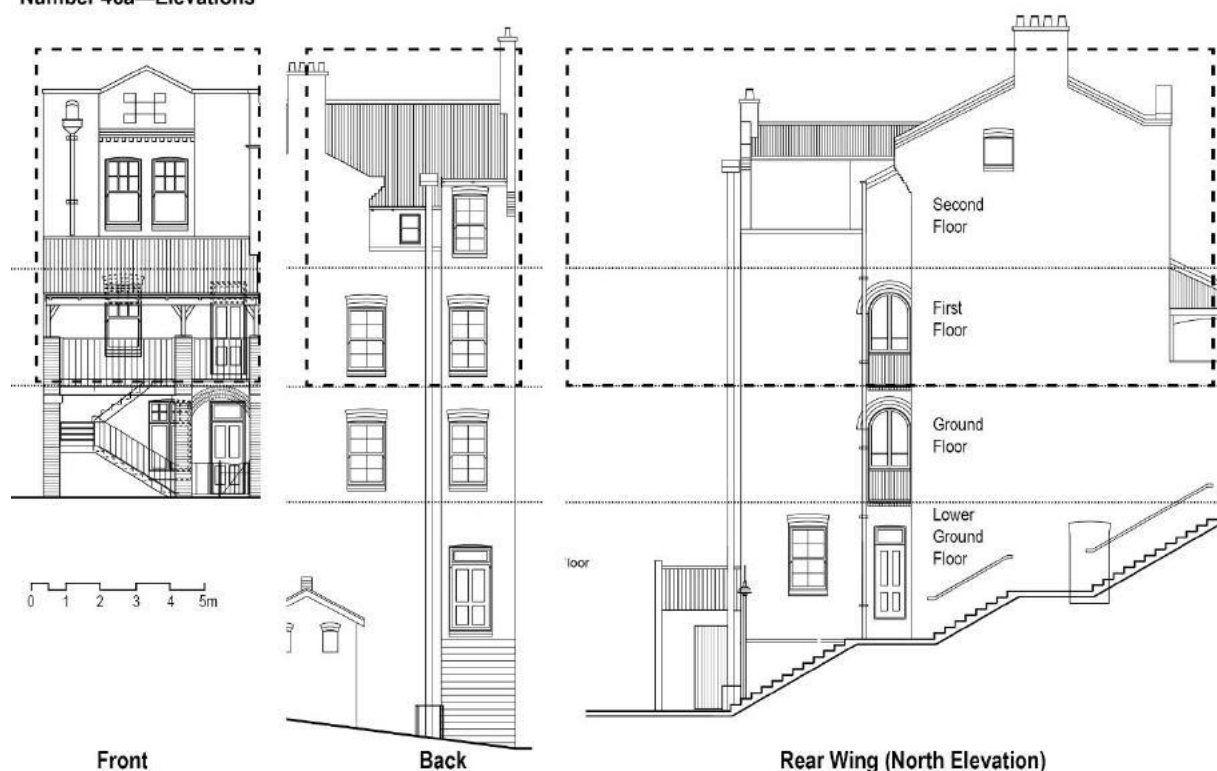


Figure 2.3 Elevations of Flat 46A / 46–56 Gloucester Street. Flat 46A is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

2.1 Summary of Heritage Significance

Flat 46A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

2.2 Physical Description of Flat 46A

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

2.2.1 Typology

Flat 46A is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 46A is a Type 4 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3 and 3.4).

Flat 46A is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which is shared with Flats 48A, 50A and 52A. Type 2 flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, bedroom/dining and laundry on the second floor, with access to an external roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type

4 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 4 flat to another.

2.2.2 External

The flat is located at the northern end of the block and is separated from the adjoining flat (Flat 48A) by a structural brick party wall. The flat is separated from the flat below (Flat 46) by a double timber floor. Flat 46A has a gabled corrugated sheet metal roof set behind a high brick parapet, which is gabled in form, on its western side and with exposed rafters and boarded eaves on its eastern side (Figure 2.6–Figure 2.9, Figure 2.17).

It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace. This area is semi-enclosed by a brick wall around two sides. The other part of the roof terrace is open and set behind a brick parapet. There is a chimney stack over the southern party wall at the ridge and another small chimney stack to the rear wing (Figure 2.17).

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof. (Figures 11.6–11.9). The entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers. The central portion of the front wall is recessed and has a pebble dash finish to the second floor (Figure 2.6). This is topped by a corbelled brick cornice with brick dentils, which provides the base to a triangular shaped parapet with brick checker board pattern detailing. There is a mauve brick band course at second floor window sill level, and terracotta wall vents. The top of the parapet has is shaped and topped with a header capping course. The rainwater head and downpipe is shared with the adjoining flat (Flat 48A).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 2.6). The flat has no private area in front of it. The verandah structure and access stairs are common property. Entry is from the verandah via a four-panel door with fanlight over. The door has bolelection moulds externally and sunk moulds internally. The upper panels are glazed in wired glass and the bottom panels are timber. The door is fitted with a central brass knob, brass letter flap, peep hole, modern rimlock and keeper, and a brass fanlight mechanism to the fanlight (Figure 2.10, Figure 2.12 and Figure 2.13). The first and second floor windows have chamfered brick sills and the door a slate threshold (Figure 2.9 and Figure 2.11).

The side and rear elevations are common brickwork laid in running bond with struck joints (Figure 2.7 and Figure 2.18). The doors and windows have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched window opening of the former rear porch on the first floor level of the rear wing, which faces south towards the rear wing of Flat 48A. This window (like most such windows on this floor of the block) has been infilled with timber casement windows with textured and coloured glass panes. The panel below the window consists of a timber balustrade (rectangular balusters and handrail) backed by a fibrous cement sheet (Part 1, Figure 4.1). A timber louvre in the southern wall provides ventilation to the roof space over the flat (Figure 2.7 and Part 1, Figure 4.3). The rear wing of the property shares its rainwater services with Flat 56 below (a rectangular rainwater head and circular and square section downpipes).

The roof top terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade. The opening to the former garbage chute previously located on the rear wall has been bricked up. There is evidence of the former laundry copper having been removed from the skillion roofed area.

2.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (Figure 2.19). Timber framed four panel doors with pivot fanlights over and original timber architraves lead to the front bedroom (space 1.2) and the main living room (space 1.3). The hall widens at the living room door where the two walls are splayed. A timber beam extends over the hall at the junction between these walls to support the wall on the floor above (Figure 2.20).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (Figure 2.22 and Figure 2.23). There is a timber double-hung sash window (six panes over two) with original architraves, sill board and moulding.

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (Figure 2.24). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding. There is a corner fireplace (blocked up) with concrete hearth.

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves and pivot fanlight over, the door is missing. The former porch has a timber floor (carpeted), painted brick walls, ripple iron ceiling, moulded timber cornice and modern moulded timber skirting under the window only. The timber floor of space 1.4 has been raised to the level of the door thresholds. The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (2 by 2 panes with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (Figure 2.31)

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling and moulded timber cornice. The soffit of the stair which rises over the southern portion of the space is lined with timber V-joint boarding. The bottom of the newel post projects through into the space in the upper corner (Figure 2.33). The side of the stair is lined with ripple iron. The bathroom has a modern half-glazed timber door, which is fitted to the original door frame and retains its original pivot fanlight over, with architraves internally.

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents. It retains its original four-panel door and double-hung sash window (four panes over four) with original timber architraves, sill board and moulding (Figure 2.34 and Figure 2.35).

A timber staircase with moulded timber handrail is between the party wall and the lightweight coke-breeze concrete partition to the living room. The stair soffit is lined with V-joint timber boarding but is concealed in an under stairs cupboard for which a ledged and sheeted timber door, with air holes drilled through its top, provides access (Figure 2.25 and Figure 2.26)

All the walls in the front portion of the flat show evidence of a dado line in the plaster wall surface.

2.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and front bedroom (or 'dining room') (space 2.4). A timber balustrade with handrail and square balusters extends around the top edge of the stair void.

The principal rooms on this floor have timber floors, cement run skirtings, set plaster wall finishes, ripple iron ceilings and moulded timber cornices (Figure 2.39–Figure 2.49). Some alterations have been made to incorporate the laundry into what was most likely an external WC accessed from the roof terrace, and to create a new double door access to the roof terrace. The laundry and kitchen have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain original cement run skirtings, ripple iron ceilings and moulded timber cornices. An original door opening to the kitchen (evidenced by the remaining timber door frame) has been blocked up. The landing has a modern built-in cupboard (covering the original kitchen door opening on the hall side).

The dining (space 2.4) has almost identical features to the downstairs front bedroom but with no picture rail. It has a corner fireplace (blocked up) with concrete hearth. The room retains its original four panel timber door with original architraves and central pivot fanlight over.

2.3 Phases of Development

Figure 2.4 and Figure 2.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 46a—Phases of Development, Plans



Figure 2.4 Plans showing phases of development—Flat 46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46a—Elevations, Phases of Development



Figure 2.5 Elevations showing phases of development—Flat 46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

2.4 Significant Components of Flat 46A

As with all the flats at 46–56 Gloucester Street, Flat 46A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. Significant elements relevant to Flat 46A are included in the photographs below (section 2.4.1) and in the schedules included in section 2.4.3).

2.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 2.6 to Figure 2.49) document the elements and spaces of 46A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat.



Figure 2.6 Western façade of flat 46A as viewed from Gloucester Street, showing pebble dash render to central portion of second floor wall, and decorative brick cornice and checkerboard pattern panel to triangular parapet, cast metal rainwater head and downpipe. (Source: GML Heritage, July 2016)



Figure 2.7 Northern façade of flat 46A showing the brick chimney stacks with terracotta pots, timber boarded gable to the verandah, and timber louvre in the main roof gable—46A/46–56 Gloucester Street. (Source: GML Heritage, November 2015)

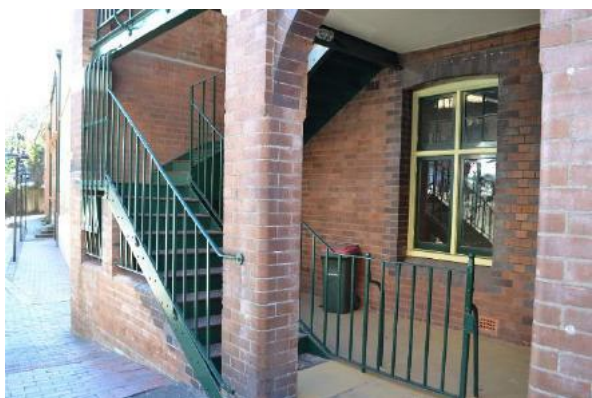


Figure 2.8 Shared access to first floor verandah and entrance to flat 46A—46–56 Gloucester Street. (Source: GML Heritage, July 2016)

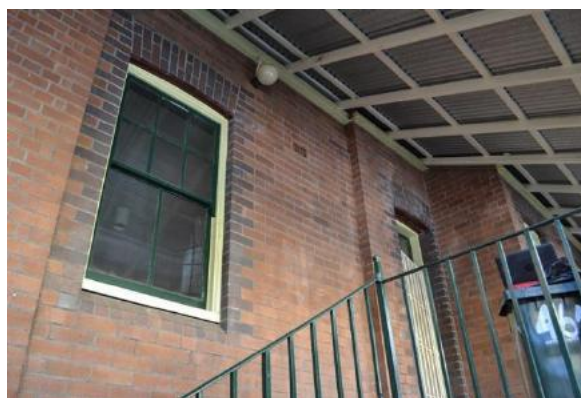


Figure 2.9 Front façade of flat 46A showing face brick external wall with contrasting brick surrounds to window and door openings and chamfered brick window sill. (Source: GML Heritage, July 2016)



Figure 2.10 Fanlight over the front door showing the contrasting brick surrounds and segmental arch (supported on a metal arch bar) to the opening; also the modern fly screen—46A / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 2.12 Early letter slot and door handle to front door—46A/46–56 Gloucester Street, (Source: GML Heritage, July 2016)



Figure 2.11 Original slate threshold to front door—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.13 Fanlight and mechanism above front door—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.14 Roof terrace (space E.1) showing the modern half-glazed timber doors and recent weatherboard wall—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.15 Rear roof slope, shared parapet and exposed rafters of the rear wing roof—46A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 2.16 Original ripple iron ceiling and timber cornice to the terrace roof Rear roof slope and chimney and parapet (common property)—46A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 2.17 Rear elevation of Flat 46A showing corrugated metal roof and guttering—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.18 Rear elevation of flats 46A (right)—46A/46–56 Gloucester street. (Source: GML Heritage, July 2016)



Figure 2.19 Entrance hall (space 1.1) showing the ripple iron ceiling, moulded timber cornice and fanlights to front bedroom (space 1.2) and living room (space 1.2)—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.20 Typical detail of original internal fanlight, ripple iron ceiling and moulded timber cornice—door between spaces 1.1 and 1.3—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.21 Front bedroom (space 1.2) with cement rendered skirting, picture rail and original four panel timber door with sunk moulds, original architrave and fanlight over—46A/46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 2.22 Front bedroom (space 1.2) showing timber double hung sash window, moulded timber picture rail and ripple iron ceiling with moulded timber cornice—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.23 Wall air vent in the front bedroom (space 1.2)—46A/46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 2.24 Living room (space 1.3) showing the original double hung window with four pane sashes, and original doorframe with fanlight above—46A/46–56 Gloucester Street.. (Source: GML Heritage, July 2016)

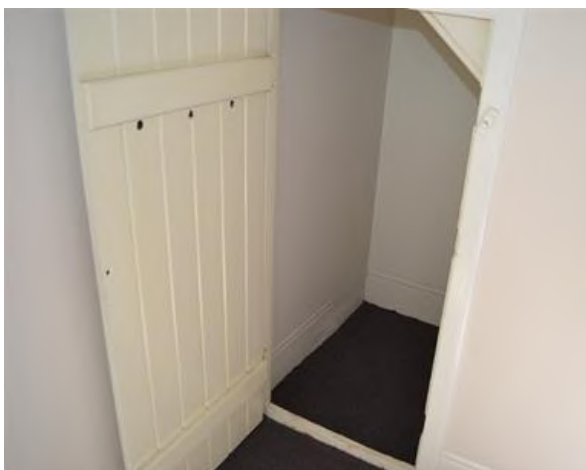


Figure 2.25 Cupboard under the stair (space 1.3) with T&G boarding and ledged timber door—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

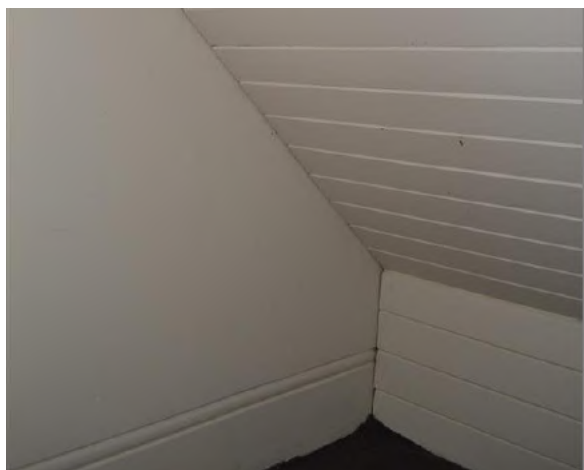


Figure 2.26 V-jointed boarding to stair soffit visible in cupboard under the stair—46A/46–56 Gloucester Street. (Source: GML Heritage July 2016)



Figure 2.27 Living room (space 1.3) showing original doorframe and fanlight leading to spaces 1.4-1.6, cement run skirting and the cupboard under the stairs—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.28 Living room (space 1.3) showing the original doorframe, with fanlight, to the entry hall (space 1.1), moulded timber picture rail and ripple iron ceiling—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.29 Original fanlights above doorway opening to bathroom (space 1.5) and living room (space 1.3) from the former porch (space 1.4)—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.30 Original ripple iron ceiling and original door frames with brick arched heads above (space 1.4)—46A/46–56 Gloucester Street. (Source: GML: Heritage, July 2016)



Figure 2.31 Original arched opening to former porch in rear wing (space 1.4), infilled with pair of casement windows and vertical boarded panel below—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.32 Modern half-glazed door to the bathroom (space 1.5)—46A / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 2.33 Bathroom (space 1.5) showing modern fit out, v-jointed timber stair soffit with ripple iron to ceiling—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.34 Rear bedroom (space 1.6) showing the original double hung window with original architrave, sill board and moulding, moulded timber picture. Chimney flue from flat below in corner of space—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.35 Ripple iron ceiling in the rear bedroom with moulded timber cornice (space 1.6) showing the decorative plaster wall vents—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)

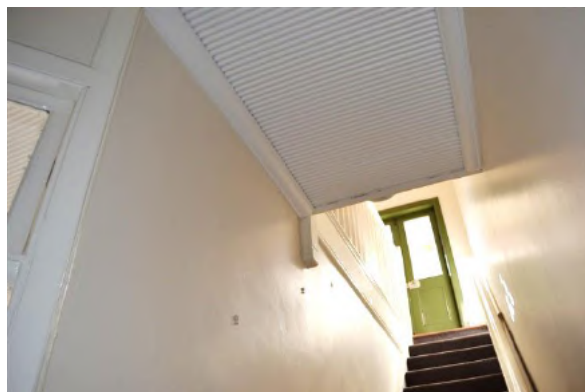


Figure 2.36 Entry hall (space 1.1) showing the ripple iron ceiling and newel post projecting below stair—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.37 Staircase (space 1.7) showing the moulded timber handrail and carpeted treads—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.38 Ceiling of second floor landing (space 2.1) showing the ripple iron ceiling running in opposite directions—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.39 Second floor landing (space 2.1) looking east showing timber balustrade with moulded handrail, square balusters and chamfered top to newel posts, cement rendered skirting and half glazed timber doors to the roof terrace—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.40 Second floor landing (space 2.1) looking west, showing the timber floors and modern built in cupboard at end of hall adjacent to bedroom (space 2.4)—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.41 Modern cupboard built into the second floor landing (space 2.1) with paneled timber doors—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.42 Laundry (space 2.2) showing original raked ripple iron ceiling—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.43 Laundry (space 2.2) showing the modern refit and window—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.44 Kitchen (space 2.3) showing the modern refit and location of original door frame to the stair hall—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.45 Kitchen (space 2.3) showing the original ripple iron ceiling, moulded timber cornice and original double hung window joinery. The fitout is modern—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.46 Fanlight with intact mechanism above the kitchen doorway (space 2.4) (Door is missing)—46A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.47 Front room on second floor (space 2.4) showing the original double hung window, ripple iron ceiling and timber floor)—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

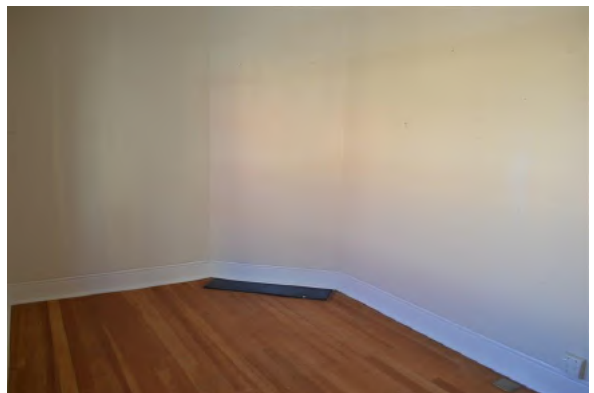


Figure 2.48 Original corner fireplace (blocked off and rendered and skirted over to match adjacent) with concrete hearth (space 2.4)—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 2.49 Original (?) doorway to the dining room (space 2.4) with fanlight and opening mechanism above—46A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

2.4.2 Significance Gradings Diagrams for Flat 46A

Figure 2.50 and Figure 2.51 show the relative significance of internal and exterior spaces of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 2.1–2.5).

Number 46a—Plans, Gradings of Significance



Figure 2.50 Plans showing gradings of significance—Flat 46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46a—Elevations, Gradings of Significance



Figure 2.51 Elevations showing gradings of significance—Flat 46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

2.4.3 Significant Fabric and Condition—Flat 46A

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 2.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
	Pebbledash render to recessed portion of wall between verandah roof and parapet, paint finish.	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Parapet	Gabled form parapet with corbelled brick cornice and dentils to recessed central panel, brick-on-edge coping and checkerboard pattern to triangular parapet	O	E	G
Door threshold	Slate threshold to front doors	O	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Wall vents	Terracotta cavity vents	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	F
	Door frame and transom	O	E	G
	Wired and textured glass in upper panels	L 20 th	M	G
	Brass knob and letterbox, enamel number plate	O	E	G
	Bell	L 20 th	L	F
	Fly screen	E 21 st	I	F
Fanlight	Pivot fanlight over door	O	E	G
	Original mechanism	O	E	G
Window joinery	Timber double-hung sash window including frame and reveal	O	E	G
	Plain glass	O (some L 20 th)	E	G
Gutters and downpipes	Decorative rainhead and square galvanised steel downpipe	E 21 st	H	G

Table 2.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and west elevation	Common brick	O	E	G
Window sills	Chamfered brick sills	O	E	G
Wall vents	Terracotta cavity vents	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: casement windows and external timber balustrade with fibrous cement back panel	L 20 th	M	G
	Coloured and textured glass	L 20 th	M	G
Gutters and downpipes	Ogee gutters and circular downpipes, galvanised steel	L 20 th / E 21 st	H	G
	Rectangular rainwater heads and square section downpipes, galvanised steel (zinc coated?)	L 20 th / E 21 st	H	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Service pipes	Copper service pipes to north elevation (rear wing)	L 20 th	H	G

Table 2.3 Exterior (north elevation)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north elevation	Common brick	O	E	G
Window joinery	Timber louvred roof vent (N gable)	O ?	E	G
Window sills	Brick sill to vent opening	O	E	G
Window and door heads	Arched brick head to roof vent	O	E	G

Table 2.4 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure) E 21 st (roofing)	Form: E Sheeting: H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure) E 21 st (roofing)	Form: E Sheeting: H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Chimneys	Common brick with brick on edge capping and terracotta pots	O	E	G
Eaves	Exposed rafter to rear elevation and rear wing	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, downpipes and spreader	L 20 th	M	G

Table 2.5 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof	O (structure) E 21 st (covering)	Form: E Sheeting: H	G G
	Timber verandah posts and beam	O	E	G
	Timber rafters and purlins	O	E	G
	Timber valance and boarded gable to north end	O (possibly with later repairs)	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Walls/supports	Face brick piers	O	E	G
Fence	Wrought iron palisade, square section pales	O	E	G
Stairs	Steel stairway	O	E	G

Space E.1—Roof Terrace

Walls	Brick balustrade with brick-on-edge coping	O	E	G
	Common brick to laundry exterior where blocked up	L 20 th	E	G
	Common brick to roofed area	O	E	G
	Timber weatherboard and rendered brick/blockwork to roof terrace access	L 20 th	M	G
	Grill pattern terracotta vent to laundry wall	L 20 th	L	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round	O	E	G
Door set	Part-glazed double doors to access the terrace including door furniture	L 20 th	M	G
Paving	Modern concrete/ceramic	E 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	E 21 st	L	G/F
Garbage chute	Brushed stainless steel chute	E, 21 st Reconstr.	H	G
Services	Hot water tank	E 21 st	L	not tested
	Light fittings	E 21 st	L	not tested
	Metal clothes hoist	L 20 th	L	F
	Modern plastic vent to bathroom ventilation duct	E 21 st	L	G

Table 2.6 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Beaded beam	O	E	G
Architraves	Moulded timber architrave to doorway to front room (space 1.2)	O	E	G
	Expressed timber door frame to entrance door and living room door (space 1.3)	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over doorway to living room Reproduction mechanism	O E 21 st	E M	G G
Other	Light fittings	L 20 th	L	not tested

Space 1.2—Front Bedroom

Floor	Timber boards on timber joists Carpet	O, E 21 st repairs E 21 st	E L	G G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O	E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Chimney flue against north wall	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O E 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	E 21 st L 20 th	L L	G not tested

Space 1.3—Living Room

Floor	Timber boards on timber joists Carpet	O, E 21 st repairs E 21 st	E L	G G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado Light weight partition (possibly concrete with fly ash) to south side of room	O O O	E E E	G G G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Fireplace/Hearth	Fireplace, blocked off	O	E	unknown
	Fireplace infill with render and run skirting to match	L 20 th	L	G
	Concrete hearth	O	E	G
Architraves	Expressed frame to entrance hall door	O	E	G
	Moulded timber door architrave to rear porch	O	E	G
Door set	Expressed timber frame to entrance hall door with fixed panel above fanlight. Door missing	O	E	G
	Original frame and fanlight to door opening to former porch, door missing	O	E	G
	Ledged and sheeted door to cupboard under stair, with air holes drilled in door	O	E	G
Fanlight	Pivot fanlight over doorway to rear porch	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window, four lights over four, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Timber shelving in cupboard under stair	Timber shelves on timber brackets and wall plates	E 20 th ?	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	not tested

Space 1.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	O, E 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Timber step treads with nosings from adjacent rooms (?)	O	E	unknown
	Carpet	E 21 st	L	G
Skirting	Timber, under window	L 20 th	L	G
	Timber against bathroom wall	O?	E	G
Walls	Painted unrendered brick	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over doors	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Section of redundant gas piping between cornices in one corner	O	E	G
Infill to porch opening	Timber vertical jointed boarding below window	L 20 th	M	G
Window joinery	Double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	No architraves. Expressed frames to Space 1.5 and Space 1.6	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.5—Bathroom				
Floor	10cm ceramic tiles	E 21 st	L	G
	Original and repaired timber boards and joists beneath	O, E 21 st	E	unknown
Skirting	Ceramic tile	E 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Lightweight concrete between stair stringer and ceiling	O	E	G
	Modern ceramic tiles	E 21 st	L	G
Ceiling	Ripple iron (lowered and fixed to new joists)	O or L 20 th	E	G
Cornice	Timber	O	E	G
Door set	Part-glazed four-light timber door in original frame to porch, with moulded sunk lower panels (flush panels outside) and textured glass	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber internally, expressed frame only on the porch side	O	E	G
Fanlight	Pivot fanlight over doorway (no mechanism)	O	E	F
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	E 21 st	L	G/F
	Lighting	L 20 th	L	G
	Plastic ceiling vent	E 21 st	L	G
Space 1.6—Rear Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Rendered and painted brick chimney flue in SE corner	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel sunk moulded door	O	E	G
	Original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber box frame, sillboard with moulded timber architrave	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	Light fittings	L 20 th	L	G
Space 1.7—Stairs				

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Floor	Timber Carpet	O L 20th	E L	G G
Stairs	Timber stair with closed strings and moulded handrail, and boarded soffit Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters Traditional timber shelving in the cupboard under stair	O O O	E E E	G G G
Walls	Painted set plaster above dado, cement render below dado to north side Light weight partition (possibly concrete with fly ash) to south side of stair	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G

Space 2.1—Landing/Stair Hall

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Moulded timber to E wall Timber quad mould	O L20 th E 21 st	E L L	G G G
Walls	Painted set plaster, cement render below dado Light weight partition (possibly coke breeze) to kitchen and laundry	O O ?	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron Transverse I-beam	O O	E E	G G
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Architraves	Moulded timber to spaces 2.3 and 2.4 Timber to Space 2.2 and E wall	O? L 20 th	E L	G G
Other	Timber stair balustrade with square balusters, moulded handrail and stop chamfered square newel posts Light fittings Fitted wall cupboard Roof hatch including door and architrave	O L 20 th L 20 th O	E L I E	G not tested G G

Space 2.2—Laundry

Floor	Timber boards on timber joists Tiling	O, E 21 st repairs E 21 st	E L	G G
Skirting	Modern tiles	E 21 st	L	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber (no door)	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sillboard with moulded timber architrave	L 20 th	M	G
Wall vent	Decorative plaster	O	E	G
	Terracotta (external)	O or L 20 th	M	G
	Plastic	E 21 st	L	G
Other	Water services, sink and water heater	E 21 st	L	G
	Electrical fixtures	L 20 th / E 21 st	L	G
	Boxed ventilation duct next to window	E 21 st	L	G

Space 2.3—Kitchen

Floor	Timber boards (?) on timber joists	O, E 21 st repairs	E	G
	Vinyl covering	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly coke breeze) to north wall	O?	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Brick flue (rendered and painted – behind kitchen fitout)	O	E	G
Door frame/architraves	Expressed timber frame in the partition wall (no door to kitchen)	O?	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vent	Grille pattern	O	E	G
Other	Fitout	L 20 th or E 21 st	L	G
	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	F

Space 2.4—Dining Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
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Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Fireplace blocked off	O	E	unknown
	Fireplace infill, rendered and skirted over	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Pair of timber double-hung sash windows, with timber box frames and sillboard with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	F

2.5 Priority Conservation Works

2.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

2.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

2.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 46A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Remove intrusive fly screen from front door.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing doors with four panel doors to original configuration.
- Repair or replace broken or missing internal door and fanlight hardware.

- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a

Internal works:

- n/a.

2.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

2.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

2.7 Specific Conservation Policies for Flat 46A

There are no specific policies for Flat 46A that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 46A must comply with the conservation policies set out in Part 1 Section 9.0.

2.8 Areas for Possible Change for Flat 46A

Areas for possible change within the flat at 46A Gloucester Street are shown on Figure 2.52 and Figure 2.53.

Number 46a—Plans, Areas for Possible Change

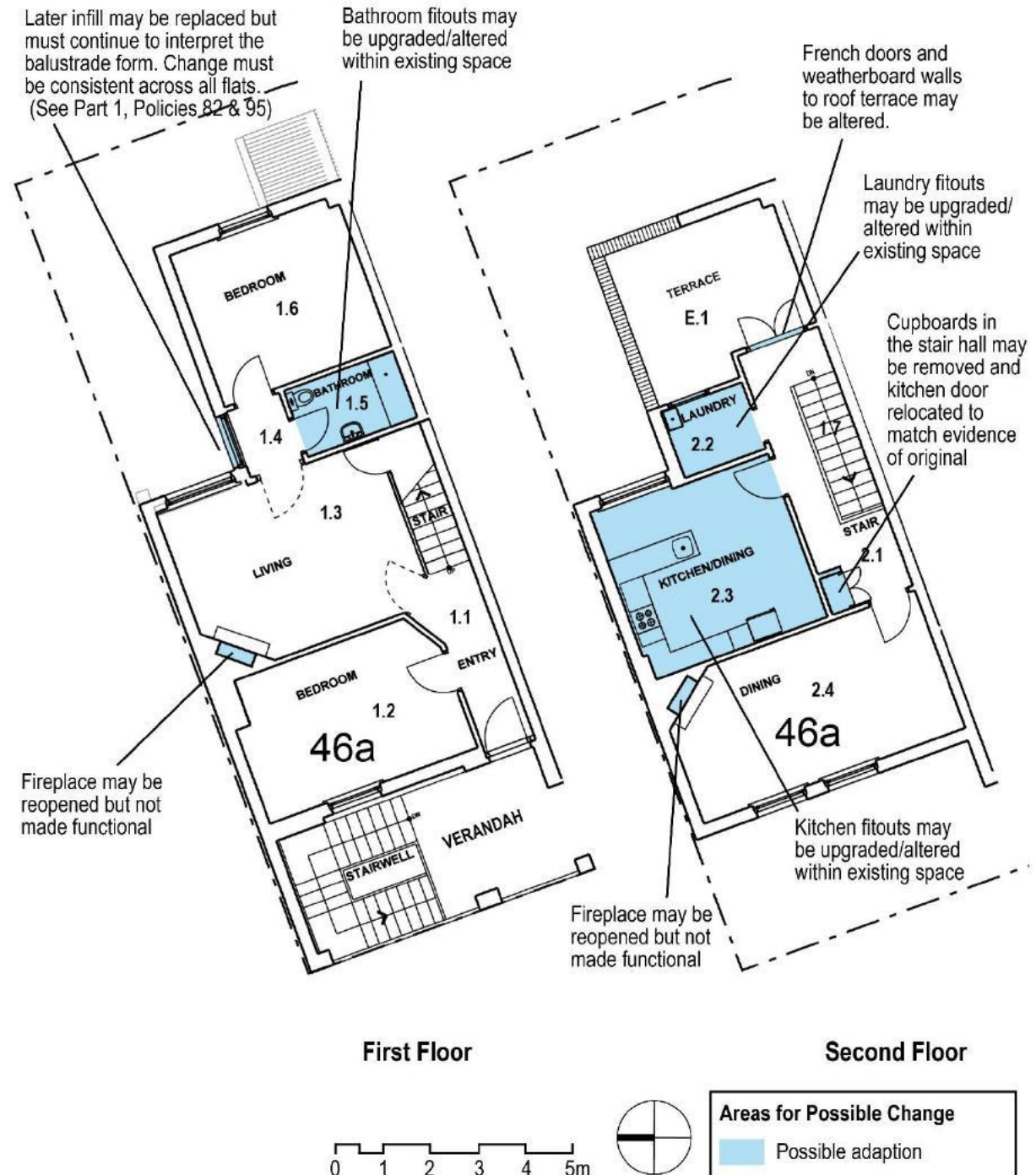


Figure 2.52 Plans showing areas for possible change—Flat 46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 46a—Elevations, Areas for Possible Change

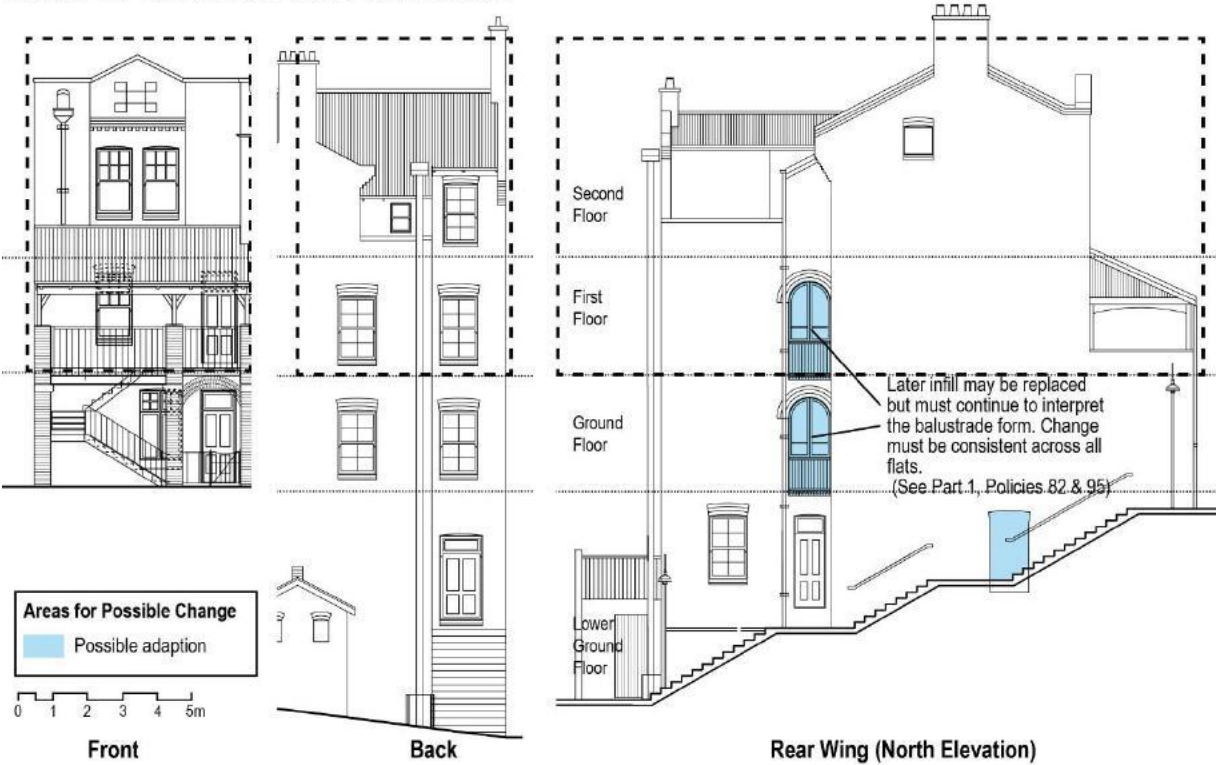
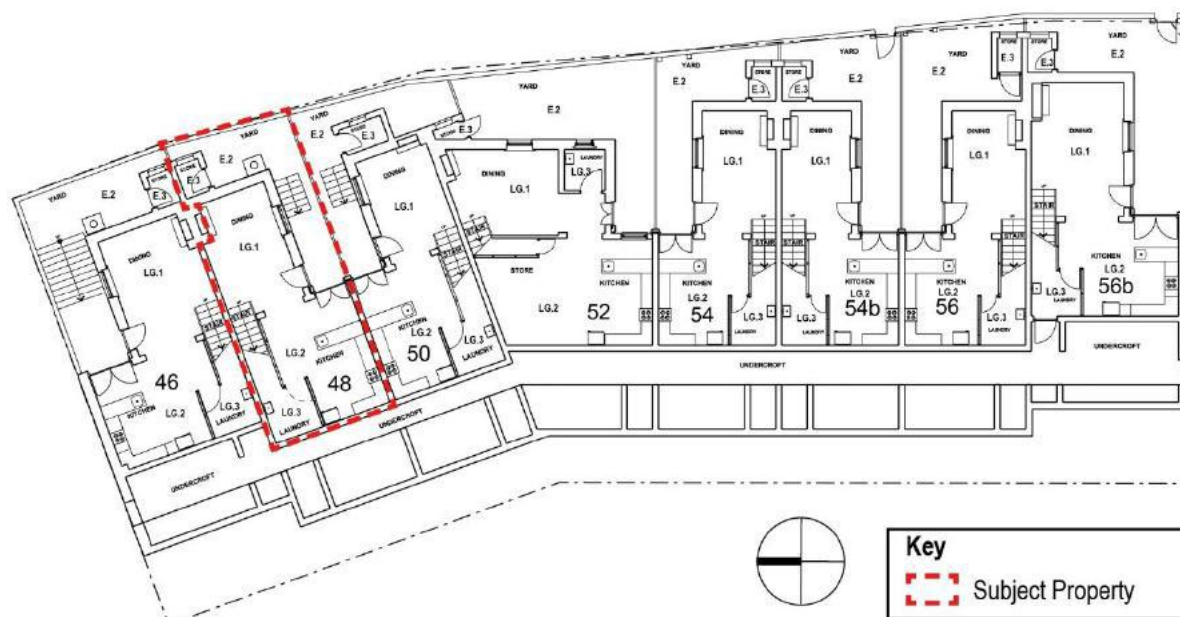


Figure 2.53 Elevations showing areas for possible change—Flat46A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

3.0 Flat 48 of 46–56 Gloucester Street

This section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 48 Gloucester Street. It must be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 3.1 shows the location of the flat within the building. Figure 3.2–3.3 shows the configuration of Flat 48.

Number 48—Property Plan, Lower Ground Floor



Number 48—Property Plan, Ground Floor



Figure 3.1 Location plan of Flat 48 / 46–56 Gloucester Street is outlined in red dashed line. (Source: LAHC, with GML overlay 2016)

Number 48—Plans

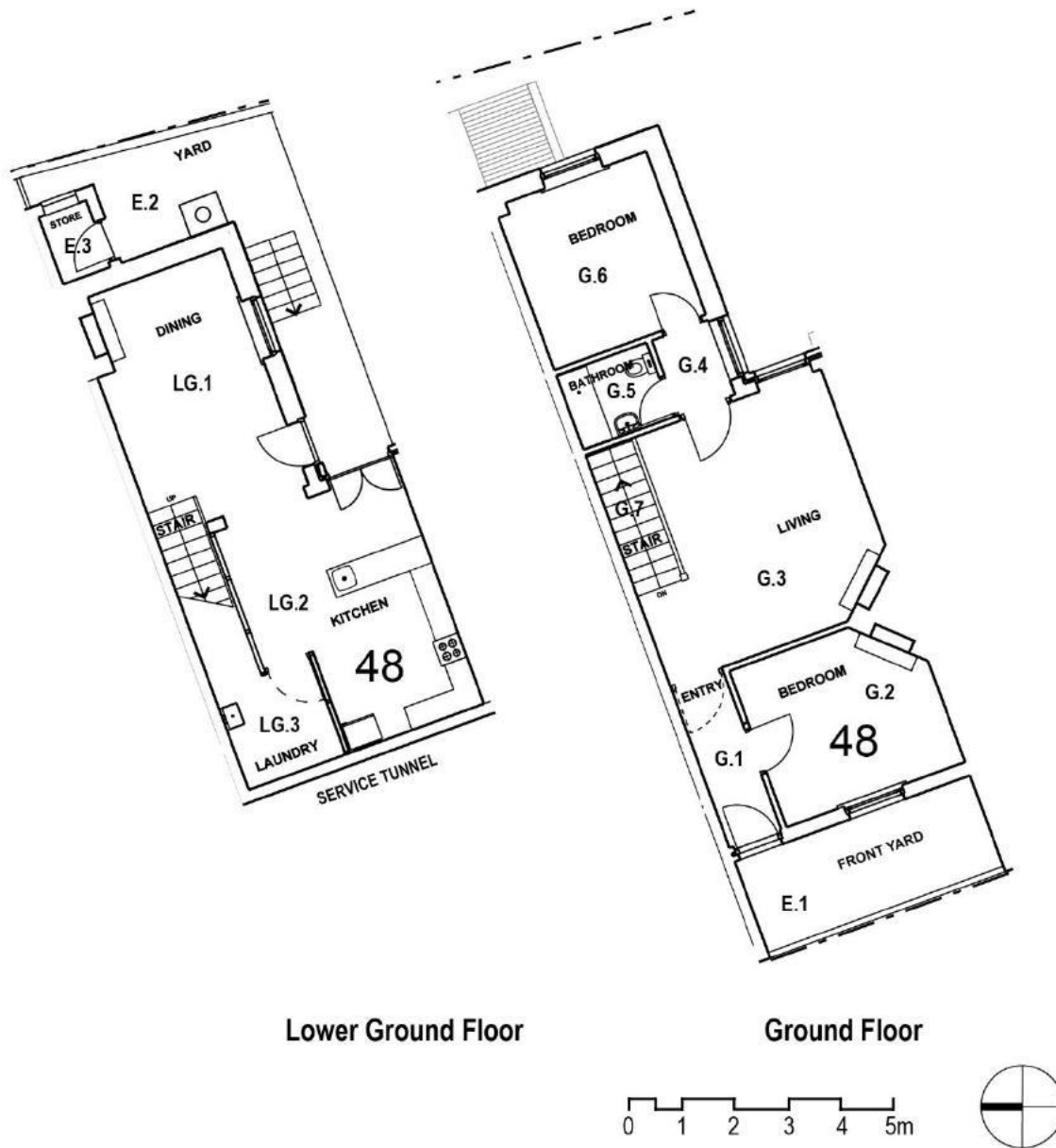


Figure 3.2 Floor plans of Flat 48 / 46-56 Gloucester Street showing the layout of the flat and space numbers for the ground and lower ground floors. (Source: LAHC, with GML overlay 2016)

Number 48—Elevations



Figure 3.3 Elevations of Flat 48 / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

3.1 Summary of Heritage Significance

Flat 48 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of this CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of the individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

3.2 Physical Description of Flat 48

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

3.2.1 Typology

Flat 48 is one of 8 maisonette flats occupying the ground and lower ground floors of the building. Flat 48 is a Type 1 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1 and 3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester

Street (ground level). Type 1 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988, the changes being broadly consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 flat to another.

3.2.2 External

The flat is separated from adjoining flats (Flats 46 and 50) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56b) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figures 3.6–3.7). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 3.9).

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figures 3.50–3.53). The property has a flight of concrete steps leading to its own external (former) WC (space E.3) abutting the rear wall. It has a traditional timber clothes hoist inside the fence. There is no private access from Cambridge Street.

At the rear, the property shares rainwater services with Flat 48A above (steel square section downpipes) and has a reconstructed (non-functional) garbage chute (from the roof terrace level of Flat 48A) affixed externally on the rear wall (Figures 3.49 and 3.53).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figures 3.6, 3.10–3.12). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 3.9). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The original four-panel, bolection moulded entry door has glazed upper panels in wired glass, a central brass knob, letterbox, modern lock and pivot fanlight over (Figures 3.12–3.14). The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron bearers. The window has a chamfered brick sill, and the door a slate threshold (Figure 3.12).

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figures 3.46–3.48). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a raised concrete floor, segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street, with fixed louvres.

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron bearers, as on the front elevation (Figure 13.10). The exception is the round-arched

window of the former rear porch, which faces south towards the rear wing of Flat 50 (Figure 3.54). This window (like all such windows on this floor of the block) has been infilled with a timber sliding sash window, timber and fibrous cement tympanum, and wooden T & G boarded spandrel externally. The lower ground floor has a (possibly) original solid timber bolection moulded-four panel door to the rear wing dining room, and reproduction half-glazed French doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 3.52).

3.2.3 Internal—Ground Floor

As with other Type 1 flats, entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the living room with pivot fanlight over. In Flat 48 the door between the hall (space G.1) and the living room (space G.3) has been removed, although the frame and fanlight survive (Figure 3.42). The front bedroom (on the right) has timber floor, cement run skirtings, timber cornice, timber picture rail, grille pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and one double-hung timber sash window (six lights over one) (Figures 3.16–3.22). It has a corner fireplace (blocked up and mantel piece removed) with concrete hearth.

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figures 3.21–3.24). There is a painted timber balustrade with square balusters to the staircase giving access to the lower ground floor.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway with modern flush door fitted to an original timber frame with pivot fanlight over. The former porch (space G.4) has a timber floor, rendered brick internal wall faces with no cornice, and modern timber skirting under the window only (Figures 3.25, 3.26, 3.27). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a 2x2-light horizontal sliding sash window with textured glass, modern vertical tongue-and-groove boarded panelling under and a round-headed timber and fibro tympanum over.

The bathroom (space G.5) has a c1980s fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figures 3.28 and 3.29). The bathroom has an original half-glazed timber door and pivot fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber picture rail and timber cornice, grille pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figures 3.30 and 3.31).

3.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, original timber handrail and balustrade (to the lower section), newel posts, timber skirtings and stringers (Figures 3.34–3.35). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figures 3.32–3.33). Part of the ceiling has had a void for services created behind a modern suspended ceiling panel. The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original fireplace (boarded-out and converted to shelving) with concrete hearth, grille pattern fibrous

plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall (Figure 3.41). Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained. The laundry (space LG.3) has been divided from the kitchen by a modern partition wall. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (figures 3.43–3.45).

3.3 Phases of Development

Figures 3.4 and 3.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 48—Phases of Development, Plans



Figure 3.4 Plans showing phases of development—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 48—Elevations
Phases of Development



Figure 3.5 Elevations showing phases of development—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

3.4 Significant Components of Flat 48

As with all the flats at 46–56 Gloucester Street, Flat 48 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. These lists of elements are relevant to Flat 48 as well as the block of flats as a whole.

3.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures 3.6 to 3.57) document the elements and spaces of 48 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 3.6 The front façade—48 / 46–56 Gloucester Street—showing external walls, projecting party walls with sandstone bolsters, wrought iron fence with square pales, wrought iron gate and the front yard (space E.1). (Source: GML Heritage, May 2016)



Figure 3.7 Overall façade of 48 and 48A / 46–56 Gloucester Street, showing the shared front verandah, shared guttering, and brick chimney at the ridge line over the boundary with 50 and 50A Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.8 The ceiling of the front yard, showing steel structural I-beam, trimmer and concrete verandah floor slab—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.9 The original wrought iron gate with latch and latch plate—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.10 Double-hung window with chamfered brick sill, twenty-first century glass in the lower sash, and dark brick surrounds—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.11 The front yard (space E.1) showing terracotta wall vents as typical in all external spaces, concrete yard paving and twentieth century water meters—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.12 The four-panel front door with bolection moulds to bottom panels and wired glass to top panels, dark brick surround, arched head and slate threshold—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.13 The original door knob and letter slot on front door—48 / 46–56 Gloucester Street (Source: GML Heritage, May 2016)

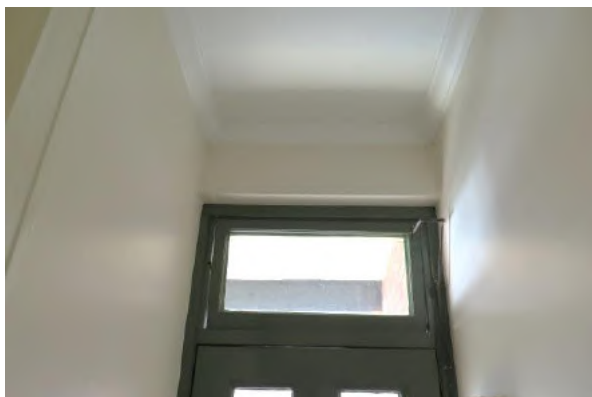


Figure 3.14 Pivot fanlight over the front door with original (?) mechanism, and timber cornice (space G.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.15 The entry (space G.1) showing timber floor, cement run skirtings, timber cornice and timber door frame with fanlight to the living room (space G.3)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

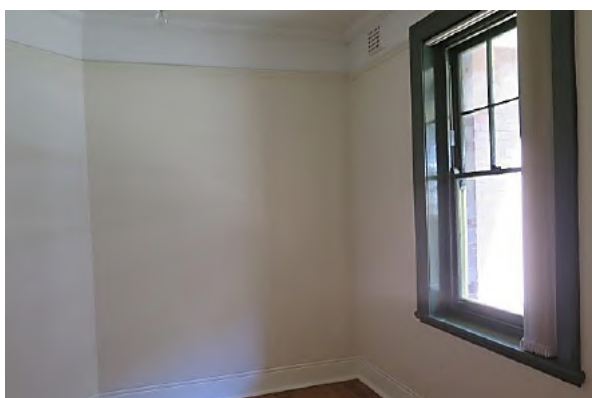


Figure 3.16 The front bedroom (space G.2), showing cement run skirtings, timber cornice, timber picture rail and sash window—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.17 Timber floor and original corner fireplace, concrete hearth blocked off and rendered and skirted in the front bedroom (space G.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.18 Timber double-hung sash window, architrave and sill board in the front bedroom (space G.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 3.19 Run cement skirtings, four-panel timber door with fanlight above and reproduction mechanism between the front bedroom (space G.2) and entry (space G.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 3.20 Grille pattern wall vents (common to interiors throughout 48 Gloucester Street) with original timber picture rail and timber cornice in the front bedroom (space G.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.21 The living room (space G.3) showing cement run skirtings, timber cornice, timber double-hung sash window—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.22 The living room (space G.3), showing original cement run skirtings, timber balustrade, newel post and picture rail—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.23 The original corner fireplace with concrete hearth is blocked in the living room (space G.3). Note original cement run skirtings have been replicated across new section—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.24 Modern hollow core door with original transom light above and reproduction mechanism between the living room (space G.3) and the former rear porch (space G.4)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.25 View east through the former rear porch (space G.4) to the rear bedroom, showing original rear bedroom door frame and raised timber floor (space G.5)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.26 Infilled former rear porch opening (space G.4), with horizontal sliding sash window and modern T&G boarding below—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.27 The raised timber floor of the former rear porch (space G.4) with original timber thresholds and nosings to steps—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

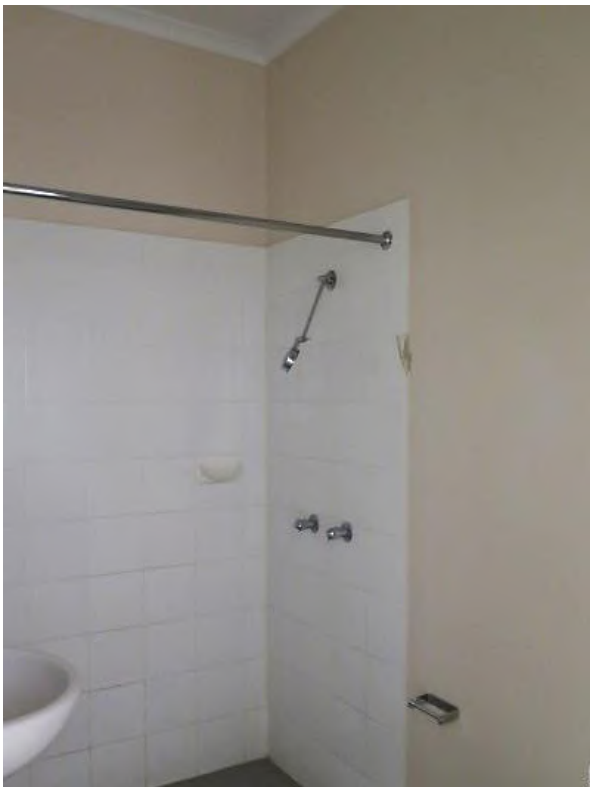


Figure 3.28 The bathroom (space G.5) showing modern tiling and fitout—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.29 The bathroom (space G.5) showing modern fitout and original part glazed panel door. Fanlight over door matches all others in the flat (refer to Figure 3.24)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.30 The rear bedroom (space G.6) showing carpeted floor, and original cement run skirtings, grille pattern wall vent, picture rail and timber double-hung sash window—48 / 46–56 Gloucester Street. (Source: GML Heritage, April 2016)



Figure 3.31 Original/reproduction four-panel sunk moulded timber door, original timber picture rail and timber cornice in the rear bedroom (space G.6)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

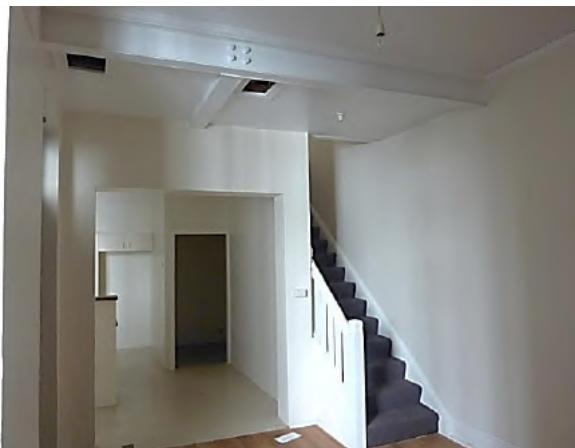


Figure 3.32 The dining room (space LG.1) showing the opening created in the brickwork to the kitchen and modern partition wall dividing the laundry—48 / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 3.33 Exposed original steel transverse I-beam and trimmer in the dining room (space LG.1) showing ripple iron ceiling with fibrous plaster cornice and later ceiling and access to services void—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

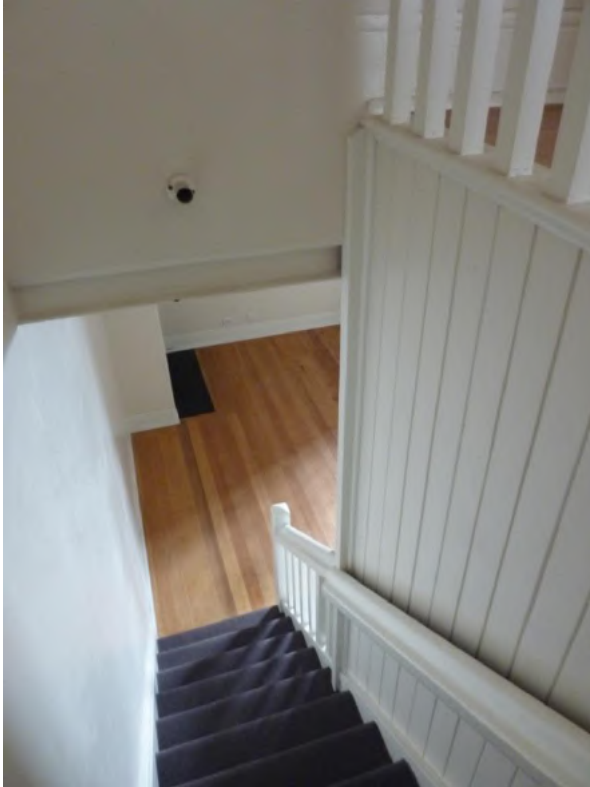


Figure 3.34 The stair (space G.7) showing original timber handrail and modern T&G boarding—48 / 46–56 Gloucester Street. (Source: GML heritage, May 2016)



Figure 3.35 The stair (space G.7) showing original timber balustrade, newel post and stringer and original/refinished timber floor—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

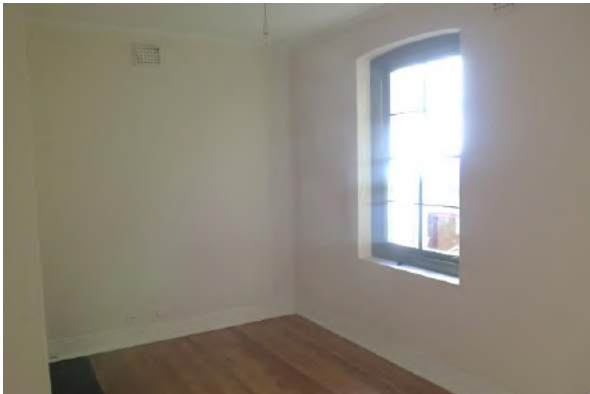


Figure 3.36 The dining room (space LG.1) showing original cement run skirtings (with modern quad bead edging to floor) and timber double-hung sash window—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.37 The original fireplace with original concrete hearth, later boarded out and fitted with modern shelving (space LG.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.38 Four-over-four timber double-hung sash window in the dining room (space LG.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.39 Four-panel bolection moulded timber external door with fanlight in the dining room (space LG.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.40 Modern/reproduction door fittings on the rear external door in dining room (space LG.1)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.41 The kitchen (space LG.2) showing original ripple iron ceilings and cornices and late-twentieth century fitout—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.42 Modern half-glazed double French doors from the kitchen (space LG.2) to the rear yard—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.43 The laundry (space LG.3) showing painted brickwork, modern tiled flooring/skirting, modern vent and modern fitout—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.44 The enclosed laundry below the boarded stairs, showing unrendered painted brick (space LG.3)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.45 The laundry (space LG.3) showing original ripple iron ceilings and timber cornices, with boarded stairs and timber pendant newel post—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.46 The rear yard (space E.2) and store in former external WC (space E.3) showing corrugated iron roof, exposed rafter eaves, brick parapet and walls, brick arched doorway and timber boarded door—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.47 Original ledged/braced timber boarded door (space E.3)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.48 The store (space E.3) showing original timber fixed louvre window with early and later glass—48 / 46–56 Gloucester Street. (Source: GML Heritage, May)



Figure 3.49 The original brick/concrete garbage chute surround and terracotta wall vents (space E.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.50 Traditional timber clothes hoist in the rear yard (space E.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.51 Southern boundary timber fence (space E.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.52 Exterior, rear wing showing common brickwork, concrete steps, original cast iron and modern steel/copper downpipes/service pipes, and terracotta wall vents (space E.2)—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

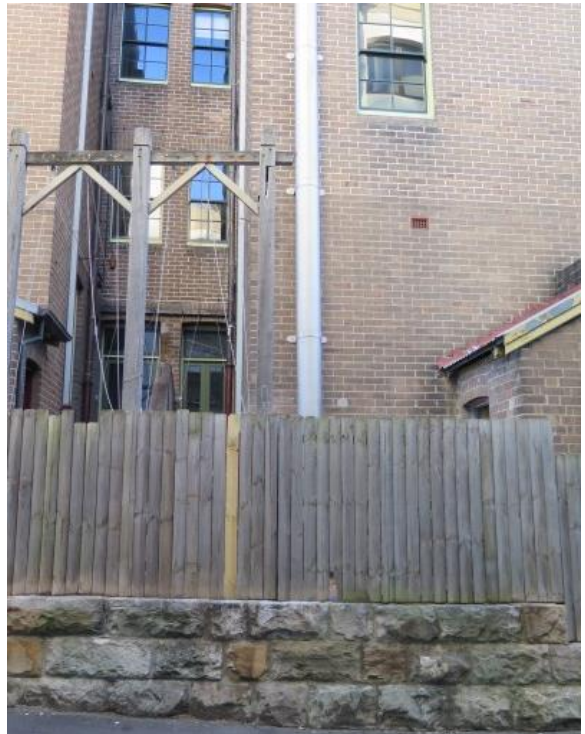


Figure 3.53 Exterior walls in common brick, timber fence and squared rock faced perimeter retaining wall. Rear wing looking west—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.54 Round-arched window of the former rear porch on the southern elevation showing modern infill. Also original brick round arch and chamfered window sill—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.55 Half-glazed French doors with fanlights, with original segmental headed opening, accessing the rear yard from the kitchen. Also shows concrete steps leading up from the rear yard (space E.2) — 48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.56 Brick arch and iron lintel bar over the rear door fanlight showing laundry hoist fixings above—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 3.57 Triple brick arched head (typical detail to the 46-56 Gloucester Street flats) and typical chamfered brick window sill to the exterior rear wing of the flat—48 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

3.4.2 Significance Gradings Diagrams for Flat 48

Figures 3.58 And 3.59 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 3.1–3.4).

Number 48—Plans, Gradings of Significance

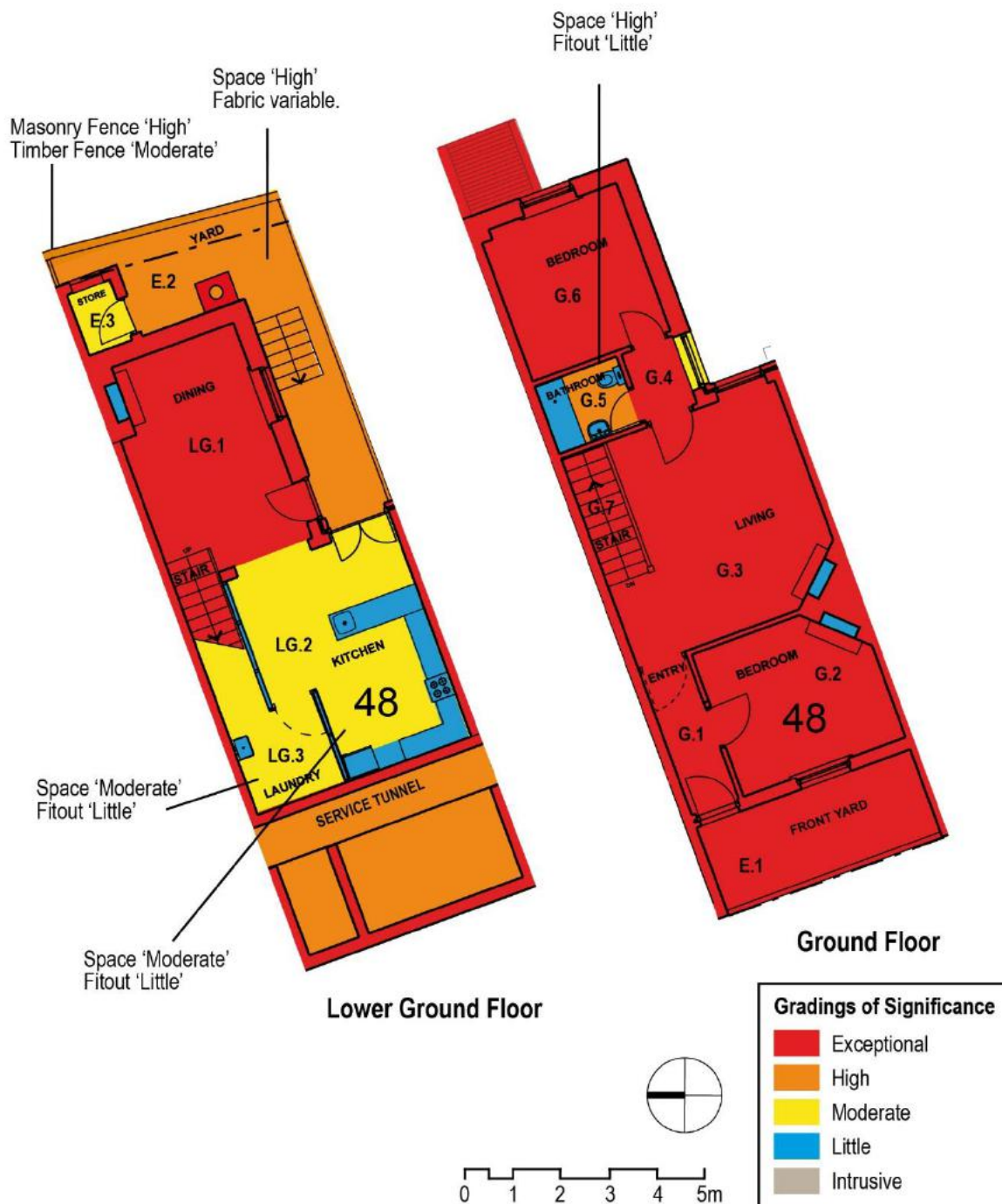


Figure 3.58 Plans showing gradings of significance—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 48—Elevations
Gradings of Significance

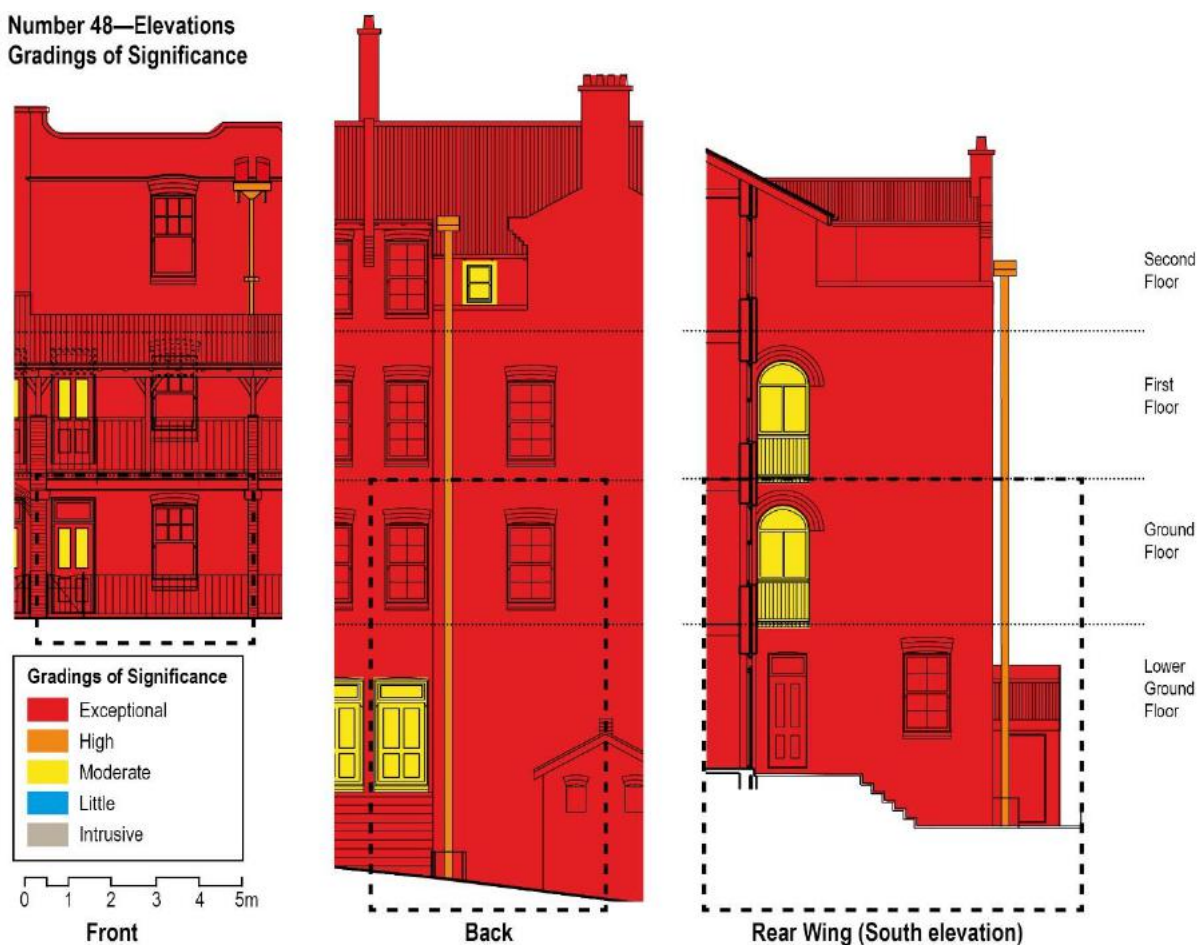


Figure 3.59 Elevations showing gradings of significance—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

3.4.3 Significant Fabric and Condition—Flat 48

The following tables describe, date and rank the significance of the building elements and give a brief description of condition (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 3.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door threshold	Slate threshold to front doors	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th or Early 21 st	M	G
	Brass knob and letter slot	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Fanlight mechanism	O?	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O (some later repairs)	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 3.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G
Gutters and downpipes	Steel downpipes	Early 21 st	H	G
	Cast iron square downpipes	O	E	G
	Copper service pipes to south and east elevation	Late 20 th	E	G
Door threshold	Concrete threshold to rear door	L 20 th	M	G
Door set	Four-panel rear main door with external bolection mouldings and internal flush moulds	O?	E	G
	Half-glazed French doors with fanlights to rear yard from kitchens	L 20 th	M	G
	Door furniture	L 20 th	M	G
Fanlight	Central pivot fanlight over rear main door	O	E	G
	Reproduction lever mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber sliding sash window	L 20 th	M	G
Window sills	Brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 3.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Fence—east	Timber paling	L 20 th	M	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence—south (shared)	Timber paling	L 20 th	M	P
	Brick plinth	L 20 th	M	F
Paving	Brick pavers	L 20 th	L	F
Steps	Concrete	O with possible L 20 th alterations	E/H	G
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Brick and concrete table	O	E	G
	Brushed stainless steel chute	Early 21 st Reconstr.	H	G
Clothes hoist	Timber post-beam hoist frame	L 20 th Reconstr.	H	P
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: Early 21 st	Form: O Sheeting: H	F
Eaves	Exposed rafter	O	E	G
Gutters and downpipes	Copper (missing)	O or Late 20 th	E	P
Door set	Ledged and braced timber door with strap hinges	O	E	G
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber fixed louvre frame	O	E	F
	Some original/some later wired glass	O/L 20 th	E	F
Window heads	Common brick arch with hoop iron lintel bar	O	E	G
Wall vents	Terracotta air brick grilles	O	E	Good

Table 3.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O Early 21 st	E M	G G
Other	Light fittings	L 20 th	L	not tested
Space G.2—Front Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill, rendered and skirted over Concrete hearth	O L 20 th O	E L E	unknown G G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F
Space G.3—Living Room				

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill, rendered and skirted over Concrete hearth	O L 20 th O	E L E	unknown G G
Door set	Hollow core flush door to rear wing Original door frame	L 20 th O	I E	G G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	O with Early 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Timber step treads with nosings from adjacent rooms	O	E	G
Skirting	Timber, under window Timber, against bathroom wall	L 20 th O?	L E	G G
Walls	Painted render/plaster finish Original brickwork	L 20 th O	L E	G unknown
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window with round—headed timber and fibro tympanum over the window	L 20 th	M	G
Window joinery	Double horizontal sliding sash window with textured glass	L 20 th	M	G
Architraves	Moulded timber to bathroom and rear bedroom	O or L 20 th	E	G

Space G.5—Bathroom

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
Ceiling	Fire rated plasterboard (possibly with orig. ripple iron behind)	L 20 th	L	G
Cornice	Timber	O?	E	G
Door set	Half-glazed timber door in original frame to porch, with moulded sunk panels (flush panels inside) and plain glass	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber inside space G.5	O	E	G
Fanlight	Pivot fanlight	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F

Space G.6—Rear Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from porch, no fanlight)	O or Late 20 th	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	Light fittings	L 20 th	L	F

Space G.7— Stairs

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Floor	Timber	O possibly with L 20 th repairs	E	G
	Carpet	L 20 th	L	G
Stairs	Timber stair and balustrade with stop chamfered square newel posts, profiled handrail (balustrade side only) and square-section balusters, pendant newels (to laundry space) and timber skirting	O	E	G
	Boarded soffit to stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical T & G boarded lining below balustrade to staircase	O	E	G
Space LG.1—Dining Room				
Floor	Timber boards on timber joists (possibly boards and joists replaced in 2011)	O or Early 21 st	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
	Fire rated plasterboard and inspection hatches with modern timber architraves to false ceiling section	L 20 th	L	G
Fireplace/hearth	Vertical boarded alcove	L 20 th	L	G
	Concrete hearth	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Grill pattern	O	E	G
Space LG.2—Kitchen				
Floor	Concrete slab	O	E	G
	Vinyl tiles	Early 21 st	L	G
Skirting	Modern timber (to stair partition) - no rendered skirtings	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Timber stud and plasterboard partition to stair well	L 20 th	L	G
	Large Opening	L 20 th	M	n/a
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber to double doors	L 20 th	L	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Other	Kitchen fit-outs and services	L 20 th or Early 21 st	L	F
	Light fittings	L 20 th or Early 21 st	L	F
Space LG.3—Laundry				
Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Paint	Early 21 st	L	G
	Original brick	O	E	G
	Timber stud and plasterboard partitions	L 20 th	L	G
Cornice	Timber quarter round to partitions	Early 21 st ?	L	G
	Timber quarter round to brick walls	O?	E	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	H	G
Architraves	Timber door architrave (door removed)	L 20 th	L	G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th or Early 21 st	L	G

3.5 Priority Conservation Works

3.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but retained carpets and fit-outs that prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the *Heritage Act 1977 (NSW)* (the Heritage Act)

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

3.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

3.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition, the owner or tenant of Flat 48 should regard the following actions as priority actions for which the individual owner is likely to be responsible as part of a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining Flats 46 and 50). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing and other services, repair as required.
- Repair/replace side fence shared with Flat 50 with a similar timber fence of the same height.
- Repair and make operable the timber clothes hoist.
- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.
- Refix loose original louvre glazing in external WC.
- Remove weeds and rubbish, and apply herbicide to rear yard.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and upgrade fire detection system.

High (Within 12 Months)

External works:

- Repair and/or renew fence panels, rails or palisades as needed.
- Inspect and test storm water drains and sewerage lines and pits, and clear/repair as required. Check paving condition and ensure runoff is directed away from the building.

Internal works:

- Although the annual pest inspection of the building as a whole is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn, chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs.

Low (Within Six Years)

External works:

- n/a.

Internal works:

- Replace unsympathetic flush doors with panel doors matching the original form and detail.

3.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

3.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

3.7 Specific Conservation Policies for Flat 48

There are no specific policies for Flat 48 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 48 must comply with the conservation policies set out in Part 1 Section 9.0.

3.8 Areas for Possible Change for Flat 48

Areas for possible change within the flat at 48 Gloucester St are shown on Figures 3.60 and 3.61.

Number 48—Plans, Areas for Possible Change

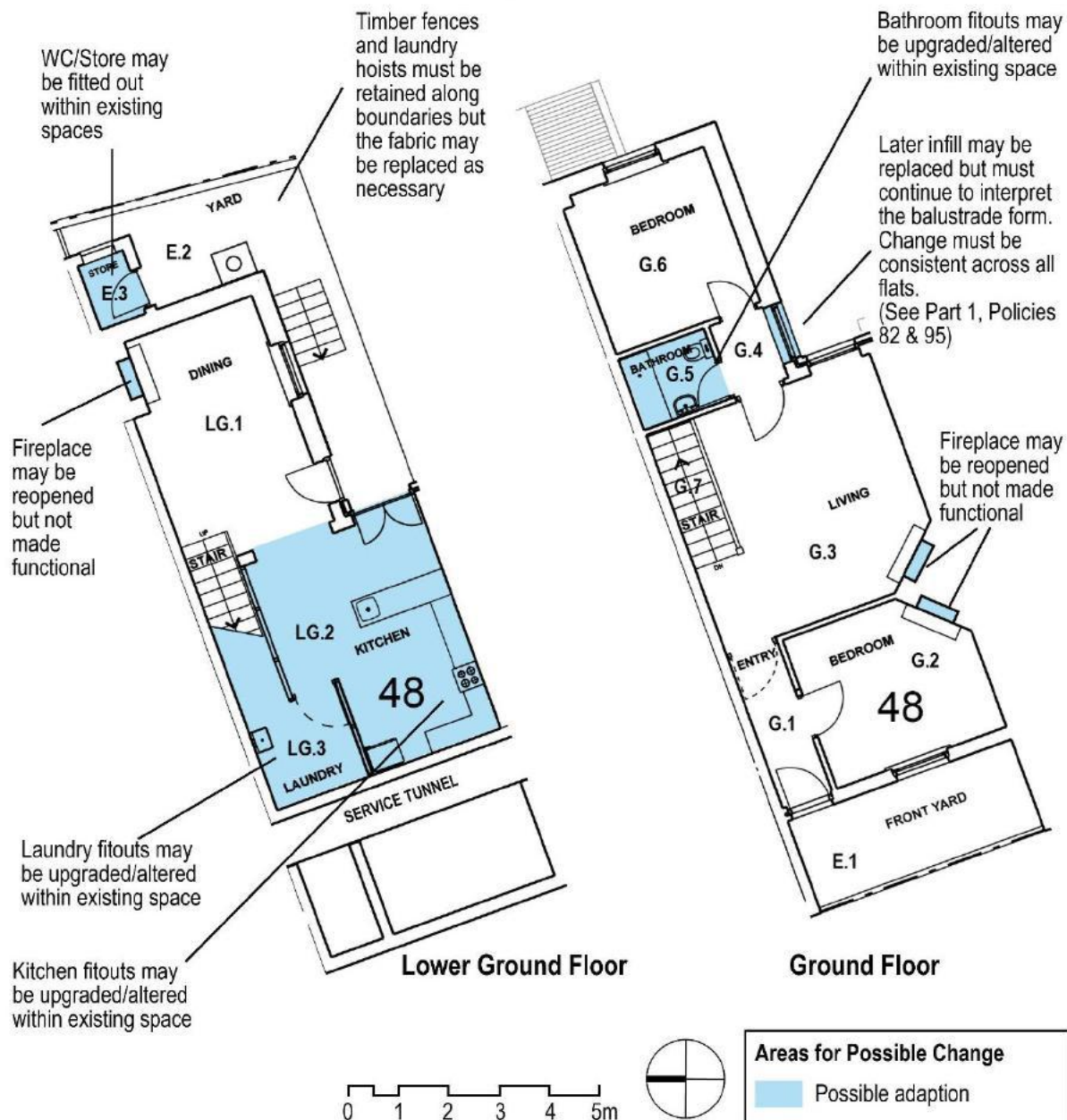


Figure 3.60 Plans showing areas for possible change—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 48—Elevations
Areas for Possible Change

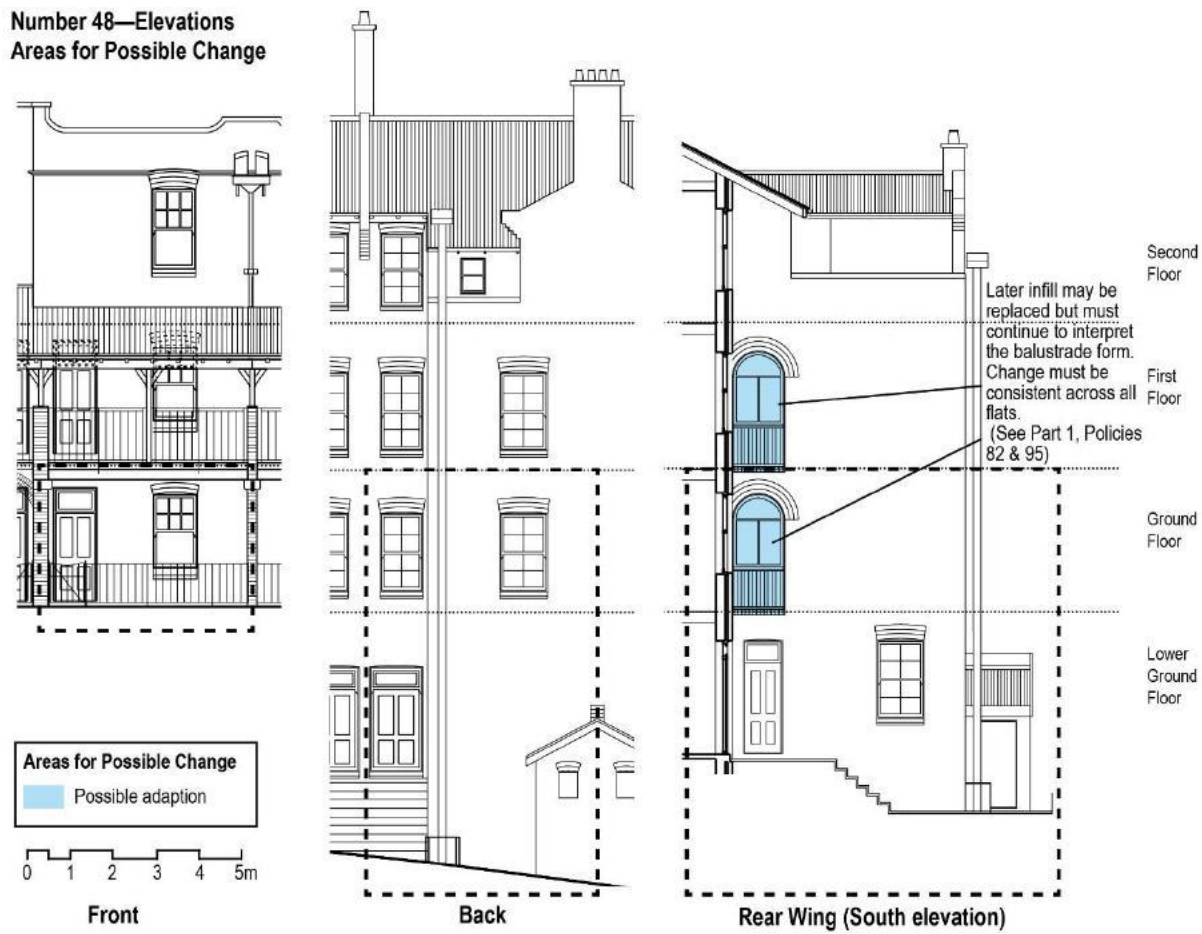


Figure 3.61 Elevations showing areas for possible change—Flat 48 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

4.0 Flat 48A of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 48A Gloucester Street. It should be read in conjunction with the preceding sections in Part one of this CMP. Figure 4.1 shows the location of the flat within the building. Figure 4.2 and 4.3 show the configuration of Flat 48A.

Number 48a—Property Plan, First Floor



Number 48a—Property Plan, Second Floor

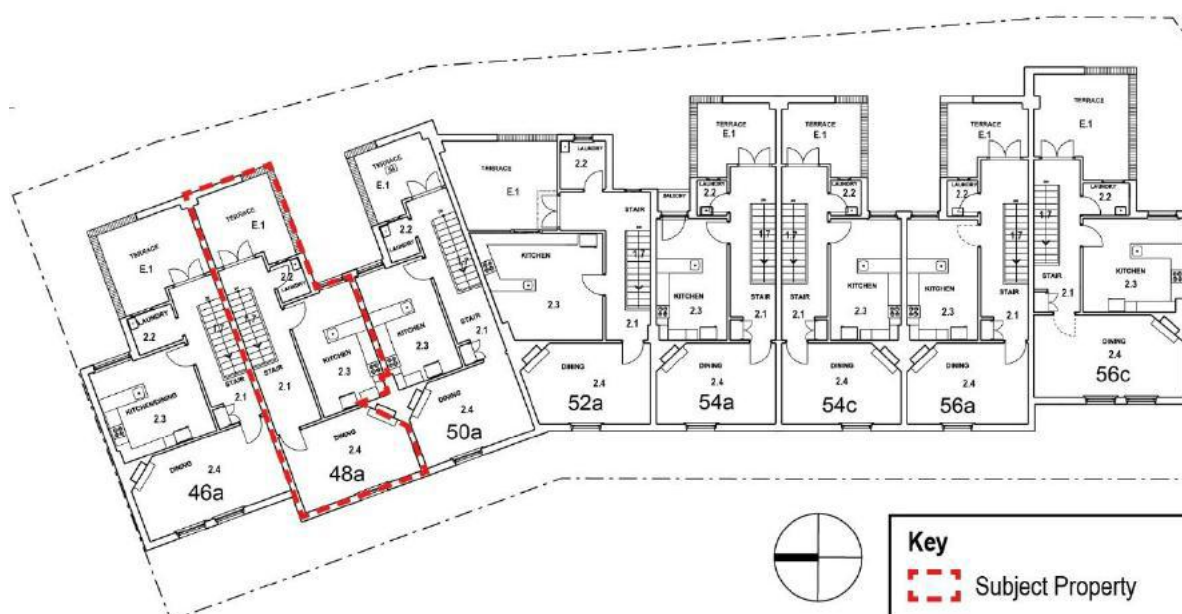


Figure 4.1 Location plan—Flat 48A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 48a—Plans

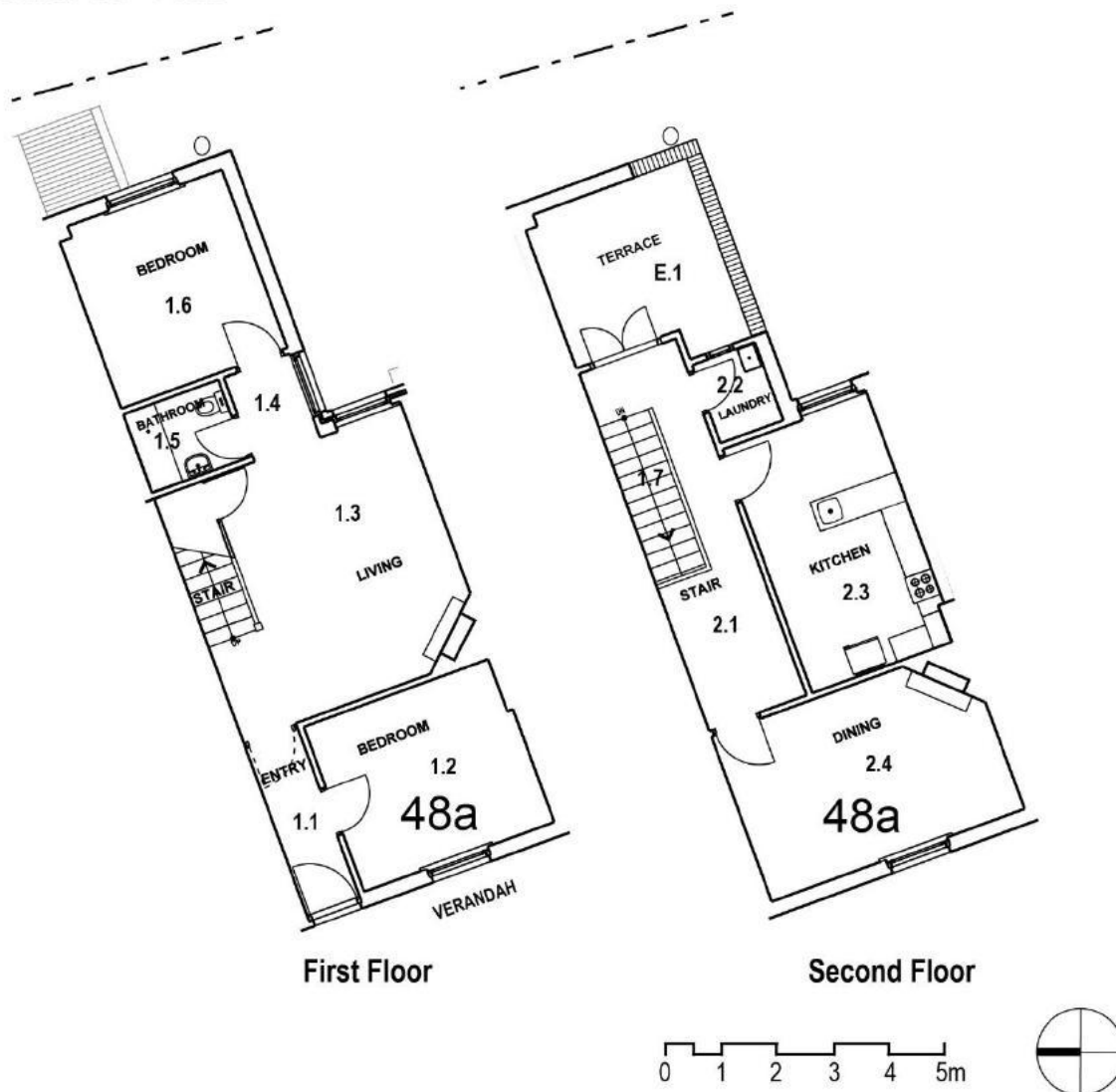


Figure 4.2 Floor plans of Flat 48A / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 48a—Elevations



Figure 4.3 Elevations of Flat 48A / 46–56 Gloucester Street. Flat is indicated by hatched outline. (Source: LAHC, with GML overlay 2016)

4.1 Summary of Heritage Significance

Flat 48A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

4.2 Physical Description of No. 48A Gloucester Street

A more detailed description of the block of flats as a whole is provided in Section 3.0 of the CMP.

4.2.1 Typology

Flat 48A is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 48A is a Type 2 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4). It is a single-fronted flat on two levels, with its principal entrance from Gloucester Street via communal stairs to a covered verandah shared with Flats 46A, 48A, 50A and 52A. Type 2 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and kitchen, dining and laundry on the second floor, and external roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 2 group. The flat was refurbished in c1988 in a way that is generally

consistent with other flats of the same type within the building (refer to Part 1 Sections 2.3.3–2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 2 to another.

4.2.2 External

The flat is separated from adjoining flats (Flats 46A and 50A) by brick structural party walls on either side. The flat is separated from the flat below (48) by a timber double floor. Flat 48A has a pitched corrugated sheet metal roof behind a brick parapet, and a skillion roof to the rear wing which partially covers the roof terrace creating a semi-enclosed area, the other part of the terrace being open to the elements, behind a brick parapet. There is a chimney stack at the ridge and another to the rear wing, with flues being shared between adjacent flats (Figure 4.6).

The front elevation is two storeys in height, single-fronted, in fair-faced brickwork in running bond, flush jointed in grey mortar (Figure 4.6, Figure 4.8, Figure 4.9). The entry door and windows have dark brick surrounds and arched heads supported on flat iron bearers. There is a dark brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents. The rainwater head and downpipe are shared with the adjoining flat.

The lower storey is slightly concealed behind the timber frame, skillion roof, metal balustrade and brick piers of the verandah (Figure 4.6 and Figure 4.7). The flat has no private front gate or fence; access stairs, distribution spaces and verandah structure are common property. Entry is from the verandah via the four-panel, bolection moulded entry door, which has glazed upper panels in wired glass, a central brass knob and letter slot and modern night latch, and fanlight over (Figure 4.9, Figure 4.19 and Figure 4.20). The first and second floor timber sash windows (six lights over one light) have chamfered brick sills, and the door a slate threshold (Figure 4.18)

The rear elevation is of common brick in running bond, flush jointed (Figure 4.15). Doors and windows have brick arched heads with flat iron bearers (arch bars), as on the front elevation, except for the round-arched window of the former rear porch on the first floor level, which faces south towards the rear wing of Flat 50A (Figure 4.16, Figure 4.17). This window (like all such windows on this floor of the block) has been infilled with a timber sliding sash window with textured glass, fibrous cement tympanum and vertical boarded spandrel under, and wooden external balustrade detail externally (Figure 4.16).

To the rear wing, the property shares rainwater services with Flat 48 below (galvanised steel square and round section downpipes and ogee profile galvanised steel gutters) (Figure 4.13, Figure 4.15) and has the reconstructed (non-functional) garbage chute affixed externally on the rear wall (running from the roof terrace level of Flat 48A to ground level at the rear of Flat 48) (Figure 4.15, Figure 4.17).

The roofed area of the roof top terrace is partially enclosed by two brick walls. The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade (Figure 4.12). The opening to the garbage chute has been sealed with a metal plate. There is some evidence of the former laundry copper having been removed from the skillion roofed area. The glass doors opening onto the terrace are set in a weatherboard wall (Figure 4.10). The side wall of the stair landing is rendered and painted. The hot water system is located on the roof terrace, outside the laundry (Figure 4.11).

4.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, timber cornice and a timber door frame to the living room with pivot fanlight over (Figure 4.21). Flat 48A has no door between hall and living room (Space 1.3) (Figure 4.21).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, timber cornice, timber picture rail, grille pattern wall vents and ripple iron ceiling (Figure 4.22–Figure 4.25). There is a four-panel solid timber door with fanlight over, and a timber double-hung sash window (six lights over one). It has a corner flue but no fireplace.

The living room (space 1.3) has timber floor (carpeted), corner fireplace (blocked up), cement run skirtings, timber cornice, timber picture rail and ripple iron ceiling (figures 11.18–11.24). There is a timber double-hung sash window to the rear. The staircase has a moulded timber handrail and balustrade on the right hand side, timber stop chamfered newel posts and boarded soffit, with a vertical boarded enclosure below the stairs with ledged batten door and fitted shelving (Figure 4.29, Figure 4.31, Figure 4.36 and Figure 4.41).

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). There is no door to the rear porch, only the original door frame and pivot fanlight. The former porch has a timber floor, rendered brick internal wall faces with no cornice, and modern timber skirting under the window only. The timber floor of space 1.4 has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom has been infilled (c1988) and consists of 2x2-light horizontal sliding sash window with textured glass, modern vertical tongue-and-groove boarded panelling under and a round-headed timber and fibro tympanum over (Figure 4.34).

The bathroom (space 1.5) is a recent fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and ripple iron ceiling with timber boarding under the part of the staircase that projects through the space in the upper corner (Figure 4.35–Figure 4.37). The bathroom has an original four-light part-glazed timber door and pivot fanlight over.

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, timber picture rail and timber cornice, grille pattern vents, four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figures Figure 4.38–11.32).

4.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), kitchen (space 2.3) and laundry (space 2.2), and to the front bedroom (or 'dining room') (space 2.4). Principal rooms and spaces on this floor have ripple iron ceilings, cement run skirtings, timber floors and set plaster wall finishes (Figures 11.34–11.50) Some alterations have been made to incorporate the laundry into what may have been an external WC accessed from the roof terrace, and to create new double doors giving access to the terrace. The laundry and kitchen have modern fit-outs and floor/wall finishes but retain original skirtings, cornices and joinery. The front bedroom has almost identical features to the downstairs front bedroom but with no picture rail.

4.3 Phases of Development

Figures 11.4 and 11.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Section 2.0 of this CMP.

Number 48a—Phases of Development, Plans



Figure 4.4 Plans showing phases of development—Flat 48A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 4.5 Elevations showing phases of development—Flat 48A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

4.4 Significant Components of Flat 48A

As with all the flats at 46–56 Gloucester Street, Flat 48A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 48A.

4.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures 11.6 to 11.59) document the elements and spaces of 48A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 4.6 Overall façade of 48 and 48A Gloucester Street, showing front verandah (common property), shared guttering and downpipe, brick parapet and brick chimney on the boundary with 50 and 50A Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.7 Underside of the verandah roof (common property), with original wrought iron balustrade, timber structure, brick pier and concrete verandah floor slab—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.8 Double hung sash window with arched brick head and chamfered brick sill, terracotta vent and dark brick surround—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.9 Four-panel front door with bolection moulds to bottom panels and textured and wired glass to upper panels, dark brick surrounds, arched head and enamelled number plate—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.10 Modern French doors to roof terrace (space 2.1/E.2)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May)



Figure 4.11 Rear wall of terrace (space E.2) showing modern spiral balance timber sash window and repaired brickwork to laundry—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.12 Terrace (space E.2) showing the original garbage shoot blocked up and brick balustrade—48A/46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.13 Exposed rafter of eaves to the rear wing at roof terrace level showing modern galvanised gutters and original ripple iron ceiling and rafters with timber cornice under roof (space E.2). 48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.14 Rear roof slope and chimney and parapet (common property)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.15 Exterior walls of the rear wing in common brick, showing reconstructed garbage chute and roof terrace parapet, shared chimney, skillion roof and steel downpipes—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.16 Round-arched opening and sliding sash window added to the former rear porch on the southern elevation. Also late 20th century copper plumbing additions—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.17 Rear façade of flat 48A showing double hung sash windows with arched brick heads—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.18 Original slate threshold to front door—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.19 Pivot fanlight over the front door with original mechanism (space 1.1)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.20 Original door knob, letter slot, bell twist and enamel number plate on front door—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

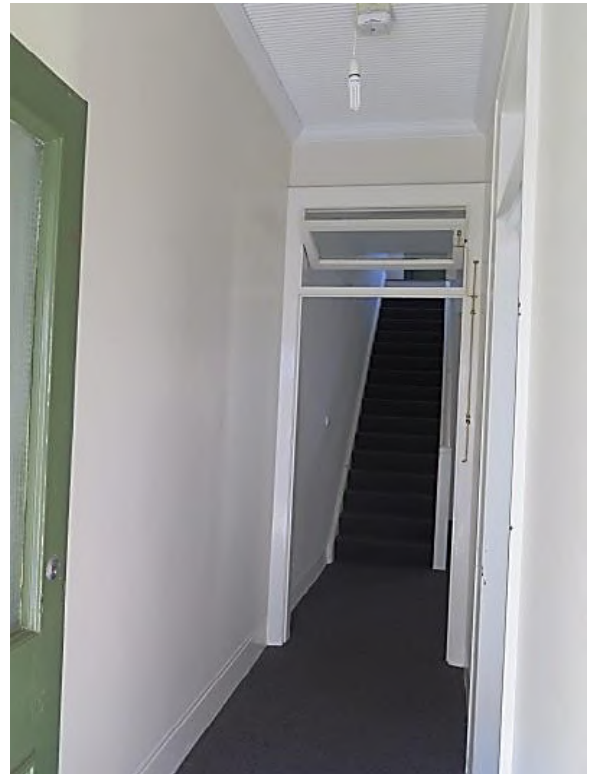


Figure 4.21 Entry (space 1.1)—48A / 46–56 Gloucester Street, showing carpeted timber floor, cement run skirtings, timber cornice, ripple iron ceiling and timber door frame with fanlight to the living room (space 1.3). (Source: GML Heritage, May 2016)



Figure 4.22 Front bedroom (space 1.2)—48A / 46–56 Gloucester Street, showing cement run skirtings, timber cornice, timber picture rail, wall vent and ripple iron ceiling. (Source: GML Heritage, May 2016)

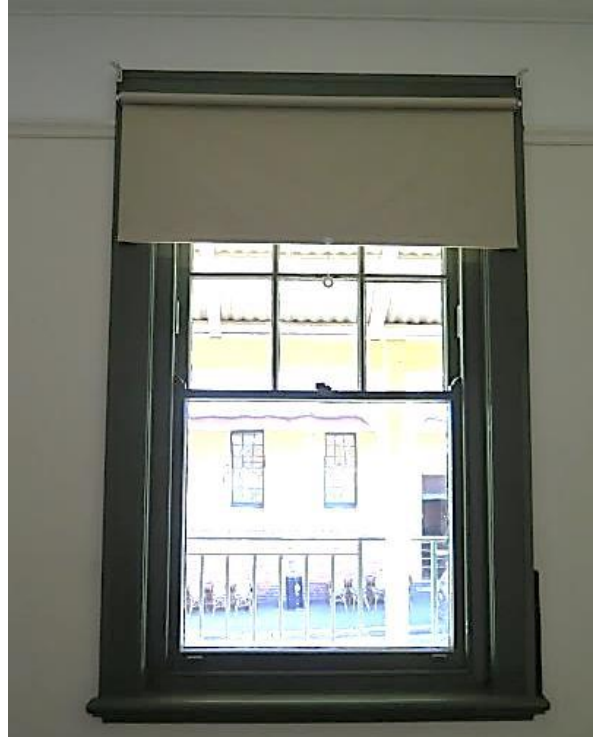


Figure 4.23 Timber double-hung sash window, architrave and sill board in front bedroom (space 1.2)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2015)



Figure 4.24 Four-panel timber door with fanlight above and reproduction mechanism between front bedroom (space 1.2) and entry (space 1.1)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2015)

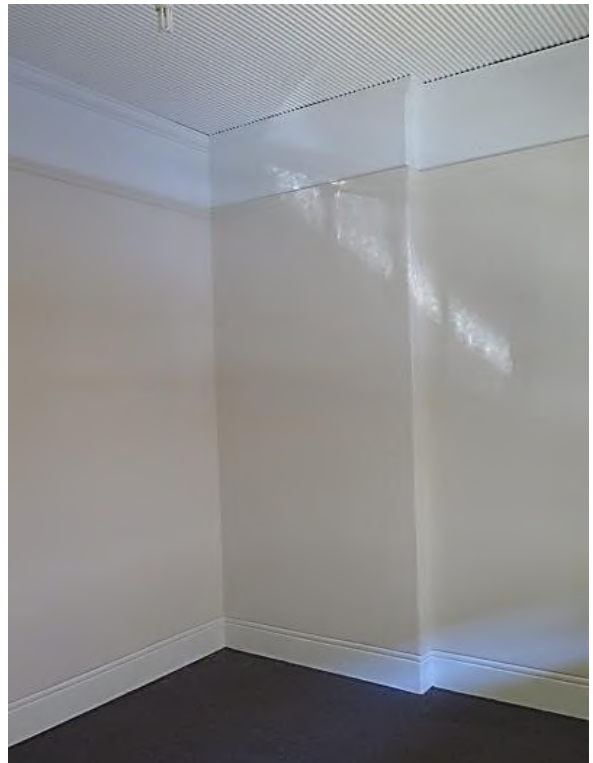


Figure 4.25 Front bedroom (space 1.2)—48A / 46–56 Gloucester Street, showing ripple iron ceiling, cornice, picture rail, skirting and flue from chimney. (Source: GML Heritage, May 2016)

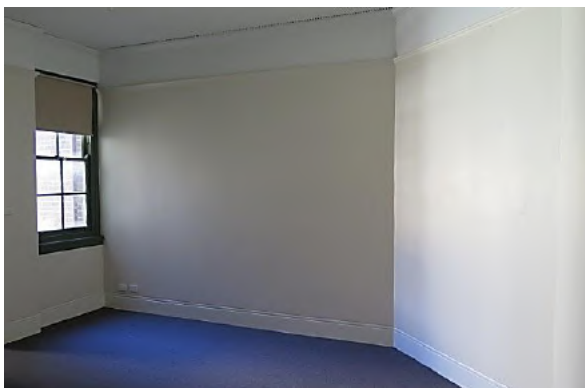


Figure 4.26 Living room (space 1.3)—48A Gloucester Street, showing original cement run skirtings, timber picture rail, and timber double-hung sash window. (Source: GML Heritage, May 2016)

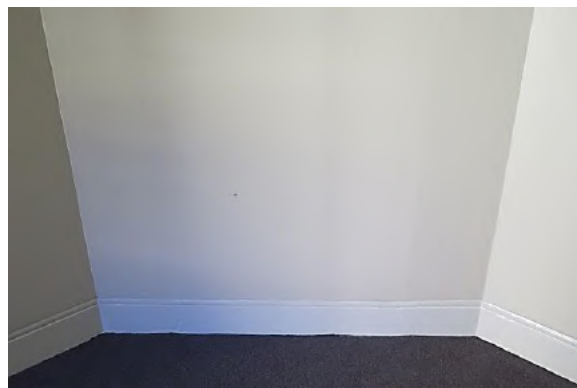


Figure 4.27 Original corner fireplace (blocked off and rendered and skirted over to match adjacent) with concrete hearth (concealed under carpet) in the living room (space 1.3)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.28 Timber double-hung sash window in living room (space 1.3), also showing the original run skirting, picture rail and timber cornice—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.29 Living room (space 1.3)—48A / 46–56 Gloucester Street, showing timber balustrade and original T&G timber boarded stairs and ledged and sheeted door. (Source: GML Heritage, May 2016)



Figure 4.30 Living room (space 1.3) showing half picture rail, T&G timber boards to staircase and ripple iron ceiling. Walls with painted set plaster above dado, cement render below dado—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.31 Cupboard under the stairs in living room (space 1.3) with original T&G boarding and ledged timber door—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.32 Original ripple iron ceiling, picture rail, timber cornice and early gas pipe/fitting in the ceiling of the living room (space 1.3)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.33 Doorway with original transom light above and reproduction mechanism between the living room (space 1.3) and the former rear porch (space 1.4)—48A / 46–56 Gloucester Street. Note original door is missing. (Source: GML Heritage, May 2016).



Figure 4.34 Infilled former rear porch opening (space 1.4), with modern horizontal sliding sash window and T&G boarding and modern skirting below—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

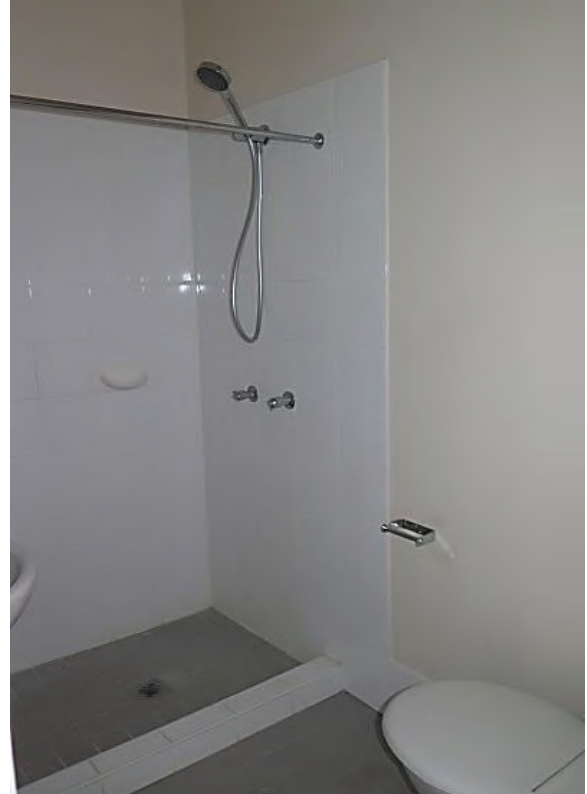


Figure 4.35 Bathroom (space 1.5) showing modern fit-out—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.36 Bathroom (space 1.5) showing boarded soffit to stair, pendant newel to stair, and ripple iron ceiling, with section of ripple iron over stringer—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.37 Bathroom (space 1.5) showing modern fit-out and original part glazed panel door with fanlight above and original (?) mechanism—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.38 Rear bedroom (space 1.6), showing modern carpeted floor (over original timber), original skirtings, ripple iron ceiling, cornice, picture rail, wall vent and timber double-hung sash window—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.39 Original four-panel sunk moulded timber door in the rear bedroom (space 1.6), original architrave and moulded timber picture rail—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.40 Timber double-hung sash window, sillboard, architrave and sash frame in the rear bedroom (space 1.6)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

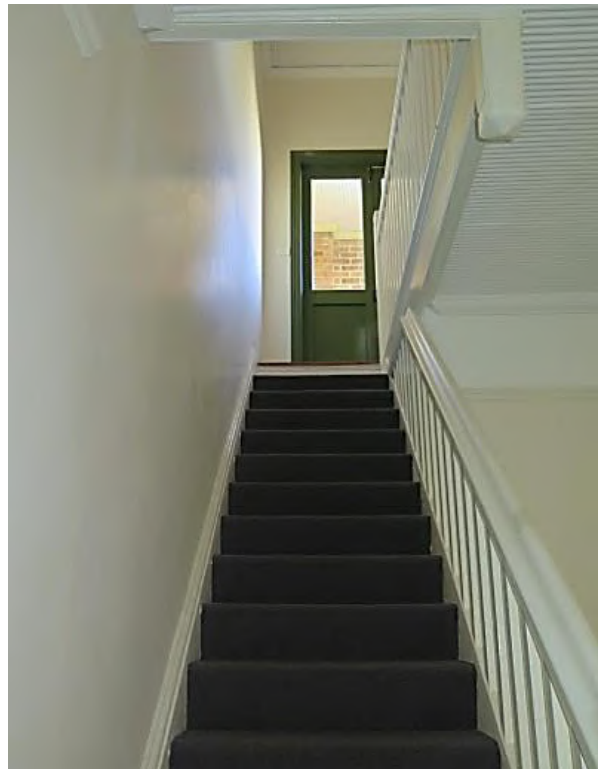


Figure 4.41 Stair (space 1.7) showing original timber handrail and skirting and pendant newel post extending below the ceiling—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.42 Hall (space 2.1) showing timber balustrade and modern French door to terrace (space E.1) and original cement run skirtings—48A / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 4.43 Hall (space 2.1) showing timber balustrade, newel post and handrail, original cement run skirtings and quad mould and timber floor—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.44 Original ripple iron ceilings with original cornice and exposed steel transverse I-beam in hall (space 2.1)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.45 Stair hall (space 2.1) showing original ripple iron ceiling, open access to roof space and original roof hatch surround—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.46 Later grille pattern wall vents and ripple iron ceiling with timber cornice in laundry (space 2.2)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.47 Laundry (space 2.2) showing modern fit-out and raked ceiling—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.48 Timber spiral balance sash window in laundry (space 2.2)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

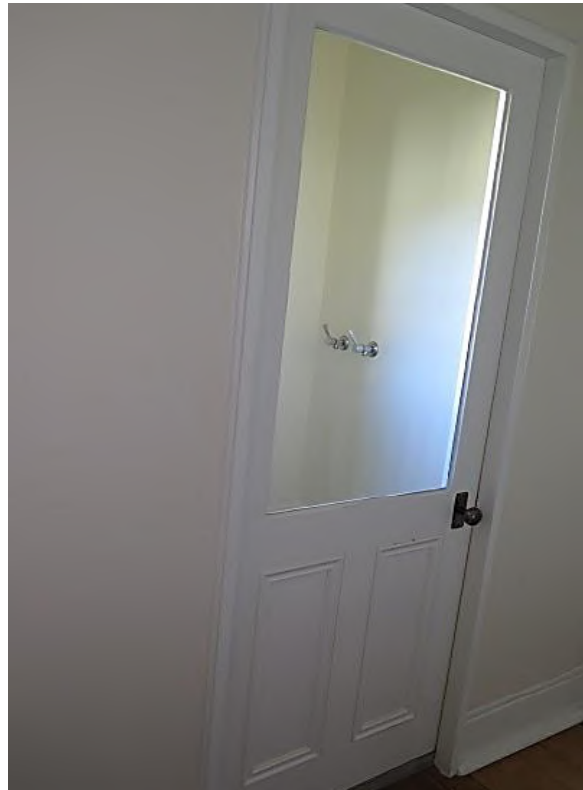


Figure 4.49 Modern half-glazed door to laundry (space 2.2)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.50 Kitchen (space 2.3) showing modern fit-out and original ceiling and cornice, with original flue behind—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

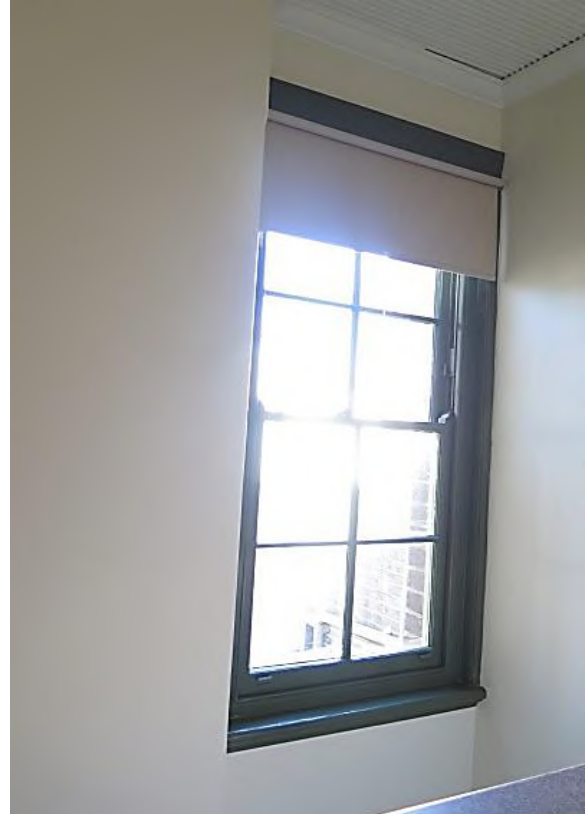


Figure 4.51 Original timber double-hung sash window in kitchen (space 2.3)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.52 Kitchen (space 2.3) showing modern fit-out and original four-panel sunk moulded door —48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

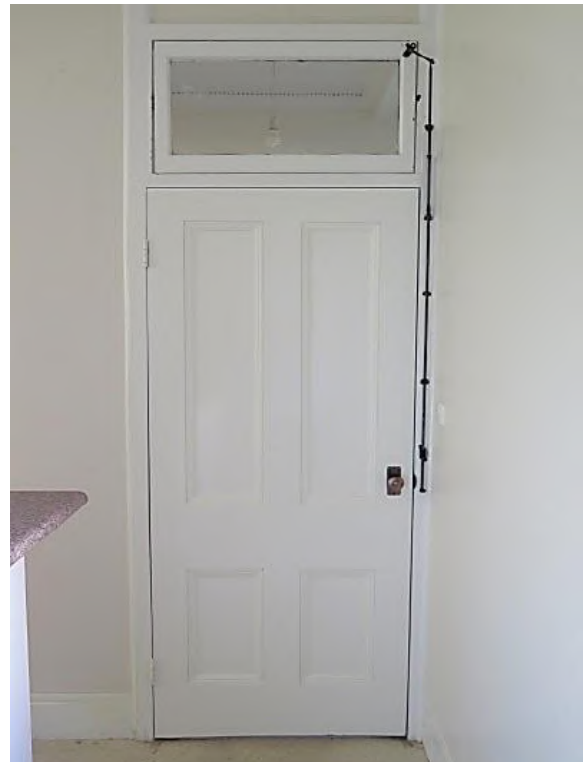


Figure 4.53 Original (?) four-panel sunk moulded timber door and fanflight in kitchen (space 2.3)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.54 Dining room (space 2.4) showing the original ripple iron ceiling and cornice, with timber floors—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.55 Original four-panel sunk moulded timber door to dining room (space 2.4), with original fanlight above—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

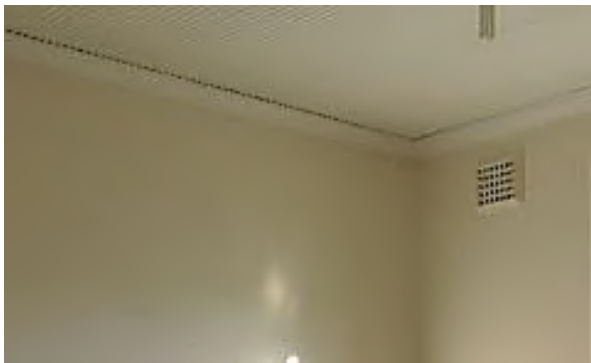


Figure 4.56 Original ripple iron ceiling and grille pattern wall vents (common to interiors throughout 48A / 46–56 Gloucester Street), with timber cornice in dining room (Space 2.4)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.57 Original corner fireplace (blocked off and rendered and skirted over to match adjacent) with concrete hearth (space 2.4)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.58 Original timber double-hung sash window in dining room (space 2.4)—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 4.59 Modern French doors to terrace (space E.1) showing modern paving and original brick walls to the enclosed part of the roof terrace—48A / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)

4.4.2 Significance Gradings Diagrams for 48A Gloucester Street

Figures 11.60 And 11.61 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 11.1–11.5).

Number 48a—Plans, Gradings of Significance



Figure 4.60 Plans showing gradings of significance—Flat 48a / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 48a—Elevations
Gradings of Significance



Figure 4.61 Elevations showing gradings of significance—Flat 48A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

4.4.3 Significant Fabric and Condition—48A Gloucester Street

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 4.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade, curving up to southern party wall	O	E	G
Door threshold	Slate threshold to front doors	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th or Early 21 st	M	G
	Brass knob and letter slot, spyhole, enamel number plate, bell twist	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Fanlight mechanism	O?	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O (some later repairs)	E	G
Window sills	Chamfered brick sills	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Gutters and downpipes	Decorative rainhead	Early 21 st	H	G
	Galvanised steel ogee profile gutters	Early 21 st	H	G
	Square galvanised steel downpipes	Early 21 st	H	G

Table 4.2 Exterior (rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, downpipes and spreader	Early 21 st	H	G
	Copper service pipes to south and east elevation	Late 20 th	H	G
Garbage chute	Brushed stainless steel chute	Early 21 st Reconstr.	H	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber sliding sash window	L 20 th	M	G
Window sills	Chamfered brick sills	O	E	G/F
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta cavity vents	O	E	G

Table 4.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade	O	E	G
Chimneys	Common brick with brick on edge capping and terracotta pots	O	E	G
Eaves	Exposed rafter to rear elevation and rear wing	O	E	G

Table 4.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G G
	Timber verandah posts and beam	O	E	G
	Timber rafters and purlins	O	E	G
Walls/supports	Face brick piers	O	E	G
Fence	Wrought iron palisade, square section pales	O	E	G
Space E.1—Roof Terrace				
Walls	Brick walls to covered area	O	E	G
	Brick balustrade with brick-on-edge coping	O	E	G
	Common brick to laundry exterior	O, L 20 th infill	Original: E	G
	Timber weatherboard and rendered brick/blockwork to roof terrace access doors	L 20 th	Infill: M	G
			M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round to covered area	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door set	Part-glazed double doors to access the terrace including furniture	L 20 th	M	G
Paving	Modern concrete/ceramic	Early 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	Early 21 st	L	G/F
Garbage chute	Brushed stainless steel chute	Early 21 st Reconstr.	H	G
Services	Hot water tank	Early 21 st	L	not tested
	Light fittings	Early 21 st	L	not tested
	Metal clothes hoist	Late 20 th	L	F

Table 4.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over doorway to living room	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Other	Light fittings	L 20 th	L	not tested
Space 1.2—Front Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Chimney flue (no fireplace or hearth)	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door set	Four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20th	L	not tested
Other	Timber stair ascending to upper floor	O	E	G

Space 1.3—Living Room

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off	O	E	unknown
	Fireplace infill rendered and skirted over	L 20 th	L	G
	Concrete hearth	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	not tested
	Old gas pipe/fitting (ceiling)	O	E	G

Space 1.4—Rear Porch

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Floor	Timber boards on modern joists (raised to adjacent floor level)	O with Early 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Timber step treads with nosings from adjacent rooms	O	E	G
Skirting	Timber, under window	L 20 th	L	G
	Timber, against bathroom wall	O?	E	G
Walls	Painted render/plaster finish	L 20 th	L	G
	Original brickwork	O	E	unknown
Ceiling	Fire rated plasterboard	L 20 th	M	G
Infill to porch opening	Timber vertical boarded below window with round-headed timber and fibro tympanum over the window	L 20 th	M	G
Window joinery	Double horizontal sliding sash window with textured glass	L 20 th	M	G
Architraves	Moulded timber to bathroom and rear bedroom	O or L 20 th	E	G

Space 1.5—Bathroom

Floor	10cm ceramic tiles	Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
	Section of ripple iron infill over stair stringer (see Space 1.7)	O	E	G
Ceiling	Ripple iron	O	E	G
Cornice	Timber	O	E	G
Door set	Part-glazed four-light timber door in original frame to porch, with moulded sunk lower panels (flush panels inside) and plain glass (painted white)	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Fanlight mechanism	O?	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F
	Lighting	L 20 th	L	not tested

Space 1.6—Rear Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Door set	Four panel sunk moulded door in original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	Light fittings	L 20th	L	not tested

Space 1.7—Stairs

Floor	Timber	O	E	G
	Carpet	Early 21 st	L	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters, and pendant newels	O	E	G
	Boarded soffit to stairs	L 20 th ?	H	G
	Vertical boarded enclosure below the stairs with ledged and sheeted door	O	E	G
	Original rendered brick walls and cupboard space	O	E	G
	Shelving in the cupboard	L 20 th	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical boarded lining under stringer to staircase	O	E	G

Space 2.1—Landing/Stair Hall

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Moulded timber to E wall	Late 20 th	L	G
	Timber quad mould	Early 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly coke breeze) to north wall	O?	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam	O	E	G
Door set	Pair of half-glazed timber doors with single glass pane above single panel	Late 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Architraves	Moulded timber to spaces 2.3 and 2.4	O?	E	G
	Timber to Space 2.2 and E wall	Late 20 th	L	G
Other	Timber stair balustrade/handrail	O	E	G
	Light fittings	L 20 th	L	not tested
	Timber roof hatch and architrave (door missing)	O	E	G

Space 2.2—Laundry

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Tiling	Early 21 st	L	G
Skirting	Modern tiles	Early 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Half glazed door with sunk lower panels and single glass panel (entry from landing).	L 20 th	M	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame sillboard with moulded timber architrave	L 20 th	M	G
Wall vent	Terracotta (external only)	O or L 20 th	M	G
Other	Water services, sink	Early 21 st	L	G
	Electrical fixtures	L 20 th or Early 21 st	L	G

Space 2.3—Kitchen

Floor	Timber boards (?) on timber joists	O with Early 21 st repairs	E	unknown
	Vinyl covering	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O?	E	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly coke breeze) to north wall	O?	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Brick flue (rendered and painted, possibly with original fireplace opening bricked up)	O	E	G
Door set	Four panel sunk moulded door and frame (entry from landing).	O ?	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	L 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over doorway Fanlight mechanism	O O?	E E	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Other	Fit-out TV/communications service point in floor with brass cover plate Light fittings	L 20 th or Early 21 st Early 21 st L 20 th or Early 21 st	L L L	G not tested not tested

Space 2.4—Dining Room

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E L	G G
Walls	Painted set plaster/cement render	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill rendered and skirted over Concrete hearth	O L 20 th O	E L E	unknown G G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

4.5 Priority Conservation Works

4.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the *Heritage Act 1977 (NSW)* (the Heritage Act).

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

4.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

4.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or tenant of Flat 48A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats 46A and 50A). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Check paving condition to roof terrace.

- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection of the building as a whole is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

4.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

4.6 General Conservation Policies

The Conservation Policies in Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

4.7 Specific Conservation Policies for Flat 48A

There are no specific policies for Flat 48A that differ from or are additional to the general policies included in Section 9.0 of this CMP. All works to Flat 48A must comply with the conservation policies set out in section 9.0.

4.8 Areas for Possible Change for Flat 48A

Areas for possible change within the flat at 48A Gloucester Street are shown on Figures 11.62 and 11.63.

Number 48a—Plans, Areas for Possible Change

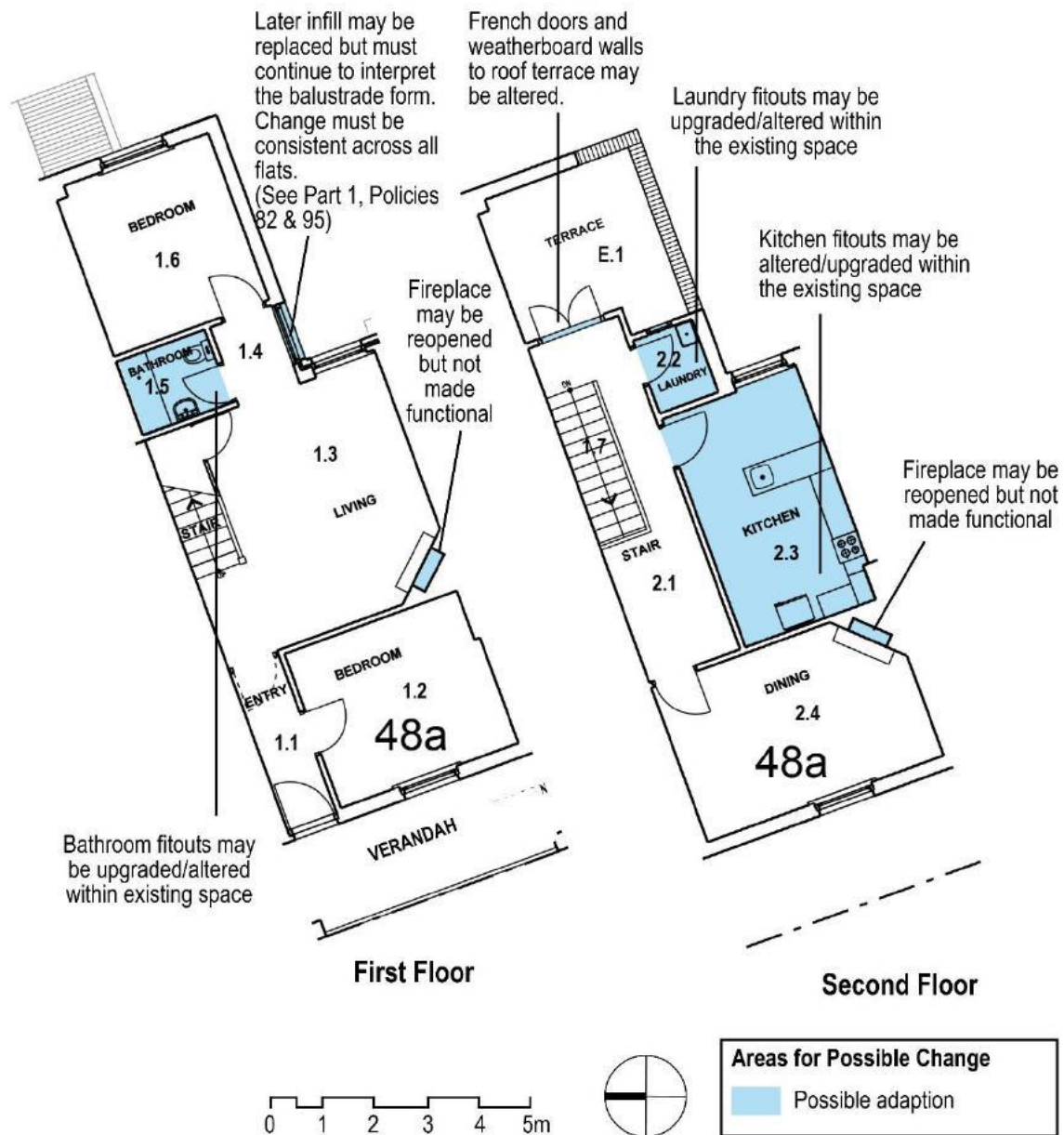


Figure 4.62 Plans showing areas for possible change—Flat 48A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

**Number 48a—Elevations
Areas for Possible Change**

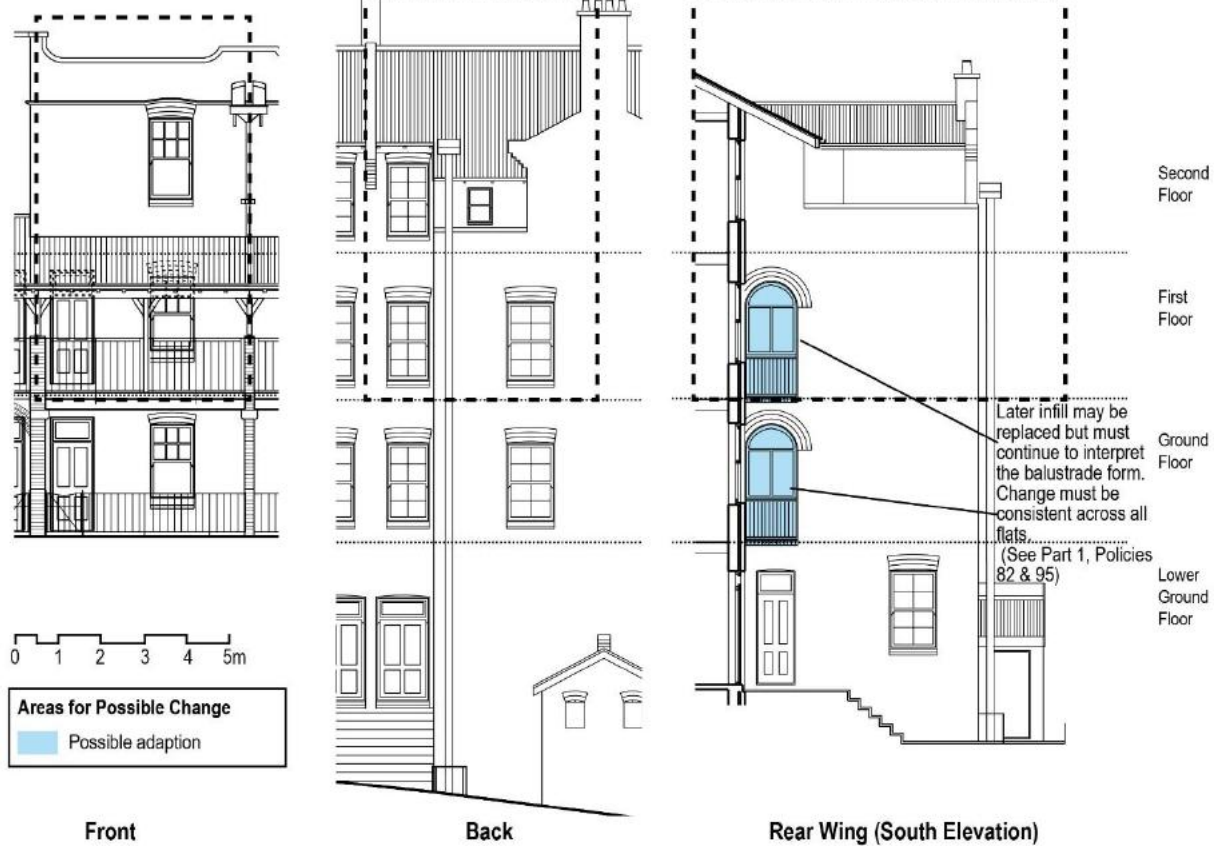
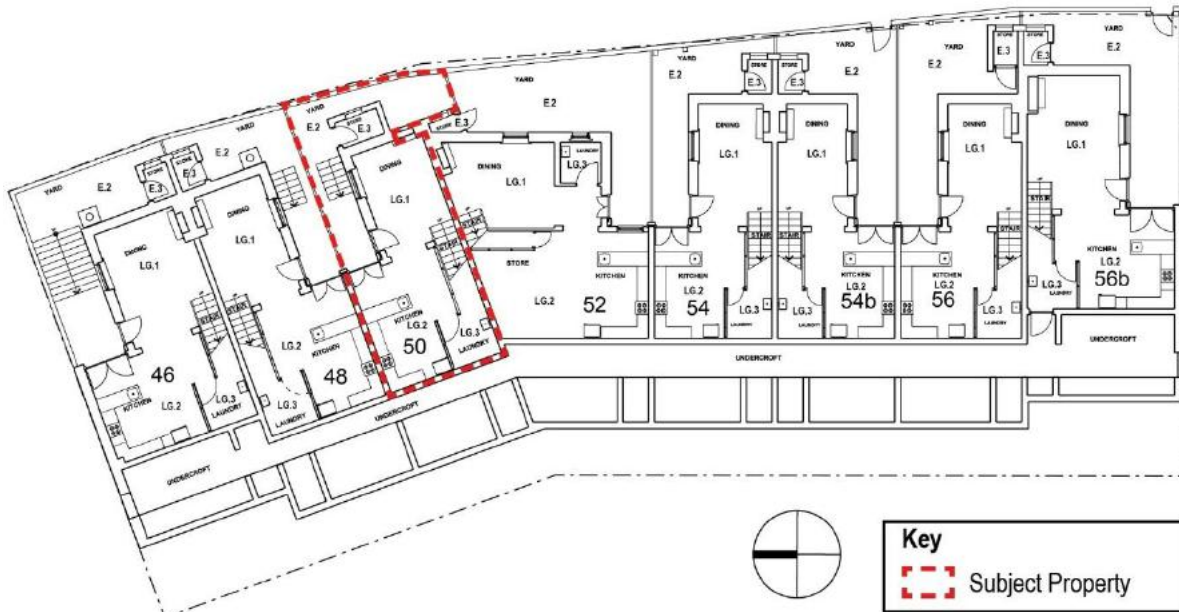


Figure 4.63 Elevations showing areas for possible change—Flat 48A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

5.0 Flat 50 of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 46A Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 5.1 shows the location of the flat within the building. Figure 5.2 and Figure 5.3 show the configuration of Flat 56C.

Number 50—Property Plan, Lower Ground Floor



Number 50—Property Plan, Ground Floor



Figure 5.1 Location plan—Flat 50 / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 50—Plans

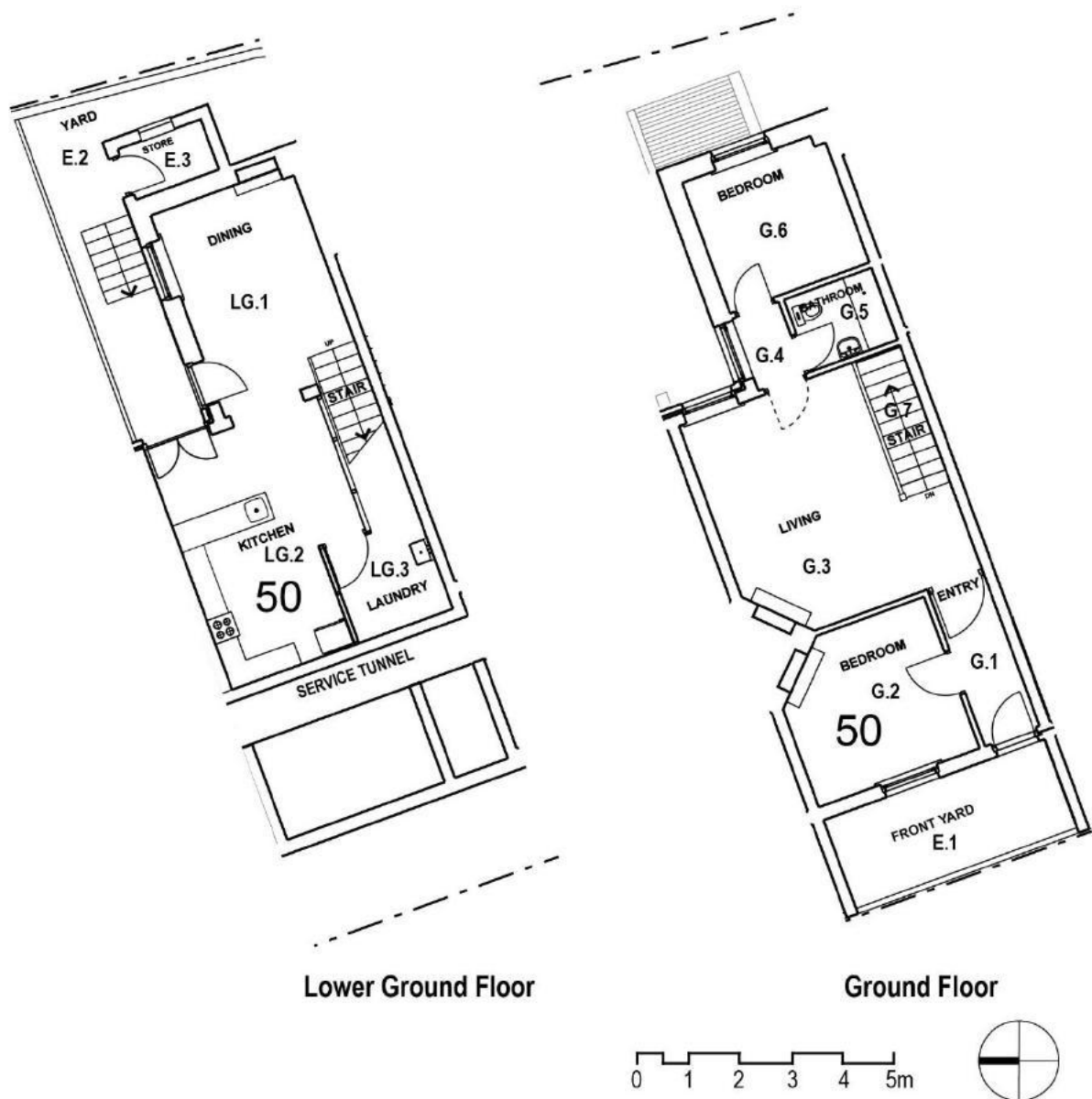


Figure 5.2 Plans of Flat 50 / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 50—Elevations



Figure 5.3 Elevations of Flat 50 / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

5.1 Summary of Heritage Significance

Flat 50 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual flat owners and the owners' corporation.

5.2 Physical Description of Flat 50

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

5.2.1 Typology

Flat 50 is one of eight maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 50 is a Type 1 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1 and 3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 1 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988 in a way that is generally

consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 to another.

5.2.2 External

The flat is separated from adjoining flats (Flats 48 and 52) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56b) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 5.6 and Figure 5.7). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 5.7)

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 5.43 and Figure 5.44). The yard is on one level. It has an external (former) WC (space E.3) and a reconstructed traditional timber clothes hoist inside the fence. There is no private access from Cambridge Street.

At the rear, the property shares rainwater services with Flat 50A above (steel square section downpipes) (Figure 5.43)

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 5.7) The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 5.7). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, a letterbox slot, spyhole, enamelled number plaque and modern night latch (Figure 5.11). There is a pivot fanlight over. The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a six-over-one double hung sash window, and has a chamfered brick sill. The door has a slate threshold (Figure 5.9 and Figure 5.10).

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 5.42). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street, though two of the louvre glazing panels are missing.

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 5.43). The exception is the round-arched window of the former rear porch, which faces towards the rear wing of Flat 48 (Figure 5.45). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a solid

timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 5.43).

5.2.3 Internal—Ground Floor

As with other Type 1 flats, entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the living room with pivot fanlight over. The door between the hall (space G.1) and the living room (space G.3) may have been re-used from elsewhere and appears to be upside down (smaller panels at the top) (Figure 5.14). The front bedroom (on the right) has timber floor, cement run skirtings, timber cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and one double-hung timber sash window (six lights over one) (Figure 5.15). It has a corner fireplace (blocked up and mantel piece removed) with concrete hearth (Figure 5.16).

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figure 5.18–Figure 5.20). There is a painted timber balustrade with square balusters to the staircase giving access to the lower ground floor.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway with fanlight over. The former porch (space G.4) has a timber floor, painted unrendered brick internal wall faces, and modern and original timber skirting (Figure 5.25). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under (Figure 5.22).

The bathroom (space G.5) has a modern fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figure 5.26 and Figure 5.27). The bathroom has an original half-glazed timber door and pivot fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber picture rail and timber cornice, scroll pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figure 5.28 and Figure 5.29)

5.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, original timber handrail and balustrade (to the lower section), newel posts, timber skirtings and stringers (Figure 5.30–Figure 5.32). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 5.35). Part of the ceiling has had a void for services created behind a ceiling panel in matching ripple iron. The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original hearth (but with blocked off fireplace), scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall (Figure 5.35). Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained. The laundry (space LG.3) has been divided from the kitchen by a modern partition wall. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 5.38 and Figure 5.39)

5.3 Phases of Development

Figure 5.4 and Figure 5.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 50—Phases of Development, Plans

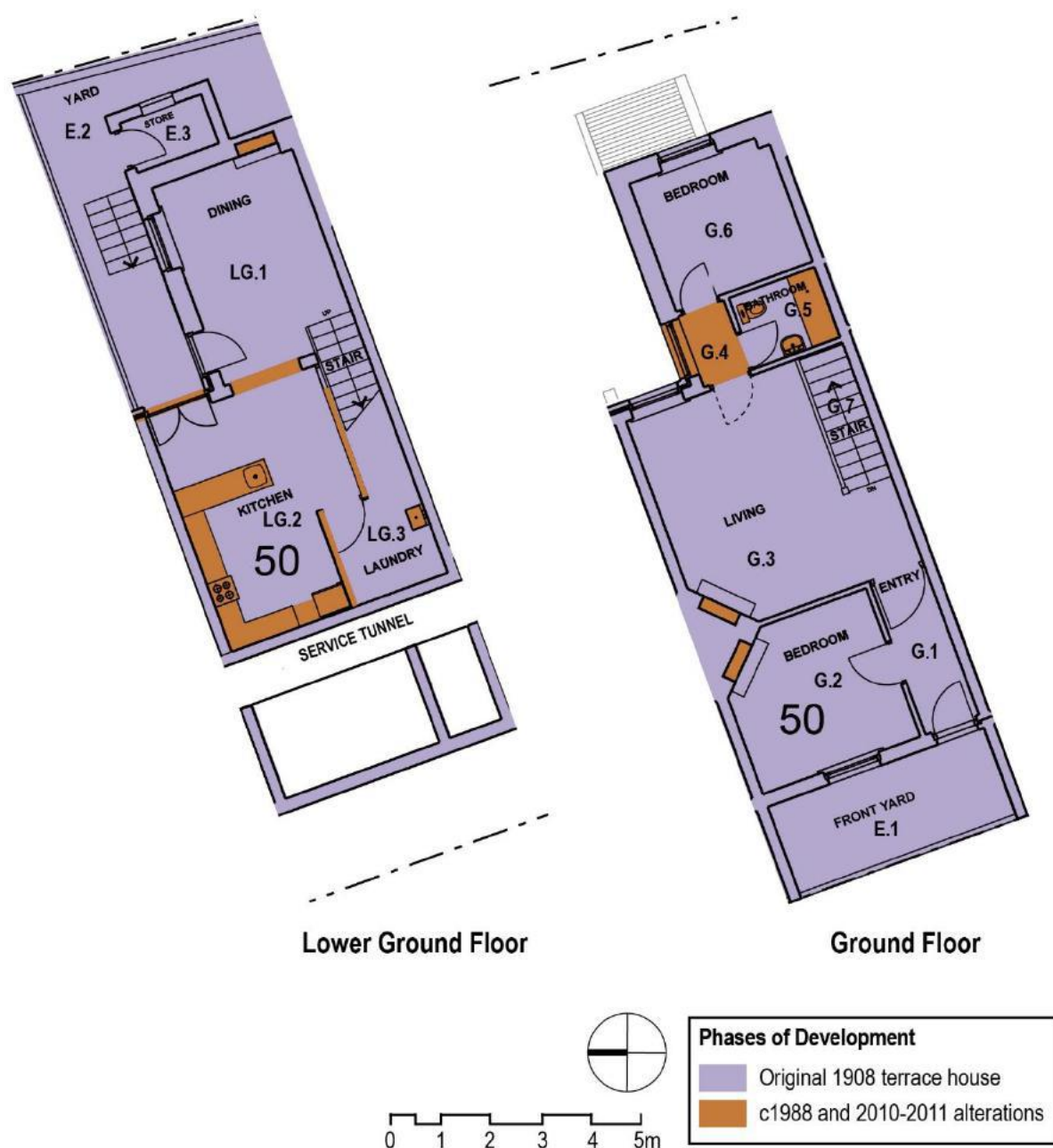


Figure 5.4 Plans showing phases of development—50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 50—Elevations Phases of Development



Figure 5.5 Elevations showing phases of development—50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

5.4 Significant Components of Flat 50

As with all the flats at 46–56 Gloucester Street, Flat 50 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 50.

5.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 5.6–Figure 5.44) document the elements and spaces of flat 50 of 46–56 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 5.6 Overall western façade of 50 and 50A/ 46–56 Gloucester Street—showing shared front verandah and shared guttering. (Source: GML Heritage, May 2016)



Figure 5.7 The front façade—50 / 46–56 Gloucester Street, showing external walls, projecting party walls with sandstone bolsters, wrought iron fence with square pales, wrought iron gates and the front yard (space E.1) (Source: GML Heritage, November 2015)



Figure 5.8 updated rain water collection system on the front porch (space E.1)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.9 Slate threshold and dark brick surround to the front door—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.10 Double-hung window with chamfered brick sill, twenty-first century glass (lower sash) and dark brick surround—50 / 46–56 Gloucester Street (Source: GML Heritage, June 2016)



Figure 5.11 Four panel front door with bolection moulds to bottom panels and wired glass to top panels with original letter slot—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.12 Original (?) mechanism to the pivot fanlight over the front door—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.13 The entry (space G.1) showing the timber floor, cement run skirting and timber door frame with fanlight above to front bedroom (space G.2) and living room (space G.3)—50 / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 5.14 Four panel timber door, with fanlight above leading to the dining room (space G.3) from the entry hall (space G.1)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.15 Front bedroom (space G.1) showing the timber double hung sash window, architraves, sill board and cement run skirting—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2015)

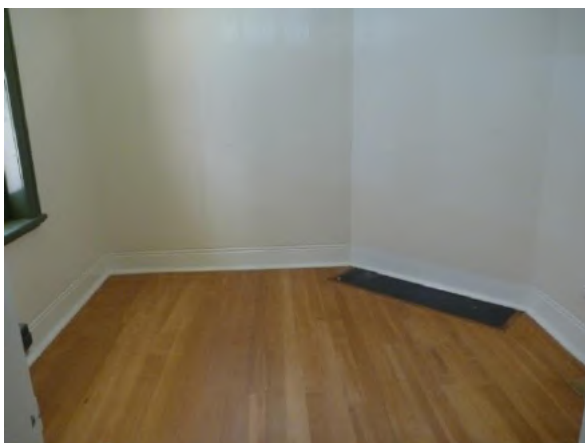


Figure 5.16 Front bedroom, showing timber floors and concrete hearth from the original corner fireplace (blocked up)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2015)



Figure 5.17 Front bedroom (space G.2) showing the moulded timber picture rail and cornice, decorative plaster wall vent and plaster board ceiling—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.18 The living room (space G.3) showing cement run skirtings, timber cornice, timber double-hung sash window—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.19 The living room (space G.3), showing cement run skirtings, timber balustrade and original timber door frame with fanlight to the entry hall (space G.1)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

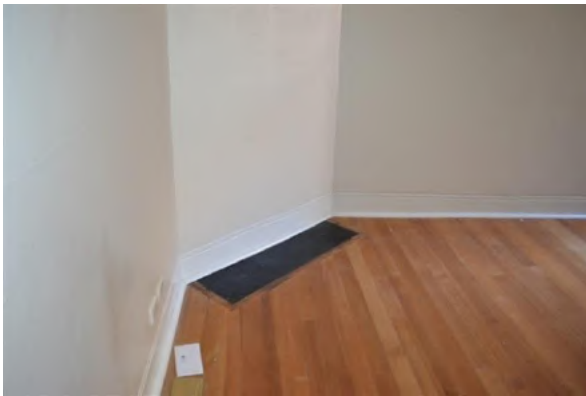


Figure 5.20 The original corner fireplace with concrete hearth is blocked in the living room (space G.3)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.21 Timber double-hung sash window in the living room (space G.3)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.22 Infilled former rear porch opening (space G.4), with casement window and modern T&G boarding below—50 / 46-56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.23 Infilled former rear porch opening, showing the cement skirting and half-glazed timber panel door to the bathroom—50 / 46-56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.24 Infilled former porch (space G.4), showing the brick head above doorway to the bedroom (space G.6) and the fanlight to the bathroom (space G.5)—50 / 46-56 Gloucester Street (Source: GML Heritage, June 2016).

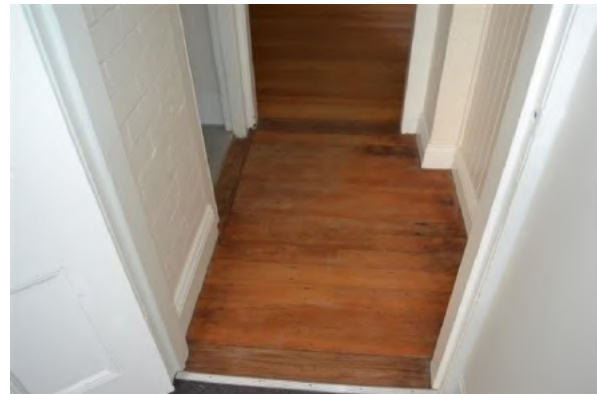


Figure 5.25 The raised timber floor of the former rear porch (space G.4) with original timber thresholds and nosings to steps—50 / 46-56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.26 Bathroom (space G.5) with modern fit out showing the plaster board ceiling and cornice—50 / 46–56 Gloucester Street, (Source: GML Heritage, June 2016)



Figure 5.27 Bathroom (space G.5) showing the fanlight above the door, decorative plaster wall vent and plasterboard ceiling—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.28 Rear bedroom (space G.6) showing the timber double hung window, cement render skirting and decorative plaster wall vent—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

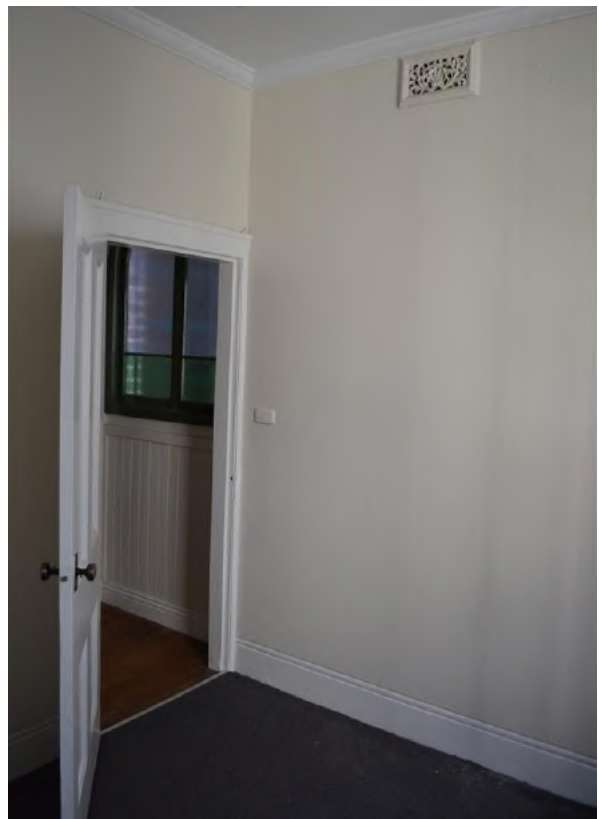


Figure 5.29 Rear bedroom (space G.6) showing the decorative plaster wall vent, plaster board ceiling and original door frame, with four panel timber door to the infilled former porch (space G.4)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.30 The stair (space G.7) showing original timber handrail—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.31 The stair (space G.7) showing the original timber handrail and timber boarded wall—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

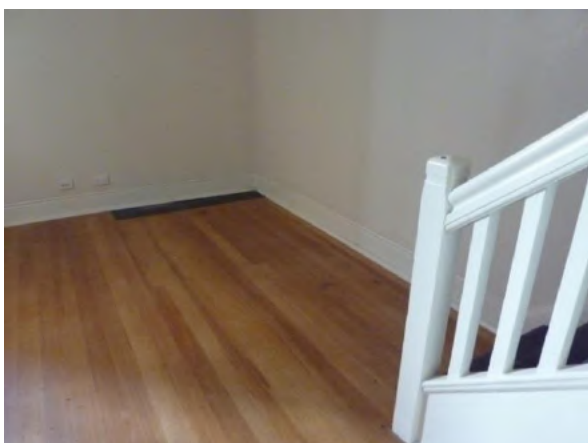


Figure 5.32 Dining room (space LG.1) showing the original fireplace with concrete hearth, boarded up, timber floor and the cement run skirting—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.33 Dining room (space LG.1) and kitchen (Space LG.2) showing the double-hung sash window to the dining room and the two four panel doors with fanlights above to the rear yard (space E.2)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.34 Dining room (space LG.1) showing the cement run skirting and timber double hung sash window—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.35 Dining room (space LG.1) showing the ripple iron ceiling, decorative plaster wall vent and fanlight above door to rear yard—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.36 Kitchen (space LG.2) showing the modern fitout, original ripple iron ceilings and entrance to the laundry (space LG.3)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

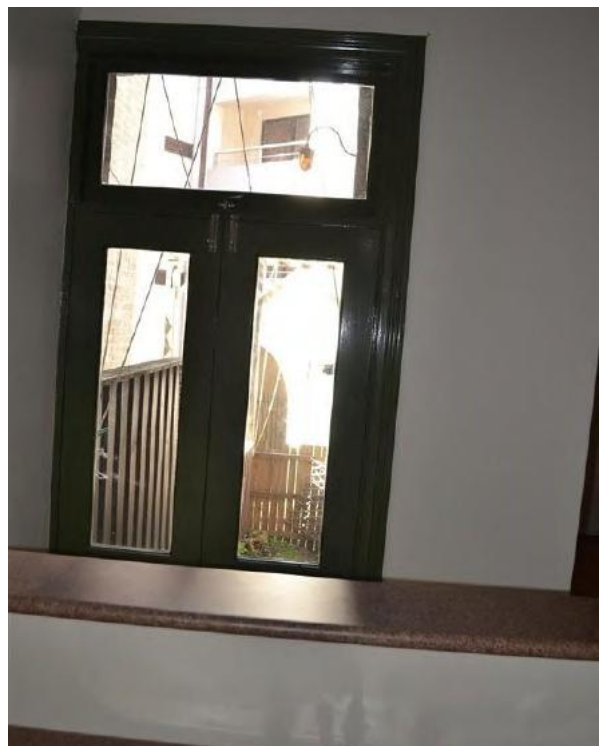


Figure 5.37 Half-glazed timber door, with fanlight above, leading from the kitchen (space LG.2) to the rear yard (space E.2)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.38 Laundry (space LG.3) showing modern fitout and original painted brick walls—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.39 Laundry (space LG.3) showing the original ripple iron ceiling, T&G boarded timber stair soffit and newel post extending from ceiling above—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.40 Laundry (space LG.3) showing the T&G soffit to the stair and original painted brick walls—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

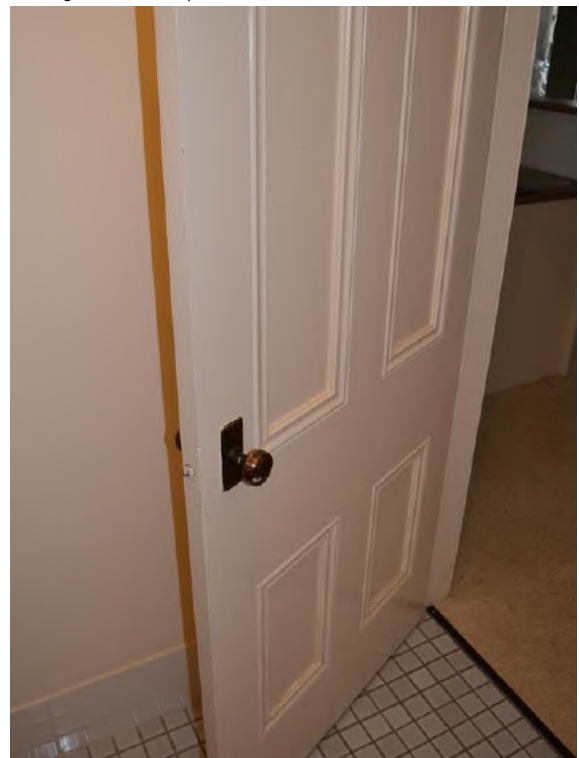


Figure 5.41 Four panel timber door to the laundry (space LG.3)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.42 Former external WC (space E.3) showing, exposed rafter eaves, brick walls, brick arched doorway and timber boarded door—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.43 Exterior walls of the rear wing showing concrete steps, original cast iron and modern stainless and copper downpipes, and terracotta wall vents (space E.2)—50 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 5.44 Exterior walls in common brick, timber fence and squared rock faced perimeter retaining wall. Rear wing looking west—50 / 46–56 Gloucester Street (Source: GML Heritage, June)



Figure 5.45 Round arched window of the infilled former rear porch—50 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).

5.4.2 Significance Gratings Diagrams for Flat 50

Figure 5.46 and Figure 5.47 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 5.1–5.4).

Number 50—Plans, Gratings of Significance

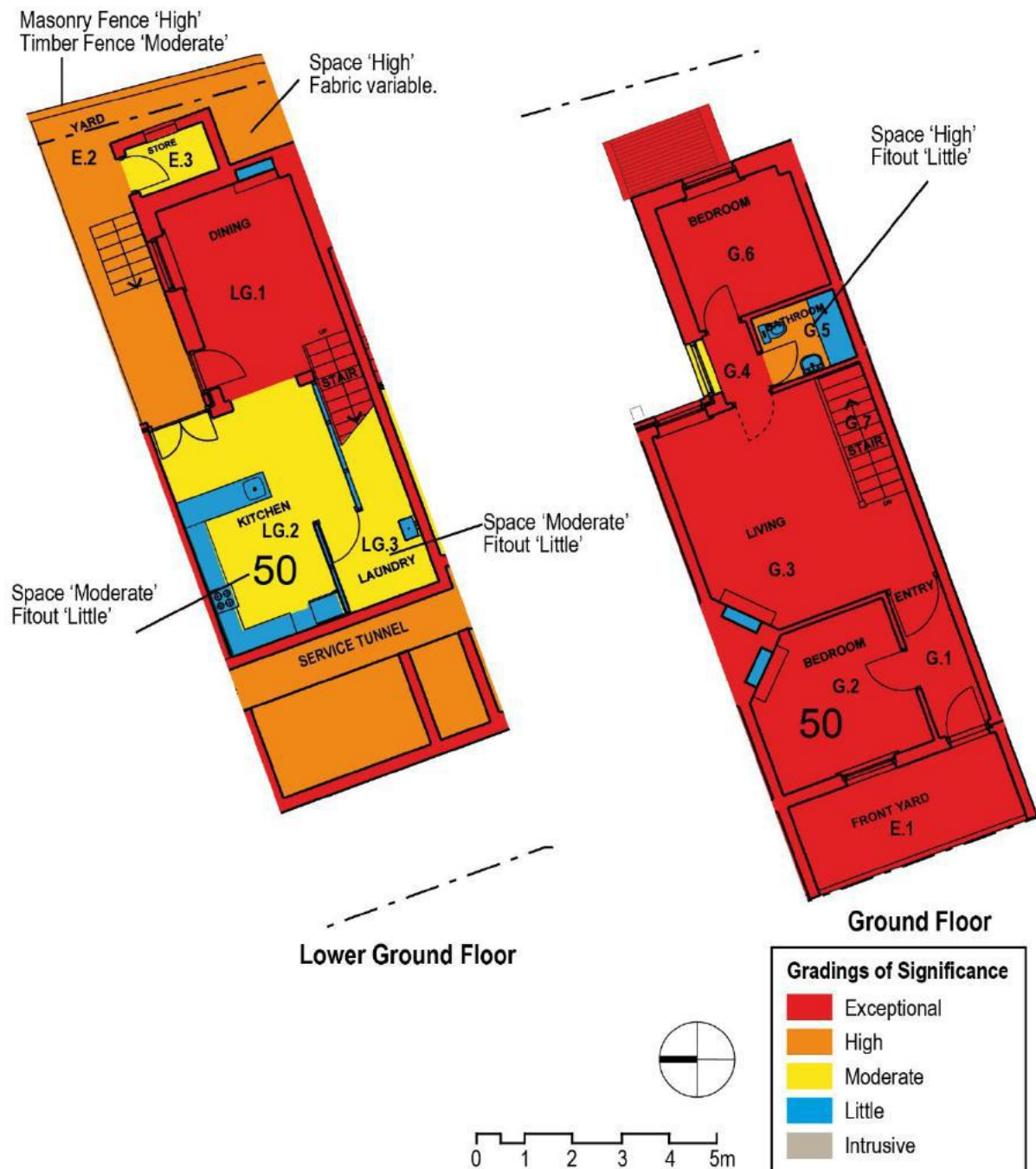


Figure 5.46 Plans showing gradings of significance—Flat 50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 50—Elevations
Gradings of Significance



Figure 5.47 Elevations showing gradings of significance—Flat 50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

5.4.3 Significant Fabric and Condition—Flat 50

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 5.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th	M	G
	Brass letterbox, spyhole and bell (part), (no knob)	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Original mechanism	O	E	G
Window joinery	Timber double hung sash window (six over one)	O	E	G
	Plain glass	O/some later repairs)	E/H	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 5.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G/F
Gutters and downpipes	Steel downpipes	Early 21 st	H	G
	Cast iron square downpipes	O	E	G
	Copper service pipes to south and east elevation	Late 20 th	E	G
Door threshold	Concrete thresholds to rear doors	L 20 th	M	G
Door set	Four-panel sunk moulded rear main door	O	E	G
	Half-glazed French doors with top hung fanlight to rear yard from kitchens	L 20 th	M	G
	Door furniture	O/ L 20 th	E/H	G
Fanlight	Central pivot fanlight over rear main door	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Window sills	Brick sills Brick sill under former porch opening	O L 20 th	E E	G F
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer Round-headed brick arched opening to rear wing former porch	O O	E E	G G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 5.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Fence—east	Timber paling	L 20 th	M	F
Fence – north	Timber paling Brick plinth	L 20 th L 20 th	M M	F G
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	F/P
Paving	Brick pavers	L 20 th	L	F/P
Drains	Sumps to receive storm water	L 20 th	L	F
Clothes hoist	Timber hoist frame and pulleys fixed to rear wall	L 20 th Reconstr.	H	F
Other	Bracket light above window/modern exterior light beside door	L 20 th ?	M	F
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: Early 21st	Form: O Sheeting: H	F/P
Gutters and downpipes	Copper gutters and downpipe	O	E	F
Eaves and verges	Exposed rafter, timber bargeboard	O	E	F
Door set	Ledged and braced timber door with strap hinges	O	E	P
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Window joinery	Timber fixed louvre frame including glass	O	E	F
Window heads	Common brick arch with hoop iron lintel bar	O	E	G
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G

Table 5.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Door set	Front door (see Exterior (front)) Internal door frame to living room Four panel internal door (hung with the smaller panels at the top) to living room	O O L 20 th ?	O O L	G G F
Fanlight	Pivot fanlight over doorway to living room Reproduction mechanism	O Early 21 st	E M	G G
Other	Light fittings	L 20 th	L	n/a
Space G.2—Front Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill, rendered and skirted over Concrete hearth	O L 20 th O	E L E	n/a G G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double hung sash window (six-over-one), timber box frame, sillboard and moulding with moulded timber architrave	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Space G.3—Living Room

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G/F G/F
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill rendered and skirted over Concrete hearth	O L 20 th O	E L E	n/a G G
Door set	Door frame Door leaf removed to rear porch	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double hung sash window (six-over-one), timber box frame, sillboard and moulding with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit under	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level) Timber step thresholds with nosings from adjacent rooms	O/L 20 th O	E E	G n/a
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Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Skirting	Timber, under window	L 20 th	L	G
	Timber, against bathroom wall	O?	E	G
Walls	Painted unrendered brick	L 20 th	E	G
	Arched brick heads over openings	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Round headed double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Grill pattern (to bathroom wall)			

Space G.5—Bathroom

Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	n/a
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
Ceiling	Fire rated plasterboard (possibly with orig. ripple iron behind)	L 20 th	L	G
Cornice	Timber quarter round	O	E	G
Door set	Half-glazed panel door with textured glass in original frame to porch, flush panels on the inside moulded on the outside	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber inside space G.5	O	E	G
Fanlight	Pivot fanlight (non-operable, no mechanism)	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F

Space G.6—Rear Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Door set	Four panel sunk moulded door in original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Light fittings	L 20 th	L	F

Space G.7— Stairs

Floor	Timber	O possibly with L 20 th repairs	E	G
	Carpet	L 20 th	L	G
Stairs	Timber stair and balustrade with stop chamfered square newel posts, profiled handrail (balustrade side only) and square-section balusters, pendant newels (to laundry space) and timber skirting	O	E	G
	Boarded soffit to stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical T & G boarded lining behind handrail to staircase	O	E	G
Other	Modern light fitting	L 20 th	L	F

Space LG.1—Dining Room

Floor	Timber boards on timber joists (possibly boards and joists replaced in 2011)	O or Early 21 st	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
	Modern unmoulded section	L 20 th	L	G
Ceiling	Ripple iron	O	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
	Timber boxing-in at beam flange	Late 20 th	M	G
	RI drop ceiling to smaller compartments	Late 20 th ?	M	G
Fireplace and chimney piece	Fireplace blocked off	O	E	n/a
	Fireplace infill rendered and skirted over	L 20 th	L	G
	Concrete hearth	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space LG.2—Kitchen				
Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Plasterboard partition to stairwell	L 20 th	L	G
	Large Opening	L 20 th	M	n/a
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber to double doors	L 20 th	L	G
Other	Kitchen fit-outs and services	L 20 th or Early 21 st	L	F
	Light fittings	L 20 th or Early 21 st	L	F
Space LG.3—Laundry				
Floor	Concrete slab	O	E	G
	Ceramic tiles	L 20 th	L	G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Unrendered brick, painted	O	E	G
	Plasterboard partitions	L 20 th	L	G
Cornice	Timber quarter round	O/L20 th	L	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	L	G
Architraves	Timber door architrave	L 20 th	L	G
Door set	Sunk moulded four panel timber panel door	Early 21 st	L	G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th /Early 21 st	L	G

5.5 Priority Conservation Works

5.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

5.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

5.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 50 should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.
- Repair and make operable the timber clothes hoist.
- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.

- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.
- Reinstall louvred glazing to external WC.
- Check paving condition to rear yard.
- Repair sandstone retaining wall to Cambridge Street
- Inspect and clean storm water system, provide gratings as required

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.
- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

5.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

5.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 50–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

5.7 Specific Conservation Policies for Flat 50

There are no specific policies for Flat 50 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 50 must comply with the conservation policies set out in Part 1 Section 9.0.

5.8 Areas for Possible Change for Flat 50

Areas for possible change within the flat at 50 Gloucester Street are shown on Figure 5.48 and Figure 5.49.

Number 50—Plans, Areas for Possible Change

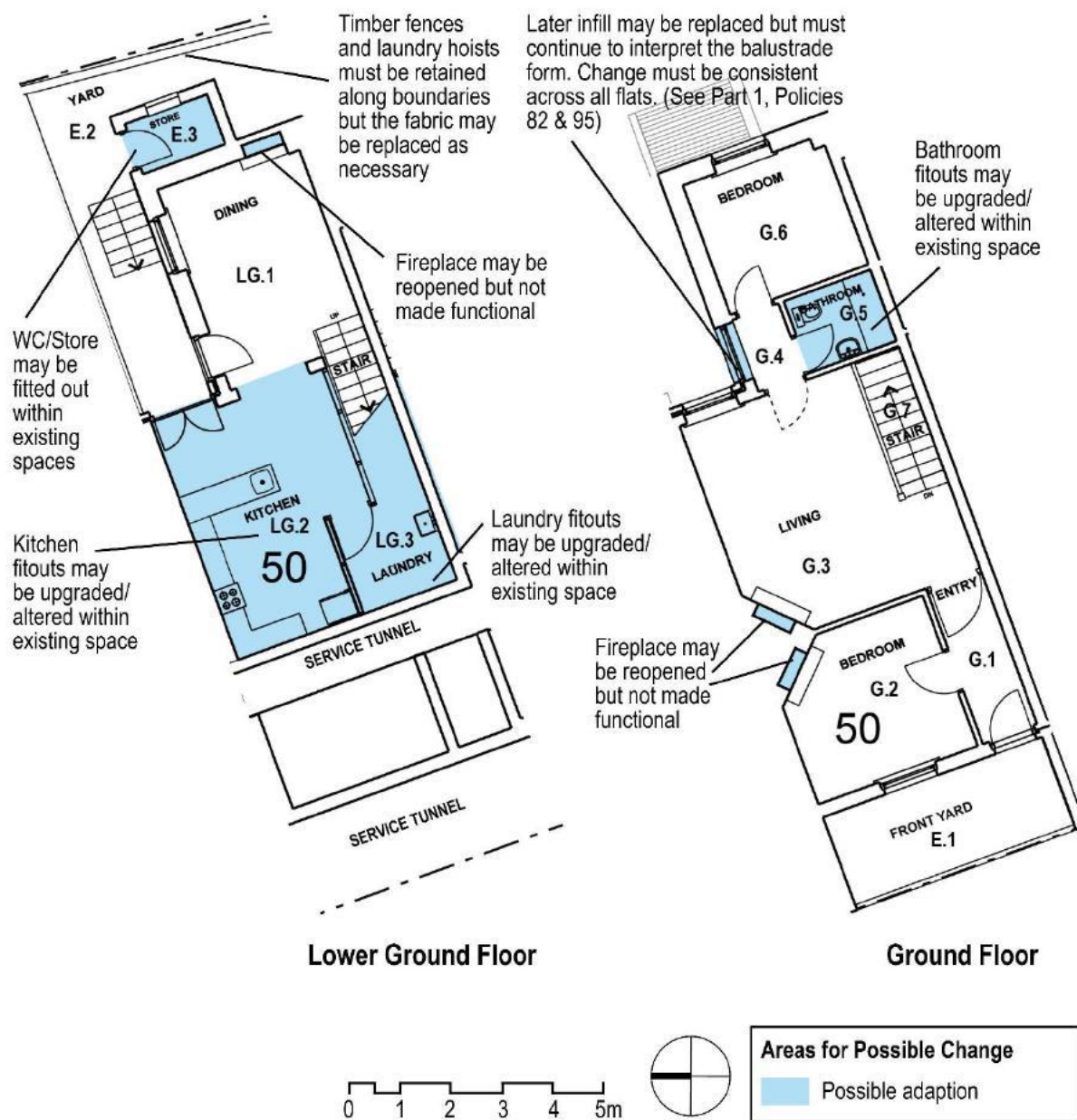


Figure 5.48 Elevations showing areas for possible change—Flat 50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 50—Elevations
Areas for Possible Change



Figure 5.49 Plans showing areas for possible change—Flat 50 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

6.0 Flat 50A of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 50A Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 6.1 shows the location of the flat within the building. Figure 6.2 and Figure 6.3 shows the configuration of Flat 50A

Number 50a—Property Plan, First Floor



Number 50a—Property Plan, Second Floor

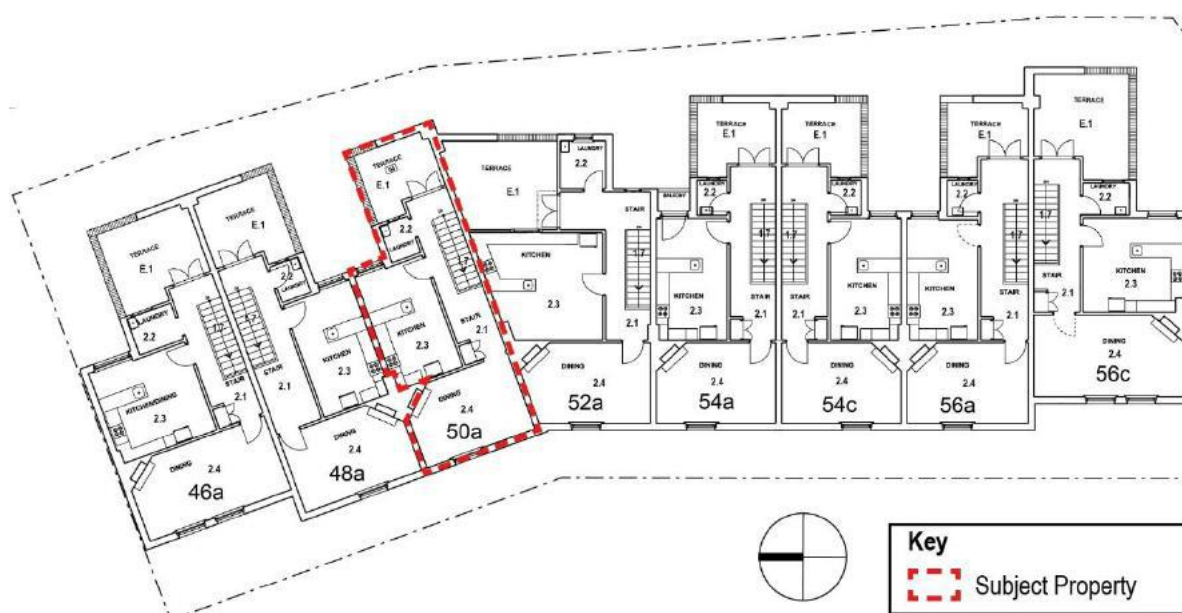


Figure 6.1 Location plan—Flat 50A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 50a—Plans

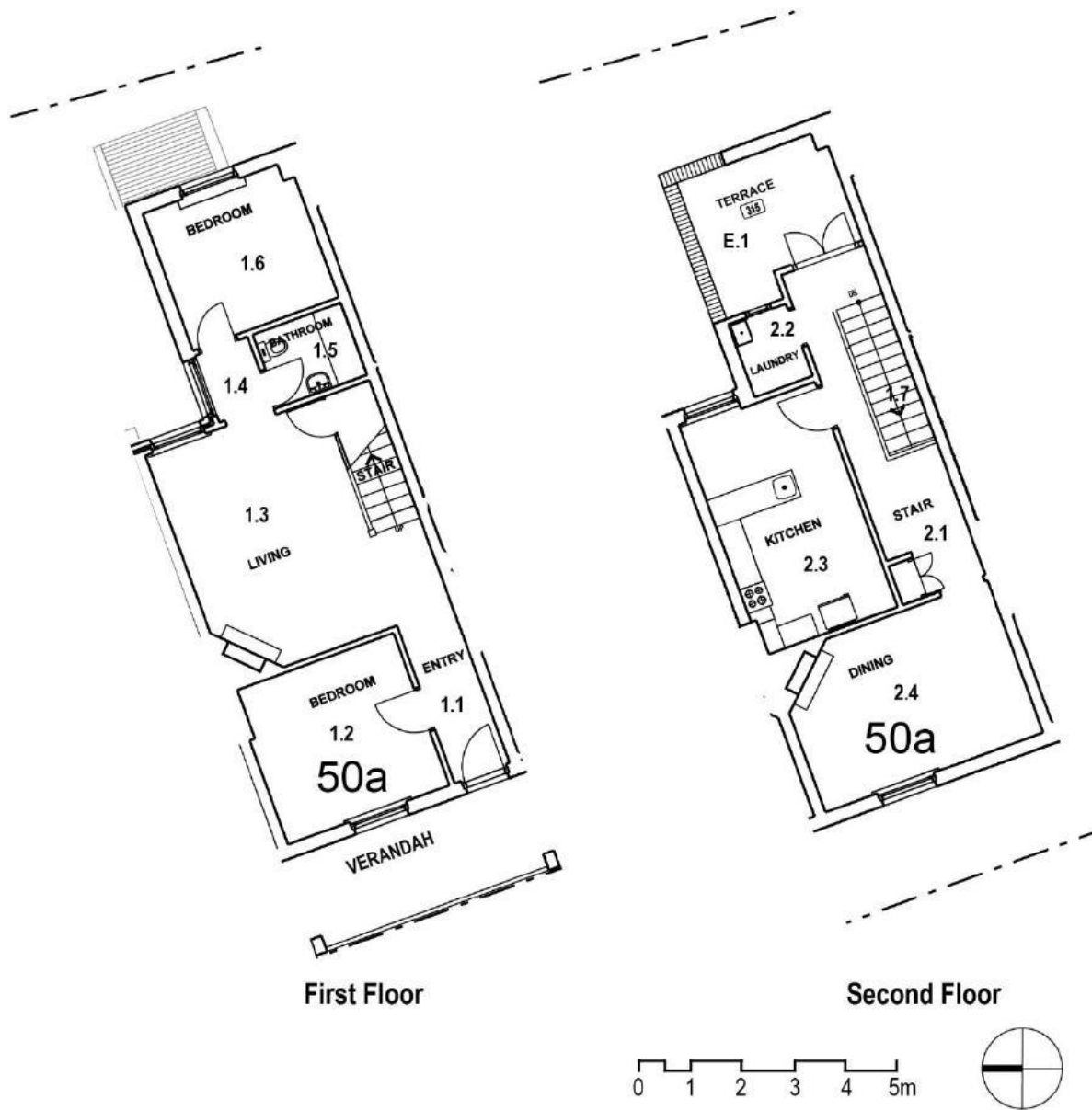


Figure 6.2 Floor plans of Flat 50A / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)



Figure 6.3 Elevations of Flat 50A / 46–56 Gloucester Street. Flat 50A is indicated by a dashed outline. (Source: LAHC, with GML overlay 2016)

6.1 Summary of Heritage Significance

Flat 50A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual flat owners and the owners' corporation.

6.2 Physical Description of Flat 50A

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

6.2.1 Typology

Flat 50A is one of 8 maisonette flats occupying the first and second floors of the block of flats. Flat 50A is a Type 2 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4). It is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which is shared with Flats 46A, 48A and 52A. Type 2 flats have

an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, dining and laundry on the second floor, with access to an external roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 2 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building (refer to Section 2.3.3 – 2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 2 flat to another.

6.2.2 External

The flat is separated from adjoining flats (Flats 48A and 52A) by structural brick party walls. The flat is separated from the flat below (Flat 50) by a double timber floor. Flat 50A has a pitched corrugated sheet metal roof set behind a brick parapet on its western side and with boarded eaves on its eastern side. It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace. This area is semi-enclosed by a brick wall around two sides. The other part of the roof terrace is open and set behind a brick parapet. There is a chimney stack over the northern party wall at the ridge and another small chimney stack to the rear wing.

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof (Figure 6.6–Figure 6.8). The entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers. There is a mauve brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents. The top of the parapet is shaped and topped with a header capping course. The rainwater head and downpipe is shared with the adjoining flat (Flat 52A).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 6.6 and Figure 6.7). The flat has no private area in front of it. The verandah stairs, distribution spaces and structure are common property. Entry is from the verandah via a four-panel door with fanlight over. The door has bolection moulds. The upper panels are glazed in wired glass and the bottom panels are timber. The door is fitted with a central brass knob, brass letter slot, peep hole, modern nightlatch and keeper, and a fanlight above with brass fanlight mechanism (Figure 6.16 and Figure 6.18). The first and second floor windows have chamfered brick sills and the door a slate threshold (Figure 6.8 and Figure 6.9).

The rear elevation is of common brickwork laid in running bond with struck joints (Figure 6.10 and Figure 6.12). The doors and windows have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched window opening of the former rear porch on the first floor level of the rear wing, which faces north towards the rear wing of Flat 48A. This window (like most such windows on this floor of the block) has been infilled with timber casement windows with textured and coloured glass panes. The panel below the window consists of a timber balustrade (rectangular balusters and handrail) backed by a fibrous cement sheet (Figure 6.12). The rear wing of the property shares its rainwater services with Flat 50 below (galvanised steel square and round section downpipes and ogee profile galvanised steel gutters).

The roofed area of the roof top terrace is partially enclosed by two brick walls (Figure 6.13 and Figure 6.15). The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade. The opening to the former garbage chute previously located on the rear wall has been blocked up. There is evidence of the former laundry copper having been removed from the skillion roofed area. The glass doors opening onto the terrace are set in a weatherboard wall (Figure 6.14).

The side wall of the stair landing is rendered and painted. The hot water system is located on the roof terrace, outside the laundry.

6.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (Figure 6.17). A timber framed four panel door with pivot fanlight over and original timber architrave leads to the front bedroom (space 1.2). A door frame and fanlight only lead to the main living room (space 1.3).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (Figure 6.19–Figure 6.20). There is a timber double-hung sash window (six panes over one) with original architraves, sill board and moulding. There is a flue or chimney breast in the corner but no fireplace.

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (Figure 6.21–Figure 6.24). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding. There is a corner fireplace (blocked up and rendered with the opening expressed) with concrete hearth.

A timber staircase with stop chamfered newel posts, a moulded timber handrail is set against the south wall. The bottom of the top newel post extends down below the ceiling of space 1.3. The stair soffit is lined with V-joint timber boarding. The area under the stair is enclosed with timber vertical boarded wall to form a cupboard and is fitted with traditional timber shelving. A ledged and sheeted timber door, with air holes drilled through its top, is hung on strap hinges and provides access (Figure 6.24).

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves and pivot fanlight over, the door is missing. The former porch has a timber floor (carpeted), painted brick walls, ripple iron ceiling, moulded timber cornice and modern moulded timber skirting under the window. The timber floor of space 1.4 has been raised to the level of the door thresholds. The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (2 by 2 panes with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (Figure 6.26).

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling and moulded timber cornice. The soffit of the stair which rises over the southern portion of the space is lined with timber V-joint boarding. The bottom of the newel post projects through into the space in the upper corner (Figure 6.28). The side of the stair is lined with ripple iron. The bathroom has an original half-glazed timber door fitted to the original door frame with its original pivot fanlight over.

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents. It retains its original four-panel door and double-hung sash window (four panes over four) with original timber architraves, sill board and moulding (Figure 6.30)

6.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and front bedroom (or 'dining room') (space 2.4). A timber balustrade with handrail and square balusters extends around the top edge of the stair void.

The principal rooms on this floor have timber floors, cement run skirtings, set plaster wall finishes, ripple iron ceilings and moulded timber cornices (Figure 6.33–Figure 6.46). Some alterations have been made to incorporate the laundry into what was most likely an external WC accessed from the roof terrace, and to create a new double door access to the roof terrace. The laundry and kitchen have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain original cement run skirtings, ripple iron ceilings and moulded timber cornices. The door openings and joinery to the kitchen and laundry are modern. The original door opening to the kitchen (evidenced by the remaining timber door frame) has been blocked up. The landing has a modern built-in cupboard (covering the original kitchen door opening on the hall side).

The front bedroom (space 2.4) has almost identical features to the downstairs front bedroom but with no picture rail. It retains its original fireplace fitted with a red marble chimney piece and cast iron grate with tiled side panels. It also retains its original concrete hearth. The room retains its original four panel timber door with original architraves and central pivot fanlight over.

6.3 Phases of Development

Figure 6.4 and Figure 6.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 50a—Phases of Development, Plans

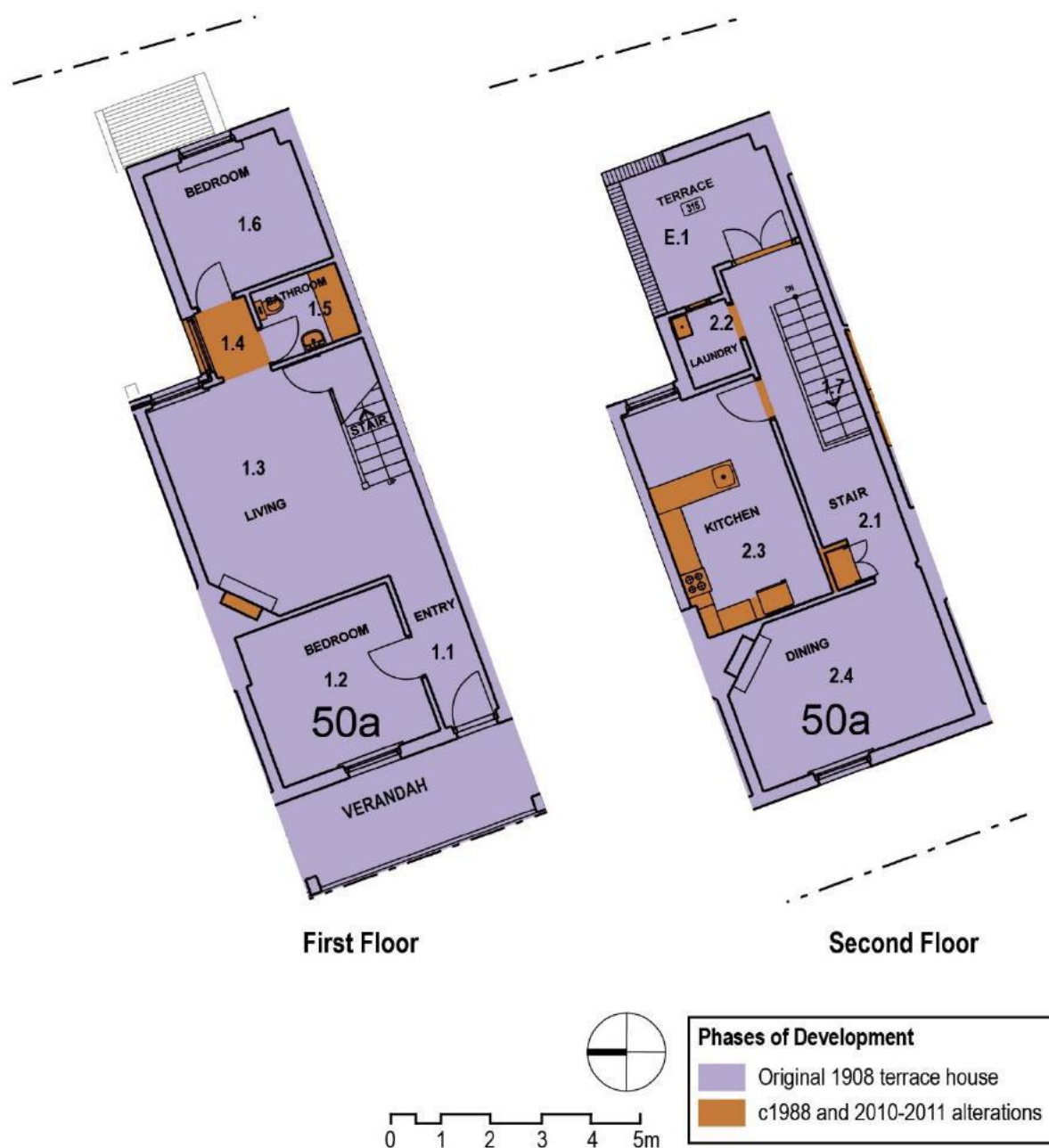


Figure 6.4 Plans showing phases of development—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 6.5 Elevations showing phases of development—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

6.4 Significant Components of Flat 50A

As with all the flats at 46–56 Gloucester Street, Flat 50A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. Significant elements relevant to Flat 50A are included in the photographs below (section 6.4.1 and in the schedules included in section 6.4.3).

6.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 6.6 and Figure 6.46) document the elements and spaces of 50A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 6.6 Western façade of flat 50A / 48–56 Gloucester Street (right) as viewed from Gloucester Street, with flats 46A (left) and 48A (centre). The flat is accessed from the upper level verandah. (Source: GML Heritage, July 2016)



Figure 6.7 Door and fanlight—50A / 48–56 Gloucester Street, showing the contrasting brick surround and segmental arch (supported on a metal arch bar) to the opening. (Source: GML Heritage, July 2016)



Figure 6.8 Front façade of flat 50A showing face brick external wall with contrasting brick surround to window and door openings and chamfered brick window sill—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)

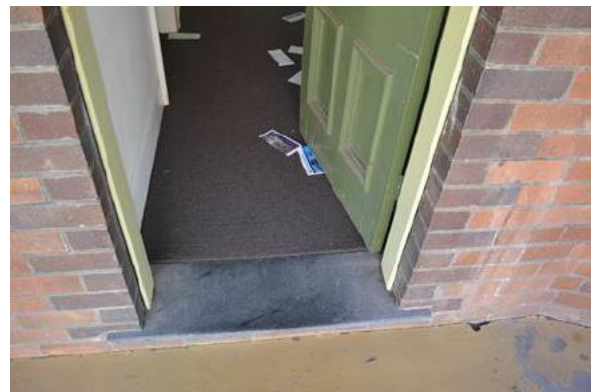


Figure 6.9 Four panel entrance door with bolecion moulds, and slate threshold below—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.10 Rear elevation of flats 50A (left) and 48A (right)—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.11 Rear elevation —50A / 48–56 Gloucester Street showing corrugated metal roof, party walls and chimneys. (Source: GML Heritage, July 2016)



Figure 6.12 Brick rear wing (first and second floor levels), and typical segmental brick arched heads over openings—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.13 Roof terrace—50A / 48–56 Gloucester Street, showing area covered by skillion roof, brick corbelling at eaves, brick balustrade to roof terrace and removal of former laundry copper (under roofed area). (Source: GML Heritage, July 2016)



Figure 6.14 Rear wall opening onto the roof terrace—50A / 48–56 Gloucester Street (space E.1), showing recent weatherboard wall, pair of half glazed doors and rendered finish to stair hall wall. The window is also recent, replacing a previous door (Source: GML Heritage, July 2016)



Figure 6.15 Roof terrace (space E.1)—50A / 48–56 Gloucester Street, showing tiled floor and evidence of the original garbage chute (blocked up). (Source: GML Heritage, July 2016)



Figure 6.16 Original door knob and letter flap in front door—50A / 48–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 6.17 Entrance hall (space 1.1)—50A / 48–56 Gloucester Street, showing the ripple iron ceiling, cement run skirtings, moulded timber cornice and carpeted timber floor. (Source: GML Heritage, July 2016)



Figure 6.18 Original pivot internal fanlight to main entry door, reproduction mechanism and moulded timber cornice. Space 1.1—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.19 Front bedroom (space 1.2)—50A / 48–56 Gloucester Street, showing timber double hung sash window, moulded timber picture rail, run cement skirtings, flue and ripple iron ceiling with moulded timber cornice. (Source: GML Heritage, July 2016)



Figure 6.20 Front bedroom (space 1.2)—50A / 48–56 Gloucester Street, with cement rendered skirting, picture rail and original four-panel timber door with sunk moulds, original architrave and fanlight over. (Source: GML Heritage, July 2016)



Figure 6.21 Living room (space 1.3)—50A / 48–56 Gloucester Street, showing cement rendered skirtings, timber picture rail, ripple iron ceiling and moulded timber cornice. Original sash window with original architraves. (Source: GML Heritage, July 2016)

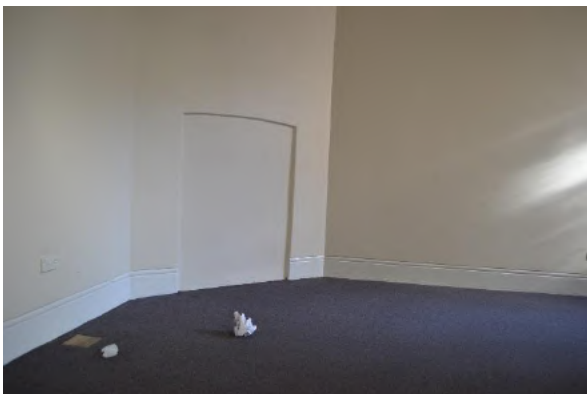


Figure 6.22 Living room (space 1.3) showing fireplace blocked off and rendered over, with opening expressed—50A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.23 Living room (space 1.4) showing corner chimney breast, timber picture rail, cornice and ripple iron ceiling—50A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

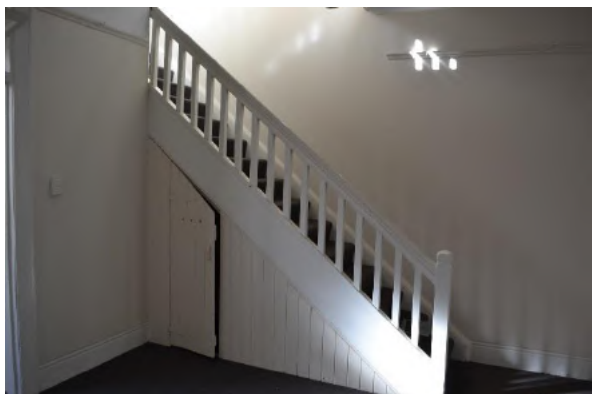


Figure 6.24 Living room (space 1.3)—50A / 48–56 Gloucester Street, showing original timber stair with closed sting, square balusters, moulded handrail, newel posts, and under stair cupboard. (Source: GML Heritage, July 2016)



Figure 6.25 Original arched opening to former porch in rear wing (space 1.4) —50A / 48–56 Gloucester Street, infilled with pair of casement windows and vertical boarded panel below. Also shows original door frame and architrave between spaces 1.3 and 1.4, and original fanlight above. (Source: GML Heritage, July 2016)

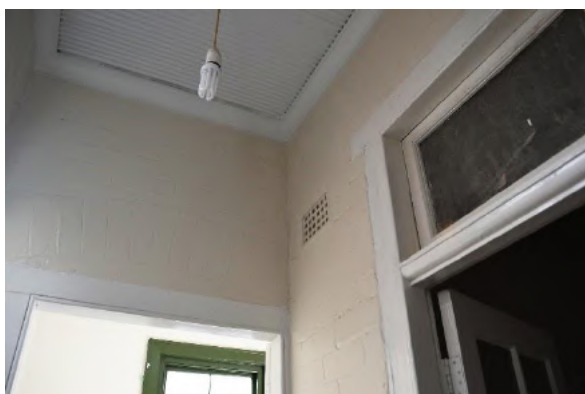


Figure 6.26 Original brick arched head above doorway opening to rear bedroom (space 1.6)—50A / 48–56 Gloucester Street, showing original wall vent, door frames without architraves, brick walls and ripple iron ceiling. (Source: GML Heritage, July 2016)



Figure 6.27 Original half-glazed door to the bathroom (space 1.5)—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.28 Bathroom (space 1.5)—50A / 48–56 Gloucester Street showing modern fit out, v-jointed timber stair soffit with ripple iron to ceiling and side of stair above the string. (Source: GML Heritage, July 2016)



Figure 6.29 Rear bedroom (space 1.6) showing timber double hung sash window and cement run skirting—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.30 Original timber four-panel door to the rear bedroom (space 1.6)—50A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.31 Ripple iron ceiling in the rear bedroom—50A / 48–56 Gloucester Street, with moulded timber cornice and remnant gas-light services (space 1.6). (Source: GML Heritage, July 2016)



Figure 6.32 Stair (space 1.7)—50A / 48–56 Gloucester Street, showing the original ripple iron ceiling, timber balustrade and handrail and newel post projecting below stair (Source: GML Heritage, July 2016)



Figure 6.33 Timber balustrade and newel post to the hall/landing (space 2.1)—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.34 Ceiling of space 2.1 showing original roof hatch, timber cornice and ripple iron ceiling—50A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.35 Second floor landing ceiling (space 2.1)—50A / 46–56 Gloucester Street, showing the ripple iron ceiling laid in different directions on either side of the transverse I-beam. (Source: GML Heritage, July 2016)



Figure 6.36 Second floor landing (space 2.1)—50A / 48–56 Gloucester Street looking east showing ripple iron ceiling and transverse I-beam, original timber balustrade with moulded handrail, newel posts, door frame to the kitchen, and later architrave to the laundry and half glazed timber doors to the roof terrace. (Source: GML Heritage, July 2016)

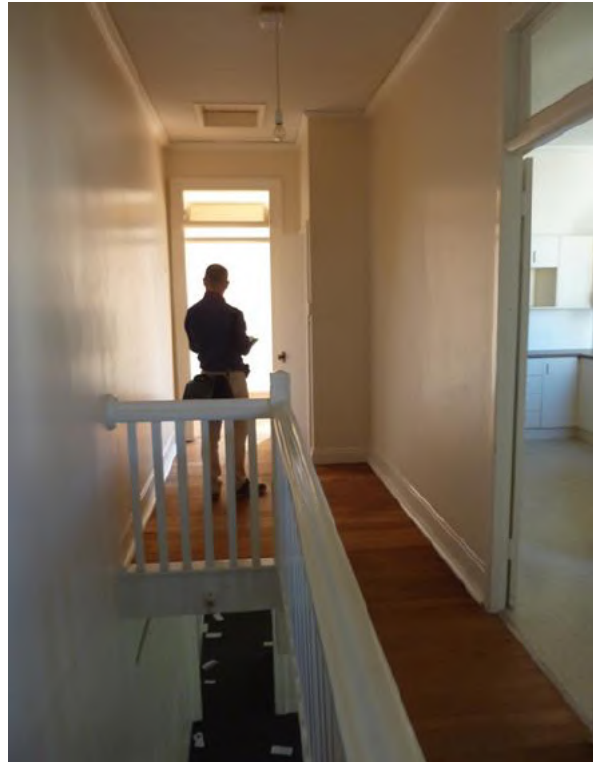


Figure 6.37 Second floor landing (space 2.1)—50A / 48–56 Gloucester Street, looking west, showing the original timber floors and modern built in cupboard at end of hall adjacent to bedroom (space 2.4). (Source: GML Heritage, July 2016)



Figure 6.38 Modern cupboard built into the second floor landing (space 2.1)—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.39 Laundry (space 2.2) showing original raked ripple iron ceiling, decorative wall vent and timber cornice—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.40 Laundry (space 2.2)—50A / 48–56 Gloucester Street, showing the modern fitout and window (Source: GML Heritage, July 2016)



Figure 6.41 Kitchen (space 2.3) showing the modern fitout—50A / 48–56 Gloucester Street (Source: GML Heritage, July 2016)

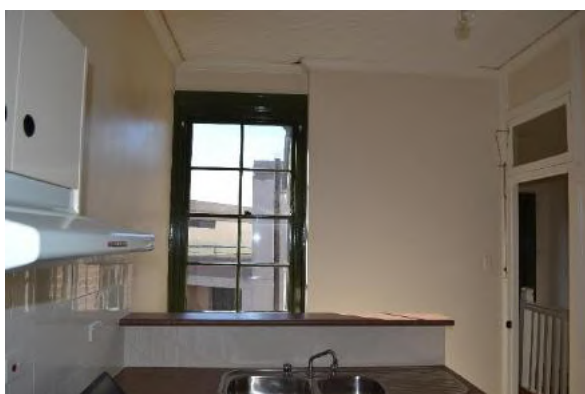


Figure 6.42 Kitchen (space 2.3) showing the original ripple iron ceiling, moulded timber cornice, timber door frame and fanlight, and original double hung window joinery—50A / 48–56 Gloucester Street (Source: GML Heritage, July 2016)

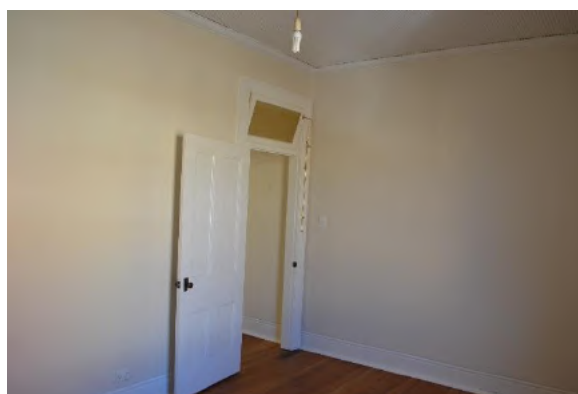


Figure 6.43 Dining Room (Space 2.4)—50A / 48–56 Gloucester Street, showing four panel door and original architrave. Original cement run skirting with timber quad mould and original timber floor. (Source: GML Heritage, July 2016)



Figure 6.44 Dining room (space 2.4) showing the original double hung window, ripple iron ceiling and timber floor—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.45 Fireplace (space 2.4) with early cast iron grate with tiled sides, and red marble chimney piece—50A / 48–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 6.46 Decorative plaster wall vent (space 2.4)—50A / 48–56 Gloucester Street. (Source GML Heritage July 2016)

6.4.2 Significance Gradings Diagrams for Flat 50A

Figure 6.47 and Figure 6.48 show the relative significance of internal and exterior spaces of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 6.1–6.4).

Number 50a—Plans, Gradings of Significance

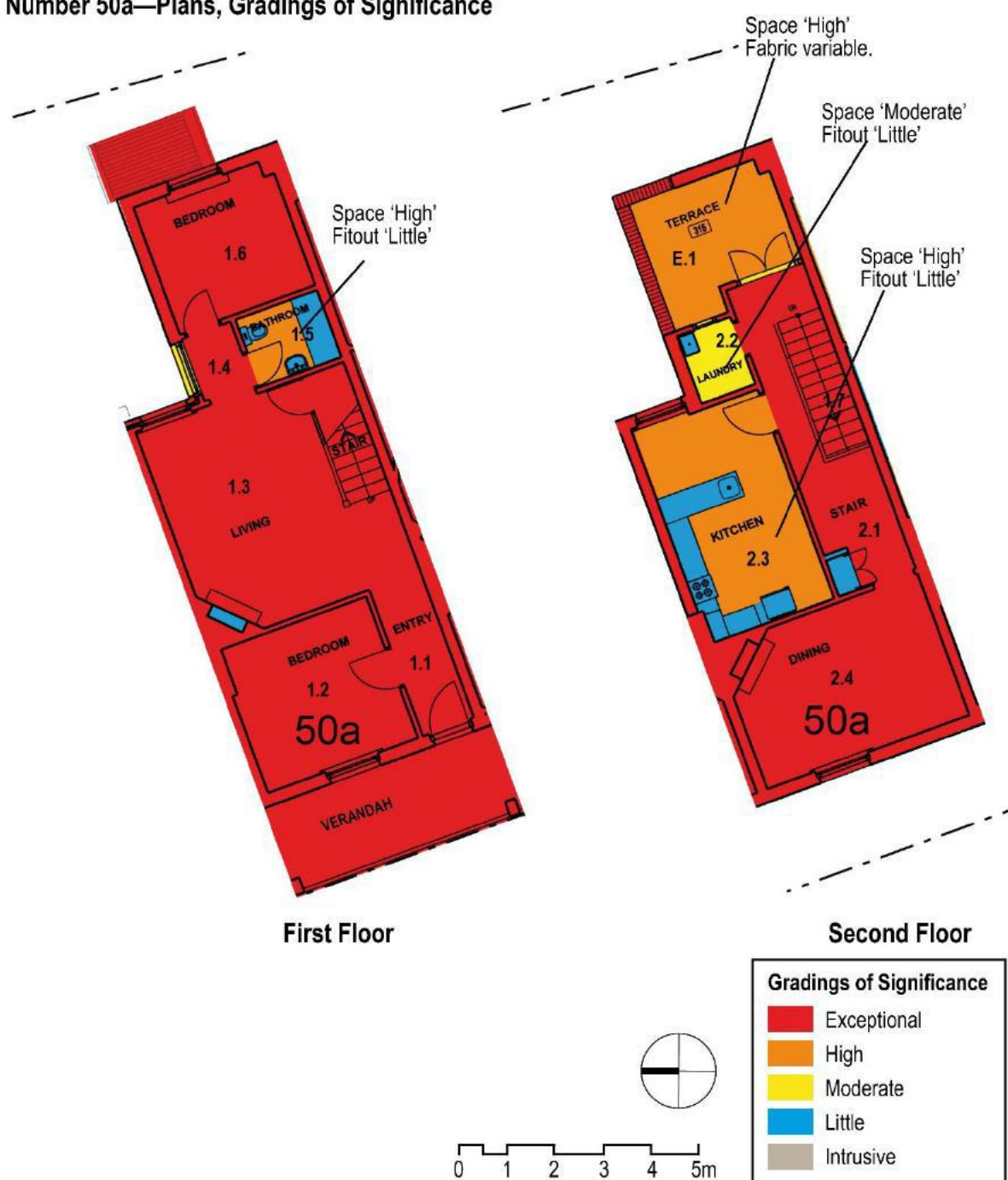


Figure 6.47 Plans showing gradings of significance—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

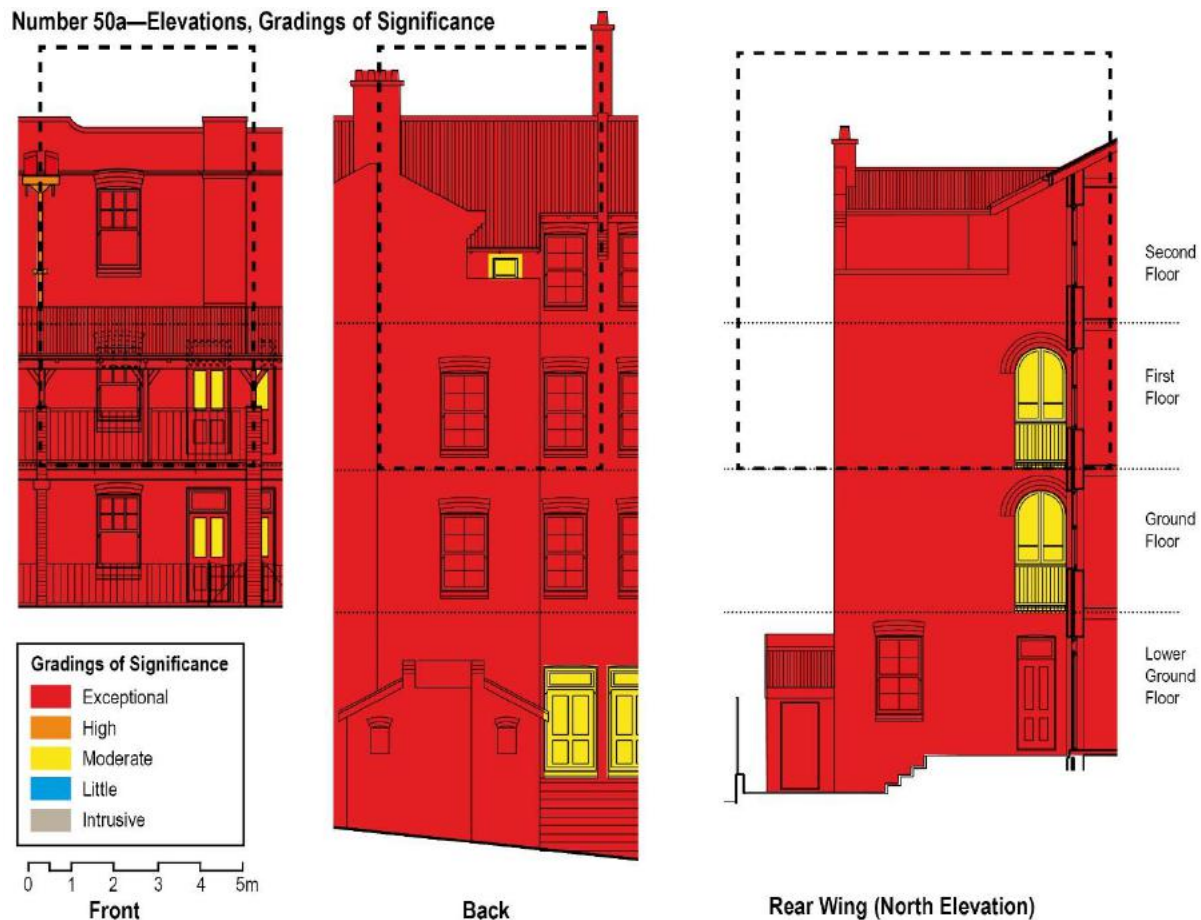


Figure 6.48 Elevations showing gradings of significance—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

6.4.3 Significant Fabric and Condition—Flat 50A

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 6.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Gutters and downpipes	Decorative rainhead	Early 21 st	H	G
	Galvanised steel ogee profile gutters	Early 21 st	H	G
	Square galvanised steel downpipes	Early 21 st	H	G
Door threshold	Slate threshold to front door	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th or Early 21 st	M	G
	Brass knob, letter slot and spyhole	O?	E	G
Fanlight	Pivot fanlight over door	O	E	P
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O (some later repairs)	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 6.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, downpipes and spreader	Early 21 st	H	G
	Copper downpipes and service pipes to south and east elevation (may include some later additions)	Late 20 th	H	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement	L 20 th	M	G
Window sills	Brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta cavity vents	O	E	G

Table 6.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade	O	E	G
Chimneys	Common brick with brick on edge capping and terracotta pots	O (pots may be replacements)	E	G
Eaves	Exposed rafter to rear elevation and rear wing	O	E	G

Table 6.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof	O (structure) Early 21 st (covering)	Form: E Sheeting: H	G G
	Timber verandah posts and beam	O	E	G
	Timber rafters and purlins	O	E	G
Walls/supports	Face brick piers	O	E	G
Fence	Wrought iron palisade, square section pales	O	E	G
Space E.1—Roof Terrace				
Walls	Brick walls to covered area	O	E	G
	Brick balustrade with brick-on-edge coping	O	E	G
	Common brick to laundry exterior	O with L 20 th infill	Original: E Infill: M	G
	Timber weatherboard and rendered brick/blockwork to roof terrace access doors	L 20 th	M	G
	Grill pattern terracotta vent to laundry wall	L 20 th	M	G
	Modern plastic vent to bathroom ventilation duct (laundry wall)	Early 21 st	L	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round	O	E	G
External doors	Part-glazed double doors to access the terrace including door furniture	L 20 th	M	G
Paving	Modern concrete/ceramic	Early 21 st	L	G/F

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Drains	Stainless steel sumps and grills for stormwater	Early 21 st	L	G/F
Services	Hot water tank	Early 21 st	L	not tested
	Light fittings	Early 21 st	L	not tested
	Metal clothes hoist	Late 20 th	L	F

Table 6.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over doorway to living room	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Other	Light fittings	L 20 th	L	not tested
Space 1.2—Front Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado			G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Flue (no fireplace or hearth)	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction mechanism	Early 21 st	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Window joinery	Timber double-hung sash window, timber box frame, sillboard and moulding with moulded timber architrave	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	not tested
Other	Timber stair ascending to upper floor	O	E	G

Space 1.3—Living Room

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off	O	E	unknown
	Fireplace infill (without skirting) rendered over, with opening expressed	L 20 th	L	G
	Concrete hearth (?)	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	not tested

Space 1.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	O with Early 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Carpet	Early 21 st	L	G
	Timber step treads with nosings from adjacent rooms (concealed?)	O	E	G
Skirting	Timber, under window	L 20 th	L	G
	Timber, against bathroom wall	O?	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Walls	Painted unrendered brick	Paint: Early 21 st	L	G
	Original brickwork including arched brick heads over openings	O	E	G
Ceiling	Ripple iron	O	E	G
Cornice	Timber quarter round	O	E	G
Infill to porch opening	Timber vertical boarded below window	L 20 th	M	G
Window joinery	Round-headed double casement window with textured glass, green in bottom panes, and chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Grille pattern (to bathroom wall)	O	E	G
Other	Light fittings	L 20 th	L	F

Space 1.5—Bathroom

Floor	10cm ceramic tiles	Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
	Section of ripple iron infill over stair stringer (see Space 1.7)	O	E	G
Ceiling	Ripple iron	O	E	G
	Timber boarding to underside of stair	L 20 th ?	H	G
Cornice	Timber quarter round	O	E	G
Door set	Part-glazed four-light timber door in original frame to porch, (with moulded sunk lower panels inside and flush panels outside) and textured glass	O	E	G
	Door furniture	L 20 th	L	F/G
Architraves	Moulded timber (internal side only)	O	E	G
Wall vent	Decorative plaster	O	E	G
Fanlight	Pivot fanlight over doorway (no mechanism) with opaque glass	O?	E	F
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F
	Plastic ceiling vent	L 20 th	L	not tested
	Lighting	L 20 th	L	not tested

Space 1.6—Rear Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Original four panel sunk moulded door in original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	not tested
Space 1.7—Stairs				
Floor	Timber	O	E	G
	Carpet	Early 21 st	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	V-joint vertical boarding enclosing space below stringer to staircase	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and pendant newels	O	E	G
	V-joint timber boarding to the stair soffit	L 20 th ?	H	G
	Vertical boarded enclosure below the stairs with ledged and sheeted door	O	E	G
	Original rendered brick walls and cupboard space	O	E	G
	Timber shelving in the cupboard	L 20 th	L	G
Space 2.1—Landing/Stair Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Moulded timber to E wall	Late 20 th	L	G
	Timber quad mould	Early 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly coke breeze) to north wall	O?	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam	O	E	G
Door set	Pair of half-glazed timber doors with single glass pane above single panel	Late 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Architraves	Moulded timber to spaces 2.3 and 2.4	O?	E	G
	Timber to Space 2.2 and E wall	Late 20 th	L	G
Other	Timber stair balustrade/handrail	O	E	G
	Light fittings	L 20 th	L	not tested
	Fitted wall cupboard	L 20 th	L	G
	Timber roof hatch and architrave	O	E	G

Space 2.2—Laundry

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Tiling	Early 21 st	L	G
Skirting	Modern tiles	Early 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Frame only, no door	L 20 th	M	G
Architraves	Moulded timber	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sillboard with moulded timber architrave	L 20 th	M	G
Wall vent	Decorative plaster	O	E	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th or Early 21 st	L	G

Space 2.3—Kitchen

Floor	Timber boards (?) on timber joists	O with Early 21 st repairs	E	unknown
	Vinyl covering	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O?	E	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition to landing wall (possibly original coke breeze)	O?	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Brick flue (rendered and painted, possibly with original fireplace opening bricked up)	O	E	G
Door set	Original frame in northwest corner	O	E	G
	Recent frame (present doorway)	L 20 th	L	G
	Reproduction timber four-panel door	L 20 th	H	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	L 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O L 20 th	E M	G G
Window joinery	Timber double-hung sash window, , timber frame, sash boxes and sillboard with moulded timber architrave	O	E	G
Other	Fit-out	Late 20 th or Early 21 st	L	G
	TV/communications service point in floor with brass cover plate	Early 21 st	L	not tested
	Light fittings	Early 21 st	L	not tested

Space 2.4—Dining Room

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	Early 21 st	L	G
Walls	Painted set plaster /cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	L 20 th	E	G
Fireplace/Hearth	Marble chimney piece and cast iron fire box with tiled side panels	O ?	E	G
	Concrete hearth	O	E	G
Door set	Original four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, sillboard and moulded timber architrave	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	F

6.5 Priority Conservation Works**6.5.1 Limitation of Priority Conservation Works Schedules**

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the *Heritage Act 1977 (NSW)* (the Heritage Act).

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

6.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

6.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 50A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Repair broken fanlight over front door and ease and adjust internal fanlight over bathroom door.
- Patch, prep and repaint entrance hall.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Repair holes to kitchen ceiling

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

6.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

6.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

6.7 Specific Conservation Policies for Flat 50A

There are no specific policies for Flat 50A that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 50A must comply with the conservation policies set out in Part 1 Section 9.0.

6.8 Areas for Possible Change for Flat 50A

Areas for possible change within the flat at 50A Gloucester Street are shown on Figure 6.49 and Figure 6.50

Number 50a—Plans, Areas for Possible Change

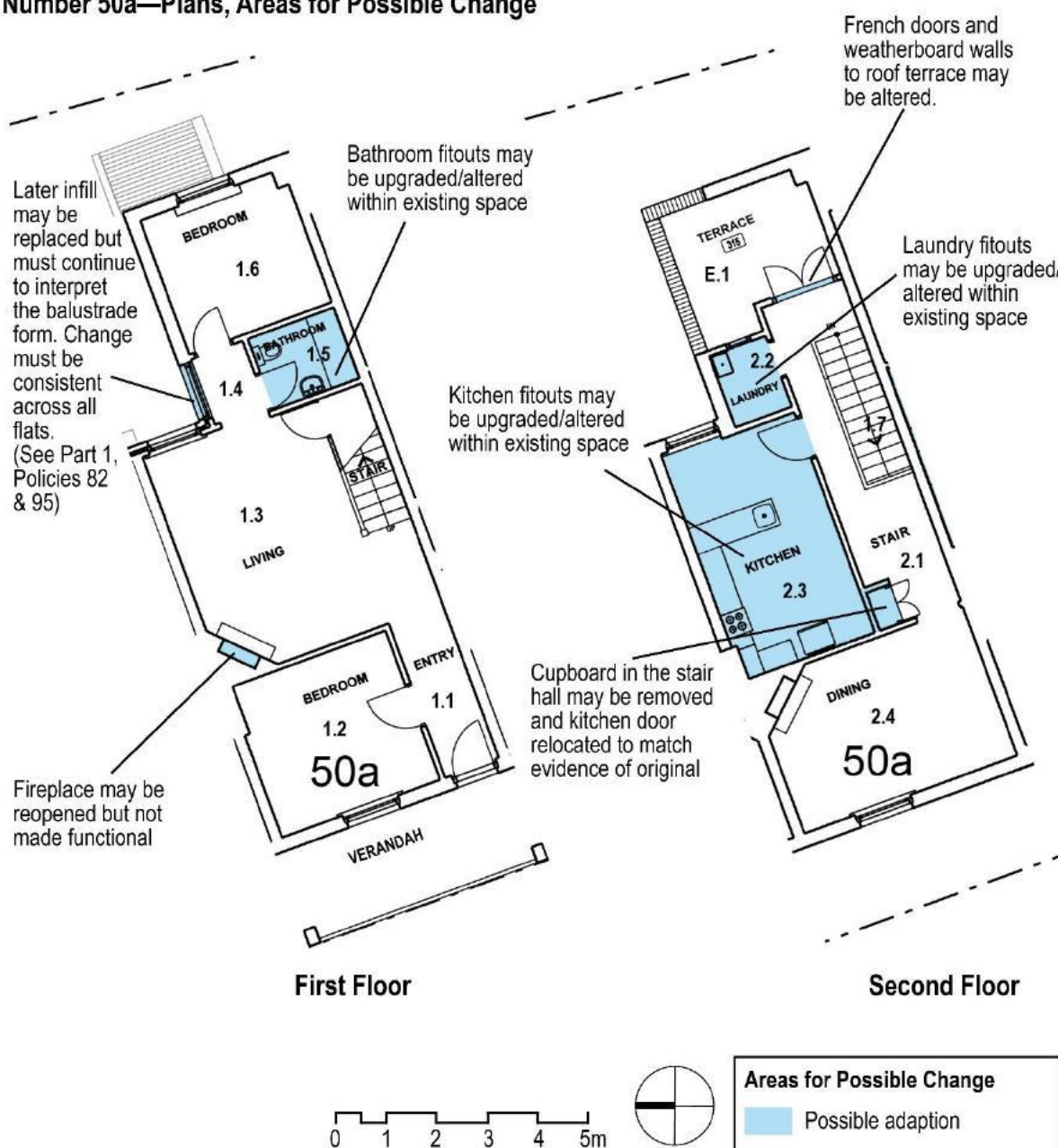


Figure 6.49 Plans showing areas for possible change—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

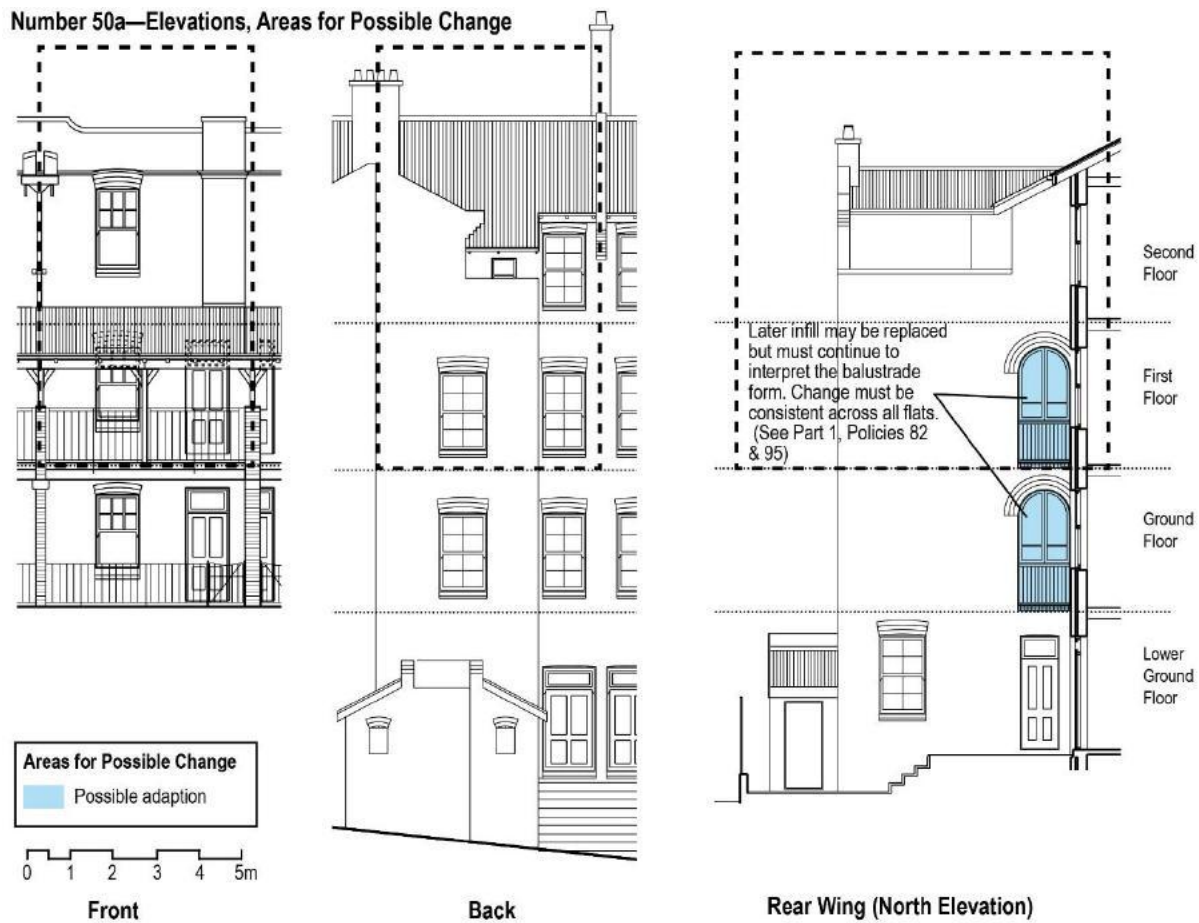
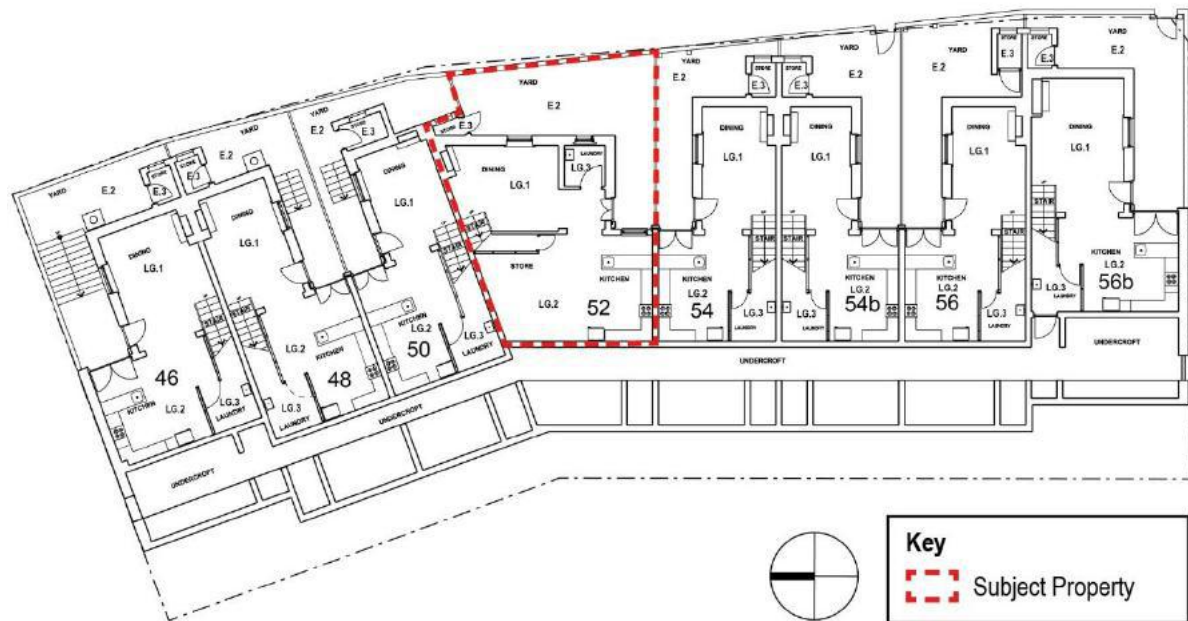


Figure 6.50 Elevations showing areas for possible change—Flat 50A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

7.0 Flat 52 of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 52 Gloucester Street. It should be read in conjunction with the preceding sections. Figure 7.1 shows the location of the flat within the building. Figure 7.2 and Figure 7.3 show the configuration of flat 52.

Number 52—Property Plan, Lower Ground Floor



Number 52—Property Plan, Ground Floor

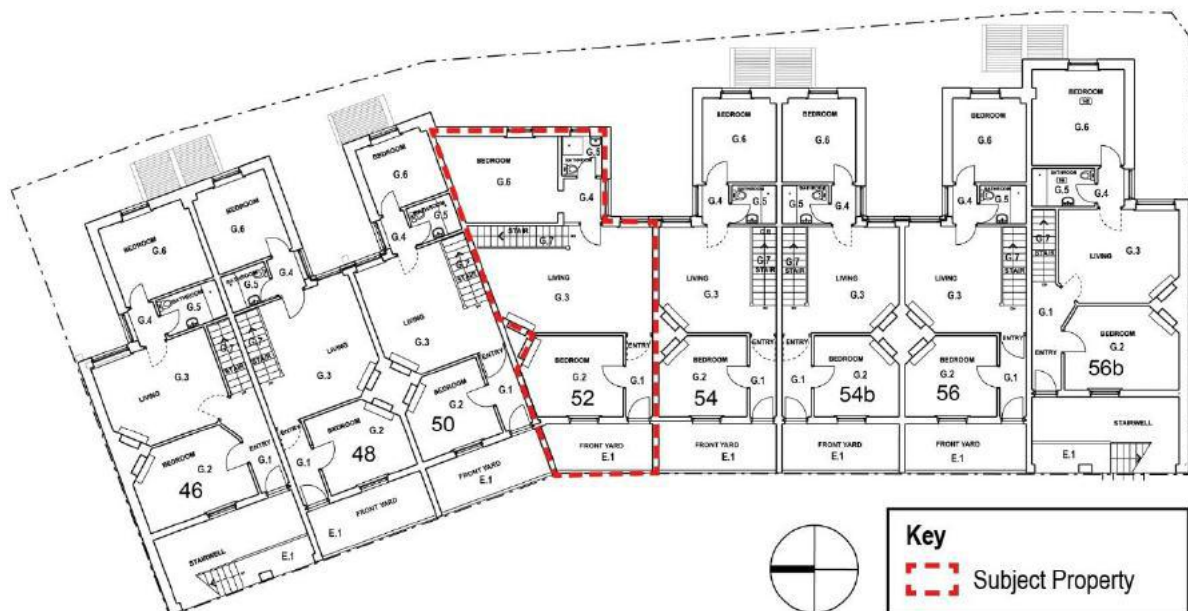


Figure 7.1 Location plan—Flat 52 / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 52—Plans

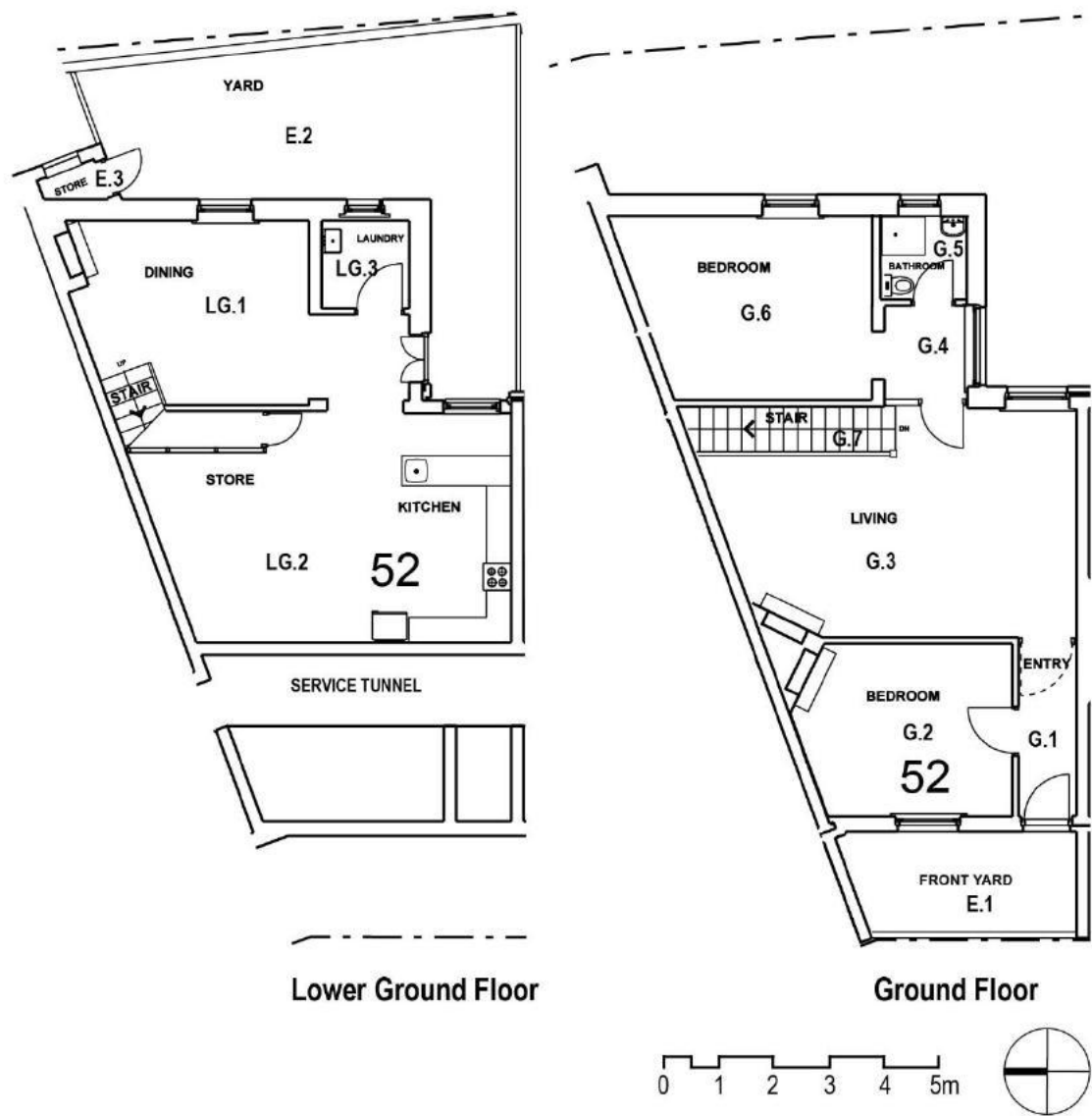


Figure 7.2 Plans of Flat 52 / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 52—Elevations

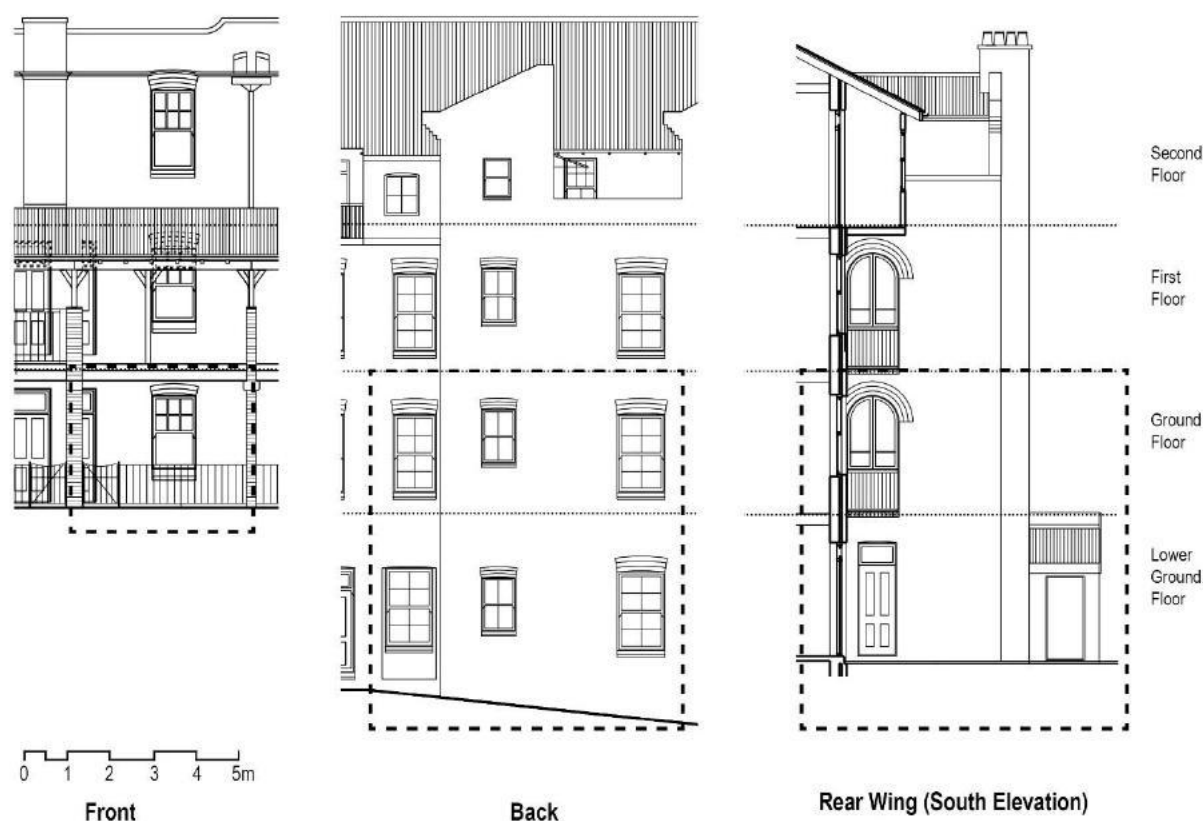


Figure 7.3 Elevations of Flat 52 / 46–56 Gloucester Street. Flat is indicated by hatched outline. (Source: LAHC, with GML overlay 2016)

7.1 Summary of Heritage Significance

Flat 52 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

7.2 Physical Description of Flat 52

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

7.2.1 Typology

Flat 52 is one of eight maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 52 is a Type 5 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2).

Flat 52 is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Flat 52 has a larger footprint than other types of flats and has an

irregular L-shaped plan with two bedrooms, a large living room, an enclosed porch and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). The flat was refurbished in c1988 in a way that is generally consistent with other flats within the building, but there are notable differences of form and fabric as described below in comparison to the other flats (refer to Part 1 Section 2.3.3–2.3.5).

7.2.2 External

The flat is located at the articulation of the block and the side walls are not parallel but diverging towards the rear on plan. The flat is separated from adjoining flats (Flats 50 and 54) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat (refer to Figure 7.2). The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54B, 56 and 56B) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 7.2). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 7.6).

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 7.40). The yard is terraced with a difference in level of approximately 600mm. It has an external (former) WC (space E.3) (Figure 7.36) and a reconstructed traditional timber clothes hoist inside the fence (Figure 7.38, Figure 7.40, Figure 7.43). There is private access from Cambridge Street via a timber gate. There is a mango tree in the rear yard.

At the rear, the property shares rainwater services with Flat 52A above (square and round section downpipes) (Figure 7.39, Figure 7.41).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 7.7). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 7.7). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite wall flank, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, letterbox, spyhole, enamelled number plaque and modern mortise lock and improvised door-pull (the central knob is missing) (Figure 7.8). There is a pivot fanlight over (Figure 7.7). The entry door and window have dark brick surrounds. Both have segmental arches supported on flat iron arch bars (Figure 7.7, Figure 7.9). The window is a six-over-one double hung sash window, and has a chamfered brick sill. The door has a slate threshold (Figure 7.8, Figure 7.9).

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised corrugated iron skillion roof and exposed rafters at the eaves (Figure 7.36). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street, with an original window of glass louvres (Figure 7.37).

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar) (Figure 7.42). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 7.38, Figure 7.42). The exception is the round-arched window of the former rear porch, which faces south towards the rear wing of Flat 54 (Figure 7.39, Figure 7.41). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a pair of half-glazed doors with a timber fanlight above (space LG.1) (Figure 7.38). In place of the double doors found opening out of the kitchens of other flats on this level, there is a double hung timber sash window facing Cambridge Street (possibly relocated from southern wall of rear wing). The original door opening has been partially bricked up.

7.2.3 Internal—Ground Floor

As with other flats that enter via a front door off Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, fibrous plaster cornice and a timber door frame to the living room with pivot fanlight over (Figure 7.10). In Flat 52 the door between the hall (space G.1) and the living room (space G.3) has been removed, although the frame and fanlight survive (Figure 7.10).

The front bedroom (space G.2) has timber floor, beaded cement run skirtings (except in front of the chimney breast), plastered and rendered walls, timber picture rail, fibrous plaster cornice, plasterboard ceiling and scroll pattern fibrous plaster wall vents. It has an original four-panel timber door with fanlight over and one double-hung timber sash window (six lights over one) (Figure 7.11, Figure 7.12). It has a corner fireplace that has been blocked up but the concrete hearth survives (Figure 7.11).

The living room (space G.3) has timber floor, cement run skirtings, plastered and rendered walls, picture rail, fibrous plaster cornice and plasterboard ceiling (Figure 7.13). The corner fireplace has been blocked up, but the concrete hearth survives. A stair to the lower floor descends against the eastern wall (Figure 7.14). It has a painted timber T&G boarded balustrade with square newel post. The stair varies from that in other flats in both its location and its detail. There is an original timber double-hung sash window and a half-glazed door with side light and fanlights over in the east elevation (Figure 7.14).

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). The former porch (space G.4) has a modern timber floor with wider-than-usual boards, which is set lower than the slate thresholds of the doors opening into the space (Figure 7.16). The former porch walls are unrendered and unpainted red-brown brick with a timber skirting and a plaster cornice to the plasterboard ceiling (Figure 7.17). The door openings have arched brick heads supported on flat iron arch bars (Figure 7.17). The bathroom door appears to have been relocated. The original arched opening to the porch has been infilled (c.1988) with a round-headed double casement window with textured glass and vertical vertical V-jointed tongue and groove boarding below (Figure 7.15).

The bathroom (space G.5) has a c1980s fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figure 7.18, Figure 7.19). The bathroom has a modern half-glazed timber panel door with fanlight over.

The rear bedroom (space G.6) has timber floor (recent, matching the rear porch), cement run skirtings, plastered and rendered walls, timber picture rail, fibrous plaster cornice, plasterboard ceiling and scroll pattern vents (Figure 7.20, Figure 7.21). The room is missing its door, although the original frame and

architrave survive. it has a timber double-hung sash window (four lights over four) (Figure 7.22). There is a modern built in wardrobe (Figure 7.21).

All the ceilings and cornices on the ground floor level are modern, installed as part of the fire upgrade of the building undertaken during the late twentieth / early twenty-first century. Original ripple iron ceilings and timber cornices may exist behind the existing visible ceilings. However, they cannot be exposed to view due to the need for fire separation between the lower flats and the upper flats.

The staircase (space G.7) has vertical timber boarding to its western side with a moulded timber handrail mounted on steel brackets (Figure 7.23). There is a half-landing where the stair turns down into the dining room (space LG.1). A steel beam supports the wall above the stair (Figure 7.24).

7.2.4 Internal—Lower Ground Floor

The bottom flight of the stair descends into space LG.1, the dining room located on the lower ground floor. It has closed string, square newel post and balustrade consisting of square balusters and moulded timber handrail (Figure 7.25). The downstairs dining room (space LG.1) has timber flooring (not original), a cement run skirting (with modern quad bead edging to the floor), plastered/rendered walls, scroll pattern fibrous plaster wall vents, moulded timber cornice and ripple iron ceiling. Shelving has been installed in the original fireplace, which has a concrete hearth. There is an original four-over-four double-hung timber sash window in the east wall.

A large opening has been made in the south wall to give access to what appears to have been a former porch (Figure 7.26). The porch has a pair of French doors (late twentieth century) leading out to the yard. One of the bottom panels has been replaced with a dog flap (Figure 7.26). The kitchen (space LG.3) and laundry (space LG.2) open off the porch. The access to the large kitchen is through a high arched opening (most likely original) (Figure 7.27, Figure 7.29). The laundry is accessed by a four panel door (Figure 7.35).

The kitchen (space LG.3) has a concrete floor with vinyl tiles, no skirting, rendered walls, moulded timber cornice and ripple iron ceiling (Figure 7.27, Figure 7.28, Figure 7.29, Figure 7.30, Figure 7.31). There is a double hung sash window with four panes to each of the top and bottom sashes (Figure 7.28). A plasterboard clad stud wall encloses the area under the stair against the east wall (Figure 7.27, Figure 7.32). the soffit and side of the stair are clad in vertical timber boarding. The laundry has unrendered painted brickwork, original double hung sash window and modern fitout (Figure 7.33).

7.3 Phases of Development

Figure 7.4 and **Figure 7.5** show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 52—Phases of Development, Plans

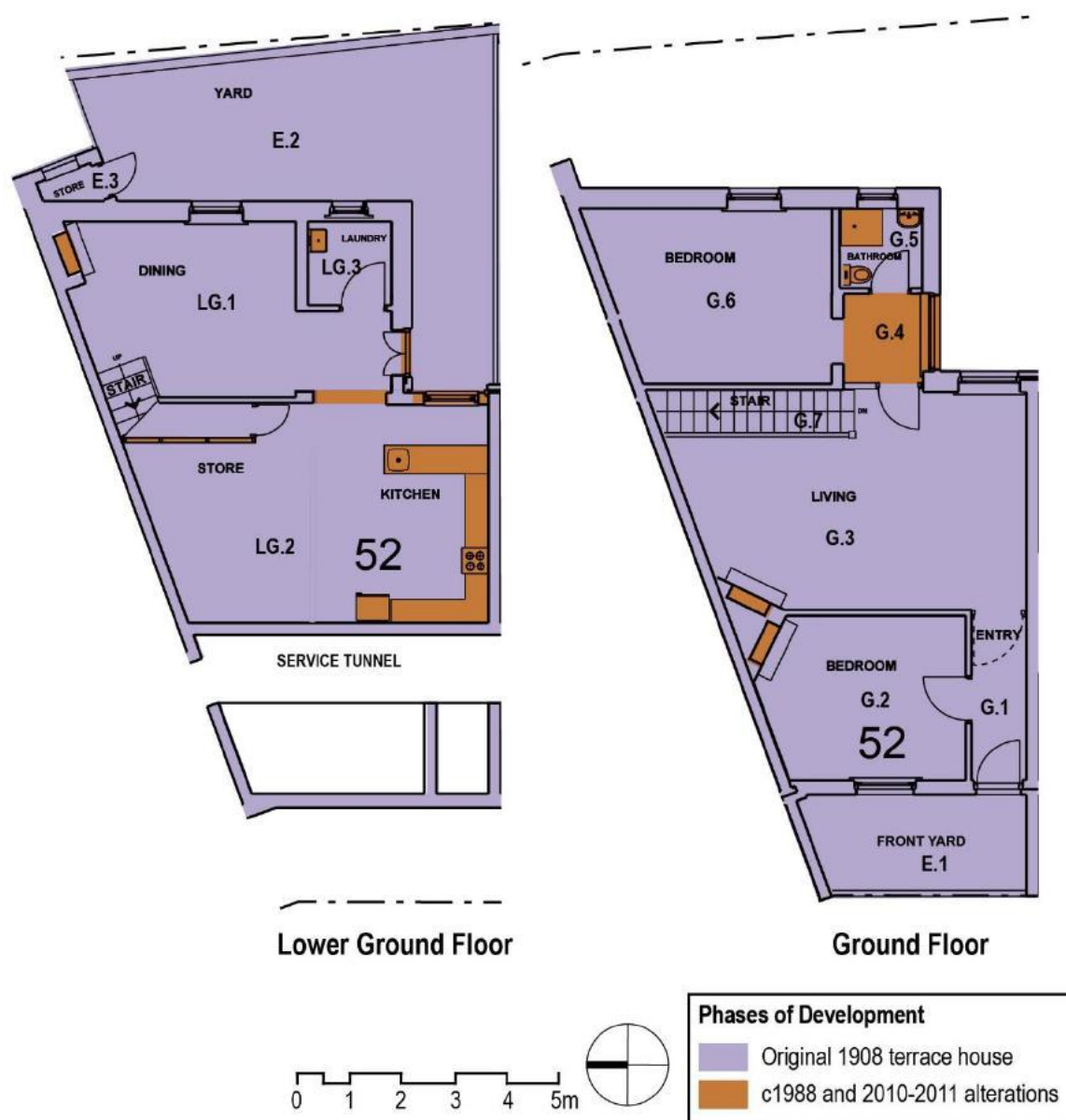


Figure 7.4 Plans showing phases of development—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 52—Elevations Phases of Development



Figure 7.5 Elevations showing phases of development—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

7.4 Significant Components of Flat 52

As with all the flats at 46–56 Gloucester Street, Flat 52 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 52.

7.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (**Figure 7.6** to **Figure 7.43**) document the elements and spaces of 52 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 7.6 Building frontage to Gloucester Street showing location of Flat 52/ 46–56 Gloucester Street (indicated by arrow) (Source: GML Heritage, July 2016)



Figure 7.7 Front porch (space E.1) showing external brick walls, timber entry door with fanlight, wrought iron fence and gate, double-hung window with chamfered brick sill—52 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 7.8 The four-panel front door with bolection moulds to bottom panels and wired glass to top panels, fanlight above, dark brick surround, number plate and slate threshold—52 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 7.9 Detail of western elevation to Flat 52 at ground floor level, showing double hung sash window, chamfered sill and dark brick surround—52 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 7.10 Entry (space G.1) showing timber floor, cement run skirtings, with quad mould, and timber door frame with fanlight over to the living room (space G.3)—52 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 7.11 Front bedroom (space G.2) showing timber floors, rendered wall finishes, rendered cement skirting, timber picture rail, fibrous plaster cornice and plasterboard ceiling. The corner fire place is blocked up but retains its original concrete hearth—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

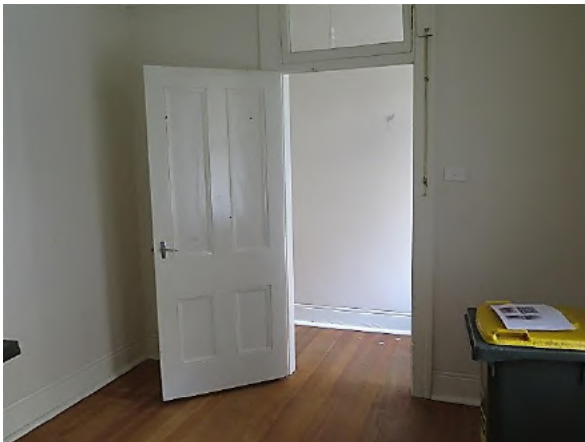


Figure 7.12 Four-panel timber door with fanlight above and reproduction fanlight mechanism between front bedroom (space G.2) and entry (space G.1)—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.13 Living area (space G.3) showing fireplace blocked up in corner, but retains its concrete hearth. The space has timber floor, cement rendered skirting, timber picture rail, fibrous plaster cornice and plasterboard ceiling. The stair against the eastern wall has a timber boarded balustrade and newel post—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.14 Living room (space G.3) showing timber flooring, cement run skirtings and picture rail. The timber stair with its boarded and newel post runs along the eastern wall. The half-glazed door with its side light and fanlights, and the timber double-hung sash window are original—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.15 The arched opening of the former porch (space G.4) is infilled with a pair of casement windows and vertical timber boarding. (Source: GML Heritage, July 2016)

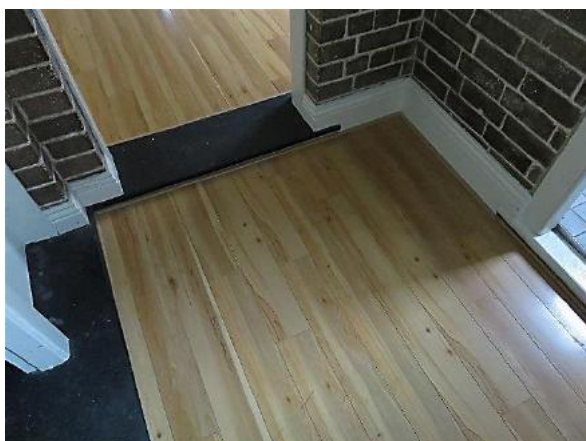


Figure 7.16 Modern timber-laminate floor of the former rear porch (space G.4). The original slate thresholds survive in the doorways to the living room (space G.3) and rear bedroom (space G.6)—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.17 Former rear porch (space G.4) showing the brick arched heads above the doors to the rear bedroom (space G.6) and bathroom (space G.5). the latter appears to have been altered—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.18 The bathroom (space G.5) showing modern tiling and fitout—52 / 46-56 Gloucester Street. The double-hung window with its sillboard and architrave is original (Source: GML Heritage, May 2016)



Figure 7.19 The bathroom (space G.5) showing plasterboard ceiling and late-twentieth century air vent—52 / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)

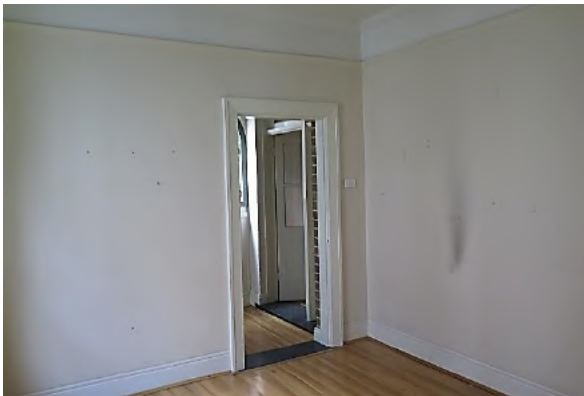


Figure 7.20 Rear bedroom (space G.6) showing modern timber flooring, original timber framed opening, architrave, cement rendered skirtings and timber picture rail. (Source: GML Heritage, July 2016)



Figure 7.21 Rear bedroom (space G.6) showing modern wardrobe addition and timber floor covering—52 / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.22 The rear bedroom (space G.6) showing timber floor and original cement run skirtings, decorative plaster wall vent, picture rail and timber double-hung sash window with its original architrave and sill board—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

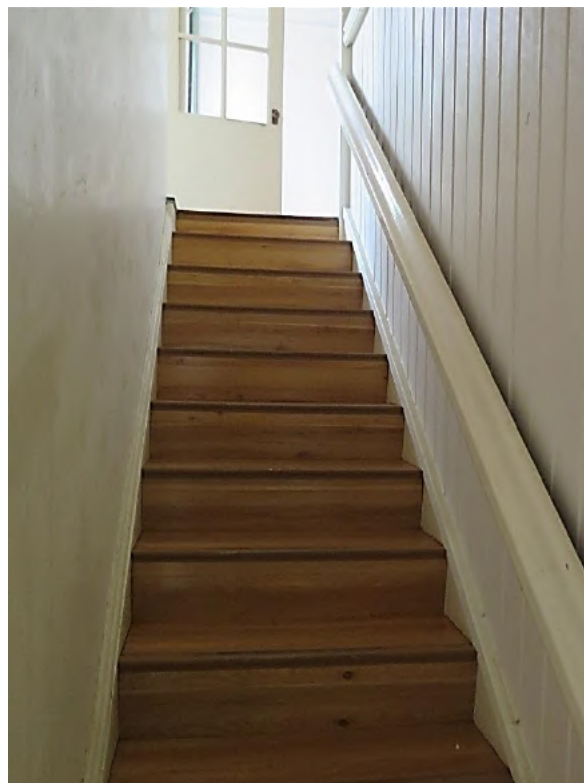


Figure 7.23 The stair (space G.7) showing replaced stair treads, original timber handrail and T&G boarding to the western wall—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.24 Repaired original stairs, original cement rendered and plastered brick walls, and original steel beam over the stair—52 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 7.25 Original stair at lower ground-floor level with closed string, simple square balusters and newel post and moulded handrail. Later shelving in the original fireplace—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.26 Timber floor in dining room (space LG.1) and vinyl floor in former porch. The half-glazed doors and fanlight are late 20th century—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.27 Kitchen (Space LG.2), showing original timber boarding to stair and later stair cupboard addition—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.28 The kitchen (space LG.2) showing the double hung sash window, which has been relocated, and late-twentieth century fitout—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

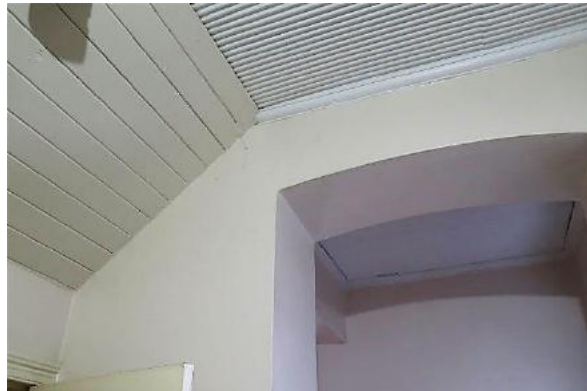


Figure 7.29 Original ripple iron ceiling and timber boarding under staircase in the kitchen (space LG.2), with original (but possibly modified) opening from rear porch—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.30 The kitchen (space LG.2) showing late-twentieth century fitout and a chimney flue rising in the south west corner—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.31 Kitchen (space LG.3), with hot water heater, Flat 52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.32 Enclosed space below the stairs, showing unrendered painted brick wall—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.33 Laundry (space LG.5) with modern fitout and double-hung timber sash window. (Source: GML Heritage, July 2016)



Figure 7.34 Interior of laundry showing timber double hung sash window, painted brick walls and original ripple iron ceiling. (Source: GML Heritage, July 2016)



Figure 7.35 Four panel timber door as viewed from interior of laundry (space LG.5). Modern French doors to rear yard. (Source: GML Heritage, July 2016)



Figure 7.36 The rear yard (space E.2) and store in former external WC (space E.3) showing corrugated iron roof, exposed rafters at eaves, brick parapet and walls, brick arched head over doorway and timber ledged and sheeted door—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.37 The interior of space E.3 showing the original fixed glass louvres in the window—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.38 Original opening to rear elevation (Kitchen) with modern brick infill and replacement sash window—52/46–56 Gloucester Street (Source: GML Heritage, June 2016)



Figure 7.39 Brick arch and iron lintel bar over the rear door fanlight, also showing laundry hoist fixings above the window and brick arched head—52/46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 7.40 Traditional timber clothes hoist in the rear yard (space E.2)—52/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 7.41 Round-arched window of the former rear porch on the southern elevation showing modern infill. Also original brick arched head to and chamfered window sill to the window of space G.3—52 / 46–56 Gloucester Street. (Source: GML Heritage, July 2015)



Figure 7.42 Triple brick arched head and chamfered sill details to windows in rear elevation (typical detail to the 46-56 Gloucester Street flats)—52/46-56 Gloucester Street. (Source: GML Heritage, March 2016)



Figure 7.43 Rear paling fence, clothes hoist and tree in the rear yard—52/46-56 Gloucester Street (Source: GML Heritage, November 2015)

7.4.2 Significance Gradings Diagrams for Flat 52

Figure 7.44 and Figure 7.45 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 7.1 to 7.4).

Number 52—Plans, Gradings of Significance

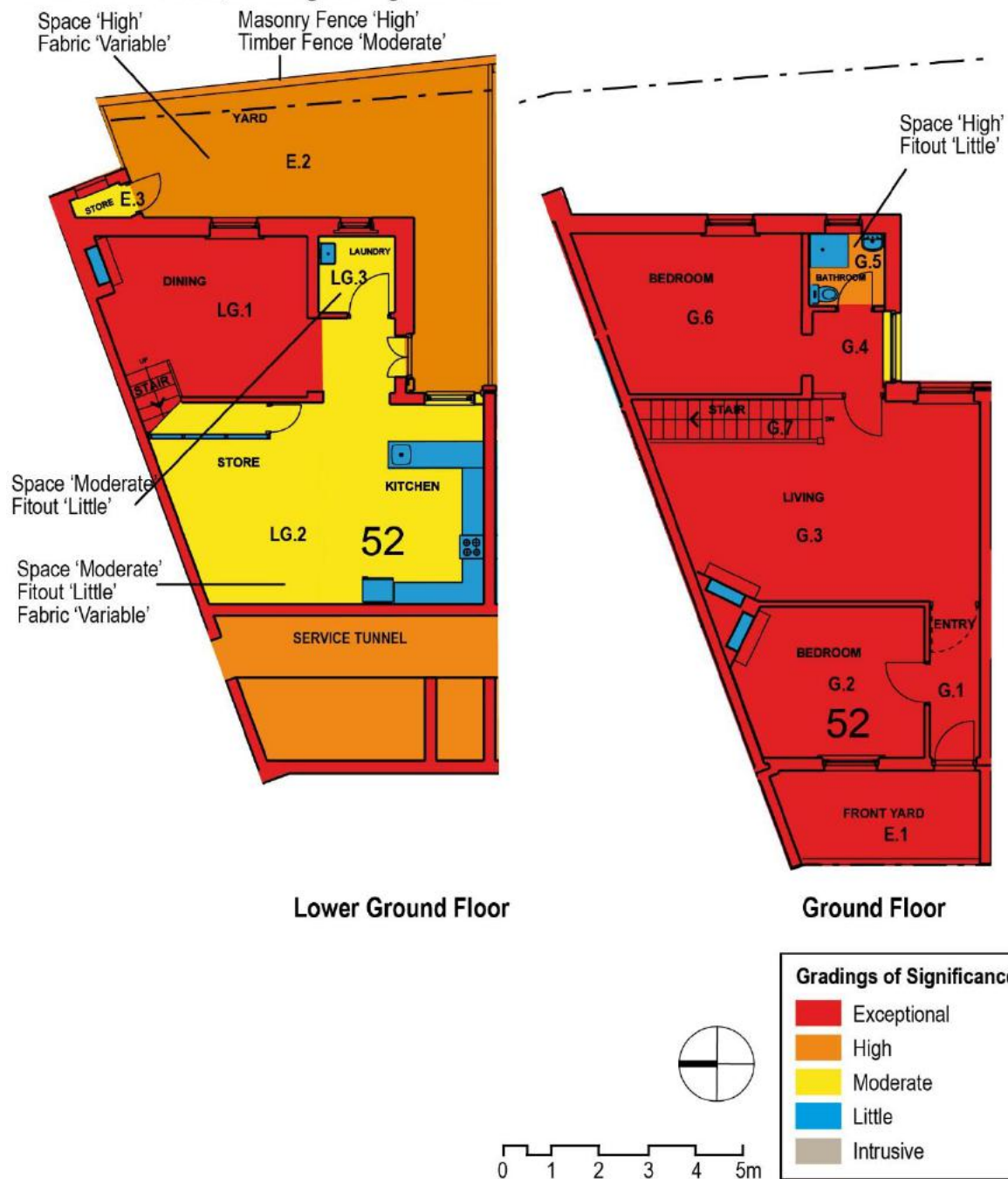


Figure 7.44 Plans showing gradings of significance—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 52—Elevations
Gradings of Significance

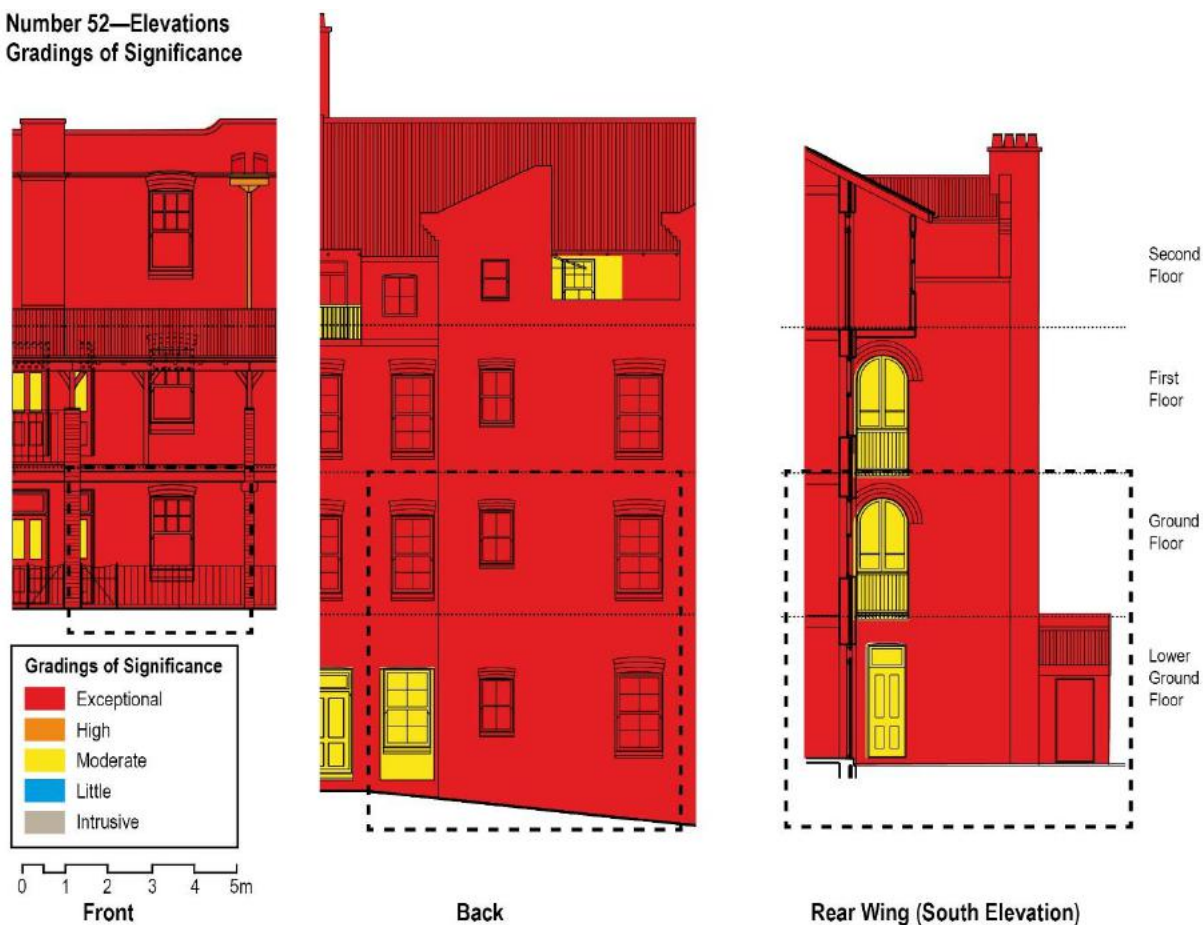


Figure 7.45 Elevations showing gradings of significance—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

7.4.3 Significant Fabric and Condition—Flat 52

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 7.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surround to window and door openings and brick cornice	O	E	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron arch bars	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	M 20 th	M	F, cracked glass
	Enamelled number plaque, spyhole and letterbox Brass door knob	M 20 th Missing	M —	G Missing
Fanlight	Pivot fanlight over door	O	E	G
	Fanlight mechanism	O	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O/L 20 th	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 7.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
External walls—east and south elevations	Common brickwork in stretcher bond	O	E	G
	Later brick infill around kitchen window (space LG.2)	L 20 th	L	G
Door threshold	No threshold. Formed concrete half-step.	L 20 th	M	G
Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	E	F
Window and door heads	Arched brick heads over window and door openings, with hoop iron arch bar	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Door set	Half-glazed French doors with awning-type fanlight to rear yard from space LG.2 (porch)	L 20 th	M	F
	Door furniture	L 20 th	M	F
Window joinery	Timber double-hung sash window	O / L 20 th	E / H	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes	L 20 th	M	G
	Cast iron round and square downpipes	O	E	G
	Copper and cast iron service pipes to rear wing	O / E 21 st	E	G

Table 7.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Space E.1—Front Yard (Verandah)				
Front yard	Concrete with modern paving paint	O	E	G
Front fence and gate	Wrought iron balustrade, including stays and gate	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Timber fence—rear and side boundaries	Timber paling (including small section between 50 & 52)	L 20 th	Form: H Fabric: M	F
Gate	Timber	L 20 th	M	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	P
Paving	Brick pavers	L 20 th	L	F
Drains	Sumps to receive storm water	L 20 th	L	F, need gratings
Garbage chute	Chute removed. Evidence of concrete table and footing including chase in brickwork and flashing strip	O	E	G
Clothes hoist	Timber post-beam hoist frame and pulleys	L 20 th Reconstruction	H	F
Other	Mango tree	Mid 20 th	M	G
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: E 21 st	Form: O Sheeting: H	P
Eaves	Exposed rafter, timber bargeboard	O	E	F
Door set	Ledged and braced timber door with strap hinges	O	E	G
Floors	Concrete	O	E	G
Door heads	Common brick arch with iron lintel bar	O	E	G
Window joinery	Fixed glass louvres in timber frame	O	E	F
Window heads	Common brick arch with iron arch bars	O	E	G
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G

Table 7.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber structure and flooring	O/L 20 th	E	Boards: G Joists: unknown
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted cement render dado	O	E	G
	Painted set plaster above dado	O	E	G
Cornice	Fibrous plaster quarter round	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Door set	Refer to adjoining spaces	-	-	-
Architraves	Moulded timber architrave	O	E	G
Other	Light fittings	L 20 th	L	not tested
Space G.2—Front Bedroom				
Floor	Timber structure and flooring	O/L 20 th	E	Boards: G Joists; unknown
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted cement render dado	O	E	G
	Painted set plaster above dado	O	E	G
Picture rail	Moulded timber	O	E	G
Cornice	Fibrous plaster quarter round	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Fireplace/Hearth	Fireplace opening (blocked off)	O	E	unknown
	Masonry infill to fireplace, rendered and skirled	L 20 th	I	G
	Concrete hearth	O	E	G
Door set	Four-panel door with sunk moulds to panels, in original frame (entry from hall)	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway to living room	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window (six-over-one), inc. original glass, timber box frame, sashes and sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster with scroll pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	F
Space G.3—Living Room				
Floor	Timber structure and flooring	O / L 20 th	E	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted cement render dado	O	E	F
	Painted set plaster above dado	O	E	F
	Opening with shallow arched head to space G.4	O	E	F
Picture rail	Moulded timber	O	E	G
Cornice	Fibrous plaster quarter round	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Fireplace/Hearth	Fireplace opening (blocked off)	O	E	unknown
	Masonry infill to fireplace, rendered and skirted	L 20 th	I	G
	Concrete hearth	O	E	G
Stairs	Timber stair	O (some L 20 th replacement)	E/M	G
	T&G vertical boarded balustrade and square newel post – balustrade probably open with square balusters originally	L 20 th ?	M	G
Door set	Timber frame, door missing to space G.1.	O	E	G
	Frame, reveal linings, half glazed timber door with side light and fanlights to space 1.4. Door has sunk moulds to lower timber panels and four glass panes above. Side light has single panel with sunk moulds below with two panes above.	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway to Space G.1	O	E	G
	Fanlight over door and side light to rear porch	O	E	G
	Fanlight mechanism	Missing	–	Fixed shut
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber architrave to window and door to Space G.1	O	E	G
	No architrave to doors to space G.4	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	F

Space G.4—Rear Porch

Floor	Timber suspended modern synthetic resin coated floor	L 20 th	M	G
	Original floor structure below	O	E	Unknown
	Slate thresholds from adjacent rooms	O	E	G
Skirting	Timber, under window and on opposite wall	L 20 th	M	G
Walls	Unpainted unrendered brick	O	E	G
Window and door heads	Triple-arched brick heads over door opening to rear living room (space G.3) and bedroom (G.6) with iron arch bar	O	E	G
	Soldier course arched head to bathroom door	L 20 th	M	F
Cornice	Fibrous plaster	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Door set	For doors and fanlights refer to spaces G.3, G.5 and G.6.	O	E	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Infill to porch opening	Timber vertical jointed T & G boarding with handrail below window	L 20 th	M	G
Window joinery	Double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	Expressed frame (no architraves)	O	E	G
Wall vent	Grill pattern (to bathroom wall)			

Space G.5—Bathroom

Floor	10cm ceramic tiles Original timber joists and boards beneath	E 21 st O, E 21 st	L E	G unknown
Skirting	Ceramic tile	L 20 th	L	G
Walls	Painted render/plaster, some alterations evident Ceramic tile	O, L 20 th L 20 th	E, M L	G G
Cornice	Fibrous plaster	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	F
Door set	Half-glazed panel door with textured glass Original frame, possibly relocated Door furniture	O O L 20 th	E E L	G G G
Fanlight	Pivot fanlight	O	E	G, Fixed shut
Window joinery	Double hung sash window (two panes over two panes), with sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster, scroll pattern	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services, plastic ceiling vent Light fitting	L 20 th / E 21 st L20 th	L L	F F

Space G.6—Rear Bedroom

Floor	Timber suspended modern synthetic resin coated floor with modern edge bead	L 20 th	M	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted cement render dado Painted set plaster above dado	O O	E E	G G
Picture rail	Moulded timber	O	E	G
Cornice	Fibrous plaster quarter round	L 20 th	M	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Door set	original frame (no fanlight), door missing Door furniture	O L 20 th	E L	G, 4 panel door missing G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster, scroll pattern	O	E	G
Other	Light fittings Modern wardrobe	L 20 th L 20 th / E 21 st	L I	F F

Space G.7— Stairs

Stairs	Timber stair—original strings, chamfered newel post and moulded timber handrail on metal brackets	O	E	G
	Timber stair—treads and risers replaced/alterd and boarded soffit	L 20 th	M	G
	Timber stair—lower flight extending into space LG.1—with closed strings and open timber balustrade consisting of square newel post and balusters and moulded timber handrail	O (treads are L20th replacement)	E/M	G
Walls	Painted cement render dado	O	E	G
	Painted set plaster above dado	O	E	G
	Vertical V-joint boarding to west wall	L 20 th	H	G

Space LG.1—Dining Room

Floor	Timber	L 20 th	H	G
Skirting	Grooved/beaded run cement render	O	E	F
	Timber quad	L 20 th	M	G
Walls	Painted cement render dado	O	E	G / F
	Painted set plaster above dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace and chimney piece	Fireplace alcove	O	E	G
	Timber lining and shelving, including architrave to opening	L 20 th	L	G
	Concrete hearth	O	E	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to stairs cupboard	O	E	G
Wall vents	Decorative plaster, scroll pattern	O	E	G

Space LG.2—Kitchen

Floor	Concrete slab	O ?	E	G
	Vinyl tiles (kitchen and former porch)	L 20 th	L	G
Walls	Painted set plaster/cement render. No skirting	L20th ?	M	G
	Plasterboard lined partition to enclose cupboard under stair	L 20 th	L	G
	Vertical V-joint T&G boarding to side of stairs	O	E	G
	Arched opening to Kitchen, possible original location of doors	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Stair	V-jointed boarding to stair soffit above	L 20 th	M	G
Door set	Flush door and frame to cupboard under stair	L 20 th	L	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O, relocated	M	G
Architraves	Moulded timber to stairs cupboard	L 20 th	L	G
Other	Kitchen fit-outs and services	L 20 th	L	F
	Light fittings	L 20 th	L	F
	Hot water services	E 21 st	L	not tested

Space LG.3—Laundry

Floor	Concrete	O ?	E	G
	Ceramic tiles	L 20 th	L	G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Unrendered brick, painted	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel timber door	L 20 th	M	G
Window joinery	Timber double-hung sash window (2 over 2 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vent	Plastic	L 20 th	L	G
Other	Plumbing, electrical, fixtures and fittings	L 20 th	L	G
	Light	L 20 th	L	G

7.5 Priority Conservation Works

7.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

7.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

7.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 52 should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.
- Repair and make operable the timber clothes hoist.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

7.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

7.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

7.7 Specific Conservation Policies for Flat 52

There are no specific policies for Flat 52 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 52 must comply with the conservation policies set out in Part 1 Section 9.0.

7.8 Areas for Possible Change for Flat 52

Areas for possible change within the flat at 52 Gloucester Street are shown on Figure 7.46 and Figure 7.47.

Number 52—Plans, Areas for Possible Change

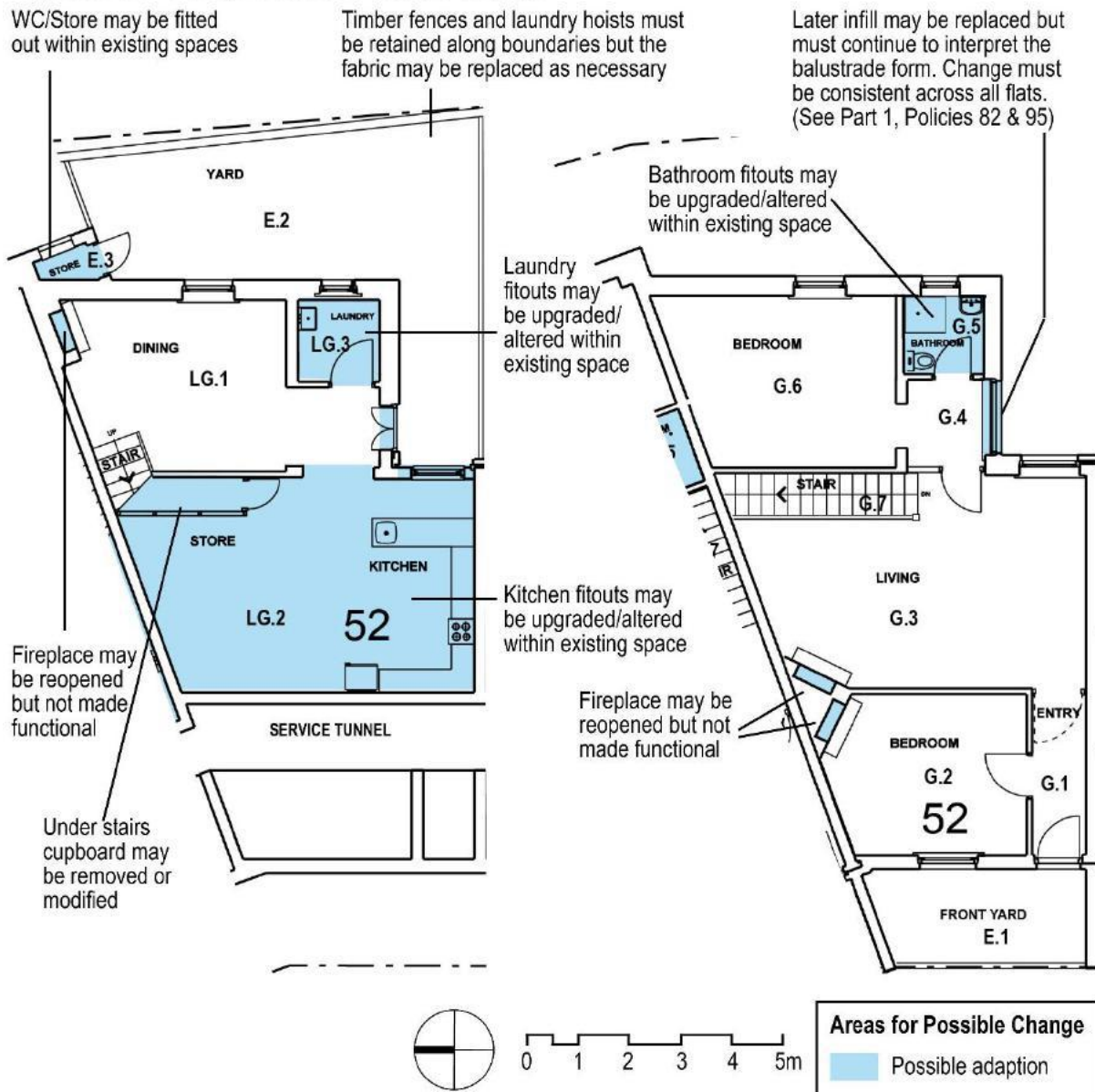


Figure 7.46 Plans showing areas for possible change—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

**Number 52—Elevations
Areas for Possible Change**

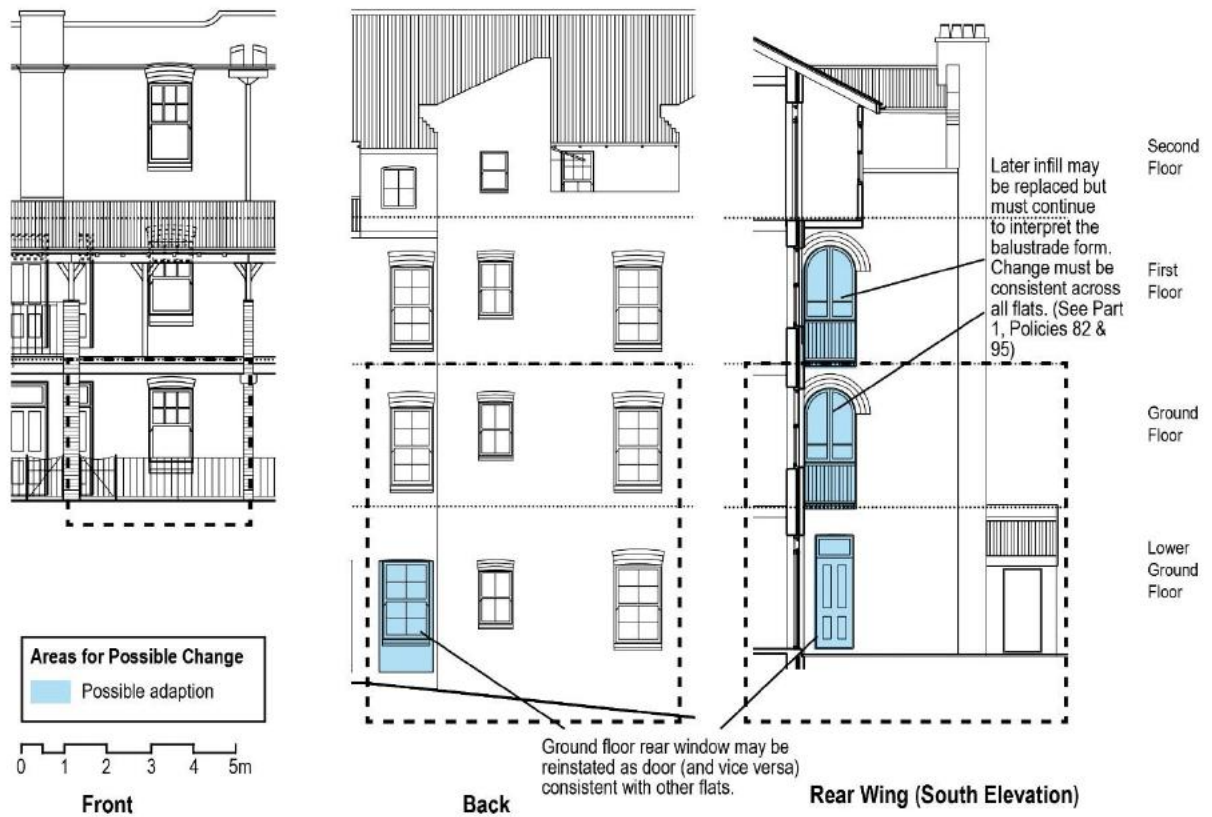
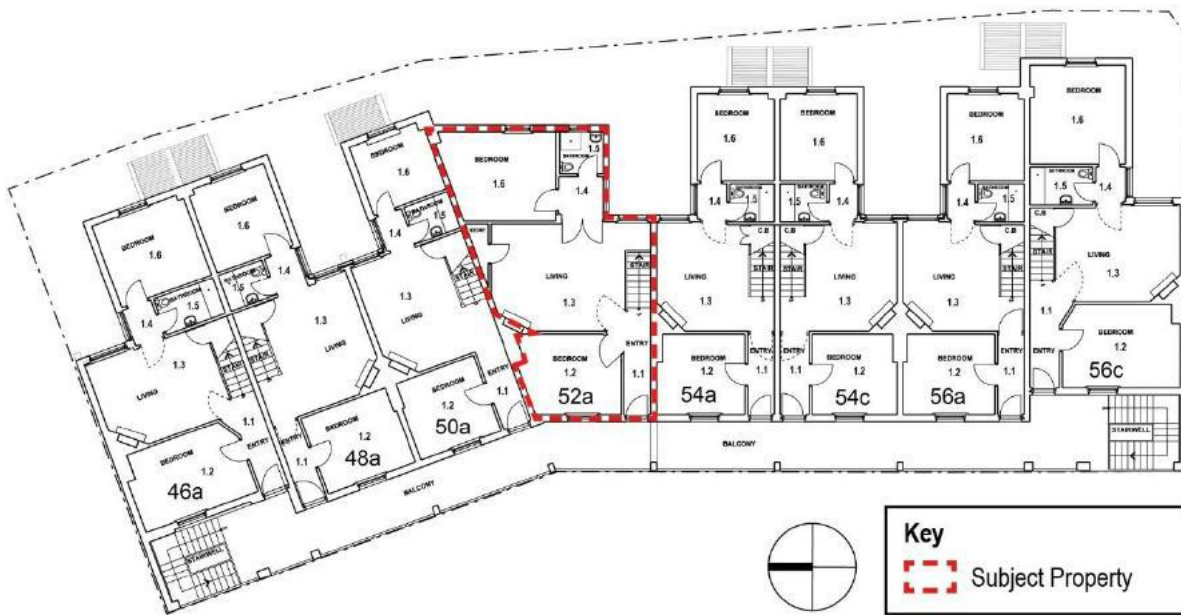


Figure 7.47 Elevations showing areas for possible change—Flat 52 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

8.0 Flat 52A of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 52A Gloucester Street. It should be read in conjunction with the preceding sections. Figure 8.1 shows the location of the flat within the building. Figure 8.2 and Figure 8.3 show the configuration of flat 52A.

Number 52a—Property Plan, First Floor



Number 52a—Property Plan, Second Floor

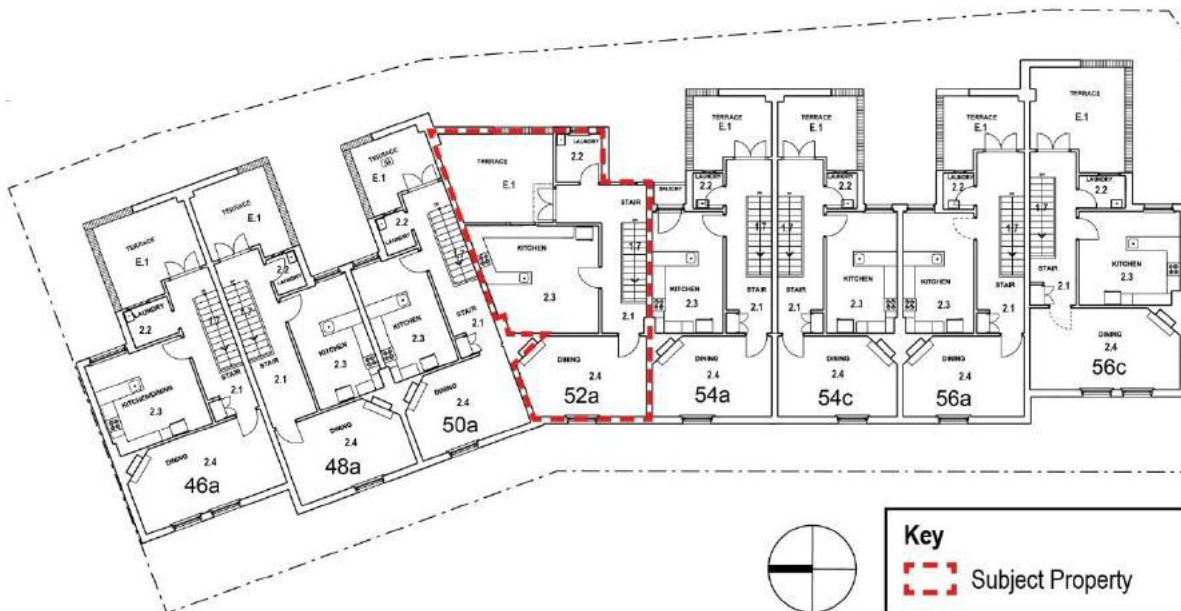


Figure 8.1 Location plan—Flat 52A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 52a—Plans

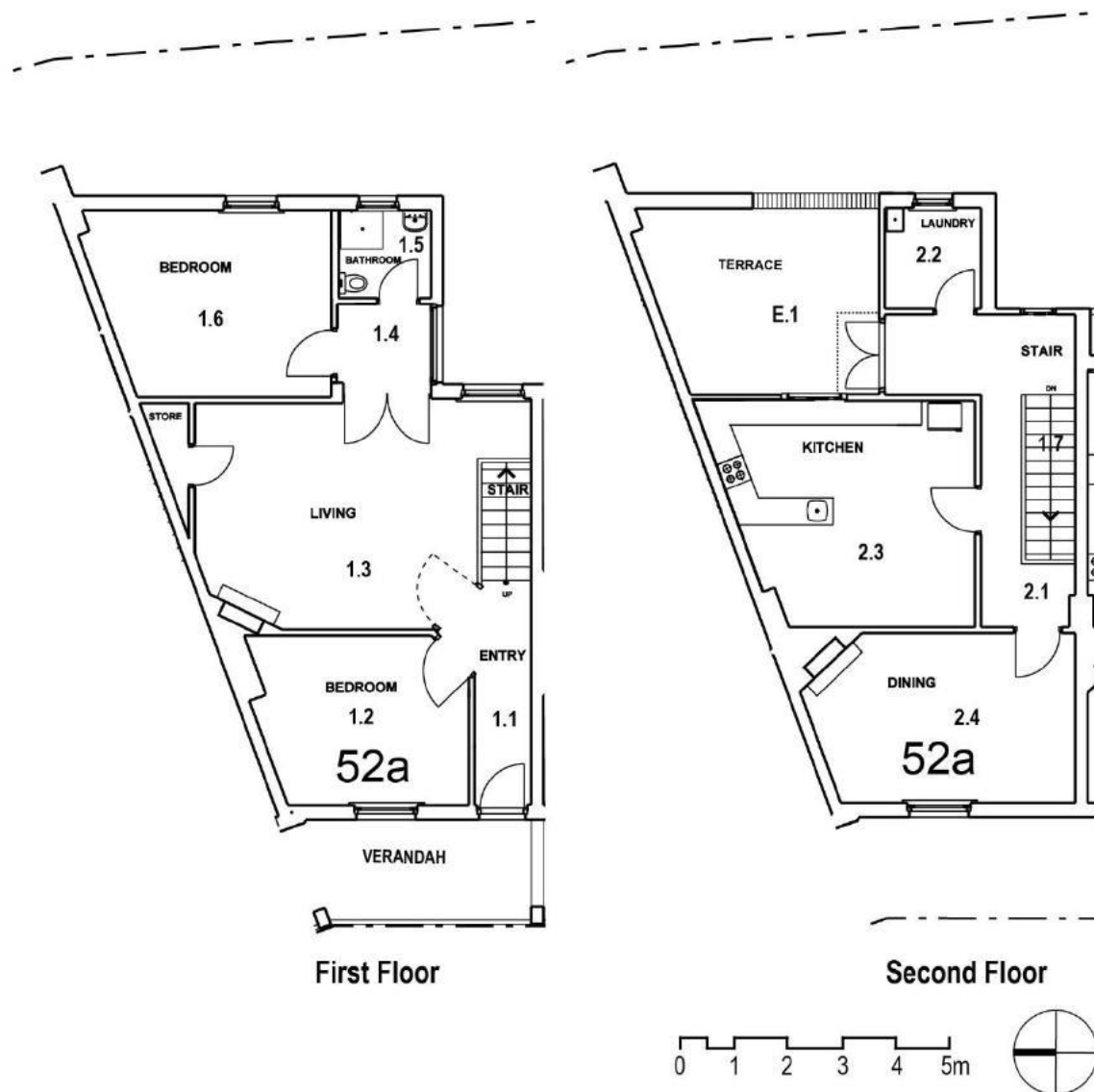


Figure 8.2 Floor plans of Flat 52A / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)



Figure 8.3 Elevations of Flat 52A / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

8.1 Summary of Heritage Significance

Flat 52A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

8.2 Physical Description of Flat 52A

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

8.2.1 Typology

Flat 52A is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 52A is a Type 6 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4).

Flat 52A is a single-fronted flat on two levels, with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which are shared with Flat numbers 46A, 48A and 50A. Flat 52A has an irregular L-shaped plan with two bedrooms, a living room and

bathroom on the first floor, and kitchen, dining, laundry and external roof terrace (former drying yard) on the second floor. It is the only type 6 flat in the building and is larger than the other upper flats, with its northern wall spaying out towards the northeast. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building (refer to Part 1 Section 2.3.3–2.3.5).

8.2.2 External

The flat is separated from adjoining flats (Flats 50A and 54A) by brick party walls. The flat is separated from the flat below (52) by a double timber floor structure. Flat 52A has a pitched corrugated sheet metal roof set behind a brick parapet on its western side (Figure 8.6) and with exposed rafters and boarded eaves on its eastern side (Figure 8.12). It has a skillion roof to the rear wing. A separate skillion roof covers part of the roof terrace creating a covered area, which is surrounded by brick walls on three sides (Figure 8.13, Figure 8.14). The remainder of the terrace is open to the elements, behind a brick parapet. There is a chimney stack at the ridge and another rising in the northeast corner adjacent to the rear wing of flat 48A. The flues are shared between adjacent flats. There is a cantilevered awning over the doors opening onto the roof terrace (Figure 8.15).

The front elevation is two storeys in height, single-fronted, in fair-faced brickwork in running bond, flush jointed in grey mortar (Figure 8.6). The entry door and windows have dark brick surrounds and arched heads supported on flat iron bearers. There is a mauve brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents (Figure 8.6). A half-height external party wall beside the entrance door divides the common verandah into two halves (Figure 8.7).

The lower storey is slightly concealed behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 8.6, Figure 8.7). The flat has no private area in front of it. The verandah is common property. Entry is from the verandah via the four-panel, bolection moulded entry door, which has glazed upper panels in wired glass, a central brass knob and letterbox, peep hole door bell and enamel number plate. (Figure 8.8, Figure 8.9). It also has modern night latch. The first and second floor windows have chamfered brick sills, and the door a slate threshold (Figure 8.6, Figure 8.7).

The rear elevation is of common brick in stretcher bond, flush jointed (Figure 8.10). Doors and windows have brick arched heads with flat iron bearers (arch bars), as on the front elevation, except for the round-arched window of the former rear porch on the first floor level, which faces south towards the rear wing of Flat 54A (Figure 8.10, Figure 8.11). This window (like all such windows on this floor of the block) has been infilled with a pair of timber casement windows with textured glass, and vertical boarded spandrel under, and wooden external balustrade detail externally (in this flat, the opening is somewhat larger than those of the other rear porches) (Figure 8.10). The kitchen window (space 2.3) opening onto the roof terrace has been replaced and the brick opening altered (Figure 8.12). The property shares rainwater services with Flat 52 below.

The upper floor has a projecting bay with small double hung window, which is cantilevered out from the main rear wall on a steel beam (Figure 8.10, Figure 8.11). It contains the upper stair landing. The underside being clad in ripple iron. The roofed area of the roof top terrace is partially enclosed by brick walls on three sides (Figure 8.14). The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade. The opening to the former garbage chute previously located on the rear wall has been blocked up (Figure 8.14). There is evidence of the former laundry copper having been removed from the skillion roofed area. The glass doors opening onto the terrace are set in a

splayed weatherboard wall and have a cantilevered awning over (Figure 8.15). The hot water system is located on the roof terrace, outside the laundry (Figure 8.15).

8.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, timber cornice and ripple iron ceiling (Figure 8.18). The bedroom and living room doors are splayed at an angle creating a widening in the hall. The wall to the bedroom (space 1.2) is rendered and painted masonry, whereas that to the living room (space 1.3) appears to be light weight concrete. The living room door has an original expressed frame (no architrave), whereas that to the bedroom has a moulded timber architrave (Figure 8.19). Both doors have fanlights above. A timber beam extends over the hall at the junction between these openings to support the wall on the floor above (Figure 8.19).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, timber cornice, timber picture rail, decorative wall vents and ripple iron ceiling with a timber cornice (Figure 8.20, Figure 8.21). There is an original four-panel solid timber door with fanlight over and an original timber double-hung sash window (six lights over one). There is a rendered brick flue and no fireplace in the northeast corner of the room.

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, rendered walls, , timber picture rail and ripple iron ceiling with a timber cornice (Figure 8.22, Figure 8.23, Figure 8.25). The door to the pantry cupboard in the north wall has an expressed frame, indicating that it is an original lightweight concrete wall. The door has four panels with sunk moulds and holes drilled in the top panel for ventilation (Figure 8.25). There is a fireplace in the northwest corner with a cast iron range set behind a Perspex panel. It has an original mantel shelf set on corbelled brick brackets (Figure 8.26, Figure 8.27). There is a timber double-hung sash window to the rear, located under the stairs (Figure 8.28). The stairs are partly enclosed by an original light weight concrete partition. The skirting continues into the under stair cupboard, which is accessed via a ledged and sheeted door on strap hinges (Figure 8.29).

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Access from the living room to the rear porch is through a pair of early half-glazed timber doors with three-light pivot fanlight over (Figure 8.30). The opening to the former porch has a slate threshold (Figure 8.31). Space 1.4 has a raised carpeted timber floor, unrendered and unpainted common brick internal walls, with a modern timber skirting and ripple iron ceiling with a timber cornice. The former porch opening is infilled with a round-headed window (c1988) with double casement sashes with textured glass, chain winder and modern vertical tongue-and-groove boarded panelling beneath (Figure 8.31). There is a decorative plaster wall vent (not original).

The bathroom (space 1.5) is a recent fit-out with modern ceramic tiled floor and walls, rendered walls above (possibly recent), and ripple iron ceiling with timber cornice (Figure 8.33). The bathroom has an original four-light half-glazed timber door and pivot fanlight over (Figure 8.32), and an original timber double hung window (Figure 8.34).

The rear bedroom (space 1.6) has a carpeted timber floor, cement run skirtings, timber picture rail, decorative pattern vents (Figure 8.36) and ripple iron ceiling with a timber cornice (Figure 8.37). It has an original four-panel timber door and an original timber double-hung sash window (four lights over four) (Figure 8.35, Figure 8.38).

All the walls in the front portion of the flat, including the stair, show evidence of a dado line in the plaster wall surface.

A timber staircase rises to the upper floor between two walls (space 1.7) (Figure 8.39). It has a moulded timber handrail supported on metal brackets mounted on timber wall roses (Figure 8.39). The bottom of the top newel post extends down the southern wall below the floor above (Figure 8.39). The stair soffit is lined with V-joint timber boarding (Figure 8.29).

8.2.4 Internal—Second Floor

A timber balustrade with square newel posts and balusters and moulded handrail extends around the top edge of the stair void in space 2.1 (Figure 8.39). An early gas light bracket survives over the stair (Figure 8.39). The ceiling over the landing at the top of the stair is raked and there is a small double hung window giving light to the stair (Figure 8.38).

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), the laundry (space 2.2), kitchen (space 2.3) and dining room (space 2.4) (Figure 8.41, Figure 8.42). The principal rooms on this floor (2.3 and 2.4) have timber floors, cement run skirtings, set plaster wall finishes and ripple iron ceilings with moulded timber cornices (Figure 8.47, Figure 8.48).

The stair hall (space 2.1) has its original wall finish and cement run skirting on its southern, eastern and western walls only (Figure 8.40). The northern wall to the kitchen (space 2.3) appears to have been replaced with a stud wall with plasterboard linings. It has a modern moulded timber skirting (Figure 8.41). Similarly, the northern wall in which the double glazed doors open onto the roof terrace also appears to have been replaced. The doors onto the roof terrace and the door into the laundry are both recent (late twentieth century or early twenty-first century) (Figure 8.15, Figure 8.42).

Some alterations have been made to incorporate the laundry (space 2.2) into what was most likely an external WC accessed from the roof terrace (Figure 8.42, Figure 8.44). The laundry (space 2.2) and kitchen (space 2.3) have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen) (Figure 8.44, Figure 8.45), but retain ripple iron ceilings and moulded timber cornices (Figure 8.43, Figure 8.45). The kitchen retains its original cement run skirting (Figure 8.47).

The door openings and joinery to the laundry and kitchen doors are modern, with modern architraves (Figure 8.42, Figure 8.47). The kitchen has a double hung window, with timber architrave, sill board and moulding (all modern reproductions). The window has a six pane top sash (which is not consistent with other kitchen windows) and a double pane bottom sash (Figure 8.46). The laundry window consists of two single pane sashes (Figure 8.43).

The dining room (space 2.4) has almost identical features to the downstairs front bedroom, but with no picture rail. It has two original double hung window in its western wall, complete with architraves, sill board and moulding (Figure 8.48). The corner fireplace has a marble chimney pieces, cast iron grate and concrete hearth (Figure 8.49). The fireplace has a Perspex cover. The door to this room has been replaced with a modern four panel door with raised panels, although the frame, fanlight and architraves are original (Figure 8.51). The room retains its original double hung window with its original architraves, sill board and moulding (Figure 8.50).

8.3 Phases of Development

Figure 8.4 and Figure 8.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 52a—Phases of Development, Plans

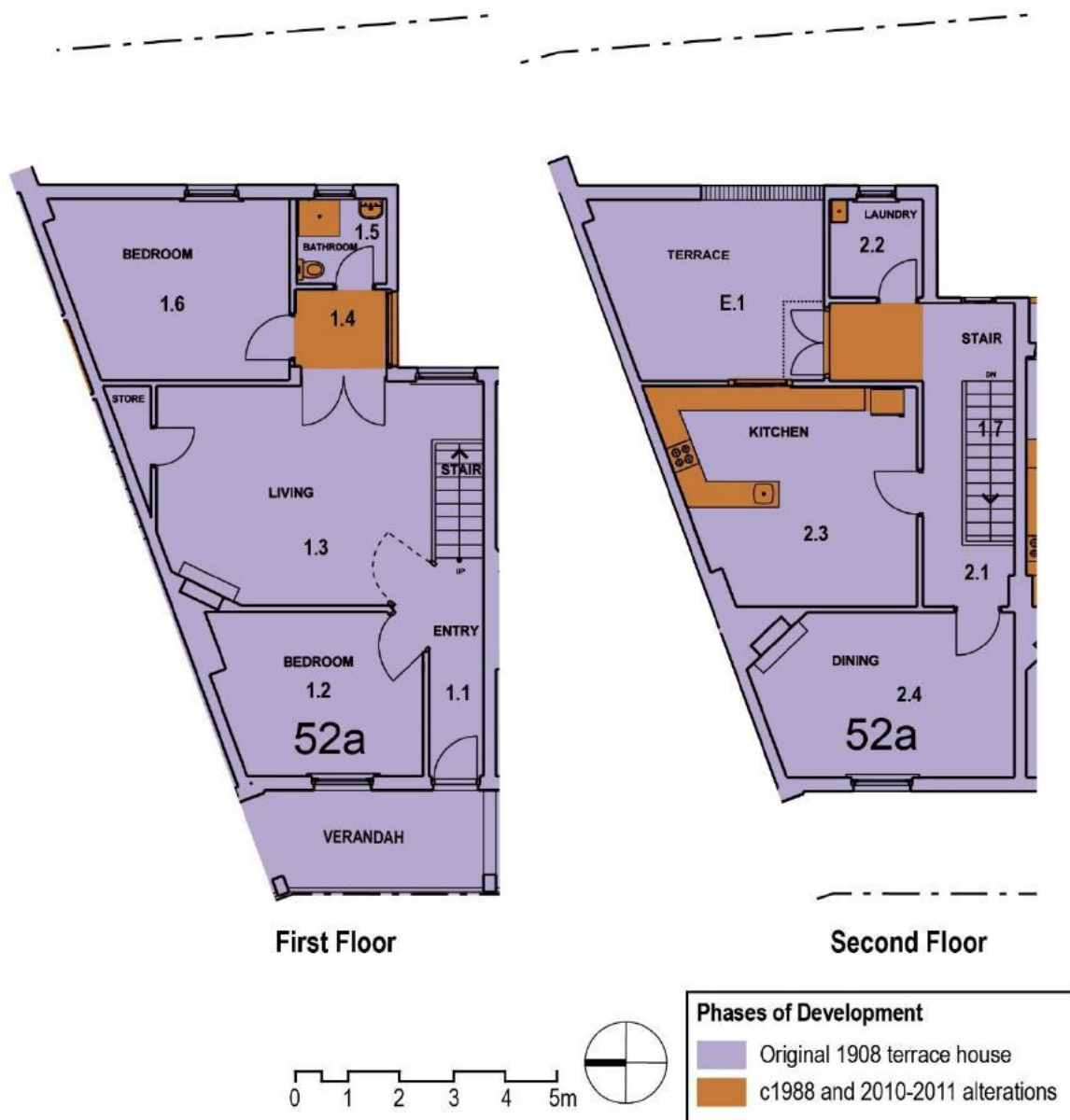


Figure 8.4 Plans showing phases of development—Flat 52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 52a—Elevations
Phases of Development

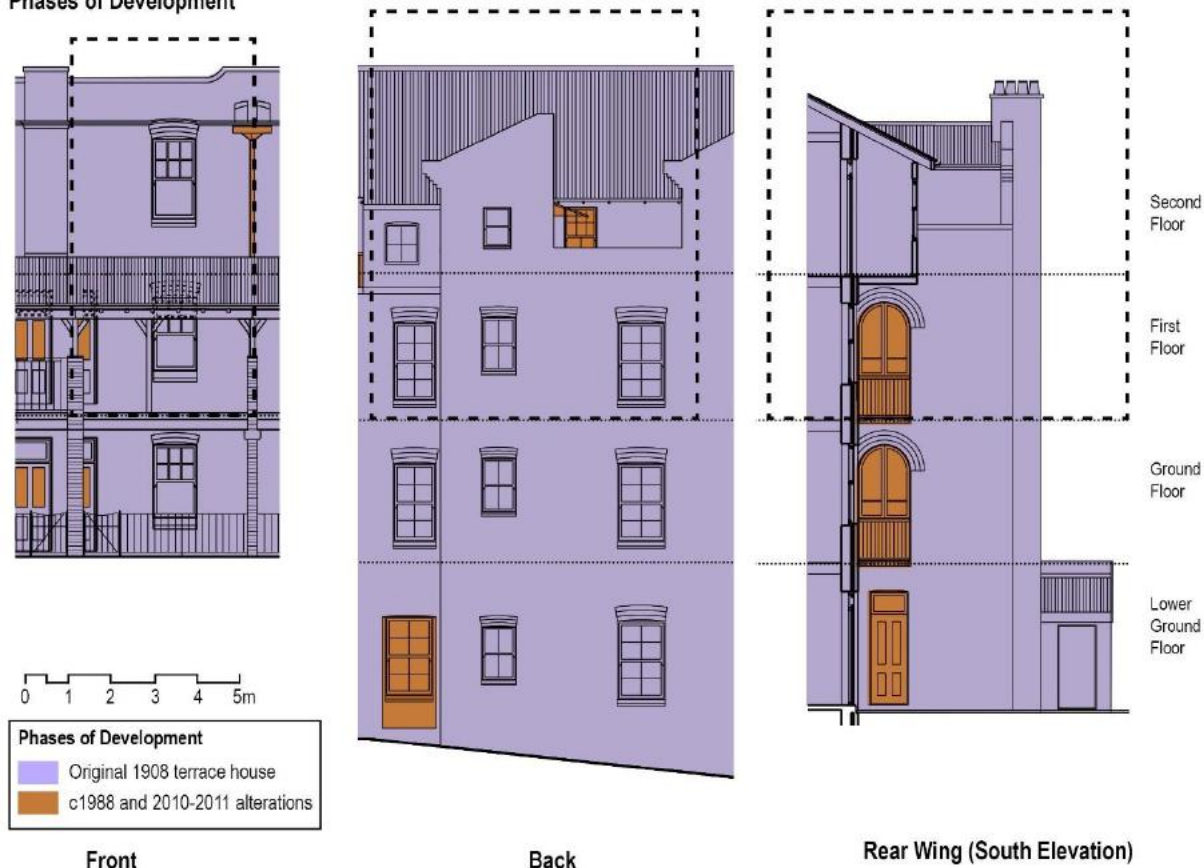


Figure 8.5 Elevations showing phases of development—Flat 52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

8.4 Significant Components of Flat 52A

As with all the flats at 46–56 Gloucester Street, Flat 52A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 52A.

8.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 8.6 to Figure 8.51 inclusive) document the elements and spaces of 52A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat.



Figure 8.6 Western façade of flat 52A / 46–56 Gloucester Street, as viewed from Gloucester Street. Showing the common verandah, balustrade, face brick walls with dark brick banding and projecting string, curved parapet and timber double hung sash window to the upper floor. (Source: GML Heritage, July 2016).



Figure 8.7 Front façade of flat 52A / 46–56 Gloucester Street showing face brick external wall with contrasting brick surround to window and door openings, chamfered brick window sill and dividing wall of the shared verandah (Source: GML Heritage, July 2016).



Figure 8.8 Four panel entrance door with bolection moulds, wired glass to upper panels, fanlight over and slate threshold—52A / 46–56 Gloucester Street. (Source: GML Heritage July 2016)

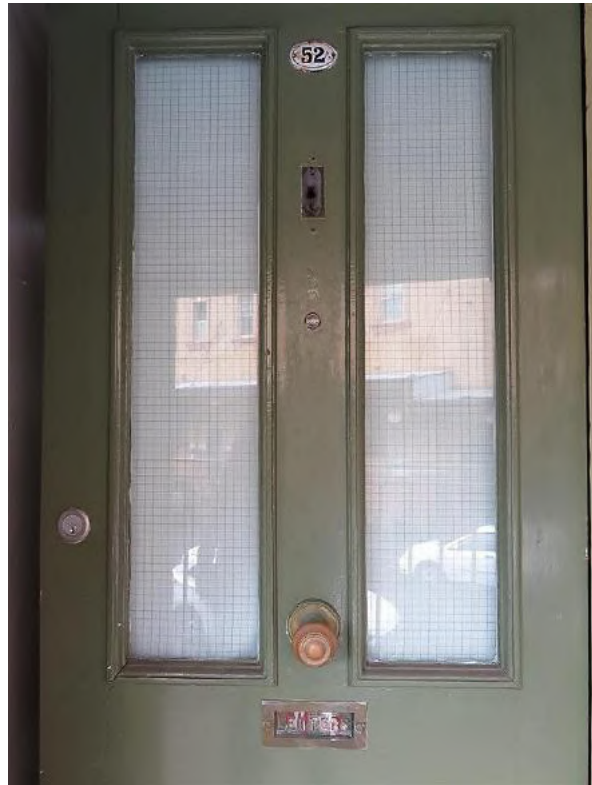


Figure 8.9 Enamel flat number, brass door handle, bell twist and letter slot on the entrance door—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

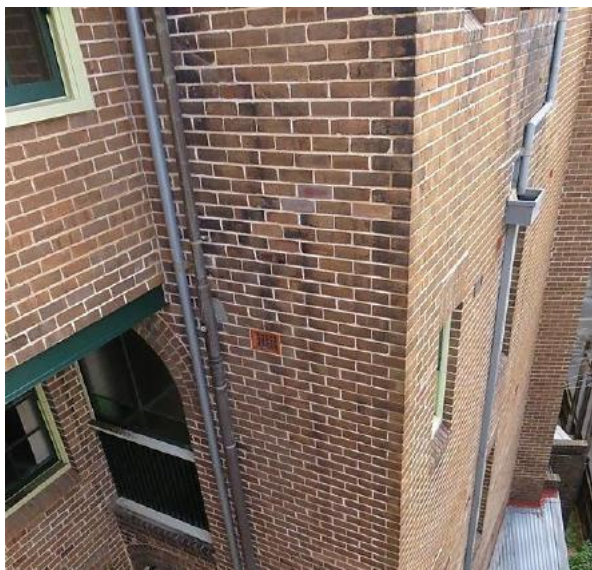


Figure 8.10 Flat 52A / 46–56 Gloucester Street. Original cantilevered section of the second floor, and original triple-brick arched opening to former porch in rear wing at first floor level, infilled with window and solid balustrade. (Source: GML Heritage, July 2016)



Figure 8.11 Rear elevation of flat 54A (left) and 52A (right) showing common brick walls, projecting landing bay with ripple iron cladding to underside, original double hung sash windows and skillion roofed sections of roof terrace—46 / 56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.12 Roof terrace (space E.1) showing the double hung timber window to the kitchen, common brickwork and the tiled floor—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.13 Skillion roof over the roof terrace (space E.1) with corbelled brick gable parapet detail, ripple iron ceiling, timber cornice, exposed rafters and modern guttering—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.14 Roof terrace (space E.1) showing enclosed area with skillion roof, brick flue and ripple iron ceiling—52A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.15 Half glazed doors leading from the roof terrace to the second floor landing. Note the later brickwork on the wall of the laundry where former door blocked up—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.16 Roof terrace (space E.1) showing brick balustrade—52A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.17 Roof terrace (space E.1) showing enclosed area ceiling—52A/46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.18 Entrance hall (space 1.1) showing cement rendered skirtings and carpeted floors—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.19 Entrance hall (space 1.1) showing the original timber door frames with fanlights above, timber cornices, timber transverse beam and ripple iron ceiling—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

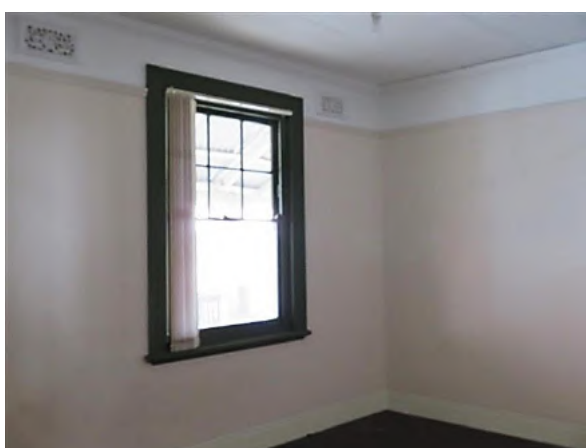


Figure 8.20 Front bedroom (space 1.2) showing the timber double hung sash window, moulded timber picture rail and decorative plaster wall vents—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.21 Front bedroom (space 1.2) showing the four panel sunk moulded timber door, ripple iron ceiling, reproduction mechanism, timber picture rail and moulded timber cornice—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.22 Living room (space 1.3) showing the ripple iron ceiling with moulded timber cornice, moulded timber picture rail and cement rendered skirting, original mantel shelf and cupboard—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.23 Living room (space 1.3) looking southeast towards rear porch (space 1.4) and space under stair—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.24 Living room (space 1.3) showing cement rendered skirtings, ripple iron ceiling and original expressed timber door frame with fanlight above— 52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

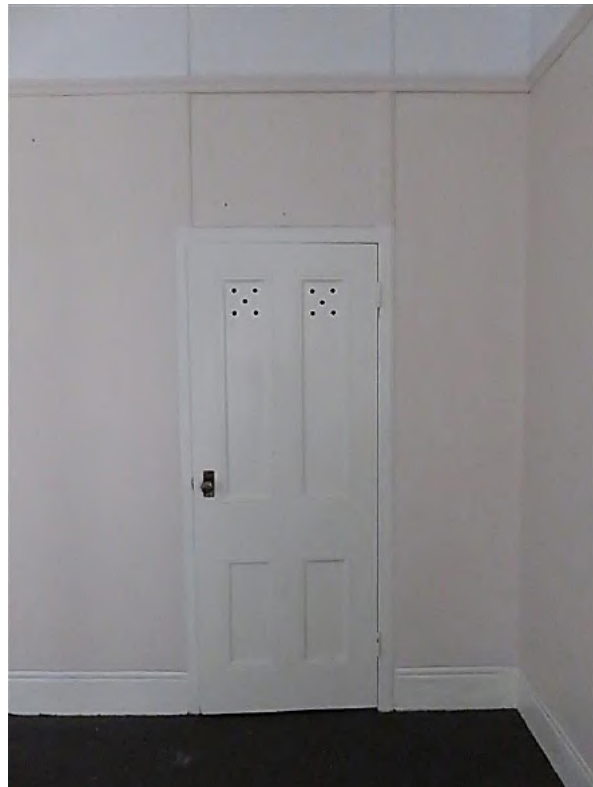


Figure 8.25 Four-panel sunk moulded timber door to store cupboard with expressed frame above, in the living room (space 1.3)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.26 Original mantel shelf over fireplace in space 1.3 supported on corbelled brick brackets. A cast iron range is set within the fireplace behind the Perspex screen (see **Figure 8.27**)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.27 Original cast iron range in the living room (space 1.3)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.28 Living room (space 1.3) showing the timber double hung sash window and closed string staircase, with stair partition (possibly coke-breeze) on the right—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.29 Cupboard under the stairs (space 1.3) showing the v-jointed timber stair soffit and ledged and sheeted timber door—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.30 Half glazed panel doors with fanlight over, leading from the living room (space 1.3) to the rear porch (space 1.4)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).



Figure 8.31 Original opening to rear porch (space 1.4), infilled with a casement window—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).



Figure 8.32 Half glazed door to bathroom (space 1.4) with original door frame, fanlight, unpainted brickwork and arched door head—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).



Figure 8.33 Bathroom (space 1.5) with modern fitout—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.34 Bathroom (space 1.5) showing the ripple iron ceiling with moulded timber cornice and original timber double hung window—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.35 Detail of the rear sash window (space 1.6—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.36 Decorative plaster wall vent, ripple iron ceiling, timber cornice and picture rail in the rear bedroom (space 1.6)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.37 Rear bedroom (space 1.6) showing original double hung sash window and ripple iron ceiling with cement skirtings and carpeted timber floor—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.38 Rear bedroom (space 1.6) showing the four panel timber door, moulded timber picture rail and cement rendered skirting—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

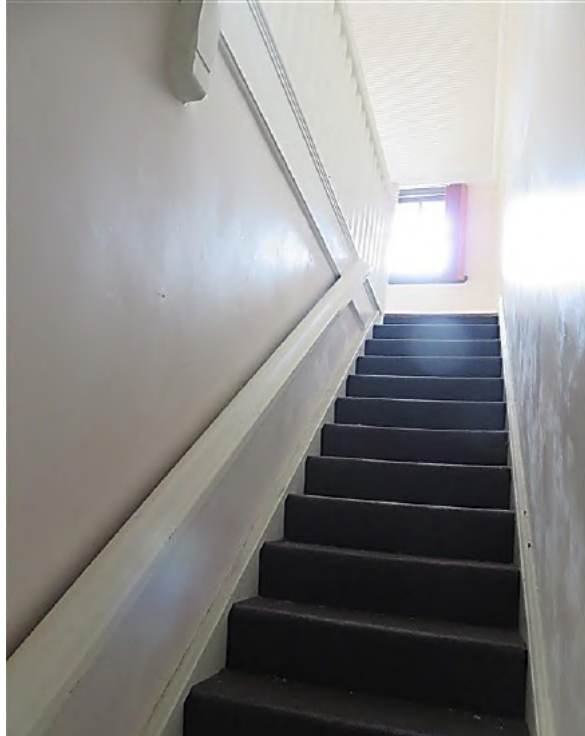


Figure 8.39 Stair (space 1.7) showing original lightweight (possibly coke-breeze) partition, pendant newel, skirting and moulded timber hand rail—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.40 Second floor landing (space 2.1) showing the raked ripple iron ceiling, cross beam, timber floor and cement skirtings to the projecting landing space, with original timber double hung window—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.41 Second floor landing (space 2.1) showing timber floors, balustrade, square newel post, moulded handrail, ripple iron ceiling and cement skirting—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.42 Second floor landing (space 2.1) showing the cement rendered skirting and later half glazed doors to the roof terrace and laundry—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.43 Laundry (space 2.2) showing original raked ripple iron ceiling and modern sash window—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.44 Laundry (space 2.2) with modern flooring, skirting and fitout—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.45 Kitchen (space 2.3) showing modern fitout and ripple iron ceiling with moulded timber cornice. Window matches others in the block but may have been relocated—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.46 Double hung sash window to kitchen (space 2.2), with six lights over two (the window may have been relocated from elsewhere in the building)—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.47 Kitchen (space 2.3) showing original four panel door, with architraves and fanlight above, original floor with later lino tiles and original cement skirtings—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.48 Front room on second floor (space 2.4) showing the original double hung window, ripple iron ceiling, cement skirtings, timber floor and marble chimney piece to fireplace—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.49 Fireplace in the front room on second floor (space 2.4) with early cast iron grate with tiled sides (covered with perspex), and red marble chimney piece—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.50 Original double hung timber window in the front room (space 2.4) flanked by a pair of decorative plaster wall vents—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 8.51 Four panel door and fanlight to space 2.4 with original architraves and original cement rendered skirting with timber quad mould—52A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

8.4.2 Significance Gradings Diagrams for Flat 52A

Figure 8.52 and Figure 8.53 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements are also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 8.1–8.5).

Number 52a—Plans, Gradings of Significance



Figure 8.52 Plans showing gradings of significance—52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

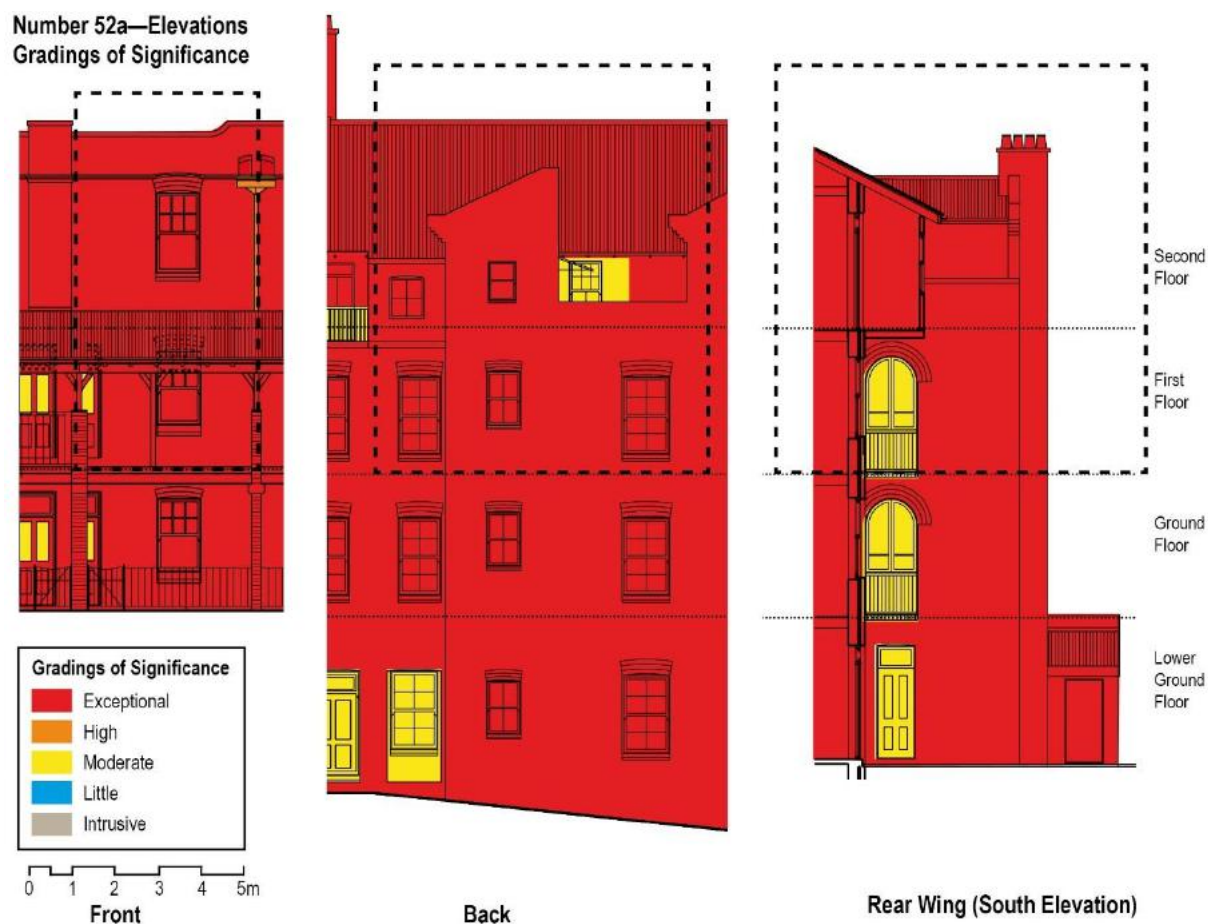


Figure 8.53 Elevations showing gradings of significance—52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

8.4.3 Significant Fabric and Condition—Flat 52A

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 8.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade, curving up to southern party wall	O	E	G
Door threshold	Slate threshold to front doors	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	M 20th	M	G
	Brass knob, bell twist and letterbox	M–L20th	M	G
	Enamel number plate	O ?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O (repairs)	E	G
Gutters and downpipes	Decorative rainwater head and square galvanised steel downpipe (shared with Flat 54A)	E 21 st	H	G

Table 8.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls—east and south elevation	Common brickwork in stretcher bond	O	E	G
Cantilevered bay to second floor	Common brickwork in stretcher bond	L 20 th replacement?	H	G
	Transverse I-beam (shared with Flat 54A) supporting cantilevered second floor landing	L 20 th replacement?	H	G
	Ripple iron lining to soffit	L 20 th replacement?	H	G
Window sills	Chamfered brick	O	E	G
	Timber to window in cantilevered bay	L 20 th	M	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearer (archbar)	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta vents	O	E	G
Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: casement windows and external timber balustrade with fibrous cement back panel	L 20 th	M	G
	Textured glass	L 20 th C	M	G
Gutters and downpipes	Ogee gutters and circular downpipes, galvanised steel	L 20 th / E 21 st	H	G
	Rectangular rainwater heads and square section downpipes, galvanised steel (zinc coated?)	L 20 th / E 21 st	H	G
Service pipes	Copper service pipes to south elevation	L 20 th	H	G

Table 8.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure) E 21 st (roofing)	E H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure) E 21 st (roofing)	E H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade	O	E	G
Chimneys	Face brick with brick on edge capping	O	E	G
	Terracotta chimney pots	L 20 th replacements	H	G
Eaves	Exposed rafter to rear elevation second floor landing, rear wing terrace (covered area) and laundry.	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes and spreaders	L 20 th	M	G

Table 8.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Roof structure	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
	Timber rafters, purlins and beam	O	E	G
Structure	Face brick piers	O	E	G
	Timber verandah posts and brackets	O	E	G
Balustrade	Wrought iron palisade	O	E	G
Space E.1—Roof Terrace				
Roof (including cappings and flashings)	Roof structure, including exposed rafters at eaves	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
Walls	Brick balustrade with brick-on-edge coping, evidence of former garbage chute opening which is blocked up	O	E	G
	Common brickwork to walls around terrace, including chimney flue	O	E	G
	Brick infill to former external WC	L 20 th	M	G
	Timber weatherboards to roof terrace access doors	L 20 th	M	G
	Corrugated steel awning	L 20 th	M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round to covered area	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Door set	Half-glazed double doors to access the terrace including door furniture	L 20 th	M	G
Paving	Modern concrete/ceramic	Early 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	Early 21 st	L	G/F
Services	Hot water tank	Early 21 st	L	Not tested
	Light fittings	Early 21 st	L	Not tested
	Metal clothes hoist	Late 20 th	L	F

Table 8.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Beaded transverse beam	O	E	G
Door set	Refer to adjoining spaces	-	-	-
Fanlight	Pivot fanlight over doorway to living room	O	E	G
	Reproduction mechanism	E 21 st	M	G
Architraves	None to front door	O	E	G
	Moulded timber architrave to doorway to front room (space 1.2)	O	E	G
	Expressed timber door frame to entrance door and living room door (space 1.3)	O	E	G
Other	Light fittings	L 20 th	L	Not tested

Space 1.2—Front Bedroom

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Fireplace/Hearth	Chimney flue against northern wall (no fireplace)	O	E	G
Door set	Four-panel sunk moulded door in original frame Door furniture	O L 20 th	E L	G G
Fanlight	Pivot fanlight over doorway Reproduction fanlight mechanism	O E 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	E 21 st L 20 th	L L	G Not tested
Space 1.3—Living Room				
Floor	Timber boards on timber joists Carpet	O, E 21 st repairs E 21 st	E L	G G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado Light weight partition (possibly concrete with fly ash) to south side of room	O O O	E E E	G G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace Concrete hearth Stone/concrete (?) mantel shelf supported on corbelled brick brackets Cast iron cooking range Perspex cover	O O O O L 20 th	E E E E I	G G G G, not functional G
Door set	Expressed timber door frame to space 1.1 with fixed panel above fanlight, fanlight intact and door missing Frame and pair of half glazed timber double doors to space 1.4 with sunk moulds to lower panels and two glass panes per door Expressed timber door frame and four panel door with sunk moulds and ventilation holes to storage cupboard in north wall Ledged and sheeted timber door with ventilation holes and original strap hinges to stair cupboard Door furniture generally	O O O O L 20 th	E E E E L	G G G G G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over doorway to Space 1.1	O	E	G
	Three-light pivot fanlight over doors to rear porch	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber architrave to porch doors and window	O	E	G
	Expressed timber frames to doorway to Space 1.1 and to wall cupboard and stair cupboard	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	Early 21 st	L	Not tested

Space 1.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	L 20 th	E	G
	Original floor below (construction unknown)	O	E	unknown
	Slate door threshold to door to space 1.3	O	E	G
	Carpet	E 21 st	L	G
Skirting	Moulded timber	L 20 th	L	G
Walls	Brick walls	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over doors	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Infill to arched porch opening	Timber V-jointed vertical boarding and handrail	L 20 th	M	G
Window joinery	Pair of casement windows with textured glass, green glass in bottom panes, and chain winder	L 20 th	M	G
Architraves	None, expressed frames	O	E	G
Wall vent	Decorative plaster (to bathroom wall)	L 20 th	M	G
Other	Light fittings	L 20 th	L	F

Space 1.5—Bathroom

Floor	10cm ceramic tiles	E 21 st	L	G
	Original timber joists and boards beneath	O, E 21 st	E	unknown
Skirting	Ceramic tile	E 21 st	L	G
Walls	Painted render/plaster	O	E	G
	Modern ceramic tile	E 21 st	L	F
Ceiling	Ripple iron	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Door set	Half-glazed door in original frame to porch, four glass panes above one panel with sunk moulds	E 21 st	M	G
	Door furniture	E 21 st	L	G
Fanlight	Pivot fanlight over doorway (no mechanism)	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Window joinery	Timber double hung sash window with timber box frame, architrave and sill board	O?	E	G
Architraves	Moulded timber	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services Lighting	L 20 th / E 21 st L 20 th	L L	G/F Not tested

Space 1.6—Rear Bedroom

Floor	Timber boards on timber joists Carpet	O Early 21 st	E L	G F
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado Part of chimney flue in NE corner	O O O	E E E	G G G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel sunk moulded door in original frame (entry from porch, no fanlight) Door furniture	O L 20 th	E L	G G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	Light fittings	L 20 th	L	Not tested

Space 1.7—Stairs

Floor	Timber Carpet	O L 20 th	E L	G G
Walls	Painted set plaster above dado, cement render below dado to south side Light weight partition (possibly concrete with fly ash) to north side of stair	O O	E E	G G
Stairs	Timber stair with closed strings and moulded handrail, and V-joint boarding soffit Moulded timber handrail on metal brackets mounted on timber roses	O O	E E	G G

Space 2.1—Landing/Stair Hall

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Moulded timber to north wall and wall to northern portion of hall Timber quad mould	O L 20 th E 21 st	E L L	G G G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Walls	Painted set plaster, cement render below dado (south, east and west walls)	O	E	G
	Light weight partition to north wall and wall onto terrace (space E.1)	L 20 th	M	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam over head of stairs	O	E	G
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O ? (possibly relocated ?)	H	G
Architraves	Moulded timber	O	E	G
Stair	Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters	O	E	G
Other	Light fittings	L 20 th	L	Not tested
	Ceiling access hatch and architrave	O	E	G

Space 2.2—Laundry

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Tiling	E 21 st	L	G
Skirting	Modern tiles	E 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Moulded timber quarter round	O	E	G
	Rendered brick corbel	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Reproduction half glazed door with sunk lower panel and single glass panel (entry from landing).	L 20 th	M	G
	Modern door furniture	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sill board and moulding	L 20 th	M	G
Architraves	Moulded timber	L 20 th	M	G
Wall vent	Decorative plaster	O	E	G
Other	Water services, sink	Early 21 st	L	G
	Electrical fixtures	L 20 th / Early 21 st	L	G

Space 2.3—Kitchen

Floor	Timber boards (?) on timber joists	O, E 21 st repairs	E	unknown
	Vinyl covering	E 21 st	L	F

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render Moulded timber to south wall	O L 20th	E M	G G
Walls	Painted set plaster/cement render Light weight partition to south wall, with plasterboard lining	O L 20th	E M	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Chimney flue in southwest corner (no fireplace)	O	E	G
Door set	Four panel sunk moulded door in original frame (entry from landing). Door furniture	O, possibly relocated L 20th	E L	G G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O, possibly relocated L 20th	E M	G G
Window joinery	Timber double-hung sash window (6 panes over 2 panes), timber box frame, sill board and moulding—original opening altered	L 20th	M	G
Architraves	Moulded timber	L 20th	M	G
Other	Fit-out TV/communications service point in floor with brass cover plate Light fittings	L 20th / E 21st L 20th / E 21st E 21st	L L L	G Not tested Not tested

Space 2.4—Dining Rom

Floor	Timber boards on timber joists	O, E 21st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O E 21st	E L	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	L 20th	E	G
Fireplace/Hearth	Marble chimney piece and cast iron fire box with tiled side panels Concrete hearth	O ? O	E E	G G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Door furniture	O L 20th	E L	G G
Fanlight	Pivot fanlight over door Reproduction fanlight mechanism	O L 20th	E M	G G
Window joinery	Timber double-hung sash windows, timber box frames and sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	F

8.5 Priority Conservation Works

8.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the *Heritage Act 1977(NSW)* (the Heritage Act).

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

8.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

8.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 52A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Investigate possible causes of damp in walls. Undertake appropriate remedial action as required in consultation with heritage consultant.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)*External works:*

- Check over, service and repair as necessary existing exterior joinery and glazing.
- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing internal doors with four panel doors to original configuration and detail.
- Repair broken or replace missing fanlights. Rehang fanlights that have dropped off pivots.
- Repair or replace broken door and fanlight hardware.
- Ease and adjust window sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)*External works:*

- n/a

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.

Low (within six years)*External works:*

- n/a.

Internal works:

- Paint interiors

- Oil floors with natural tung oil

8.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

8.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

8.7 Specific Conservation Policies for Flat 52A

There are no specific policies for Flat 52A that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 52A must comply with the conservation policies set out in Part 1 Section 9.0.

8.8 Areas for Possible Change for Flat 52A

Areas for possible change within the flat at 52A Gloucester Street are shown on Figure 8.55 and Figure 8.55.

Number 52a—Plans, Areas for Possible Change

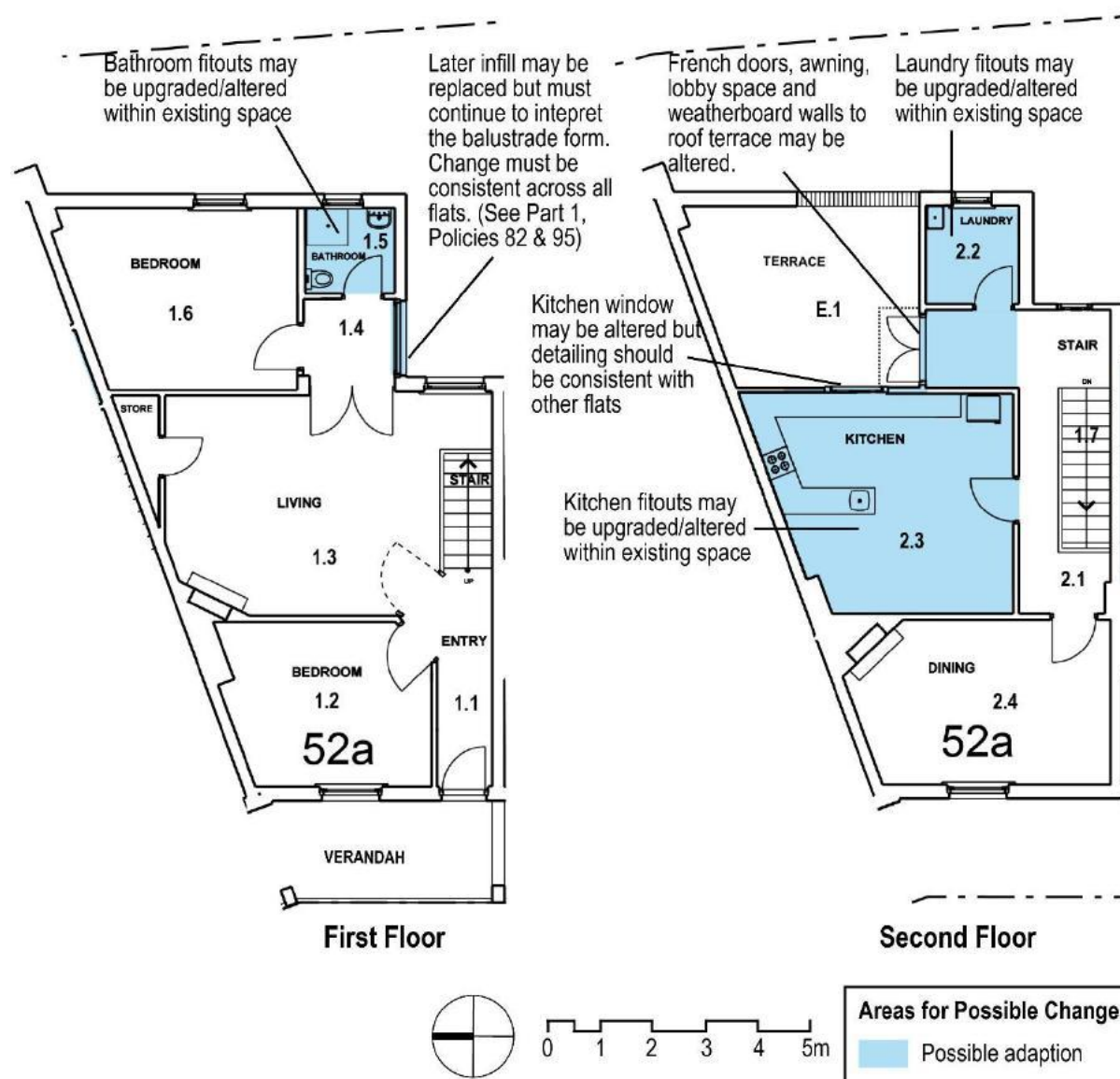


Figure 8.54 Plans showing areas for possible change—Flat 52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 52a—Elevations
Areas for Possible Change

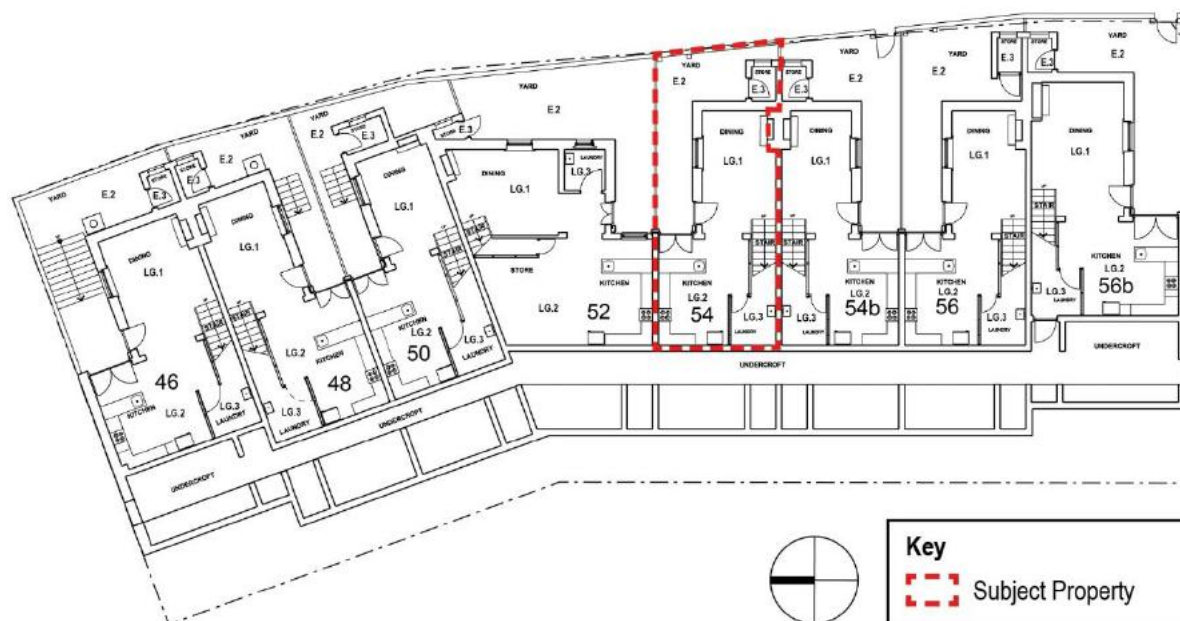


Figure 8.55 Elevations showing areas for possible change—Flat 52A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

9.0 Flat 54 of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 54 Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 9.1 shows the location of the flat in the building. Figure 9.2 and Figure 9.3 show the configuration of Flat 54.

Number 54—Property Plan, Lower Ground Floor



Number 54—Property Plan, Ground Floor

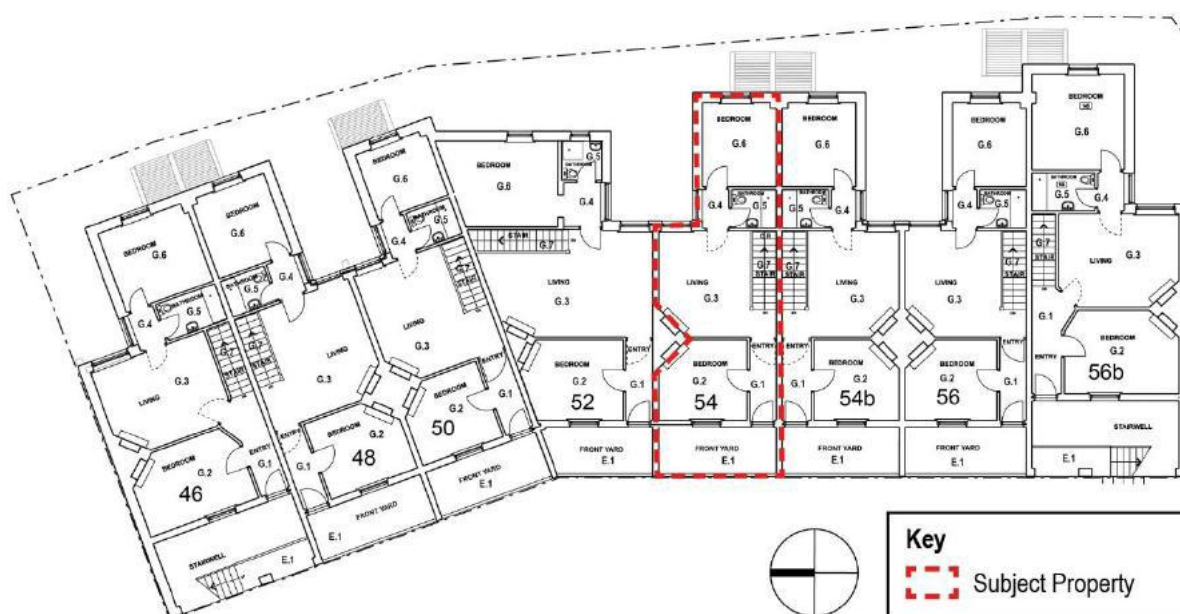


Figure 9.1 Location plan—Flat 54 / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 54—Plans

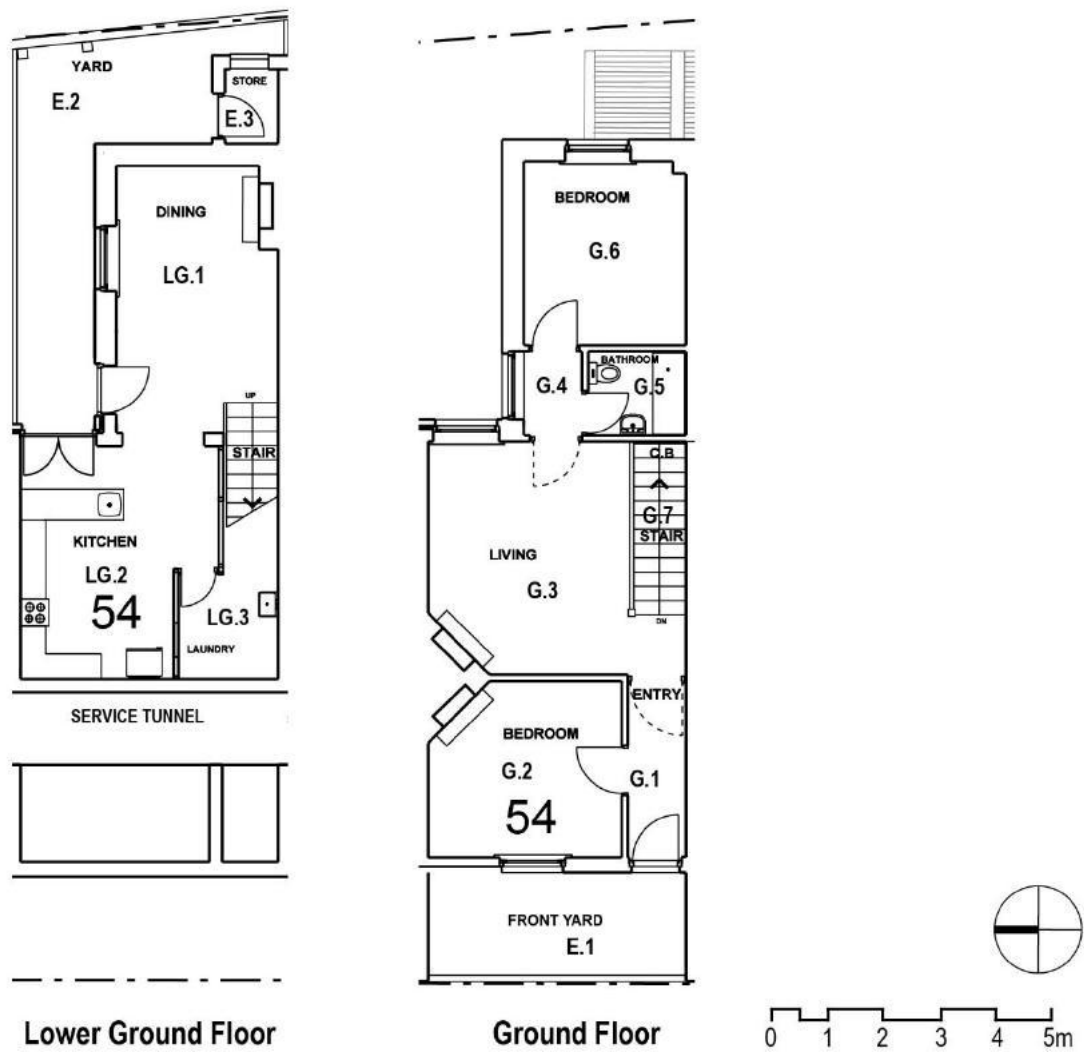


Figure 9.2 Plans of Flat 54 / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 54—Elevations



Figure 9.3 Elevations of Flat 54 / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

9.1 Summary of Heritage Significance

Flat 54 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

9.2 Physical Description of Flat 54

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

9.2.1 Typology

Flat 54 is one of eight maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 54 is a Type 1 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 1 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens

to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 to another.

9.2.2 External

The flat is separated from adjoining flats (Flats 52 and 54B) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56b) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 9.6). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 9.8).

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 9.33 and Figure 9.36). The yard is on one level. It has an external (former) WC (space E.3) and a reconstructed traditional timber clothes hoist inside the fence. There is no private access from Cambridge Street.

At the rear, the property shares rainwater services with Flat 54A above (steel square section downpipes) (Figure 9.36)

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 9.8). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 9.8). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, a central brass knob, letterbox, spyhole, enamelled number plaque and modern night latch (Figure 9.7, **Figure 9.9**). There is a pivot fanlight over. The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a six-over-one double hung sash window, and has a chamfered brick sill. The door has a slate threshold (Figure 9.10)

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 9.37 and Figure 9.39). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window frame facing Cambridge Street, though all the louvre glazing is missing.

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 9.35). The exception is the round-arched window of the former rear porch, which faces towards the rear wing of Flat 52 (Figure 9.35). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber

casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a solid timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 9.34).

9.2.3 Internal—Ground Floor

As with other Type 1 flats, entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the living room with pivot fanlight over. In Flat 54 the door between the hall (space G.1) and the living room (space G.3) has been removed, although the frame and fanlight survive (Figure 9.11). The front bedroom (on the right) has a carpeted timber floor, cement run skirtings, timber cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and one double-hung timber sash window (six lights over one) (Figure 9.12 and Figure 9.13). It has a corner fireplace with cast iron chimney piece, with concrete hearth.

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figure 9.14 and Figure 9.15). There is a painted timber balustrade with square balusters to the staircase giving access to the lower ground floor.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway with fanlight over. The former porch (space G.4) has a carpet-covered, timber floor, painted unrendered brick internal wall faces, and modern and original timber skirting (Figure 9.16). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under.

The bathroom (space G.5) has a modern fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figure 9.17 and Figure 9.19). The bathroom has an original half-glazed timber door and pivot fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber cornice, scroll pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figure 9.20)

9.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, original timber handrail and balustrade (to the lower section), newel posts, timber skirtings and stringers (Figure 9.21–Figure 9.23). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 9.25). The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original fireplace (boarded-out and converted to shelving) with concrete hearth, scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall. Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained (Figure 9.29 and Figure 9.30). The laundry

(space LG.3) has been divided from the kitchen by a modern partition wall. It has rendered and painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 9.31 and Figure 9.32).

9.3 Phases of Development

Figure 9.4 and Figure 9.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 54—Phases of Development, Plans

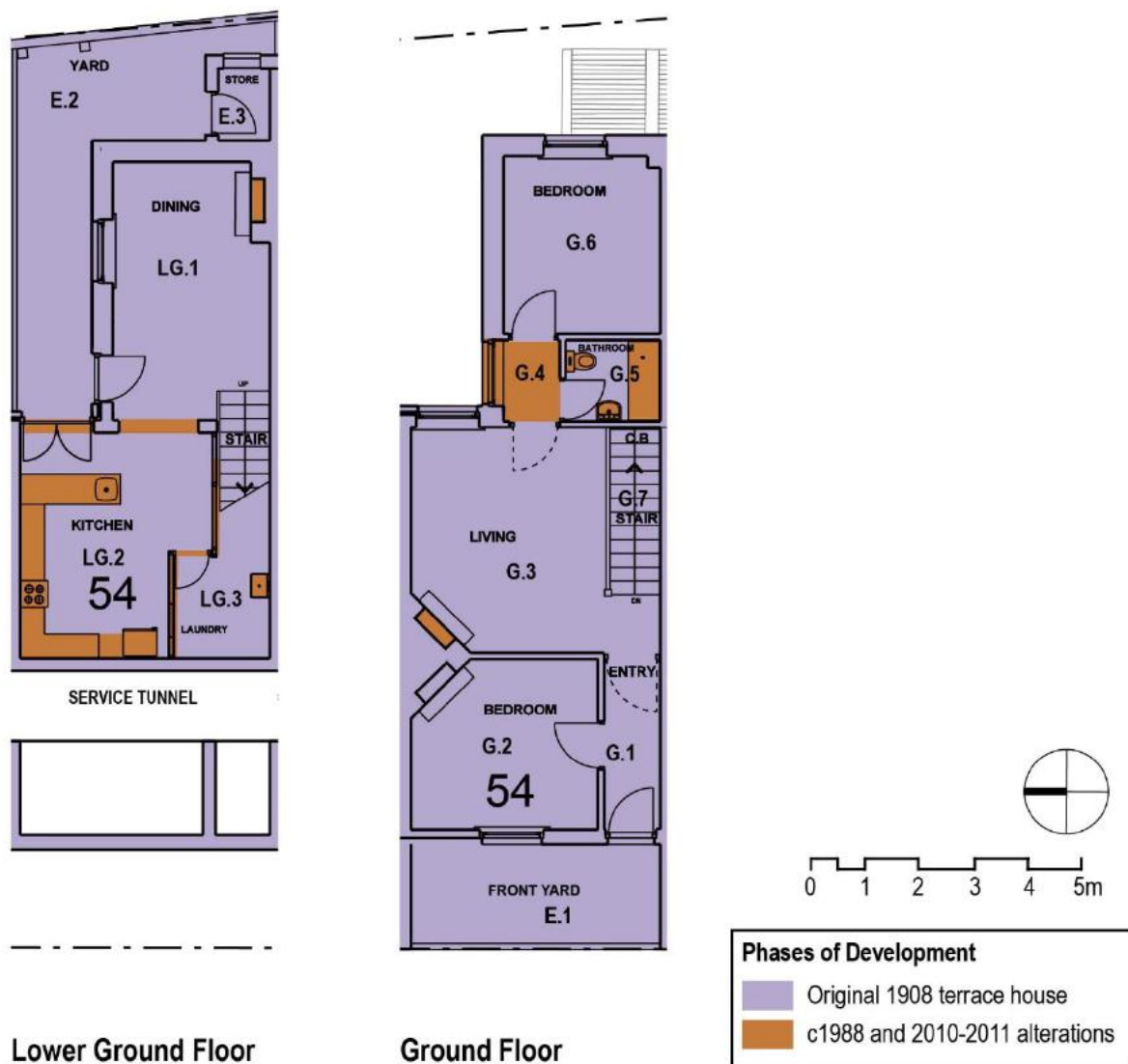


Figure 9.4 Plans showing phases of development—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 54—Elevations Phases of Development



Figure 9.5 Elevations showing phases of development—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

9.4 Significant Components of Flat 54

As with all the flats at 46–56 Gloucester Street, Flat 54 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 54.

9.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures Figure 9.6Figure 9.39) document the elements and spaces of 54 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 9.6 overall western façade of 46–56 Gloucester Street.
(Source: GML Heritage, November 2015)



Figure 9.7 The four-panel front door with bolelection moulds to bottom panels and wired glass to top panels, fanlight above, dark brick surround and slate threshold—54 / 46–56 Gloucester Street.
(Source: GML Heritage, July 2016)



Figure 9.8 Front porch (space E.1) showing external brick walls, timber entry door with fanlight, wrought iron fence and gate, double-hung window with chamfered brick sill—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.9 The original door knob and letter slot on front door—54 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 9.10 Slate threshold—54 / 46–56 Gloucester Street.
(Source: GML Heritage, November 2015)



Figure 9.11 The entry (space G.1) showing modern carpeting over timber floors, cement run skirtings, and timber door frame with fanlight to the living room (space G.3)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.12 Four-panel timber door with fanlight above and reproduction mechanism between the front bedroom (space G.2) and entry (space G.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.13 Front bedroom (space G.2) showing modern carpeting over timber floors, rendered wall finishes, rendered cement skirting and original cast iron chimney piece and grate—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.14 The living room (space G.3) showing cement run skirtings, timber cornice, picture rail and timber double-hung sash window—54 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 9.15 Corner fireplace (blocked up) in the living room (space G.3)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.16 Infilled former rear porch opening (space G.4), with unrendered painted brick walls, arched modern casement window and modern T&G boarding below—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.17 Half-glazed timber door to the bathroom (space G.5)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.18 Former infilled porch (space G.4) showing the plaster ceiling and brick arches above the doorways—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.19 Bathroom (space 1.5) showing the plaster ceiling, timber cornice and decorative plaster wall vent—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.20 Rear bedroom (space G.6) showing cement rendered skirting and original four-panel sunk moulded timber door and architraves—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

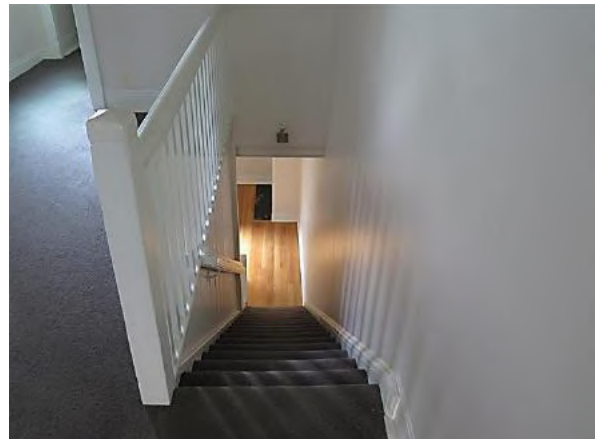


Figure 9.21 Stair with modern carpeting (space G.7) showing original timber handrail and modern T&G boarding—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.22 Stair with modern carpeting (space G.7) showing original timber handrail and modern T&G boarding—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.23 Original stair at lower ground-floor level with closed string, simple square balusters and newel post and moulded handrail (space G.7/ LG.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.24 Shelving in original fireplace at lower ground-floor level (space LG.1)— Flat 54)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.25 Steel beams supporting walls above and ripple iron ceiling (space LG.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.26 Four panel sunk-moulded external door on lower ground-floor level (space LG.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.27 Lower ground-floor level timber double hung sash window with rendered reveals (space LG.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.28 Original lock on lower ground-floor level door (space LG.1)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).



Figure 9.29 Kitchen showing modern fit-out and later laundry partitions (space LG.2)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.30 Original ripple iron ceiling in kitchen and modern light fixture (space LG.2)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.31 Laundry (space LG.3) showing boarded soffit to stair, newel pendant and ripple iron ceiling. (Source: GML Heritage, July 2016)



Figure 9.32 Laundry (space LG.3) showing modern fit-out—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.33 Paved rear yard with modern timber fencing and reconstructed laundry hoist (space E.2)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.34 Rear door thresholds and yard paving to space E.2—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.35 Rear wing and rear façade showing copper service pipes and later porch opening infill—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.36 Paved rear yard (space E.2) showing rear façade and service pipes, part of reconstructed laundry hoist and later double doors—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.37 External WC (space E.3) with skillion roof, timber boarded door and brick parapet—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.38 Original terracotta subfloor vent—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 9.39 Interior of WC showing rendered painted brick (space E.3)—54 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

9.4.2 Significance Gradings Diagrams for Flat 54

Figure 9.40 and Figure 9.41 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 9.1–9.4).

Number 54—Plans, Gradings of Significance

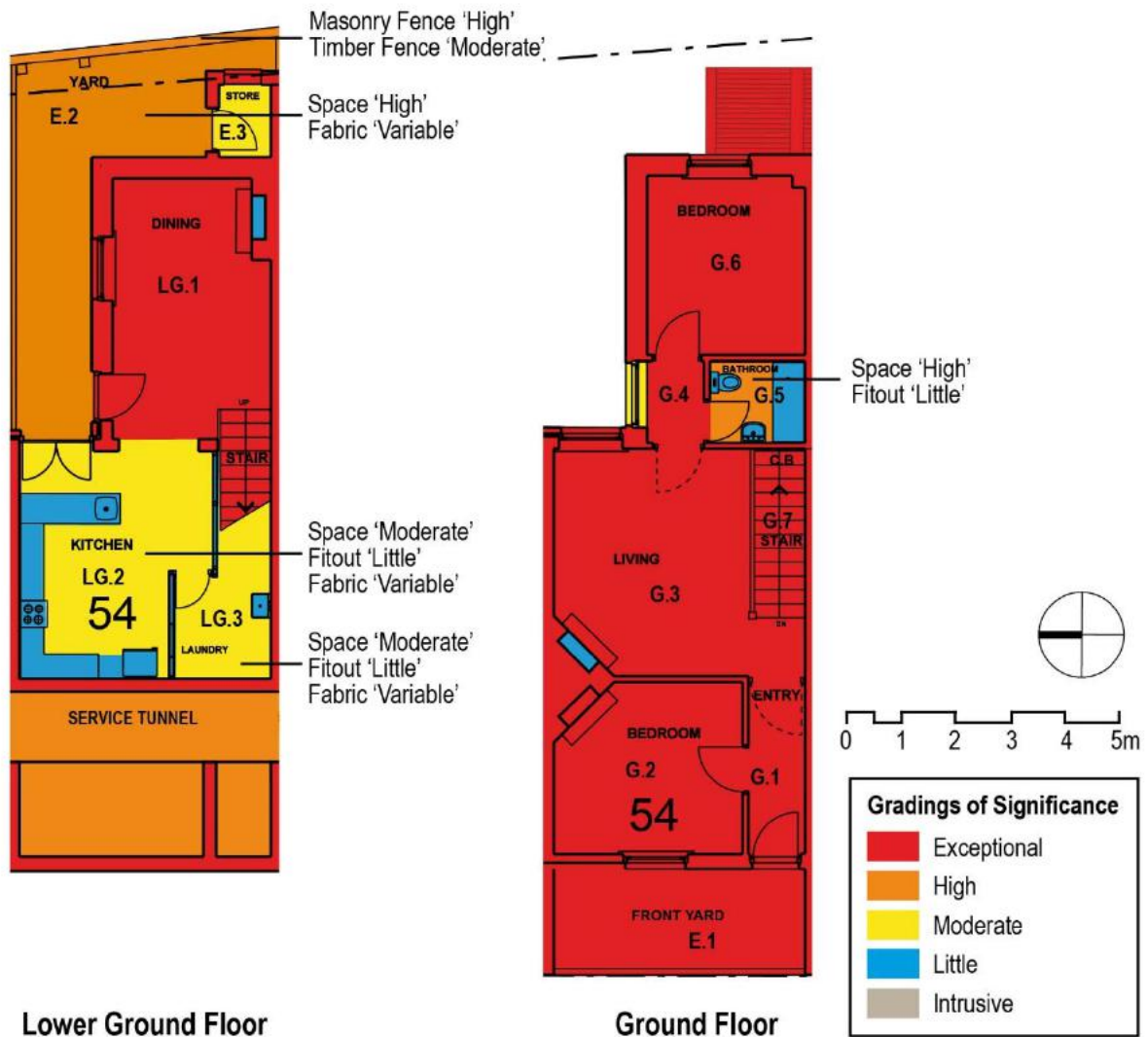


Figure 9.40 Plans showing gradings of significance—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 54—Elevations
Gradings of Significance

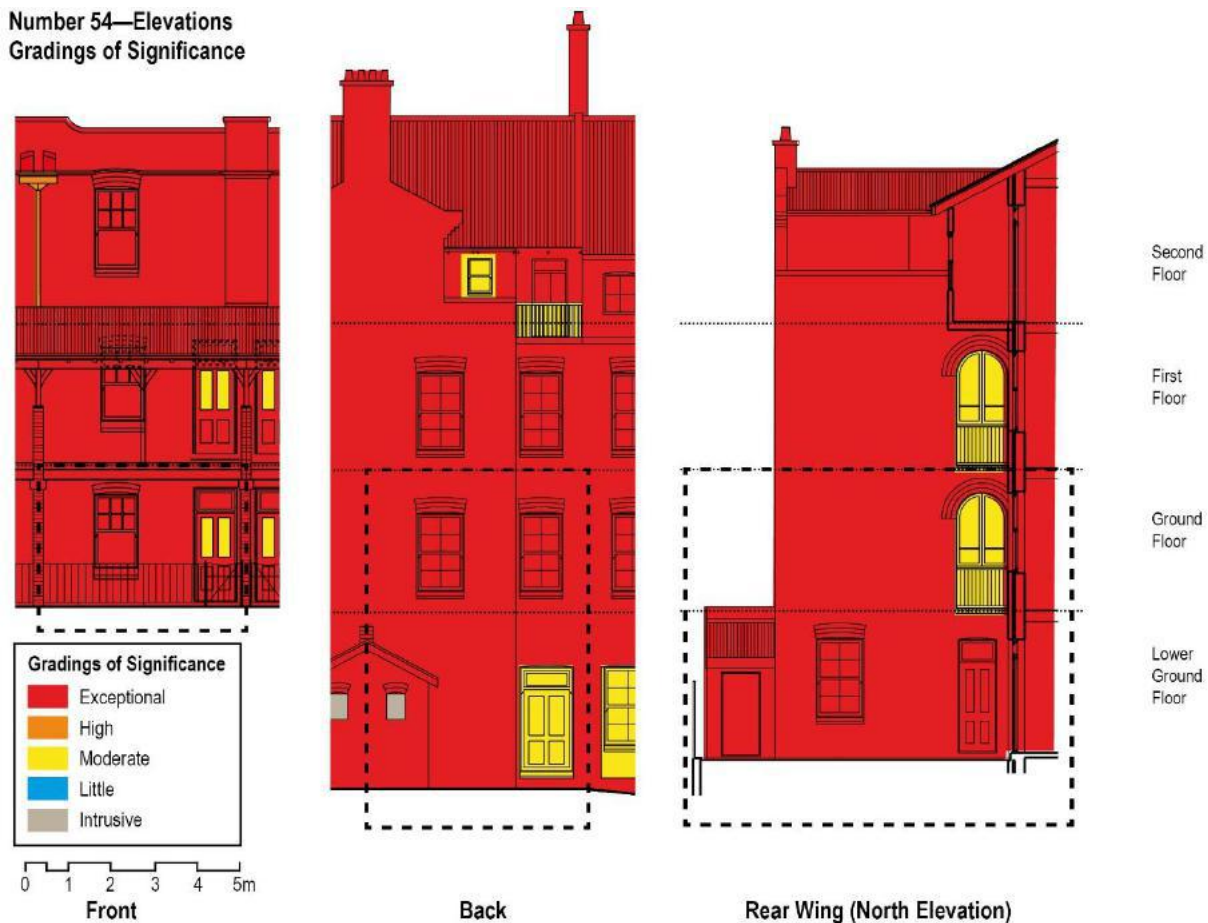


Figure 9.41 Elevations showing gradings of significance—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

9.4.3 Significant Fabric and Condition—Flat 54

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 9.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th / E 21 st	M	G
	Brass faceted knob, enamelled number plaque, spyhole and letterbox	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O / some later repairs)	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 9.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G/F
Gutters and downpipes	Steel downpipes	E 21 st	H	G
	Cast iron square downpipes	O	E	G
	Copper service pipes to south and east elevation	L 20 th	E	G
Door threshold	Concrete thresholds to rear doors	L 20 th	M	G
Door set	Four-panel sunk moulded rear main door	O	E	G
	Half-glazed French doors with top hung fanlight to rear yard from kitchens	L 20 th	M	G
	Door furniture	O / L 20 th	E/H	G
Fanlight	Central pivot fanlight over rear main door	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G

Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	E	F
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 9.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Fence—east	Timber paling (including small section of modern fence between 54 & 54B)	L 20 th	M	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence—north (shared)	Timber paling	L 20 th	M	P
Paving	Brick pavers	L 20 th	L	F/P
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Chute removed. Evidence of concrete table including chase in brickwork	O	E	G
Clothes hoist	Timber post-beam hoist frame and pulleys	L 20 th Reconstr.	H	F
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: Early 21st	Form: O Sheeting: H	P
Eaves and verges	Exposed rafter, timber bargeboard	O	E	F
Door set	Ledged and braced timber door with strap hinges	O	E	G
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber fixed louvre frame (glass missing)	O	E	F
Window heads	Common brick arch with hoop iron lintel bar	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G

Table 9.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
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Space G.1—Entrance Hall

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	unknown
	Carpet	Early 21 st	L	F
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Architraves	Moulded timber architrave to doorway to living room (no door)	O	E	G
Fanlight	Pivot fanlight over doorway to living room	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Other	Light fittings	L 20 th	L	Not tested

Space G.2—Front Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	unknown
	Carpet	Early 21 st	L	F
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Fireplace/Hearth	Cast iron fire surround (painted) and grate, red tiled margins.	O	E	G
	Perspex cover to grate	Early 21 st	L	F
	Concrete hearth	O	E	G
Door set	Four-panel sunk moulded door in original frame (entry from hall)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window (six-over-one), inc. original glass, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Space G.3—Living Room

Floor	Timber boards on timber joists Carpet	O with Early 21 st repairs Early 21 st	E L	G F
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G/F G/F
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill rendered and skirted over Concrete hearth (covered by carpet)	O L 20 th O	E L E	unknown G unknown
Door set	Door frame Door leaf removed to rear porch	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O Early 21 st	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit under	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level) Carpet Timber step treads with nosings from adjacent rooms (covered)	O/L 20 th Early 21 st O	E L E	unknown F unknown
Skirting	Timber, under window Timber, against bathroom wall	L 20 th O?	L E	G G
Walls	Painted unrendered brick	L 20 th	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Wall vent	Grill pattern (to bathroom wall)			
Space G.5—Bathroom				
Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
Ceiling	Fire rated plasterboard (possibly with orig. ripple iron behind)	L 20 th	L	G
Cornice	Timber	L 20 th	L	G
Door set	Half-glazed panel door with textured glass in original frame to porch	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber inside space G.5	O	E	G
Fanlight	Pivot fanlight (non operable, no mechanism)	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F
Space G.6—Rear Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Reproduction four-panel sunk moulded door in original frame (entry from porch, no fanlight)	L 20 th / Early 21 st	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Grill pattern	O	E	G
Other	Light fittings	L 20 th	L	F
Space G.7— Stairs				

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Floor	Timber	O possibly with L 20 th repairs	E	G
	Carpet	L 20 th	L	G
Stairs	Timber stair and balustrade with stop chamfered square newel posts, profiled handrail (balustrade side only) and square-section balusters, pendant newels (to laundry space) and timber skirting	O	E	G
	Boarded soffit to stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado Vertical T & G boarded lining behind handrail to staircase	O	E	G

Space LG.1—Dining Room

Floor	Timber boards on timber joists (possibly boards and joists replaced in 2011)	O or Early 21 st	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
	Larger timber quarter round to one of the recessed RI ceilings	O (re-used?)	H	F
Ceiling	Ripple iron	O, possibly with L 20 th adaptation	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)		E	G
Fireplace and chimney piece	Vertical boarded alcove	L 20 th	L	G
	Concrete hearth	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G

Space LG.2—Kitchen

Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Plasterboard partitions	L 20 th	L	G
	Large opening	L 20 th	M	n/a
Cornice	Timber/timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Architraves	Moulded timber to double doors	L 20 th	L	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Other	Kitchen fit-outs and services	L 20 th or Early 21 st	L	F
	Light fittings	L 20 th or Early 21 st	L	F
Space LG.3—Laundry				
Floor	Concrete slab	O	E	G
	Ceramic tiles	L 20 th	L	G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Paint	Early 21 st	L	G
	Original brick	O	E	G
	Render	L 20 th ?	H	G
	Timber stud and plasterboard partitions	L 20 th	L	G
Cornice	Timber quarter round	O and L20 th	L/H	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	L	G
Architraves	Timber door architrave	L 20 th	L	G
Door set	Reproduction half-glazed timber panel door	L 20 th	L	G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th /Early 21 st	L	G

9.5 Priority Conservation Works

9.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

9.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

9.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 54 should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.
- Repair/replace side fence.
- Remove weeds and rubbish, and apply herbicide to rear yard.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Reinstate louvred glazing to external WC
- Check and repair paving to rear yard.
- Repair stone retaining wall to Cambridge Street
- Inspect and clean storm water system, provide gratings

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Patch and paint decayed interior wall finishes.

Medium (Within Two to Four Years)*External works:*

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)*External works:*

- n/a.

Internal works:

- n/a.

9.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

9.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

9.7 Specific Conservation Policies for Flat 54

There are no specific policies for Flat 54 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 54 must comply with the conservation policies set out in Part 1 Section 9.0.

9.8 Areas for Possible Change for Flat 54

Areas for possible change within the flat at 54 Gloucester Street are shown on Figure 9.42 and Figure 9.43.

Number 54—Plans, Areas for Possible Change

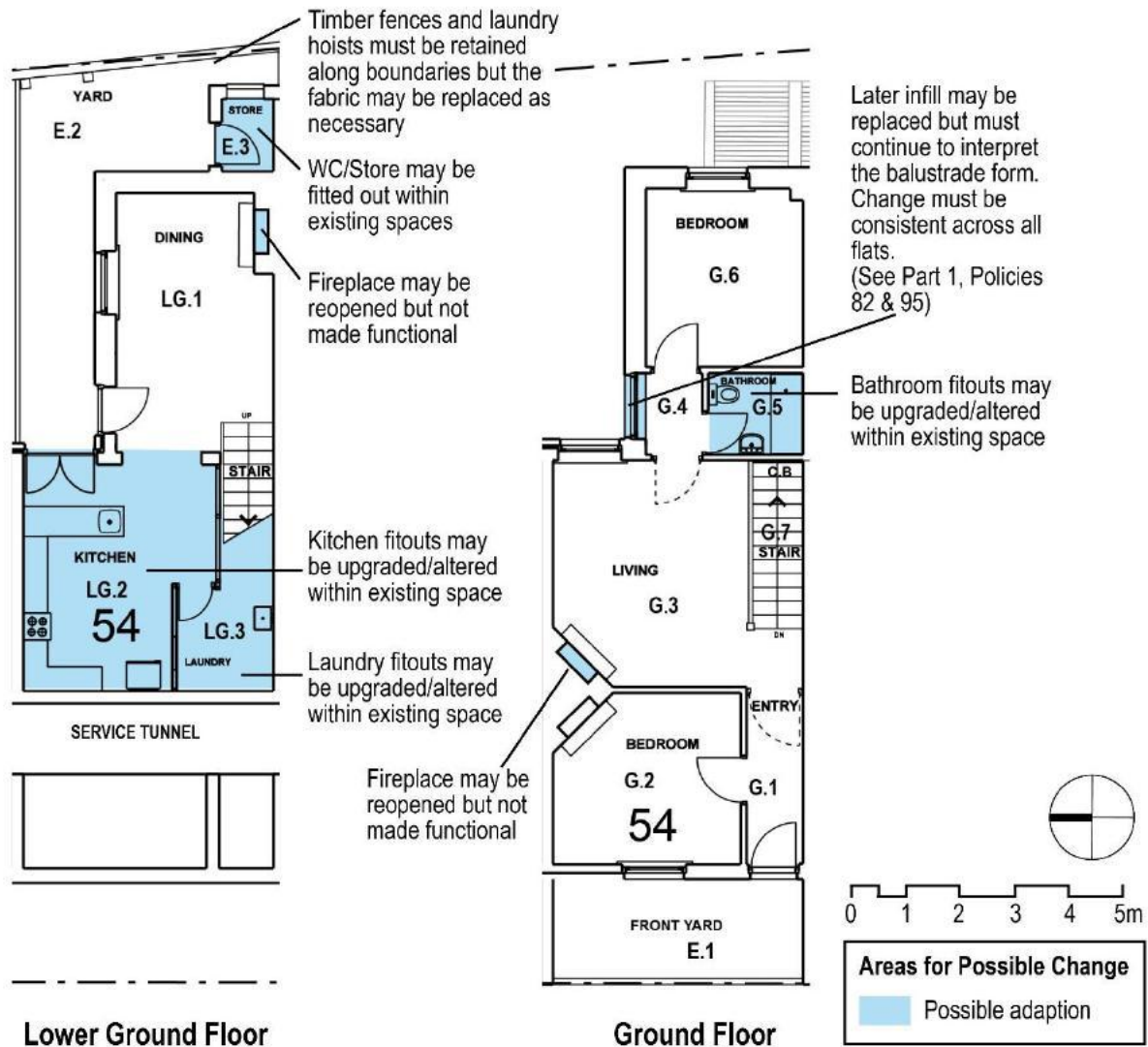


Figure 9.42 Elevations showing areas for possible change—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

**Number 54—Elevations
Areas for Possible Change**

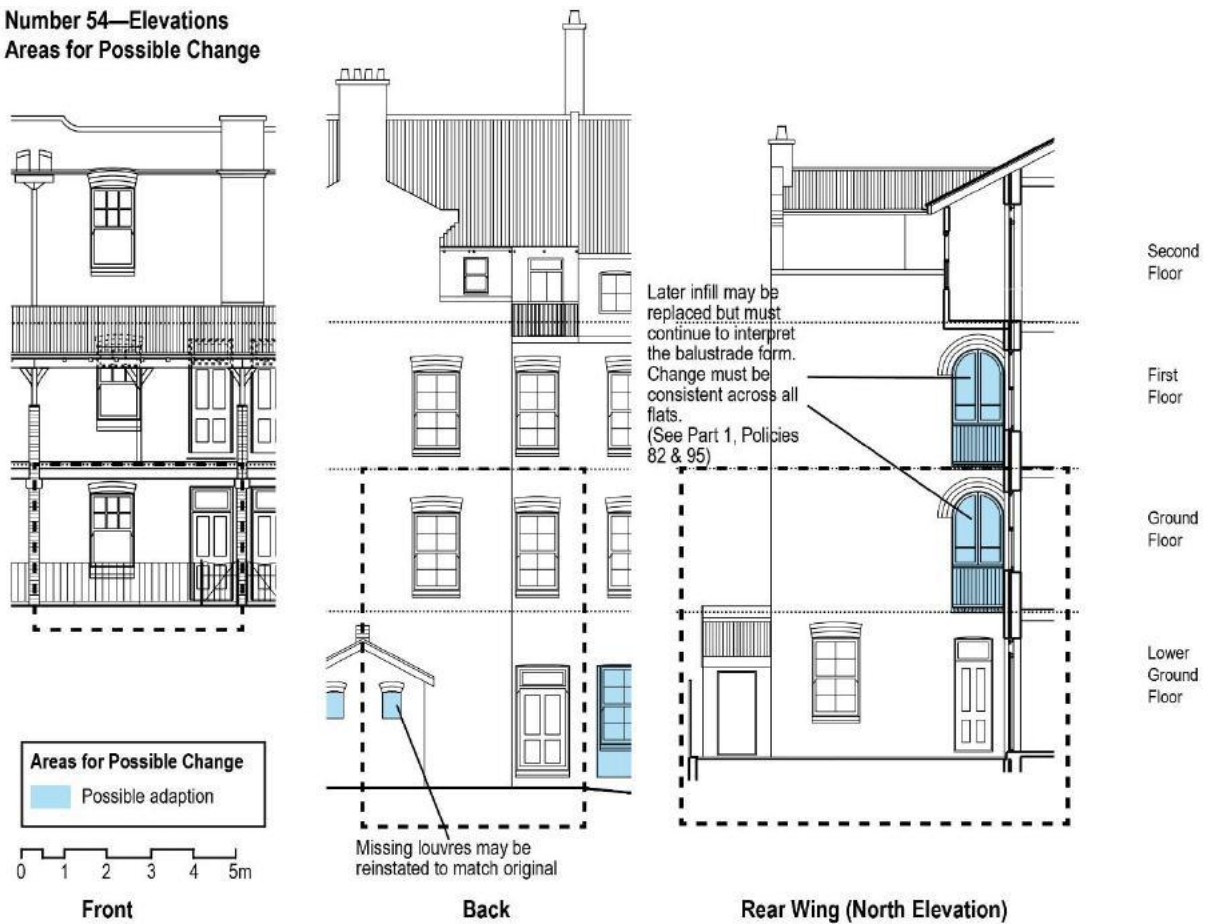
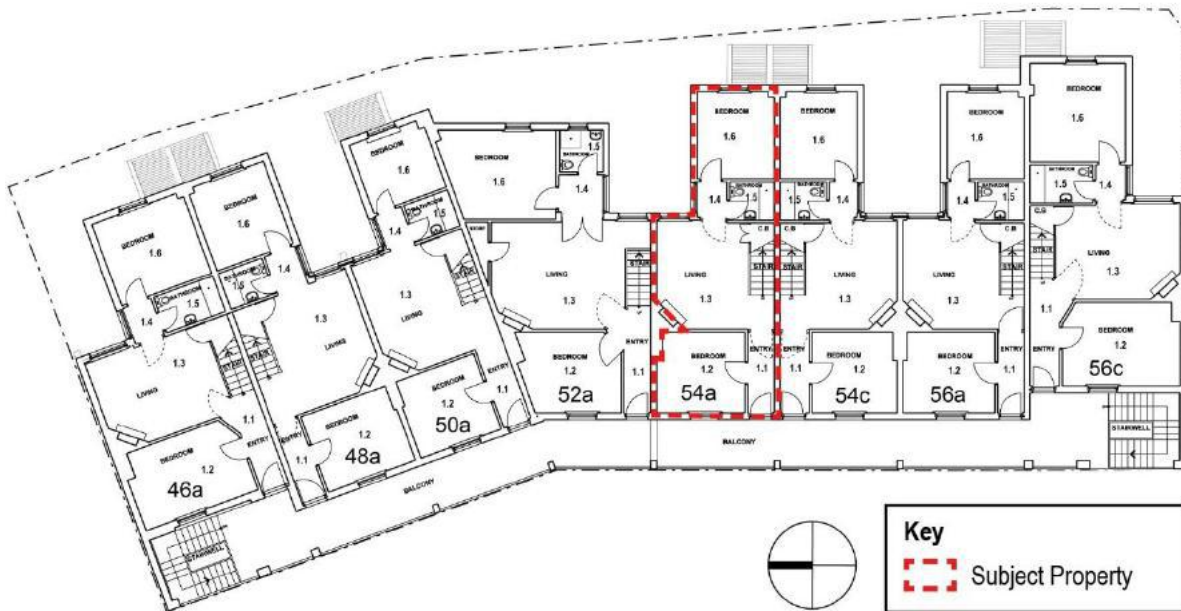


Figure 9.43 Plans showing areas for possible change—Flat 54 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

10.0 Flat 54A of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 54A Gloucester Street. It should be read in conjunction with the preceding sections. Figure 10.1 shows the location of the flat within the building. Figure 10.2 and Figure 10.3 show the configuration of Flat 54A.

Number 54a—Property Plan, First Floor



Number 54a—Property Plan, Second Floor

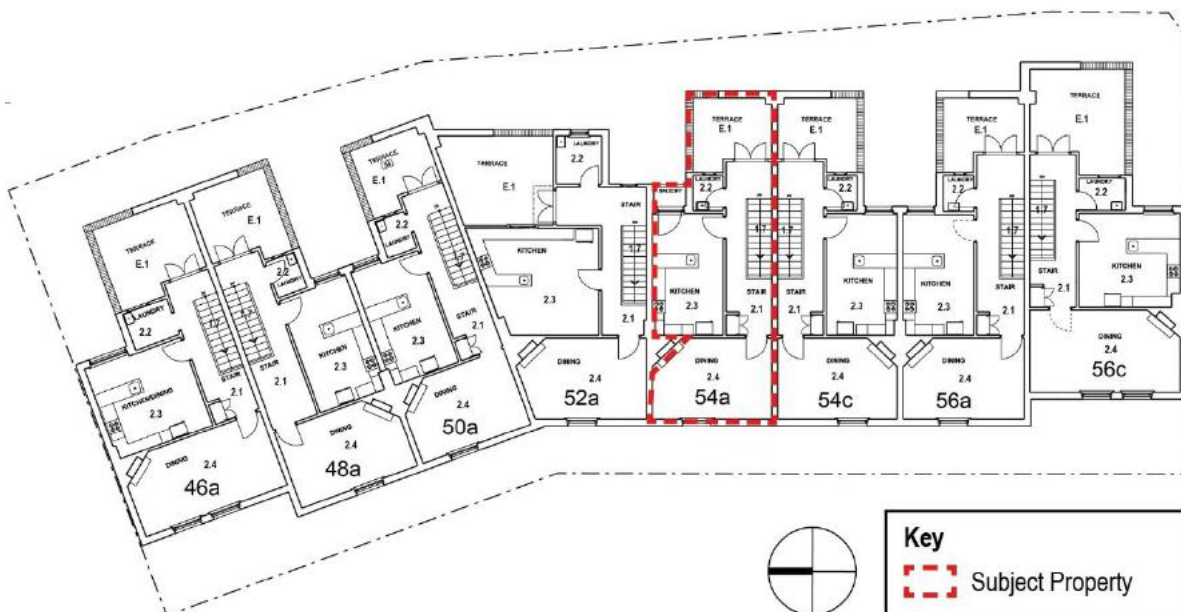


Figure 10.1 Location plan—Flat 54A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 54a—Plans



Figure 10.2 Floor plans of Flat 54A / 46-56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 54a—Elevations

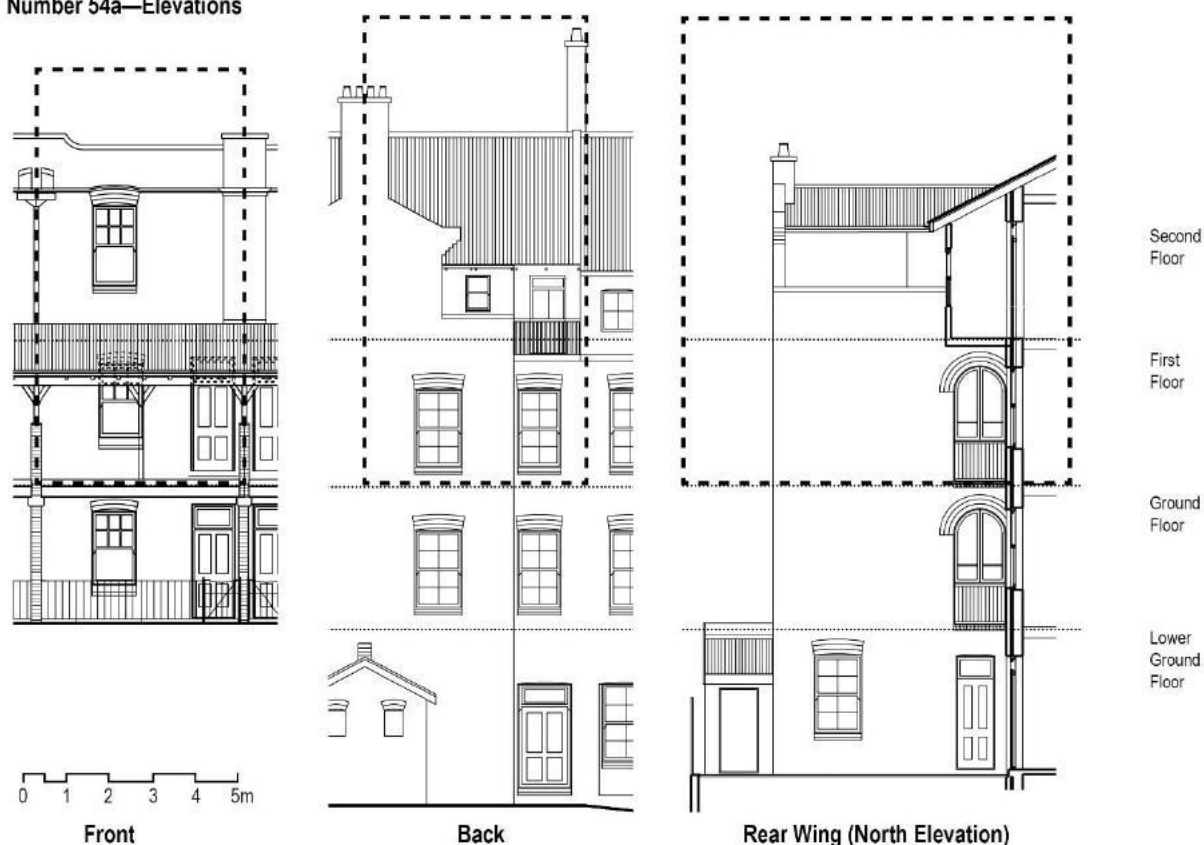


Figure 10.3 Elevations of Flat 54A / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

10.1 Summary of Heritage Significance

Flat 54A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

10.2 Physical Description of Flat 54A

A more detailed description of the block of flats as a whole is provided in Part 1, Section 3.0 of the CMP.

10.2.1 Typology

Flat 54A is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 54A is a Type 2 dwelling (as identified in Part 1, Section 3.0 of this CMP, Figures 3.3–3.4).

Flat 54A is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which are shared with Flats 54C, 55A

and 56C. Type 2 flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, bedroom/dining and laundry on the second floor, with access to an external roof terrace (former drying yard). This flat varies from the other type 2 flats in that it has an additional small balcony opening off the kitchen (space 2.3) (Figure 10.12, Figure 10.13). There are other minor dimensional variations in the internal spaces of the Type 2 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building (refer to Part 1, Section 2.3.3 – 2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 2 flat to another.

10.2.2 External

The flat is separated from adjoining flats (Flats 52A and 54C) by structural brick party walls. The flat is separated from the flat below (Flat 54) by a double timber floor. Flat 54A has a gabled corrugated sheet metal roof set behind a brick parapet on its western side (Figure 10.6) and with exposed rafters and boarded eaves on its eastern side (Figure 10.19). It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace (Figure 10.18). This area is semi-enclosed by a brick wall around two sides. The other part of the roof terrace is open and set behind a brick parapet (Figure 10.17). There is a chimney stack over the northern party wall at the ridge and another chimney stack to the rear wing (Figure 10.11 and Figure 10.12).

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof. (Figure 10.6, Figure 10.7). The entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers (Figure 10.8, Figure 10.9). There is a mauve brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents (Figure 10.6). The top of the parapet has is shaped and topped with a header capping course. The rainwater head and downpipe is shared with the adjoining flat (Flat 52A) (Figure 10.6, Figure 10.11). A half-height external party wall with a curved top is located to the north of the flat, dividing the common verandah into two halves (Figure 10.7).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 10.6, Figure 10.7). The flat has no private area in front of it. The verandah is common property. Entry is from the verandah via a four-panel door with fanlight over (Figure 10.7). The door has bolelection moulds. The upper panels are glazed in wired glass and the bottom panels are timber (Figure 10.9). The door is fitted with a central brass knob, brass letterbox flap, peep hole, modern rimlock and keeper, and a brass fanlight mechanism to the fanlight. The first and second floor windows have chamfered brick sills (Figure 10.8) and the door a slate threshold (Figure 10.9). The windows to the front elevation are double hung with six pane sashes above single pane sashes (Figure 10.8).

The rear elevation is of common brickwork laid in running bond with struck joints (Figure 10.12). The doors and windows have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched window opening of the former rear porch on the first floor level of the rear wing, which faces north towards the rear wing of Flat 52A (Figure 10.12, Figure 10.13). The windows to the rear elevation are generally double hung timber windows with four pane sashes, top and bottom (Figure 10.12). The arched opening which framed the original rear porch (like most such windows on this floor of the block), has been infilled with timber casement windows with textured and coloured glass panes (Figure 10.13). The panel below the window consists of a timber balustrade (rectangular

balusters and handrail) backed by a fibrous cement sheet (Figure 10.14). The rear wing has circular steel downpipes draining ogee profile steel gutters (Figure 10.14).

The roofed area of the roof top terrace is partially enclosed by two brick walls (Figure 10.18). The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade (Figure 10.17, Figure 10.18). The opening to the former garbage chute previously located on the rear wall has been bricked up (Figure 10.17). There is evidence of the former laundry copper having been removed from the skillion roofed area. The glass doors opening onto the terrace are set in a weatherboard wall (Figure 10.19). The side wall of the stair landing is rendered and painted (Figure 10.19). The hot water system is located on the roof terrace, outside the laundry.

A small balcony is accessed from the kitchen on the second floor (space 2.3). It has a timber balustrade with square balusters to the external face and vertical boarding to the inside face (Figure 10.14, Figure 10.16). The ceiling of the balcony is lined with V-jointed timber boards (Figure 10.15). The underside of the balcony floor is lined with ripple iron (Figure 10.13).

10.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has a timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (Figure 10.20). Doorways with pivot fanlights over and original timber architraves lead to the front bedroom (space 1.2) and the main living room (space 1.3) (Figure 10.20).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (Figure 10.21, Figure 10.22). A chimney flue from the flat below rises in the northeast corner of the room (Figure 10.21). There is an original timber double-hung sash window (six panes over one) complete with original architraves, sill board and moulding (Figure 10.21). The doorway to the hall retains its original four panel door with sunk moulds and fanlight over. It also retains its original architraves (Figure 10.22).

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (Figure 10.23, Figure 10.25). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding in the east wall and a doorway through to space 1.4 (Figure 10.25). There is a corner fireplace with brick hob and original mantel shelf supported on brick brackets (Figure 10.23, Figure 10.24). The concrete hearth exists beneath the carpet.

A timber staircase with stop chamfered newel posts, a moulded timber handrail is set against the south wall (Figure 10.26). The bottom of the top newel post extends down below the ceiling of space 1.3. The stair soffit is lined with V-joint timber boarding. The area under the stair is enclosed with timber vertical boarded wall to form a cupboard and is fitted with traditional timber shelving (Figure 10.26, Figure 10.27). A ledged and sheeted timber door, with air holes drilled through its top, is hung on strap hinges and provides access (Figure 10.27). The side of the stair where it passes the bathroom (space 1.5) is lined with ripple iron (Figure 10.37).

All the walls in the front portion of the flat, including the stair above the stringer, show evidence of a dado line in the plaster wall surface.

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves, the door and fanlight are missing (Figure 10.25, Figure 10.28). The former porch has a

timber floor (carpeted), painted brick walls, ripple iron ceiling and moulded timber cornice (Figure 10.25, Figure 10.29). The timber floor of space 1.4 has been raised to the level of the door thresholds. The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (2 by 2 panes with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (Figure 10.29, Figure 10.30). Space 1.4 has timber skirtings, whereas the other spaces on the first floor have run cement skirtings (Figure 10.32).

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling and moulded timber cornice (Figure 10.33). The soffit of the stair which rises over the southern portion of the space is lined with timber V-joint boarding. The bottom of the newel post projects through into the space in the upper corner (Figure 10.34). The side of the stair is lined with ripple iron (Figure 10.34, Figure 10.37). The bathroom has a modern half-glazed timber door, which is fitted to the original door frame and retains its original pivot fanlight over (Figure 10.31).

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents (Figure 10.35). It retains its original four-panel door and double-hung sash window (four panes over four) with original timber architraves, sill board and moulding (Figure 10.36). The chimney flue from the flat below rises in the southeast corner of the room (Figure 10.35).

10.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and front bedroom (or 'dining room') (space 2.4). The principal rooms on this floor (spaces 2.1, 2.3 and 2.4) have timber floors, cement run skirtings, set plaster wall finishes, ripple iron ceilings and moulded timber cornices (Figure 10.38, Figure 10.39, Figure 10.40, Figure 10.48). The ceiling over the stair runs in two different directions on either side of the beam (Figure 10.38).

A timber balustrade with handrail and square balusters extends around the top edge of the stair void in space 2.1 (Figure 10.39). There is evidence of an early gas light bracket survives over the stair (Figure 10.41). A modern built-in cupboard has been built against the north wall adjacent to the entrance to the front bedroom (space 2.4) (Figure 10.38, Figure 10.39). The cupboard covers the original entrance to the kitchen (space 2.3) (Figure 10.41). The double glazed doors at the eastern end of the space, giving access to the roof terrace are not original, most likely introduced during the late twentieth century (Figure 10.38).

Some alterations have been made to incorporate the laundry (space 2.2) into what was most likely an external WC accessed from the roof terrace (Figure 10.42). A window has been introduced where the door originally was located (Figure 10.14, Figure 10.42). The laundry (space 2.2) and kitchen (space 2.3) have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain original cement run skirtings, ripple iron ceilings and moulded timber cornices (Figure 10.42, Figure 10.43, Figure 10.44). The door openings and joinery to the kitchen and laundry are modern (Figure 10.39). The original door opening to the kitchen (evidenced by the remaining timber door frame) has been blocked up (Figure 10.44). A chimney flue runs up the southwest corner of the kitchen from the fireplace and flat below (Figure 10.43). An original half glazed door, with fanlight over, opens from the kitchen out onto a small balcony (Figure 10.16, Figure 10.45, Figure 10.46). The door retains its original architraves. The timber floor of the balcony has been replaced, but the boarded ceiling is original (Figure 10.15, Figure 10.16).

The front bedroom (space 2.4) has almost identical features to the downstairs front bedroom but with no picture rail (Figure 10.48). It retains its original fireplace with a painted stone chimney piece and cast iron grate with tiled side panels (Figure 10.49). It also retains its original concrete hearth. The room retains its original four panel timber door (bottom panels replaced) with original architraves and central pivot fanlight over (Figure 10.51) and double hung window with original architraves, sill board and moulding) (Figure 10.47). It also has a decorative plaster wall vent similar to those in other rooms (Figure 10.50).

10.3 Phases of Development

Figure 10.4 and Figure 10.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 54a—Phases of Development, Plans



Figure 10.4 Plans showing phases of development—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 10.5 Elevations showing phases of development—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

10.4 Significant Components of Flat 54A

As with all the flats at 46–56 Gloucester Street, Flat 54A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 54A.

10.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 10.6–Figure 10.51) document the elements and spaces of 54A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2016.



Figure 10.6 Western façade of flat 54A as viewed from Gloucester Street. The flat is accessed from the upper level verandah—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.7 Front façade of flat 54A showing facebrick external wall with contrasting brick surround to window and door openings—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.8 Double hung timber sash window, with six pane top sash and single pane bottom sash, contrasting brick surround and chamfered brick window sill—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.9 Four panel entrance door with bolecion moulds, wired glass to the upper panels and original slate threshold—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.10 Letter lot and door knob to the front door—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.11 Cast rainwater head on front elevation and chimney with terracotta chimney pot over party wall—54A / 46–56 Gloucester Street. (Source: GML Heritage, 2016)



Figure 10.12 Rear elevations of flats 54A (left) and 52A (right)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.13 Rear elevation of Flats 54A and 52A showing underside of projecting balcony and arched openings of former porches at first floor level—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.14 Rear elevation of flat 54A showing the recessed balcony off the kitchen (space 2.3) and new brickwork and window to the laundry (space 2.2)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.15 Painted V-jointed timber boarding to ceiling of the recessed balcony (space 2.3)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.16 Vertical timber V-jointed boarding to balcony balustrade (space 2.3)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.17 Roof terrace (space E.1) showing tiled floor and evidence of the original garbage chute (bricked up)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.18 Roof terrace viewed from the kitchen balcony, showing area covered by skillion roof and brick balustrade—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.19 Rear wall of the flat opening onto the roof terrace (space E.1), showing recent weatherboard wall, pair of half glazed doors and rendered finish to stair hall wall. The window is also recent, replacing a previous door—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.20 Entrance hall (space 1.1) showing the ripple iron ceiling with moulded timber cornice and cement rendered skirting. The doors opening to spaces 1.2 and 1.3 have their original fanlights—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.21 Front bedroom (space 1.2) showing timber double hung sash window, cement run skirting, ripple iron ceiling and moulded timber cornice—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

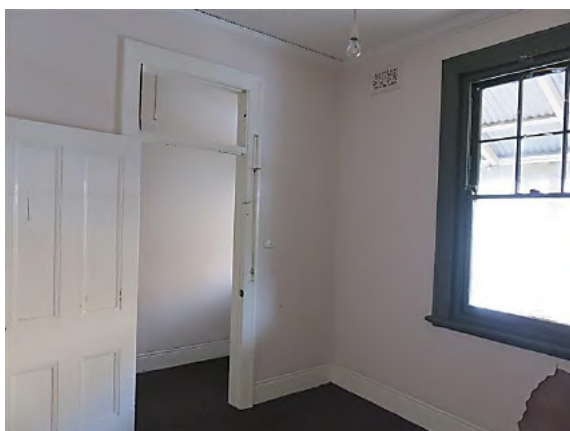


Figure 10.22 Front bedroom (space 1.2) showing original four panel door, frame and fanlight above, with original architraves. The room has two decorative plaster wall vents—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.23 Living room (space 1.3) showing cement run skirting, ripple iron ceiling, moulded timber cornice, timber picture rail and original fireplace with mantel shelf supported on curved brackets—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.24 Detail of fireplace recess (cast iron range has been removed)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.25 Living room (space 1.3) showing the original opening through to space 1.4. The frame and architrave are original. The door is missing and the fanlight has been replaced with fixed glazing—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.26 Living room (space 1.3) showing original timber stair against south wall, with closed stinger, simple square balusters, moulded handrail and newel posts—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.27 Cupboard under the stair (space 1.3) with v-jointed boarding, ledged and sheeted timber door and timber shelves—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.28 Former porch (space 1.4), showing original door frames. The door to the bathroom (space 1.5) has its original half glazed door and fanlight—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.29 Original arched opening to former porch in rear wing (space 1.4), infilled with pair of casement windows and vertical boarded panel below—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.30 Casement windows and v-jointed vertical boarded panel below are late twentieth century infill to the original arched opening of the former rear porch—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.31 Original half glazed door to bathroom (space 1.5) showing obscured glass and bead flush panels. The transom detail over the door is original. The timber skirting is late twentieth century—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.32 Detail of original skirting run in cement on the right and later timber skirting on the left (space 1.4)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.33 Bathroom (space 1.5) with modern refit—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.34 Bathroom (Space 1.5) showing v-jointed timber stair soffit with ripple iron to ceiling and side of the stair above the string—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.35 Rear bedroom (space 1.6) showing the original timber double hung window with original architraves, sill board and moulding, ripple iron ceiling and decorative plaster wall vent—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.36 Rear bedroom (space 1.6) showing original doorframe and cement rendered skirtings—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.37 Ripple iron cladding to outer face of balustrade enclosing bathroom (space 1.5)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

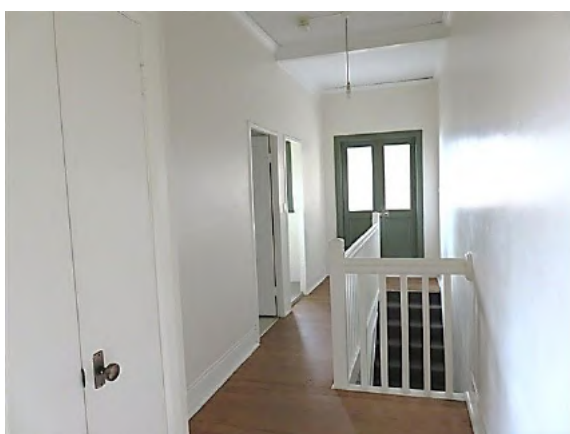


Figure 10.38 Second floor landing (space 2.1) looking east showing timber balustrade with moulded handrail, square balusters and chamfered top to newel posts, cement rendered skirting and half glazed timber doors to the roof terrace—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.39 Second floor landing (space 2.1) looking west, showing the timber floors and modern built in cupboard adjacent to the door to the bedroom (space 2.4)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.40 Second floor landing ceiling (space 2.1) showing roof hatch and architrave with ripple iron ceiling—54A / 46–56 Gloucester Street—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.41 Modern cupboard with flush timber doors built into the second floor stair hall (space 2.1). The fanlight from one of the doorways on the first floor is stored in the cupboard—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.42 Laundry (space 2.2) showing modern laundry tub unit and original raked ripple iron ceiling. The window is late 20th century—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.43 Kitchen (space 2.3) showing late twentieth century fitout, original ripple iron ceiling and timber cornice. A chimney flue rises in the northwest corner—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.44 Kitchen (space 2.3) showing location of the original door frame in southwest corner. The opening is infilled—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.45 Original half glazed timber door leading onto balcony from kitchen (space 2.3), with four glass panes above two timber panels with sunk moulds and with fanlight over—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.46 Detail of original door onto balcony from kitchen (space 2.3) with arched brick head and fanlight over—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.47 Timber double hung sash window to dining room (space 2.4)—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.48 Front room on the second floor (space 2.4) showing the original double hung window, fireplace, timber floor, cement run skirting, timber cornice and ripple iron ceiling—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.49 Fireplace in space 2.4 with early chimney piece, cast iron grate with tiled sides, and concrete hearth—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.50 Detail of decorative plaster wall vent in space 2.4—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 10.51 Front room on the second floor (space 2.4) showing the original four panel door with sunk moulds, set in original frame with original fanlight over and original architrave—54A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

10.4.2 Significance Gradings Diagrams for Flat 54A

Figure 10.52 and Figure 10.53 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 10.1–10.5).

Number 54a—Plans, Gradings of Significance

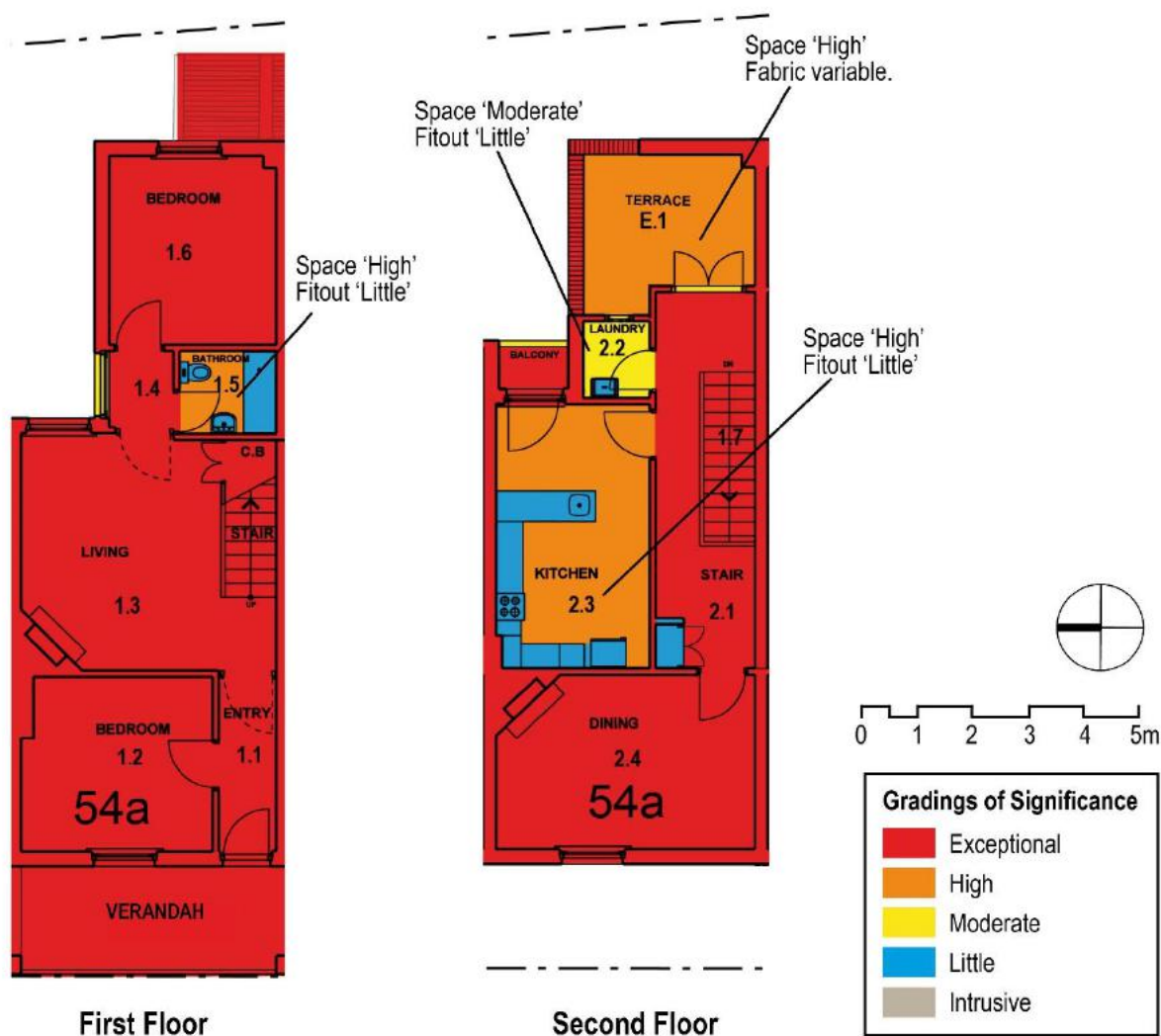


Figure 10.52 Plans showing gradings of significance—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

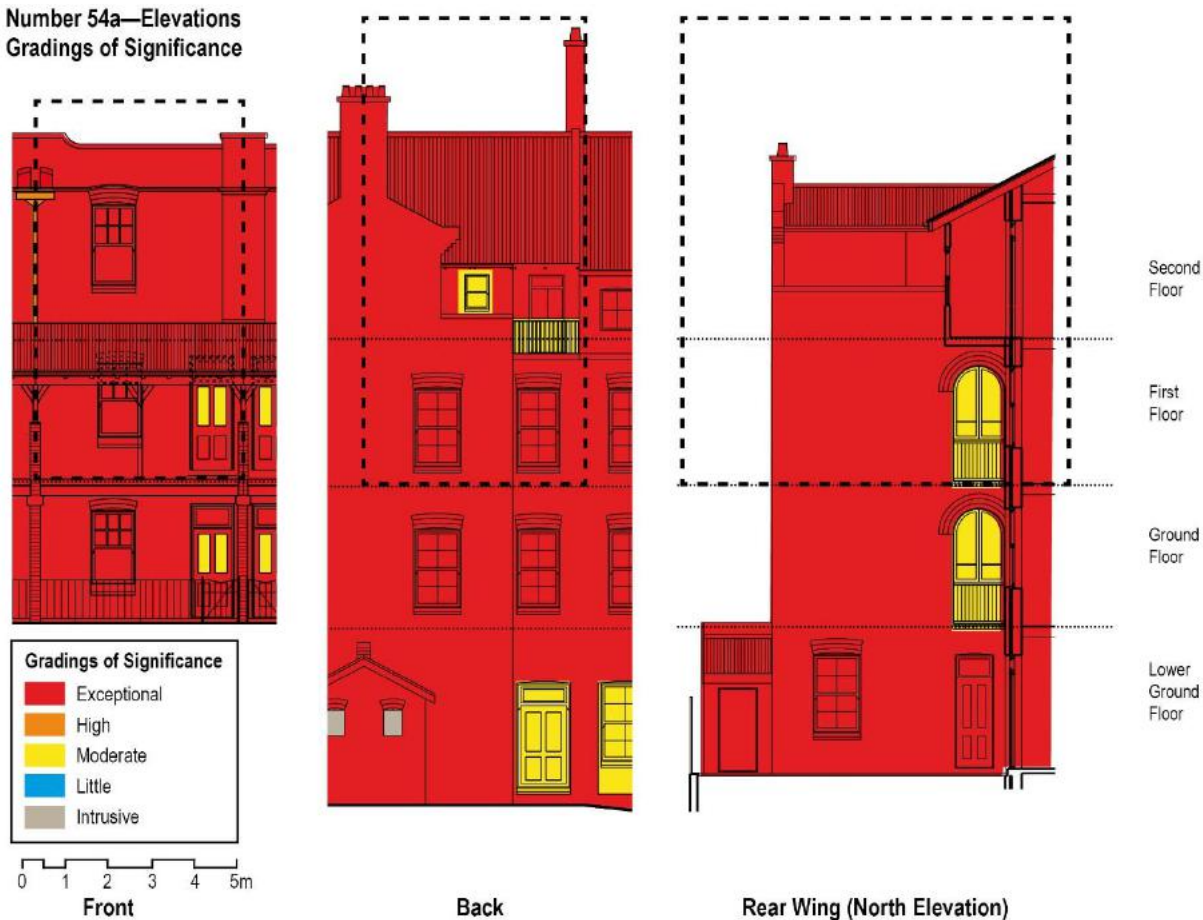
Number 54a—Elevations
Gradings of Significance

Figure 10.53 Elevations showing gradings of significance—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

10.4.3 Significant Fabric and Condition— 54A Gloucester Street

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 10.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade, curving up to southern party wall	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Door threshold	Slate threshold to front doors	O	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G, moulding replaced on upper panel
	Wired and textured glass in upper panels	M20 th / L20 th	M	G
	Brass knob and enamel number plate	O ? / E 20 th	E	G
	Letter slot and spyhole	L 20 th	M	G
	Timber frame, transom and reveal linings	O	E	G, some damage at fanlight
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanisms	L 20 th	M	F, needs repair
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Gutters and downpipes	Decorative rainwater head and square galvanised steel downpipe	E 21st	H	G

Table 10.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls—north and east elevations	Common brick	O	E	G
Window sills	Chamfered brick	O	E	G
Window and door heads	Arched brick heads over window and door openings, with iron bearers (archbars)	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta cavity vents	O	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement	L 20 th	M	G
	Timber balustrade to second floor kitchen balcony	L 20 th	M	G
Gutters and downpipes	Galvanised steel ogee gutters, downpipes and spreader	E 21st	H	G
	Copper service pipes to south and east elevation	L 20th	H	G

Table 10.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure) E 21 st (roofing)	E H	G G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure) E 21 st (roofing)	E H	G G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Chimneys	Face brick with brick on edge capping	O	E	G
	Terracotta chimney pots	L 20 th replacements	H	G
Eaves	Exposed rafter to rear elevation and rear wing	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes and spreaders	L 20 th	M	G

Table 10.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof sheeting	E 21 st	H	G
	Timber rafters, purlins and verandah beam	O	E	G
Structure	Face brick piers	O	E	G
	Face brick cross wall with curved brick on edge coping (adjoining Flat 52A)	O	E	G
	Timber posts and brackets	O	E	G
Balustrade	Wrought iron balustrade	O	E	G
Space E.1—Roof Terrace				
Roof (including cappings and flashings)	Roof structure, including exposed rafters at eaves	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
Walls	Brick walls to covered area	O	E	G
	Brick balustrade with brick-on-edge coping	O	E	G
	Common brick to laundry and kitchen exterior	O, L 20 th alterations	E	G
	Brick chimney flue	O	E	G
	Timber weatherboard and rendered brick/blockwork to roof terrace access doors	L 20 th	M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round moulding	O	E	G
Door set	Half-glazed double doors to access the terrace including door furniture	L 20 th	M	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Paving	Modern concrete/ceramic	E 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	E 21 st	L	G/F
Services	Hot water tank	E 21 st	L	Not tested
	Light fittings	E 21 st	L	Not tested
	Metal clothes hoist	L 20 th	L	F

Space E.2 —Balcony off kitchen (space 2.3)

Floor	Timber boards	E 21 st	M	G
Walls	Face brickwork	O	E	G
Ceiling	V-jointed boards	O	E	G
Balustrade	Timber balustrade with square balusters and handrail externally and vertical boarding internally	L 20 th	M	G

Table 10.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
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Space 1.1—Entrance Hall

Floor	Timber boards on timber joists	O / E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Refer to adjoining spaces	-	-	-
Architraves	None to front door	O	E	G
	Moulded timber architrave to doorways to spaces 1.2 and 1.3	O	E	G
Fanlight	Pivot fanlight over doorway to space 1.3	O	E	G
	Reproduction mechanism	E 21 st	M	G
Other	Light fittings	L 20 th	L	Not tested

Space 1.2—Front Bedroom

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	F, damp
	Cement render below dado	O	E	F, damp
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Fireplace/Hearth	Chimney flue against north wall (no fireplace)	O	E	G
Door set	Four-panel sunk moulded door in original frame	O	E	G, needs repair at fanlight
	Modern door furniture	L 20th	L	G
Fanlight	Pivot fanlight over doorway	O	E	F, stored in cupboard, refit
	Reproduction fanlight mechanism	E 21 st	M	F, refix
Window joinery	Timber double-hung sash window (6 pane sash over single pane sash), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to door and window	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20th	L	Not tested

Space 1.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace with brick hob	O	E	G
	Mantel shelf on brick corbels	O	E	G
	Timber frame to opening	L 20 th	I	G
Door set	Timber frames and transoms	O	E	G
	Four-panel sunk moulded doors (entry from hall)	Missing	-	Missing
	Ledged and sheeted door to cupboard under stair, with air holes drilled in door	O	E	G
Fanlight	Pivot fanlight over doorway to space 1.1	O	E	G
	Reproduction mechanism to fanlight over door to space 1.1	E 21 ^s	M	G
	Fanlight over door to space 1.4	E 21 st	L	Fixed glass, fanlight missing
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to doors and window	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Stair	Timber stair and balustrade—Refer to Space 1.7	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	Not tested

Space 1.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	O, E 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Carpet	Early 21 st	L	F
	Timber step treads with nosings from adjacent rooms (concealed?)	O	E	unknown
Skirting	Timber	L 20 th	L	G
Walls	Brick walls	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over door openings	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple Iron	O	E	G
Infill to porch opening	Timber V-jointed vertical boarding and handrail	L 20 th	M	G
Window joinery	Pair of round headed casement sashes with textured glass, green in bottom panes	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Decorative plaster (to bathroom wall)	L 20 th	M	G
Other	Light fittings	L 20 th	L	F

Space 1.5—Bathroom

Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	L 20 th	L	G
Walls	Painted render/plaster	O	E	F, damp
	Modern ceramic tile	E 21 st	L	G
	Ripple iron to side of stair	O	E	G
Cornice	Moulded timber quarter round	L 20 th	L	G
Ceiling	Ripple iron	O	E	G
	Timber boarding to underside of stair	L 20 th ?	H	G
Door set	Half-glazed door in original frame to porch, four textured glass panes above two panels with sunk moulds	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Original fanlight mechanism	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Architraves	Moulded timber (internal side only)	O	E	G
Fit out	WC, wall cupboard, basin, shower kerb and services	L 20 th / E 21 st	L	G/F
	Lighting	L 20 th	L	Not tested
Space 1.6—Rear Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Part of chimney flue in SE corner	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel sunk moulded door in original frame	O	E	G
	Door furniture	L 20 th	L	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative Plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	Not tested
Space 1.7—Stairs				
Floor	Timber	O	E	G
	Carpet	L 20 th	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	V-joint vertical boarding enclosing space below stringer to staircase	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit	O	E	G
	V-joint timber boarding to the stair soffit enclosure below the stairs	O	E	G
	Timber shelving in the cupboard	E 20 th	H	G
Space 2.1—Landing/Stair Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render	O	E	G
	Moulded timber to east wall	L 20 th	L	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly fly ash concrete) to north wall	O / L 20 th alterations	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam	O	E	G
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Architraves	Moulded timber to opening in west wall	O	E	G
	Scotia mould to recent openings in north wall	L 20 th	L	G
	Moulded timber to opening in east wall	L 20 th	L	G
Other	Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters	O	E	G
	Light fittings	L 20 th	L	Not tested
	Built in cupboard	L 20 th	L	G
	Fanlight stored in cupboard for reinstatement	O	E	G, refit
	Access panel	O	E	G

Space 2.2—Laundry

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Tiling	Early 21 st	L	G
Skirting	Modern tiles	Early 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Frame only, no door	L 20 th	M	G
Architraves	Moulded timber	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sillboard and moulded timber architrave	L 20 th	M	G
Wall vent	Terracotta (external only, no vent cover internally)	O	E	G
Other	Water services, sink and water heater	E 21 st	L	G
	Electrical fixtures	L 20 th / E 21 st	L	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Space 2.3—Kitchen				
Floor	Timber boards (?) on timber joists	O, E 21 st repair	E	unknown
	Refinished or repaired timber balcony floor	O or L 20 th	H	G
	Vinyl covering to kitchen	L 20 th	L	F
Skirting	Grooved/beaded run cement render	O	E	G
	Timber skirting (blocked up doorway)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly concrete with fly ash)	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron to kitchen	O	E	G
Fireplace/flue	Chimney flue in northwest corner (no fireplace)	O	E	G
Door set	Original frame in southwest corner	O	E	G
	Recent frame (present doorway)	L 20 th	L	G
	Timber four-panel door to hallway (space 1.7)	O, relocated	E	G
	Half-glazed door to balcony, with four glass panes over two timber panels with sunk moulds internally	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight above door	O	E	G
	Fanlight mechanism	L 20 th	M	G
Architraves	Moulded timber to balcony door	O	E	G
	Quad to hall door	L 20 th	M	G
Other	Fit-out	L 20 th / E 21 st	L	G
	TV/communications service point in floor with brass cover plate	E 21 st	L	Not tested
	Light fittings	E 21 st	L	Not tested
Space 2.4—Front bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Walls	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Marble (?) chimney piece (painted white) and cast iron grate with tiled side panels	O ?	E	G
	Concrete hearth	O	E	G
Door set	Four-panel sunk moulded door in original frame	O	E	G
	Door furniture	L 20 th	L	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over door Reproduction mechanism	O L 20 th	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st	L	G
		L 20 th	L	F

10.5 Priority Conservation Works

10.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

10.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

10.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 54A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is

shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they are in good condition and have not decayed.
- Investigate possible causes of damp in walls. Undertake appropriate remedial action as required in consultation with heritage consultant.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing internal doors with four panel doors to original configuration and detail.
- Repair broken or replace missing fanlights. Rehang fanlights that have dropped off pivots.
- Repair, reinstate or replace broken door and fanlight hardware.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.

Low (within six years)*External works:*

- n/a

Internal works:

- Paint interiors
- Oil floors with natural tung oil

10.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

10.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

10.7 Specific Conservation Policies for Flat 54A

There are no specific policies for Flat 54A that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 54A must comply with the conservation policies set out in Part 1 Section 9.0.

10.8 Areas for Possible Change for Flat 54A

Areas for possible change within the flat at 54A Gloucester Street are shown on Figure 10.55 and Figure 10.54.

Number 54a—Plans, Areas for Possible Change

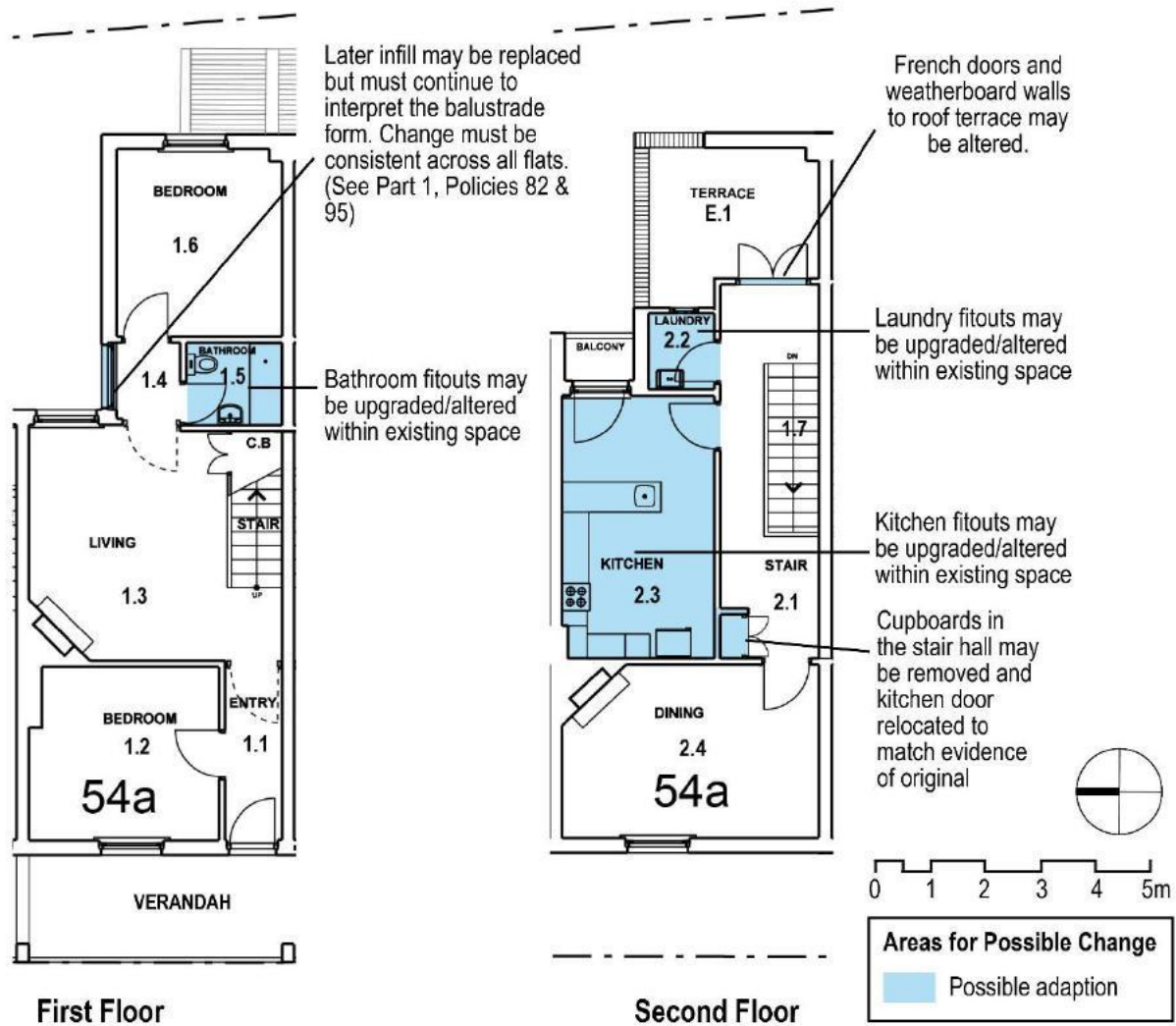


Figure 10.54 Plans showing areas for possible change—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 54a—Elevations
Areas for Possible Change

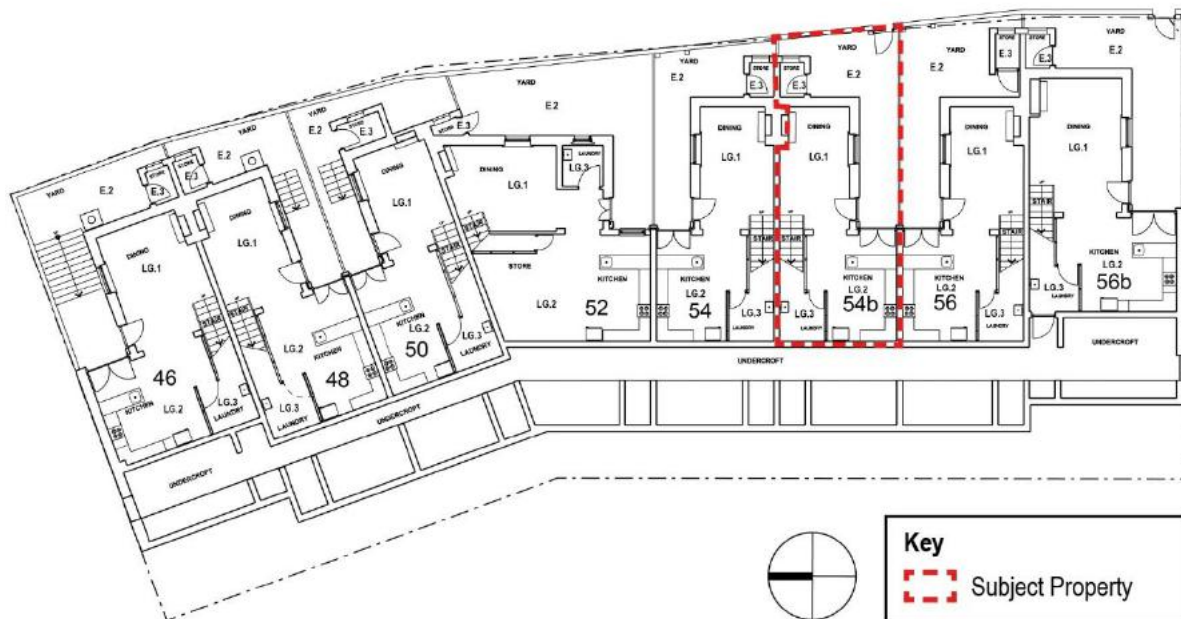


Figure 10.55 Elevations showing areas for possible change—Flat 54A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

11.0 Flat 54B of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 54B Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 11.1 shows the location of the flat in the building. Figure 11.2 and Figure 11.3 show the configuration of Flat 54B.

Number 54b—Property Plan, Lower Ground Floor



Number 54b—Property Plan, Ground Floor

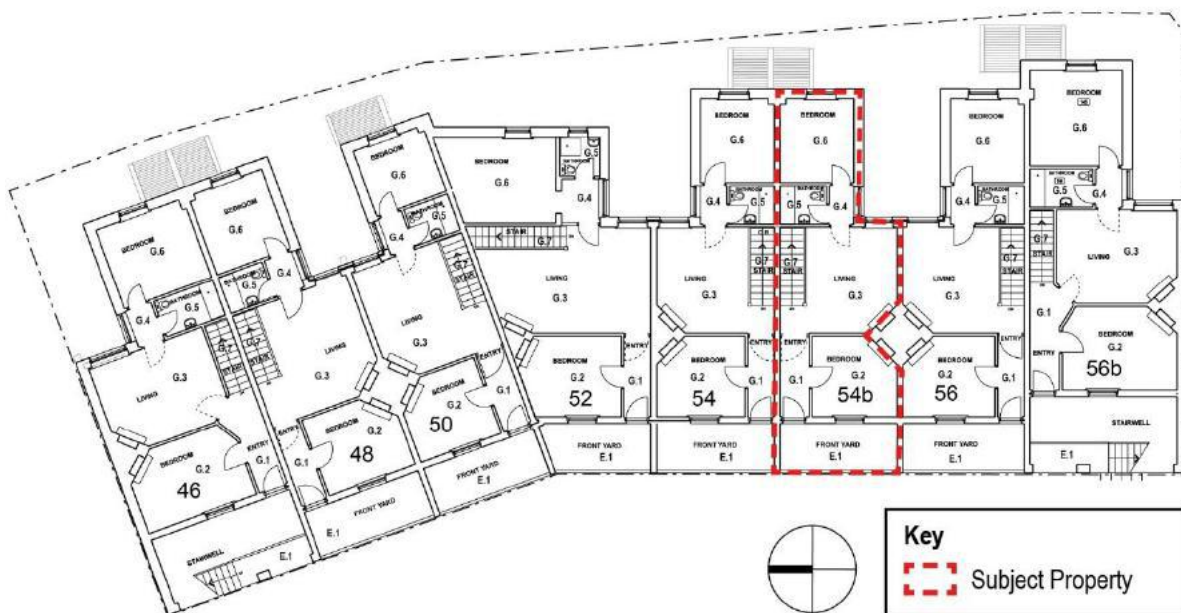


Figure 11.1 Location plan—Flat 54B / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 54b—Plans

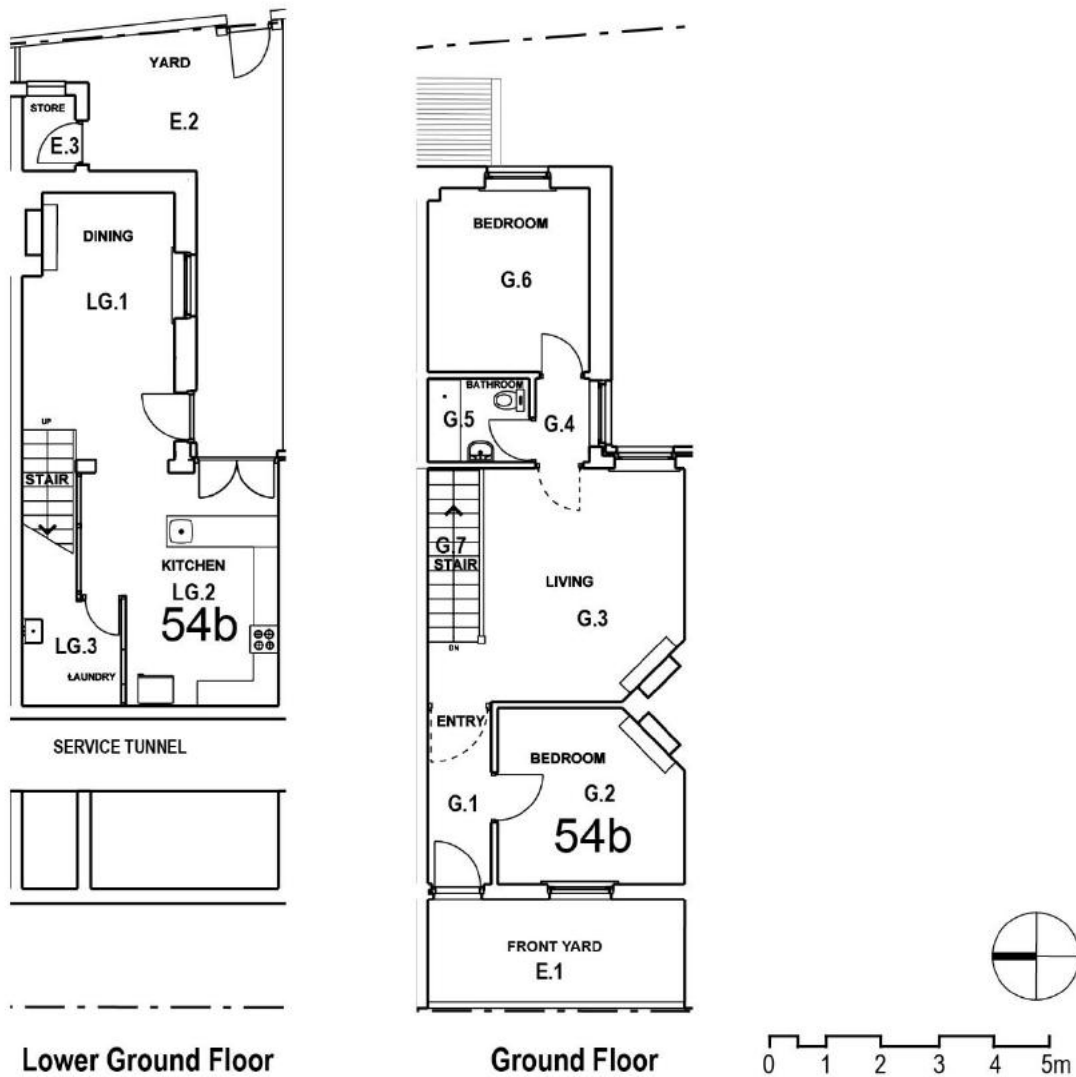


Figure 11.2 Plans of Flat 54B / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 54b—Elevations



Figure 11.3 Elevations of Flat 54B / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

11.1 Summary of Heritage Significance

Flat 54B is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

11.2 Physical Description of Flat 54B

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

11.2.1 Typology

Flat 54B is one of 8 maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 54B is a Type 1 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 1 Flats have an L-shaped plan with two bedrooms, a living room and

bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 to another.

11.2.2 External

The flat is separated from adjoining flats (Flats 54 and 56) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56B) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54C, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 11.6). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 11.7 and Figure 11.8).

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 11.37 and Figure 11.38). The yard is on one level. It has an external (former) WC (space E.3) and a reconstructed traditional timber clothes hoist inside the fence. There is private access from Cambridge Street via a timber gate.

At the rear, the property shares rainwater services with Flat 54C above (steel square section downpipes) (Figure 11.37).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 11.6 and Figure 11.8). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 11.8). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, a central brass knob, letterbox, spyhole, bell and modern night latch. There is a pivot fanlight over (Figure 11.7). The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a six-over-one double hung sash window, and has a chamfered brick sill. The door has a slate threshold (Figure 11.7 and Figure 11.8).

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 11.39). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window frame facing Cambridge Street, though all the louvre glazing is missing.

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 11.41). The exception is the round-arched

window of the former rear porch, which faces towards the rear wing of Flat 56 (Figure 11.41). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a solid timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 11.37).

11.2.3 Internal—Ground Floor

As with other Type 1 flats, entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the living room with pivot fanlight over. In Flat 54B the door between the hall (space G.1) and the living room (space G.3) has been removed, although the frame and fanlight survive (Figure 11.10). The front bedroom (on the right) has timber floor, cement run skirtings, timber cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and one double-hung timber sash window (six lights over one) (Figure 11.11 Timber double-hung sash window in the front bedroom (space G.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016) and Figure 11.12). It has a corner fireplace (blocked up and mantel piece removed) with concrete hearth.

The living room (space G.3) has timber floor, fireplace with marble chimney piece and concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figure 11.15–Figure 11.18). There is a painted timber balustrade with square balusters to the staircase giving access to the lower ground floor.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway with fanlight over. The former porch (space G.4) has a timber floor, painted unrendered brick internal wall faces, and modern and original timber skirting (Figure 11.19–Figure 11.21). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under.

The bathroom (space G.5) has a modern fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figure 11.22 and Figure 11.23). The bathroom has an original half-glazed timber door and fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber picture rail and timber cornice, scroll pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figure 11.24).

11.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, original timber handrail and balustrade (to the lower section), newel posts, timber skirtings and stringers (Figure 11.25 and Figure 11.28). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 11.29). Part of the ceiling has had a void for services created behind a ceiling panel in matching ripple iron. The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original fireplace (boarded-out and converted to shelving) with concrete hearth (with vinyl

tiles added), scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall. Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained. The laundry (space LG.3) has been divided from the kitchen by a modern partition wall. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 11.33–Figure 11.35).

11.3 Phases of Development

Figure 11.4 and **Figure 11.5** show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 54b—Phases of Development, Plans



Figure 11.4 Plans showing phases of development—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 11.5 Elevations showing phases of development—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

11.4 Significant Components of Flat 54B

As with all the flats at 46–56 Gloucester Street, Flat 54B has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 54B.

11.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 11.6–Figure 11.41) document the elements and spaces of 54B Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2015/2016.



Figure 11.6 Western façade of flats 54-56 as viewed from Gloucester Street. (Source: GML Heritage, November 2015)



Figure 11.7 The four-panel front door with bolection moulds to bottom panels and wired glass to top panels, fanlight above, dark brick surround, number plate and slate threshold—54B / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.8 Front porch (space E.1) showing external brick walls, timber entry door with fanlight, wrought iron fence and gate, double-hung window with chamfered brick sill—54B / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.9 Original door knob(?) and letter slot on front door—54B / 46-56 Gloucester Street (Source: GML Heritage, June 2016)



Figure 11.10 Entry (space G.1 showing timber floor, cement run skirtings, and timber door frame with fanlight to the living room—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

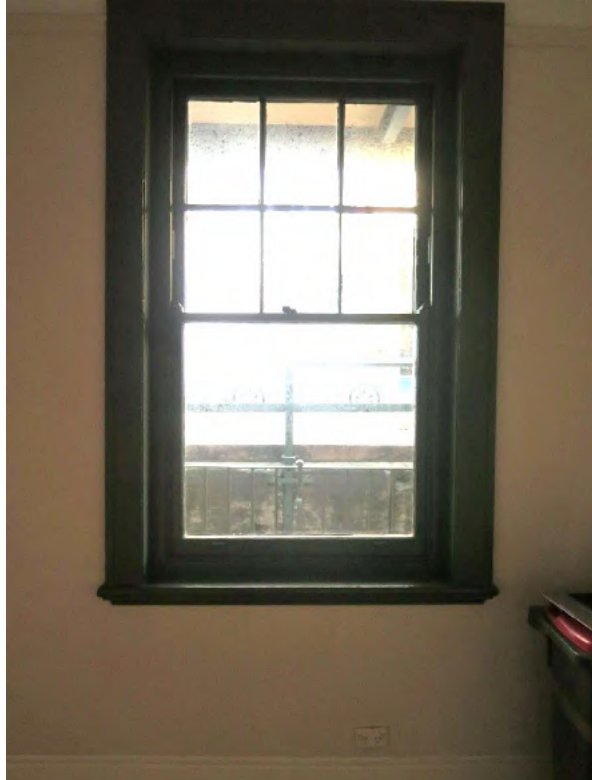


Figure 11.11 Timber double-hung sash window in the front bedroom (space G.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.12 Front bedroom (space G.2) showing timber floors, rendered wall finishes, fireplace blocked up with cement rendered skirting over and original concrete hearth—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.13 Front bedroom (space G.2) showing decorative wall vent, timber picture rail and timber cornice—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.14 Four-panel timber door with fanlight above and reproduction mechanism between front bedroom (space G.2) and entry (space G.1)—54B / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 11.15 Living room (space G.3) showing cement run skirtings, timber flooring, picture rail, timber balustrade and newel post and timber double-hung sash window—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.16 Marble chimney piece with cast-iron and tiled grate, and painted concrete hearth in the living room (space G.3)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.17 Double-hung sash window in the living room (space G.3)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.18 Timber balustrade and newel post, moulded handrail and stairs (space G.7) from living room (space G.3)—54B/ 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 11.19 The raised timber floor of the former rear porch (space G.4) with original timber thresholds—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.20 Infilled former rear porch opening (space G.4), with unrendered brick walls, arched modern casement window and modern T&G boarding below—54B / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 11.21 Infilled former rear porch opening (space G.4), with unrendered brick walls, timber door with fanlight to bathroom—54B / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 11.22 Bathroom (space G.5) with modern fitout. Glazing of timber door has been painted—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.23 Bathroom (space G.5) showing modern door with fanlight above and decorated wall vent—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.24 Rear bedroom (space G.6) showing modern carpeted floor (over original timber), original cement rendered skirtings, cornice, decorated wall vent and timber double-hung sash window—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

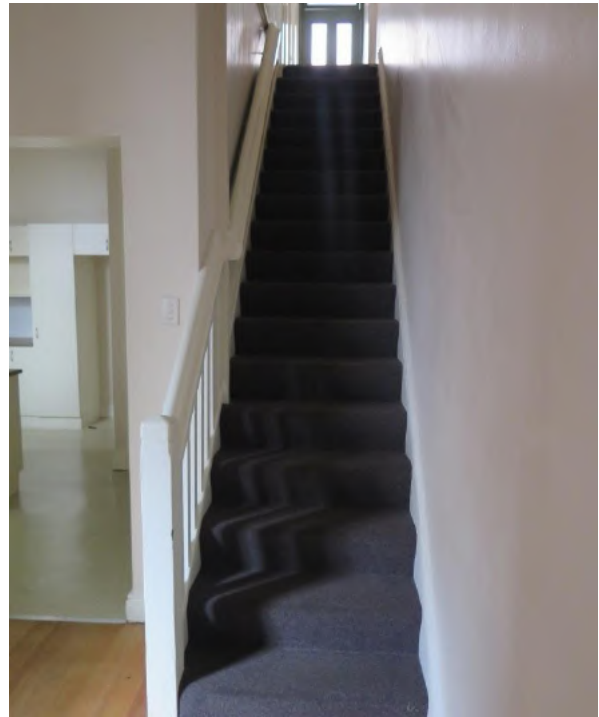


Figure 11.25 Stair with modern carpeting (space G.7) showing simple square balusters and newel post and moulded handrail—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.26 Four-panel bolection moulded timber external door with fanlight (space LG.1) —54B / 46–56 Gloucester Street. (Source: GML, July 2016).



Figure 11.27 Timber double hung sash window, frame and brick sill (Space LG.1) —54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016).

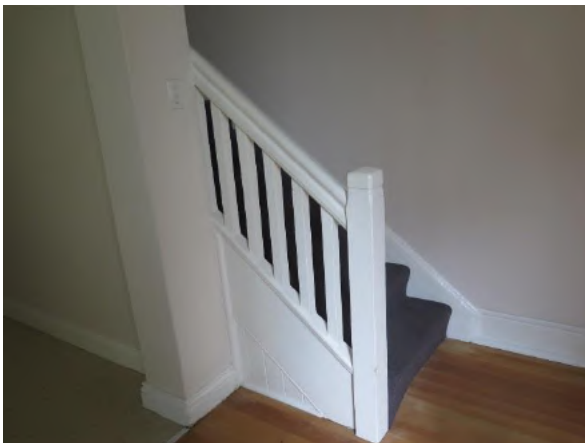


Figure 11.28 Original stair at lower ground-floor level with closed string, simple square balusters and newel post and moulded handrail—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.29 Steel beams supporting walls above and ripple iron ceiling (lower ground floor level of Flat 54B)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.30 Shelving in original fireplace at lower ground-floor level (former kitchen, Flat 54B)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.31 Kitchen showing modern fit-out and original ripple iron ceiling (space LG.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.32 Original ripple iron ceiling in kitchen and modern light fixture (space LG.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.33 The laundry (space LG.3) showing original ripple iron ceiling, timber cornices, and timber pendant newel post—54B / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 11.34 Entry to laundry (space LG.3) showing part glazed timber panel door—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.35 Laundry (space LG.3) showing modern fit-out—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.36 Modern half-glazed double French doors from the kitchen (space LG.2) to the rear yard—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.37 Exterior walls of the rear wing showing original cast iron and modern stainless and copper downpipes and paved yard area (space E.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

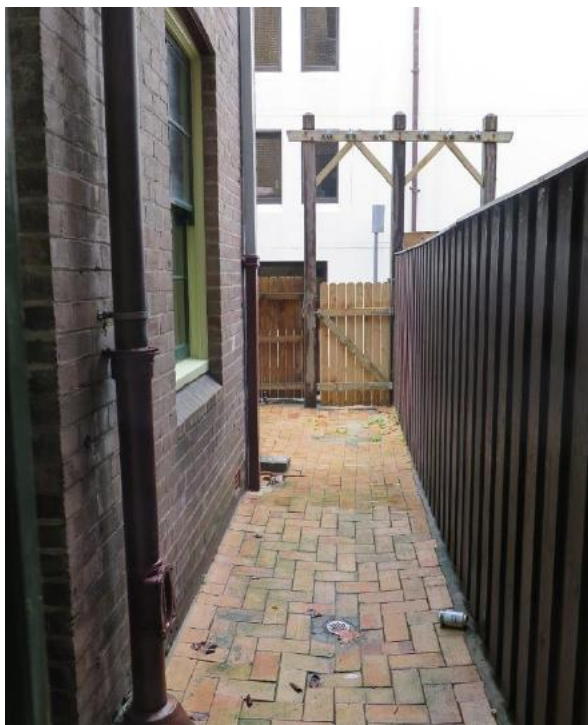


Figure 11.38 Rear yard (space E.2) showing reconstructed laundry hoist, original cast iron and modern stainless and copper downpipes and modern timber fencing (space E.2)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.39 External WC (space E.3) with skillion roof, brick parapet. Boarded timber door is missing—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.40 Interior of WC showing rendered painted brick (space E.3)—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 11.41 Rear wing and rear façade showing copper service pipes and later porch opening infill—54B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

11.4.2 Significance Grading Diagrams for 54B Gloucester Street

Figure 11.42 and Figure 11.43 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 11.1–11.5).

Number 54b—Plans, Gradings of Significance

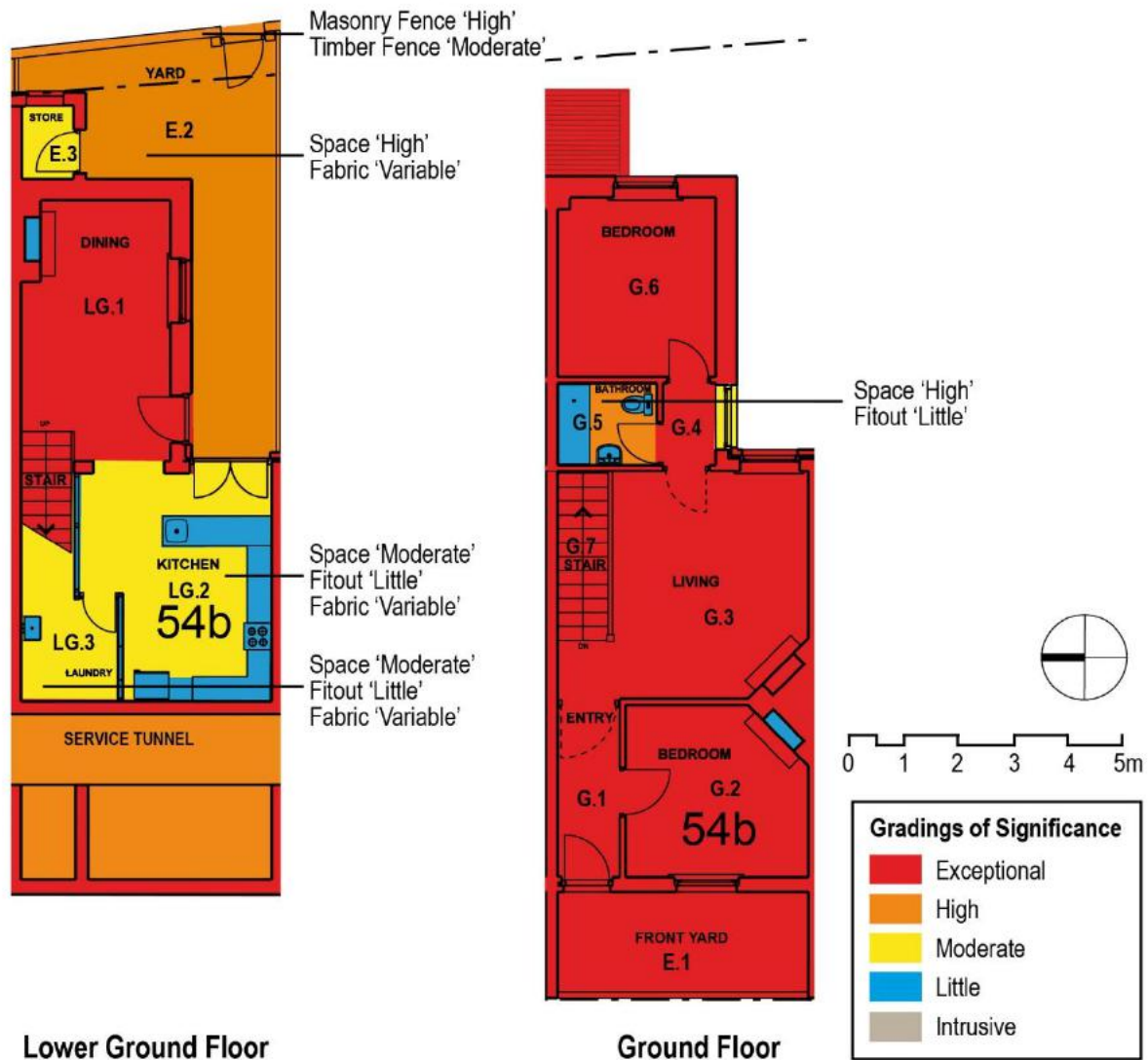


Figure 11.42 Plans showing gradings of significance—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 54b—Elevations
Gradings of Significance



Figure 11.43 Elevations showing gradings of significance—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

11.4.3 Significant Fabric and Condition— 54B Gloucester Street

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 11.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G

Door threshold	Slate threshold to front door	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th / Early 21 st	M	G
	Brass faceted knob, spyhole and letterbox	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O/some later repairs)	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 11.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G/F
Gutters and downpipes	Steel downpipes	Early 21 st	H	G
	Cast iron square downpipes	O	E	G
	Copper service pipes to south and east elevation	Late 20 th	E	G
Door threshold	Concrete thresholds to rear doors	L 20 th	M	G
Door set	Four-panel sunk moulded rear main door	O	E	G
	Half-glazed French doors with top-hung fanlight to rear yard from kitchens	L 20 th	M	G
	Door furniture	L 20 th	M	G
Fanlight	Central pivot fanlights over rear main door	O	E	G
	Reproduction mechanism)	Early 21 st	M	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G
Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	E	F
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 11.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Fence—east	Timber paling (including small section of modern fence between 54 & 54B)	L 20 th	M	F
Gate	Timber	L 20 th	M	G
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence—south (shared)	Timber paling	L 20 th	M	F
Paving	Brick pavers	L 20 th	L	F/P
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Chute removed. Evidence of concrete table including chase in brickwork	O	E	G
Clothes hoist	Timber post-beam hoist frame and pulleys	L 20 th Reconstr.	H	F
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: Early 21st	Form: O Sheeting: H	P
Eaves and verges	Exposed rafter, timber bargeboard	O	E	F
Gutters and downpipes	Copper (missing)	O	E	P
Door set	Frame damaged, door missing	O	E	G
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber frame (no glass) Wire mesh	O L 20 th	E I	P P
Window heads	Common brick arch with hoop iron lintel bar	O	E	G
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G
Other	Fibro underdrawing to rafters	L 20 th	L	F

Table 11.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	unknown
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Architraves	Moulded timber architrave to doorway to living room (no door)	O	E	G
Fanlight	Pivot fanlight over doorway to living room Reproduction mechanism	O Early 21 st	E M	G G
Other	Light fittings	L 20 th	L	Not tested
Space G.2—Front Bedroom				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill rendered and skirted over Concrete hearth	O L 20 th O	E L E	unknown G G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door Reproduction fanlight mechanism	O Early 21 st	E M	G G
Window joinery	Timber double-hung sash window (six-over-one), inc. original glass, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Space G.3—Living Room				
Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace with marble surround and mantel, cast iron grate and pink tiled margins Concrete hearth Perspex sheet over fireplace	O O Early 21 st	E E L	G G F
Door set	Door frame Door leaf removed to rear porch	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway (mechanism removed)	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit under	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	Early 21 st L 20 th	L L	G F
Space G.4—Rear Porch				
Floor	Timber on modern joists (original dark oiled timber boards re-used) Timber step treads with nosings from adjacent rooms	O/L 20 th O	E E	G G
Skirting	Timber, under window Timber, against bathroom wall	L 20 th O?	L E	G G
Walls	Painted unrendered brick	L 20 th	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Grill pattern (to bathroom wall)	O	E	G
Space G.5—Bathroom				

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber joists and boards beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	Early 21 st	L	G
Walls	Painted render or plaster	O	E	G
	Modern ceramic tile	Early 21 st	L	G
Ceiling	Fire rated plasterboard (possibly with orig. ripple iron behind)	L 20 th	L	G
Cornice	Timber	L 20 th	L	G
Door set	Half-glazed timber panel door (glazing painted white)	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber inside space G.5	O	E	G
Fanlight	Pivot fanlight (non operable, no mechanism)	O	E	G
Wall vent	Scroll pattern	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services	L 20 th or Early 21 st	L	G/F

Space G.6—Rear Bedroom

Floor	Timber boards on timber joists	O with Early 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Four-panel sunk moulded door in original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Light fittings	L 20 th	L	F

Space G.7— Stairs

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Floor	Timber	O possibly with L 20 th repairs	E	G
	Carpet	L 20 th	L	G
Stairs	Timber stair and balustrade with stop chamfered square newel posts, profiled handrail (balustrade side only) and square-section balusters, pendant newels (to laundry space) and timber skirting	O	E	G
	Boarded soffit to stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical T & G boarded lining behind handrail to staircase	O	E	G
Other	Light fitting	L 20 th	L	F

Space LG.1—Dining Room

Floor	Timber boards on timber joists (possibly boards and joists replaced in 2011)	O or Early 21 st	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	F
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
Fireplace and chimney piece	Vertical boarded alcove	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Four-panel sunk moulded rear main door	L 20 th	E	G
	Door furniture	L 20 th	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G

Space LG.2—Kitchen

Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Plasterboard partition to stairwell	L 20 th	L	G
	Large opening	L 20 th	M	n/a
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Half-glazed French doors with fixed fanlight to rear yard from kitchens	L 20 th	L	G

Element	Description (Material, Form, Type, Construction, Missing)	Date	Significance Ranking	Condition
Architraves	Moulded timber to double doors	L 20 th	L	G
Other	Kitchen fit-outs and services	L 20 th or Early 21 st	L	F
	Light fittings	L 20 th or Early 21 st	L	F

Space LG.3—Laundry

Floor	Concrete slab	O	E	G
	Ceramic tiles	L 20 th	L	G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Paint	Early 21 st	L	G
	Original brick	O	E	G
	Render	L 20 th ?	H	G
	Timber stud and plasterboard partitions	L 20 th	L	G
Cornice	Timber quarter round	O/L20 th	L	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	L	G
Architraves	Timber door architrave	L 20 th	L	G
Door set	Reproduction part glazed sunk-moulded timber door and frame	L 20 th	L	G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th /Early 21 st	L	G

11.5 Priority Conservation Works**11.5.1 Limitation of Priority Conservation Works Schedules**

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

11.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

11.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 54B should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Reinstate louvred glazing to external WC.
- Repair timber frame and reinstate missing door to external WC.
- Repair and make operable the timber clothes hoist.
- Check and repair paving to rear yard.
- Inspect and clean storm water gratings.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.
- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)

External works:

- n/a.

Internal works:

- n/a.

11.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

11.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

11.7 Specific Conservation Policies for Flat 54B

There are no specific policies for Flat 54B that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 54B must comply with the conservation policies set out in Part 1 Section 9.0.

11.8 Areas for Possible Change for Flat 54B

Areas for possible change within the flat at 54B Gloucester Street are shown on **Figure 11.45** and Figure 11.44.

Number 54b—Plans, Areas for Possible Change

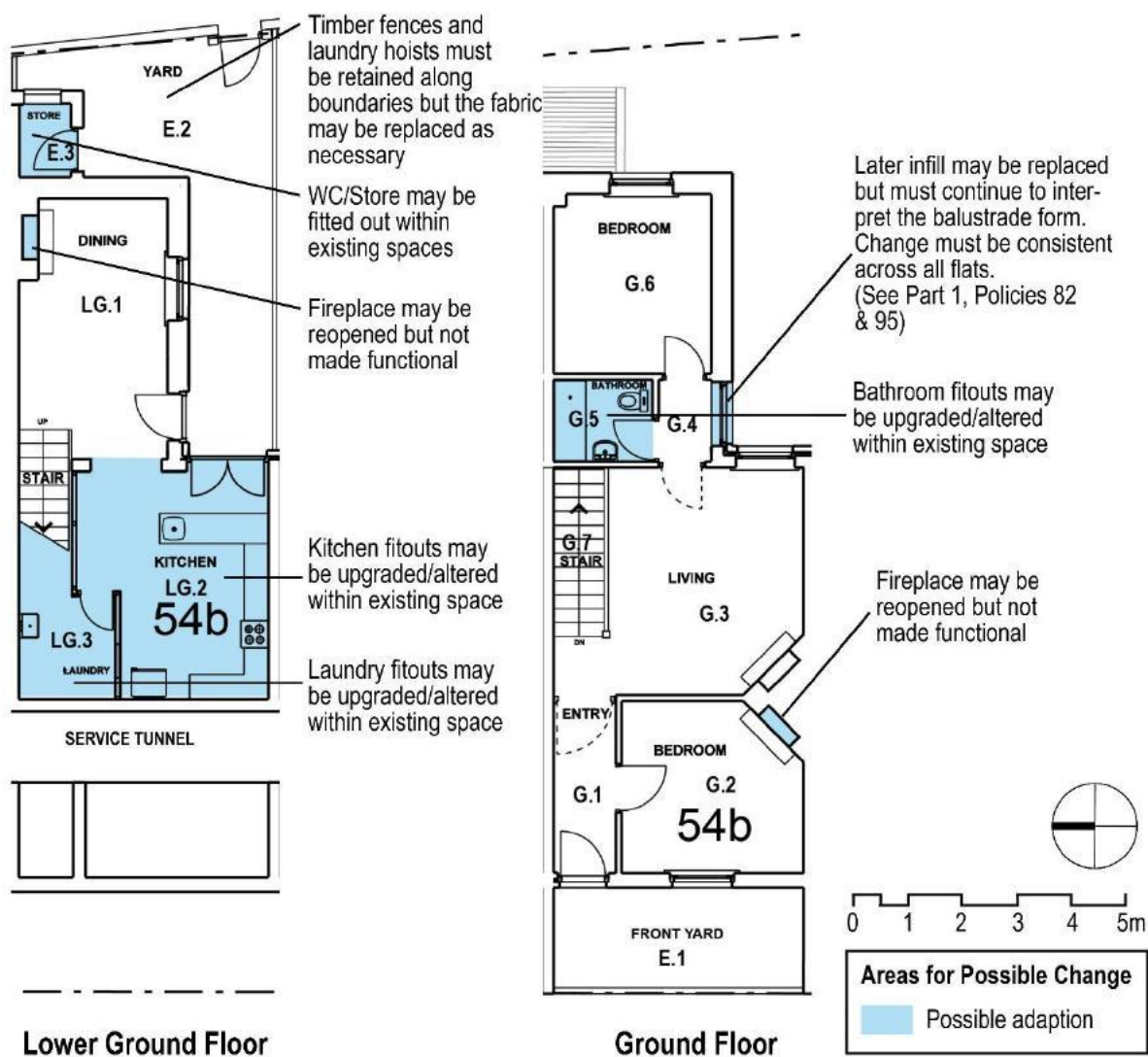


Figure 11.44 Plans showing areas for possible change—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 54b—Elevations
Areas for Possible Change

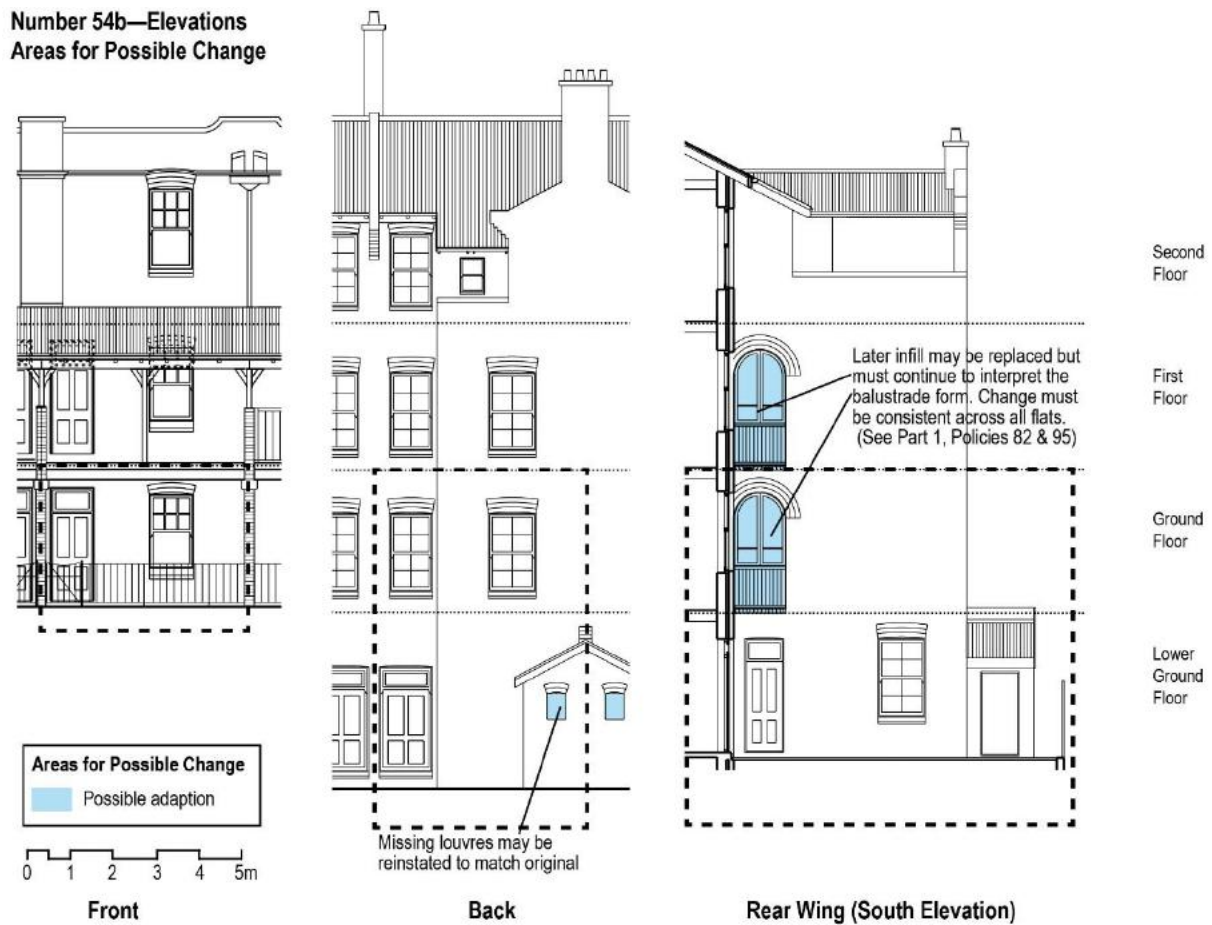
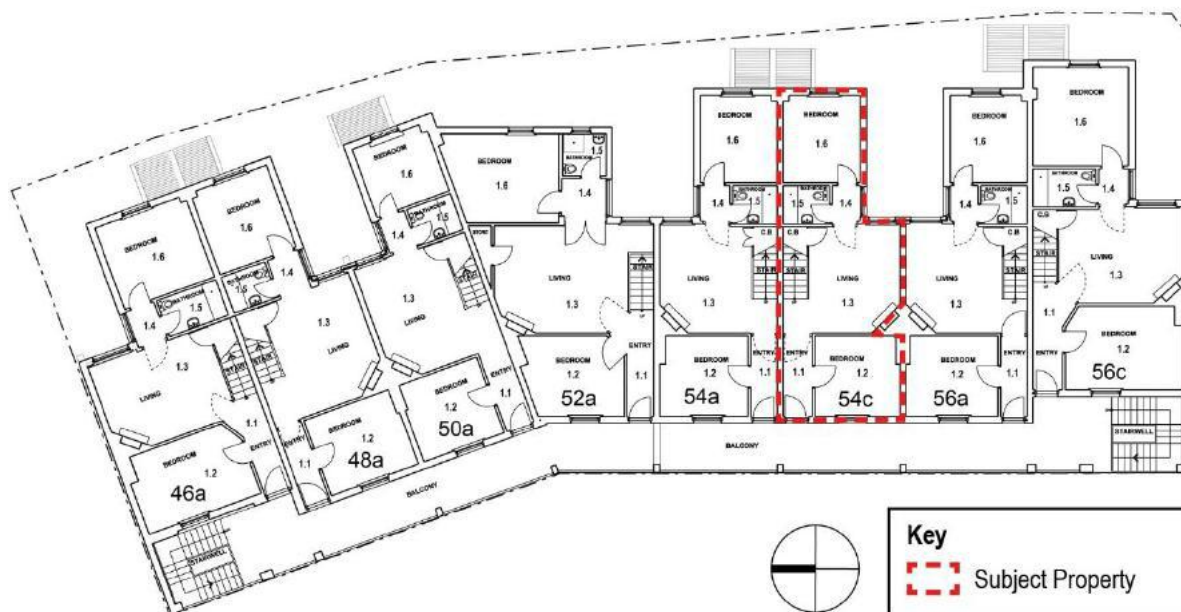


Figure 11.45 Elevations showing areas for possible change—Flat 54B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

12.0 Flat 54C of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 54C Gloucester Street. It should be read in conjunction with the preceding sections. Figure 12.1 shows the location of the flat within the building. Figure 12.2 and Figure 12.3 show the configuration of Flat 54C.

Number 54c—Property Plan, First Floor



Number 54c—Property Plan, Second Floor

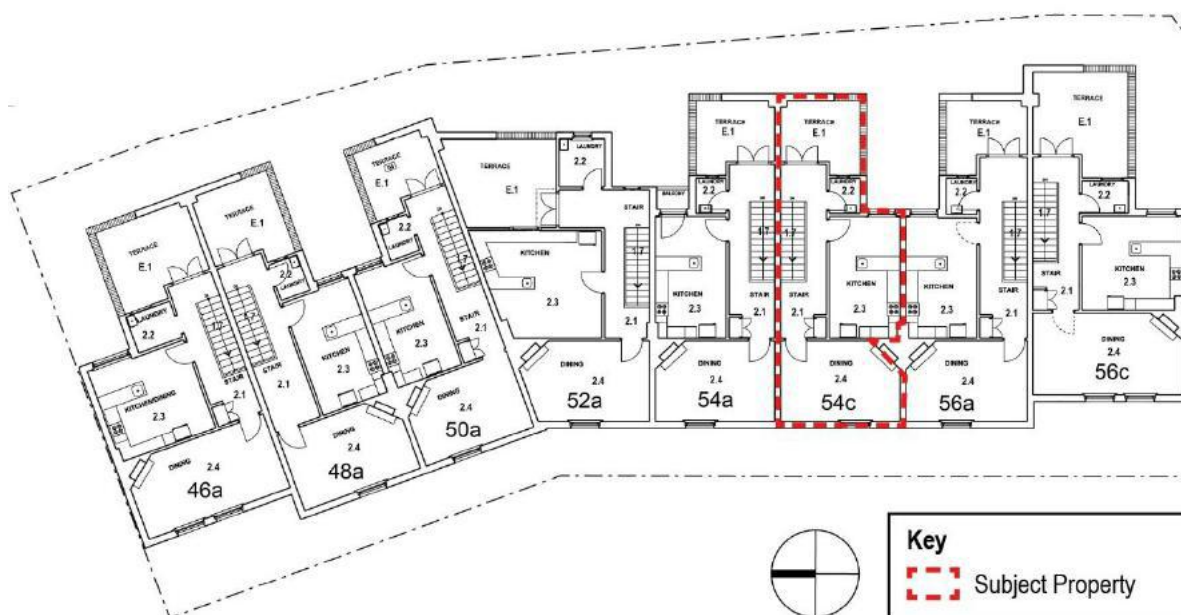


Figure 12.1 Location plan—Flat 54C / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 54c—Plans



Figure 12.2 Floor Plans of Flat 54C / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

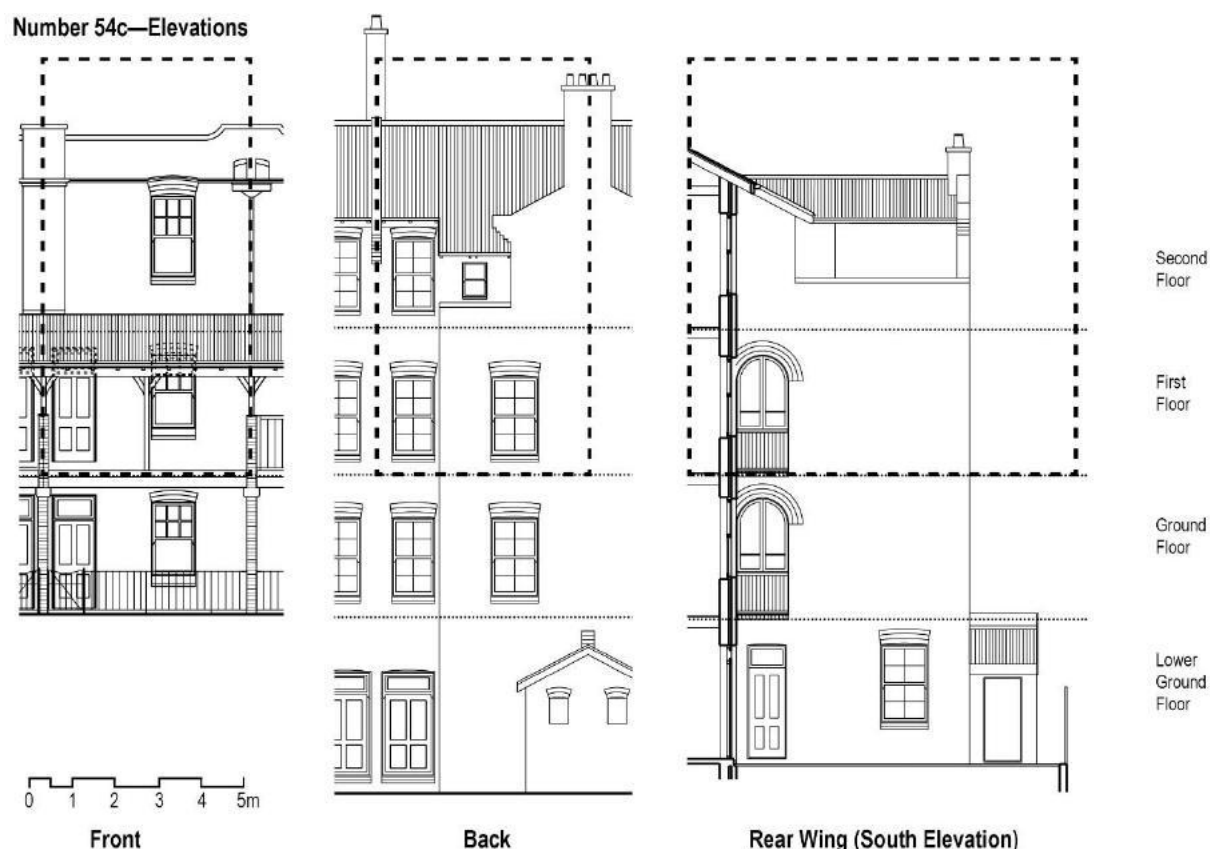


Figure 12.3 Elevations of Flat 54C / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

12.1 Summary of Heritage Significance

Flat 54C is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

12.2 Physical Description of Flat 54C

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

12.2.1 Typology

Flat 54C is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 54C is a Type 2 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4).

Flat 54C is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which are shared with Flats 54A, 56A and 56C. Type 2 flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, bedroom/dining and laundry on the second floor, with access to an external

roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 2 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building (refer to Part 1 Sections 2.3.3–2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 2 flat to another.

12.2.2 External

The flat is separated from adjoining flats (Flats 54A and 56A) by structural brick party walls. The flat is separated from the flat below (Flat 54B) by a double timber floor. Flat 56A has a gabled corrugated sheet metal roof set behind a brick parapet on its western side (Figure 12.6) and with exposed rafters and boarded eaves on its eastern side (Figure 12.17). It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace (Figure 12.13). This area is semi-enclosed by brick walls around two sides. The other part of the roof terrace is open and set behind a brick parapet (Figure 12.14). There is a chimney stack over the northern party wall at the ridge and another chimney stack to the rear wing (Figure 12.6, Figure 12.13).

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof. (Figure 12.6, Figure 12.7). The entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers (Figure 12.8, Figure 12.9, Figure 12.10). There is a mauve brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents (Figure 12.6). The top of the parapet has is shaped and topped with a header capping course. The rainwater head and downpipe is shared with the adjoining flat (Flat 56A) (Figure 12.6).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 12.6, Figure 12.7). The flat has no private area in front of it. The verandah is common property. Entry is from the verandah via a four-panel door with fanlight over (Figure 12.8, Figure 12.9). The door has bolection moulds (part missing). The upper panels are glazed in obscured glass and the bottom panels are timber. The door is fitted with brass letterbox flap, modern rimlock and keeper, and a brass fanlight mechanism to the fanlight. The central brass door knob is missing. The first and second floor windows have chamfered brick sills and the door a slate threshold (Figure 12.8, Figure 12.10). The windows to the front elevation are double hung with six pane sashes above single pane sashes (Figure 12.6, Figure 12.10).

The rear elevation and rear wing are of common brickwork laid in running bond with struck joints (Figure 12.11, Figure 12.12). The doors and windows have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched window opening of the former rear porch on the first floor level of the rear wing, which faces north towards the rear wing of Flat 56A (Figure 12.12). The windows to the rear elevation are generally double hung timber windows with four pane sashes, top and bottom (Figure 12.12). The arched opening which framed the original rear porch (like most such windows on this floor of the block), has been infilled with timber casement windows with textured and coloured glass panes (Figure 12.12). The panel below the window consists of a timber balustrade (rectangular balusters and handrail) backed by a fibrous cement sheet. The rear wing has circular steel downpipes draining ogee profile steel gutters (Figure 12.13). The roof terrace drainage goes into a rectangular steel rainwater head, with square downpipes (Figure 12.11).

The roofed area of the roof top terrace is partially enclosed by two brick walls (Figure 12.13). The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade (Figure 12.14). The opening to the former garbage chute previously located on the rear wall has been bricked up. There is evidence of the former laundry copper having been removed from the skillion roofed area

(Figure 12.15). The glass doors opening onto the terrace are set in a weatherboard wall (Figure 12.16). The side wall of the stair landing is rendered and painted (Figure 12.17). The hot water system is located on the roof terrace, outside the laundry (Figure 12.17).

12.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (Figure 12.18, Figure 12.19). A timber framed four panel door with pivot fanlights over and original timber architraves lead to the front bedroom (space 1.2) (Figure 12.18, Figure 12.22). The original frame and fanlight survive at the entry to the main living room (space 1.3), although the door is missing (Figure 12.19).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (Figure 12.20, Figure 12.21, Figure 12.22, Figure 12.23). There is a timber double-hung sash window (six panes over one) with original architraves, sill board and moulding. A wide chimney flue rises against the southern wall (Figure 12.21).

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (Figure 12.24, Figure 12.25). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding (Figure 12.24). There is a corner fireplace (blocked up) with concrete hearth below the carpet (Figure 12.24).

A timber staircase with stop chamfered newel posts, a moulded timber handrail is set against the south wall (Figure 12.25). The bottom of the top newel post extends down below the ceiling of space 1.3 (Figure 12.36). The stair soffit is lined with V-joint timber boarding. The area under the stair is enclosed with timber vertical boarded wall to form a cupboard (Figure 12.25) and is fitted with traditional timber shelving. A ledged and sheeted timber door, with air holes drilled through its top, is hung on strap hinges and provides access (Figure 12.25). The side of the stair where it passes the bathroom (space 1.5) is lined with ripple iron (Figure 12.34).

All the walls in the front portion of the flat, including the stair above the stringer, show evidence of a dado line in the plaster wall surface (Figure 12.47).

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves and pivot fanlight over, the door is missing (**Figure 12.28**).

The former porch has a timber floor (carpeted), painted brick walls, ripple iron ceiling, moulded timber cornice and modern moulded timber skirting under the window only (Figure 12.26, Figure 12.29). The floor of space 1.4 has been raised to the level of the door thresholds. The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (2 by 2 panes with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (Figure 12.27).

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling and moulded timber cornice (Figure 12.30). The soffit of the stair which rises over the southern portion of the space is lined with timber V-joint boarding. The bottom of the newel post projects through into the space in the upper corner (Figure 12.31). The side of the stair is lined

with ripple iron (Figure 12.31). The bathroom has an original half-glazed timber door, which is fitted to the original door frame and retains its original pivot fanlight over (**Figure 12.28**).

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents (Figure 12.32, Figure 12.33). It retains its original four-panel door and double-hung sash window (four panes over four) with original timber architraves, sill board and moulding (Figure 12.33). The chimney flue from the flat below rises in the northeast corner of the room (Figure 12.33).

12.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and front bedroom (or 'dining room') (space 2.4). The principal rooms on this floor (spaces 2.1, 2.3 and 2.4) have timber floors, cement run skirtings, set plaster wall finishes, ripple iron ceilings and moulded timber cornices (Figure 12.37, Figure 12.39, Figure 12.43, Figure 12.44). The ceiling over the stair runs in two different directions on either side of the beam (Figure 12.38).

A timber balustrade with handrail and square balusters extends around the top edge of the stair void in space 2.1 (Figure 12.37). There is evidence of an early gas light bracket survives over the stair (Figure 12.39). A modern built-in cupboard has been built against the north wall adjacent to the entrance to the front bedroom (space 2.4) (Figure 12.39). The cupboard covers the original entrance to the kitchen (space 2.3) (Figure 12.43). The double glazed doors at the eastern end of the space, giving access to the roof terrace are not original, most likely introduced during the late twentieth century (Figure 12.37).

Some alterations have been made to incorporate the laundry (space 2.2) into what was most likely an external WC accessed from the roof terrace (Figure 12.40). A window has been introduced where the door originally was located (Figure 12.17, Figure 12.40). The laundry (space 2.2) and kitchen (space 2.3) have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain original cement run skirtings, ripple iron ceilings and moulded timber cornices (Figure 12.41, Figure 12.43). The door openings and joinery to the kitchen and laundry are modern. The original door opening to the kitchen (evidenced by the remaining timber door frame) has been blocked up (Figure 12.43). A chimney flue runs up the southwest corner of the kitchen from the fireplace and flat below.

The front bedroom (space 2.4) has almost identical features to the downstairs front bedroom but with no picture rail (Figure 12.44). It retains its original fireplace with a red marble chimney piece and cast iron grate with tiled side panels (Figure 12.45). It also retains its original concrete hearth. The room retains its original four panel timber door (bottom panels replaced) with original architraves and central pivot fanlight over (Figure 12.46) and double hung window with original architraves, sill board and moulding). It also has a decorative plaster wall vent similar to those in other rooms (Figure 12.44, vent similar to Figure 12.23).

12.3 Phases of Development

Figure 12.4 and Figure 12.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 54c—Phases of Development, Plans



Figure 12.4 Plans showing phases of development—Flat 54c / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 12.5 Elevations showing phases of development—Flat 54C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

12.4 Significant Components of Flat 54C

As with all the flats at 46–56 Gloucester Street, Flat 54C has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 54C.

12.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 12.6 to **Figure 12.47**) document the elements and spaces of 54C Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the 2016.



Figure 12.6 Western façade of flat 54C as viewed from Gloucester Street. The flat is accessed from the upper level verandah—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.7 Front facades of flats 54A and 54C showing face brick external walls with contrasting brick surround to window and door openings—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.8 Front elevation of flat 54C from verandah showing original front door with slate threshold and fanlight over—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.9 Four panel entrance door with bolection moulds, obscured glass to upper panels and fanlight over. The door has an early enamelled number plate—54C / 46–56 Gloucester Street. (Source: GML Heritage July 2016)



Figure 12.10 Original double hung sash window with chamfered brick sill—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.11 Rear elevation of Flats 54 and 54B (bottom two floors) and 54A and 54C (top two floors), viewed from Cumberland Street—54C / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 12.12 Original brick arched opening to former porch in rear wing (first floor level), now infilled with window and solid balustrade). Typical triple brick to window head and arched opening—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.13 Roof terrace (space E.1) viewed from flat 56A, showing area covered by skillion roof chimney over the rear wing and brick balustrade to the roof terrace—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.14 Roof terrace (space E.1) showing tiled floor and evidence of the original garbage chute (blocked up)—54C / 46–56 Gloucester Street—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.15 Roof terrace (space E.1) showing evidence of removal of the former laundry copper—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.16 Rear wall of the flat opening onto the roof terrace (space E.1), showing recent weatherboard wall, pair of half glazed doors and rendered finish to stair hall wall. The window is also recent, replacing a previous door—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.17 Detail of the roofline of flat 54C, showing the open rafters, corrugated metal roof and chimney with terracotta chimney pots—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.18 Entrance hall (space 1.1), looking towards front door, showing the ripple iron ceiling, moulded timber cornice and cement run skirting—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.19 View of entrance hall (space 1.1) from front door, showing original door frame, with fanlight above, leading to the living room (space 1.3) and stair (space 1.7). The door is missing—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.20 Front bedroom (space 1.2) with cement run skirting, timber cornice, ripple iron ceiling, decorative plaster wall vent, original four panel timber door with sunk moulds, original architraves and fanlight over, and original double hung window with original architrave and sill board—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.21 Front bedroom (space 1.2) showing timber double hung sash window with six pane upper sash and single pane lower sash, cement run skirting, ripple iron ceiling and moulded timber cornice. There is a chimney flue running up the southern wall—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

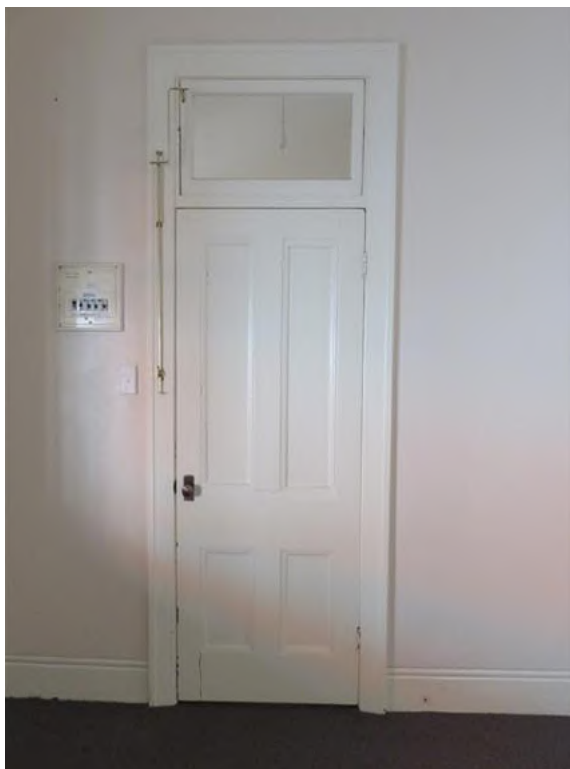


Figure 12.22 Original four panel door with sunk moulds to each panel, original fanlight over and original architrave. The bead run in the cement render for the skirting is also original. (space 1.2)—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.23 Detail of the decorative plaster wall vent, timber cornice and ripple iron ceiling typical to flat 54A (space 1.2)—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

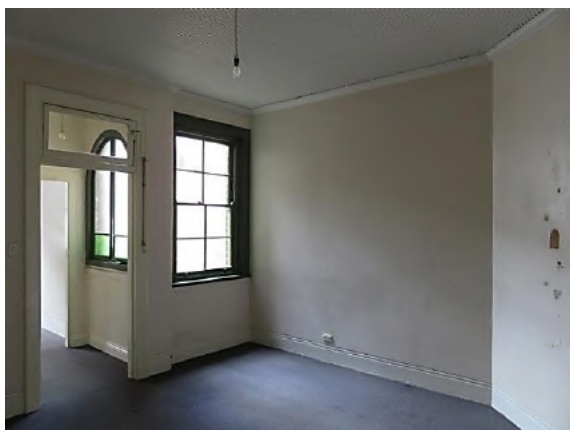


Figure 12.24 Living room (space 1.3) showing the original double hung sash window (four panes to each sash) and door frame with fanlight above leading to space 1.4. The diagonal wall includes a fireplace which has been blocked up and rendered to match the surrounding walls, including skirting—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

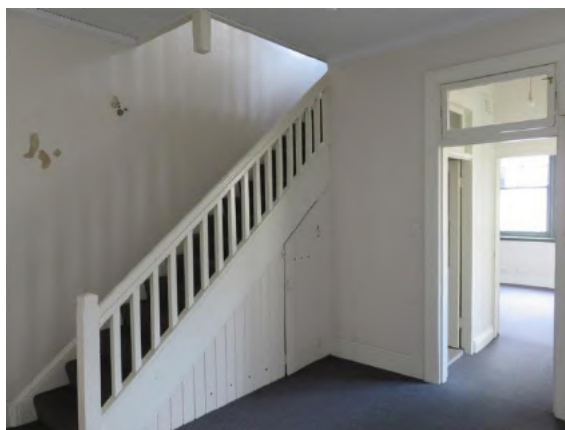


Figure 12.25 Living room (space 1.3) showing original timber stair (space 1.7) with closed strings, chamfered newel post, simple square balusters and moulded handrail. The space under the stair is enclosed by a vertical boarded wall. The cupboard has a ledged and sheeted door and has timber shelves fixed to the wall within. The doorway leads to space 1.4—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.26 Space 1.4 (former rear porch) looking through to space 1.5 (rear bedroom). The floor has been raised and the timber skirting is recent—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.27 Infill to original arched opening of former porch in rear wing (space 1.4) consists of a pair of casement windows and vertical boarded panel below. The timber skirting is late twentieth century. (Source: GML Heritage, July 2016)



Figure 12.28 Original door frames with original fanlights and brick heads above (space 1.4). The half glazed door to the bathroom (space 1.5) is original. The door to space 1.3 is missing—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.29 Original door frames, showing original transom and fanlight detail. Space 1.4 (the former porch) has painted brick walls and brick arched heads above the door openings. The space has a ripple iron ceiling with moulded timber cornice—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.30 Bathroom (space 1.5) showing modern refit—54C / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 12.31 Bathroom (space 1.5) showing soffit of the stair lined with v-jointed timber boarding beneath and ripple iron to the ceiling and side of stair above the stringer. The bottom of the stair newel post projects below the stair—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.32 Rear bedroom (space 1.6) showing the original four panel timber door with its original architraves, and cement rendered skirtings—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.33 Rear bedroom (space 1.6) showing the original double hung sash window, cement run skirting, ripple iron ceiling and moulded timber cornice. A chimney flue rises up through the northeast corner of the room—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.34 Detail of stair balustrade showing ripple iron cladding to outer face enclosing bathroom (space 1.5)—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

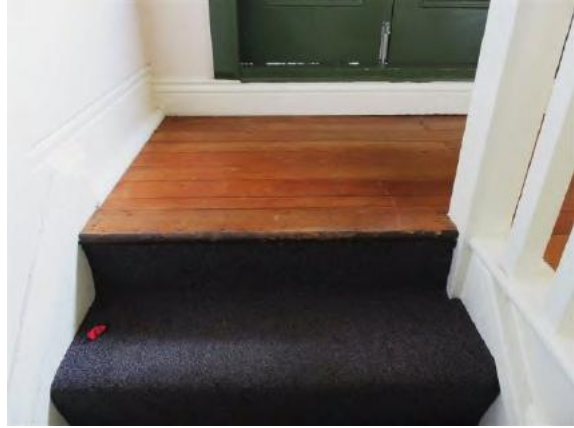


Figure 12.35 Original cement run skirting with timber quad mould to the second floor landing (space 2.1, left). The timber skirting under the doors is late twentieth century—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.36 Original timber stair rising to second floor. The bottom of the newel post projects below the ceiling—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.37 Second floor landing (space 2.1) looking east, showing timber balustrade around stair with moulded handrail, square balusters and chamfered newel posts, cement rendered skirting to the wall. The half glazed timber doors to the roof terrace are late twentieth century—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.38 Second floor landing ceiling (space 2.1) showing the ripple iron ceiling running in two different directions either side of the beam—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

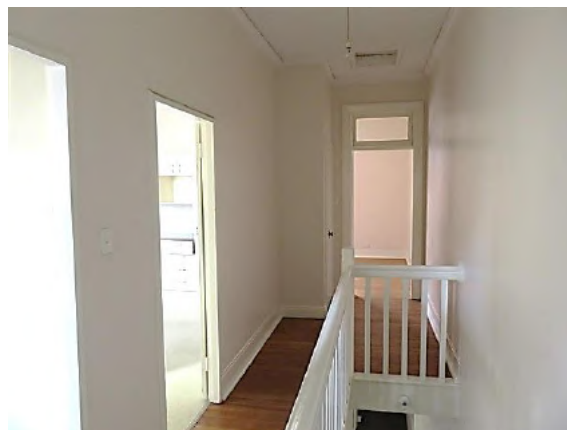


Figure 12.39 Second floor landing (space 2.1) looking west, showing the altered doorframe to the kitchen and the built in cupboard—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.40 Laundry (space 2.2) showing modern refit and timber double hung window—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

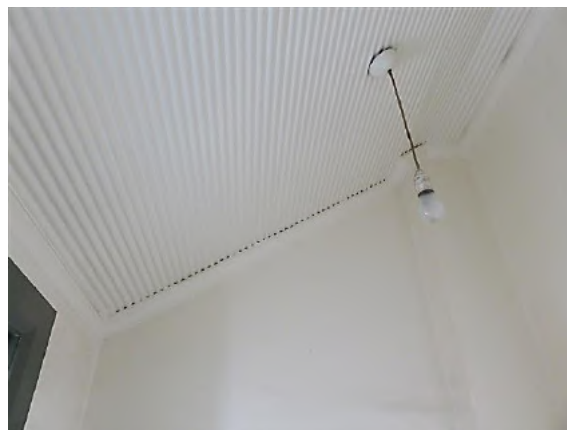


Figure 12.41 Laundry (space 2.2) showing the raked ripple iron ceiling and moulded timber cornice—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.42 Kitchen (space 2.3) showing the original timber double hung window and relocated door—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.43 Kitchen (space 2.3) showing modern refit, ripple iron ceiling, timber cornice and cement run skirting. The original door frame survives in the wall at the northwest corner of the room—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.44 Front room on the second floor (space 2.4) showing the fireplace, timber double hung window, cement run skirting, ripple iron ceiling and moulded timber cornice—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.45 Fireplace (space 2.4) with marble chimney piece and cast iron grate with tiled sides and concrete hearth—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.46 Front room on the second floor (space 2.4) showing the original four panel timber door with fanlight above with fanlight opener. The door furniture has been replaced—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 12.47 Paint scrapes above the stair reveal a dark painted dado and a lighter colour on the wall above—54C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

12.4.2 Significance Grading Diagrams for Flat 54C

Figure 12.48 and Figure 12.49 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 12.1 to 12.5).

Number 54c—Plans, Gradings of Significance

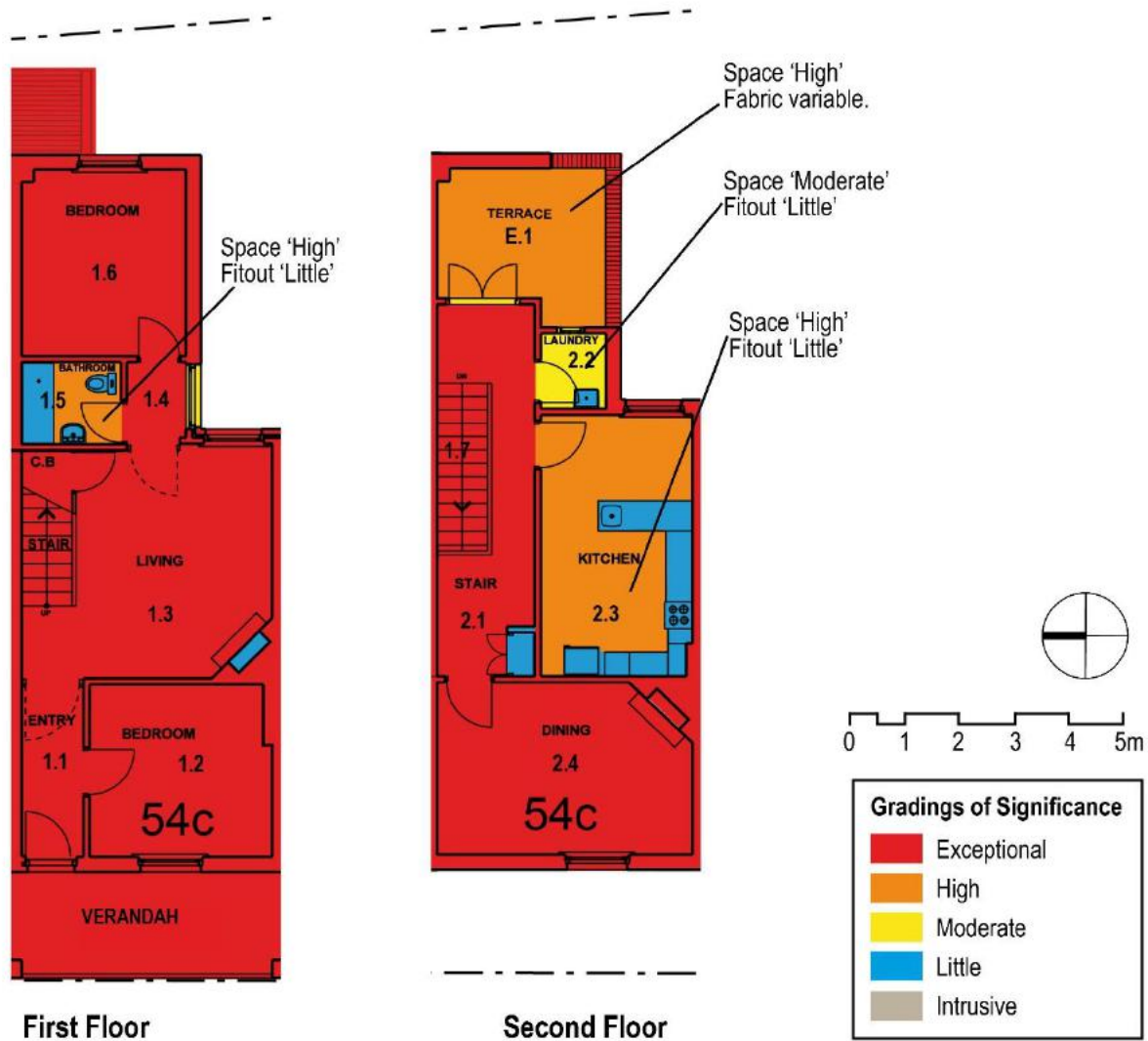


Figure 12.48 Plans showing gradings of significance—Flat 54C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

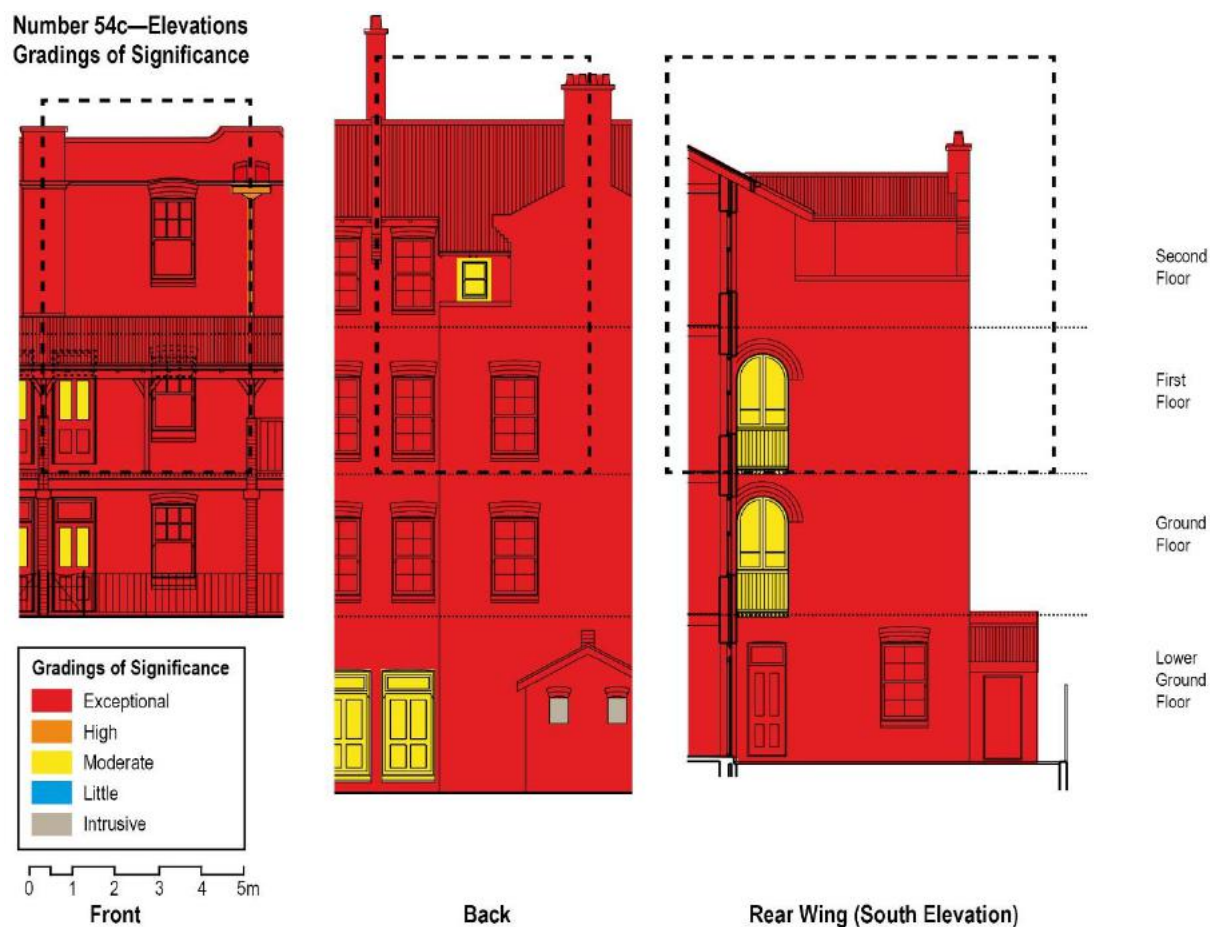


Figure 12.49 Elevations showing gradings of significance—Flat 54C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

12.4.3 Significant Fabric and Condition— 54C Gloucester Street

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 12.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade, curving up to southern party wall	O	E	G
Door threshold	Slate threshold to front door	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush mouldings	O	E	G (part of moulding missing)
	Obscured glass in upper panels	Late 20 th	M	G
	Brass knob	-	-	Missing
	Brass letterbox flap	M–L 20 th	H	G
	Enamel number plate	O ? ? E 20 th	E	G
	Timber frame, transom and reveal linings	O	E	G
Fanlights	Pivot fanlight over doors to entrance hall and former porch	O	E	G
	Reproduction fanlight mechanisms	L 20 th	M	G
Window joinery	Timber double-hung sash window including frame	O	E	G
	Clear glass	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Gutters and downpipes	Decorative rainwater head and square galvanised steel downpipe	E 21 st	H	G

Table 12.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—east and south elevations	Common brickwork	O	E	G
Window sills	Chamfered brick	O	E	G
Window and door heads	Arched brick heads over window and door openings, with iron bearer (archbar)	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta vents	O	E	G
Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: timber balustrade with fibrous cement panel behind, timber casement windows	L 20 th	M	G
	Coloured and textured glass	L 20 th / E 21 st	M	G
Gutters and downpipes	Ogee gutters and circular downpipes, galvanised steel	L 20 th / E 21 st	H	G
	Rectangular rainwater heads and square section downpipes, galvanised steel (zinc coated?)	L 20 th / E 21 st	H	G
Service pipes	Copper service pipes to south elevation	L 20 th	H	G

Table 12.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure)	E	G
		E 21 st (roofing)	H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure)	E	G
		E 21 st (roofing)	H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Chimneys	Face brick with brick on edge capping	O	E	G
	Terracotta chimney pots	L 20 th replacements	H	G
Eaves	Exposed rafter to rear elevation and rear wing with boarded linings	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes and spreaders	L 20 th	M	G

Table 12.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof sheeting	E 21 st	H	G
	Timber rafters, purlins and verandah beam	O	E	G
Structure	Face brick piers	O	E	G
	Face brick cross wall with curved brick on edge coping (adjoining Flat 52A)	O	E	G
	Timber posts and brackets	O	E	G
Balustrade	Wrought iron balustrade	O	E	G
Space E.1—Roof Terrace				
Roof (including cappings and flashings)	Roof structure, including exposed rafters at eaves	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
Walls	Brick balustrade with brick-on-edge coping, evidence of former garbage chute opening which is blocked up	O	E	G
	Common brickwork to walls around terrace	O	E	G
	Brick infill to door opening in laundry wall	L 20 th	L	G
	Timber weatherboards to external wall of stair	L 20 th	M	G
	Painted render to external side wall of stair	L 20 th	M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round moulding	O	E	G
Door set	Half-glazed double doors to access roof terrace including furniture	L 20 th	M	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Paving	Modern concrete/ceramic tiles	E 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	E 21 st	L	G/F
Services	Hot water tank	E 21 st	L	Not tested
	Light fittings	E 21 st	L	Not tested
	Metal clothes hoist	L 20 th	L	F

Table 12.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O / E 21 st repairs	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Refer to adjoining spaces	-	-	-
Architraves	None to front door	O	E	G
	Moulded timber architrave to doorways to spaces 1.2 and 1.3	O	E	G
Other	Light fittings	L 20 th	L	Not tested
Space 1.2—Front Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Chimney flue against south wall	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Chimney flue against south wall (no fireplace)	O	E	G
Door set	Four-panel sunk moulded door in original frame	O	E	G
	Modern door furniture	L 20 th	L	F, loose door furniture

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Fanlight	Pivot fanlight over doorway Reproduction fanlight mechanism	O E 21 st	E M	G G
Window joinery	Timber double-hung sash window (6 pane sash over single pane sash), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to door and window	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	Not tested

Space 1.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical boarding enclosing space under stair	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Original fireplace, blocked up	O	E	unknown
	Rendered brick infill to fireplace with run skirting	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Timber frames and transoms	O	E	G
	Four-panel sunk moulded doors (doors to spaces 1.1 and 1.4)	Missing	-	Missing
	Ledged and sheeted door to cupboard under stair, with air holes drilled in door	O	E	G
Fanlight	Pivot fanlights over doors	O	E	G
	Reproduction fanlight mechanisms	L 20 th	M	F, refix
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to doors and window	O	E	G
Stair	Timber stair and balustrade—Refer to Space 1.7	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	Not tested

Space 1.4—Rear Hall (Former Porch)

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Floor	Timber	O / L 20 th	E	G
	Carpet	E 21 st	L	G
	Timber thresholds from adjacent rooms under carpet	O	E	G
Skirting	Timber, under window only	L 20 th	L	G
Walls	Brick walls	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over door openings	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Infill to porch opening	Timber V-jointed vertical boarding and handrail	L 20 th	M	G
Window joinery	Pair of round headed casement sashes with textured glass, green in bottom panes	L 20 th	M	G, winder broken
Architraves	None, timber frame expressed	O	E	G
Wall vent	Decorative plaster (to bathroom wall)	L 20 th	M	G
Other	Light fittings	L 20 th	L	F

Space 1.5—Bathroom

Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	L 20 th	L	G
Walls	Painted render/plaster	O/L 20 th	E/L	G
	Ceramic tile	E 21 st	L	G
	Ripple iron to side of stair	O	E	G
Cornice	Moulded timber quarter round	L 20 th	L	G
Ceiling	Ripple iron	L 20 th	E	G
Door set	Half-glazed door—four glass panes over one timber panel	O	M	F, broken glass and panel
	Frame	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction fanlight mechanism	E 21 st	M	F
Architraves	Moulded timber	O	E	G
Fit out	WC, wall cupboard, basin, shower kerb and services	L 20 th / E 21 st	L	G/F
	Lighting	L 20 th	L	Not tested

Space 1.6—Rear Bedroom

Floor	Timber suspended	O / L 20 th repairs	E	G
	Carpet	E 21 st	L	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Chimney flue against south wall	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel door with sunk mouldings and frame	O	E	G
	Door furniture	L 20 th	L	P, door furniture missing
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	Not tested
Space 1.7—Stairs				
Floor	Timber	O	E	G
	Carpet	L 20 th	L	G
Walls	Painted set plaster above dado, cement render below dado	O	E	G
	V-joint vertical boarding enclosing space below stringer to staircase, with ledged and sheeted door	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit	O	E	G
	V-joint timber boarding to the stair soffit enclosure below the stairs	O	E	G
	Timber shelving in the cupboard	E 20 th	H	G
Other	Part of gas light fitting to stair	O	E	F, not functional
Space 2.1—Landing/Stair Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Moulded timber to east wall	L 20 th	L	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster, cement render below dado to south wall	O	E	G
	Light weight partition (possibly fly ash concrete) to north wall	O / L 20 th alterations	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Architraves	Moulded timber to opening in west wall Scotia mould to recent openings in south wall Moulded timber to opening in east wall	O L 20 th L 20 th	E L L	G G G
Other	Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters Light fittings Built in cupboard	O L 20 th L 20 th	E L L	G Not tested G

Space 2.2—Laundry

Floor	Timber boards on timber joists Tiling	O, E 21 st repairs Early 21 st	E L	G G
Skirting	Modern tiles	L 20 th	L	G
Walls	Painted set plaster/cement render Lightweight partition to landing	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Frame, door missing Door furniture	L 20 th L 20 th	M L	G G
Window joinery	Modern timber sash window with spiral balance, timber frame, sill board and moulding	L 20 th	M	G
Architraves	Moulded timber	L 20 th	L	G
Wall vent	Decorative plaster	L 20 th	M	G
Other	Water services, sink and water heater Electrical fixtures	E 21 st L 20 th / E 21 st	L L	G G

Space 2.3—Kitchen

Floor	Timber Vinyl covering	O L 20 th	E L	G G
Skirting	Grooved/beaded run cement render Timber skirting (blocked up doorway)	O L 20 th	E L	G G
Walls	Painted set plaster/cement render to north, east and west walls Light weight partition (possibly concrete with fly ash) Chimney flue in northwest corner	O O O	E E E	G G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Chimney flue in southwest corner (no fireplace)	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door set	Original frame in northwest corner	O	E	G
	Recent frame in northeast corner	L 20 th	L	G
	Four panel door with sunk moulds	O	E	G, relocated
	Door furniture	L 20 th	L	G
Window joinery	Timber double-hung sash window, timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to window	O	E	G
	Scotia mould to hall door	L 20 th	L	G
	Expressed frame of original door opening (southwest corner)	O	E	G
Other	Fit-out	L 20 th / E21 st	L	G
	TV/communications service point in floor with brass cover plate	L 20 th / E21 st	L	Not tested
	Light fittings	L 20 th / E21 st	L	Not tested
Space 2.4—Front bedroom				
Floor	Timber, oiled finish	O / E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado			G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Marble chimney piece and cast iron fire box with tiled side panels	O ?	H	G
	Concrete hearth	O	E	G
Door set	Four-panel door with sunk moulds in original frame	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over door	O	E	G
	Fanlight mechanism	L 20 th	M	F
Window joinery	Timber double-hung sash window, timber box frame and sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th / E21 st	L	G
	Light fittings	L 20 th	L	F

12.5 Priority Conservation Works

12.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

12.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

12.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 54C should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they are in good condition and have not decayed.
- Investigate possible causes of damp in walls. Undertake appropriate remedial action as required in consultation with heritage consultant.

- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing internal doors with four panel doors to original configuration and detail.
- Repair broken or replace missing fanlights. Rehang fanlights that have dropped off pivots.
- Repair or replace broken door and fanlight hardware.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.

Low (within six years)

External works:

- n/a

Internal works:

- Paint interiors
- Oil floors with natural tung oil

12.5.4 Ongoing Works—Cyclical Maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

12.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

12.7 Specific Conservation Policies for Flat 54C

There are no specific policies for Flat 54C that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 54C must comply with the conservation policies set out in Part 1 Section 9.0.

12.8 Areas for Possible Change for Flat 54C

Areas for possible change within the flat at 54C Gloucester Street are shown on Figure 12.50 and Figure 12.51.

Number 54c—Plans, Areas for Possible Change

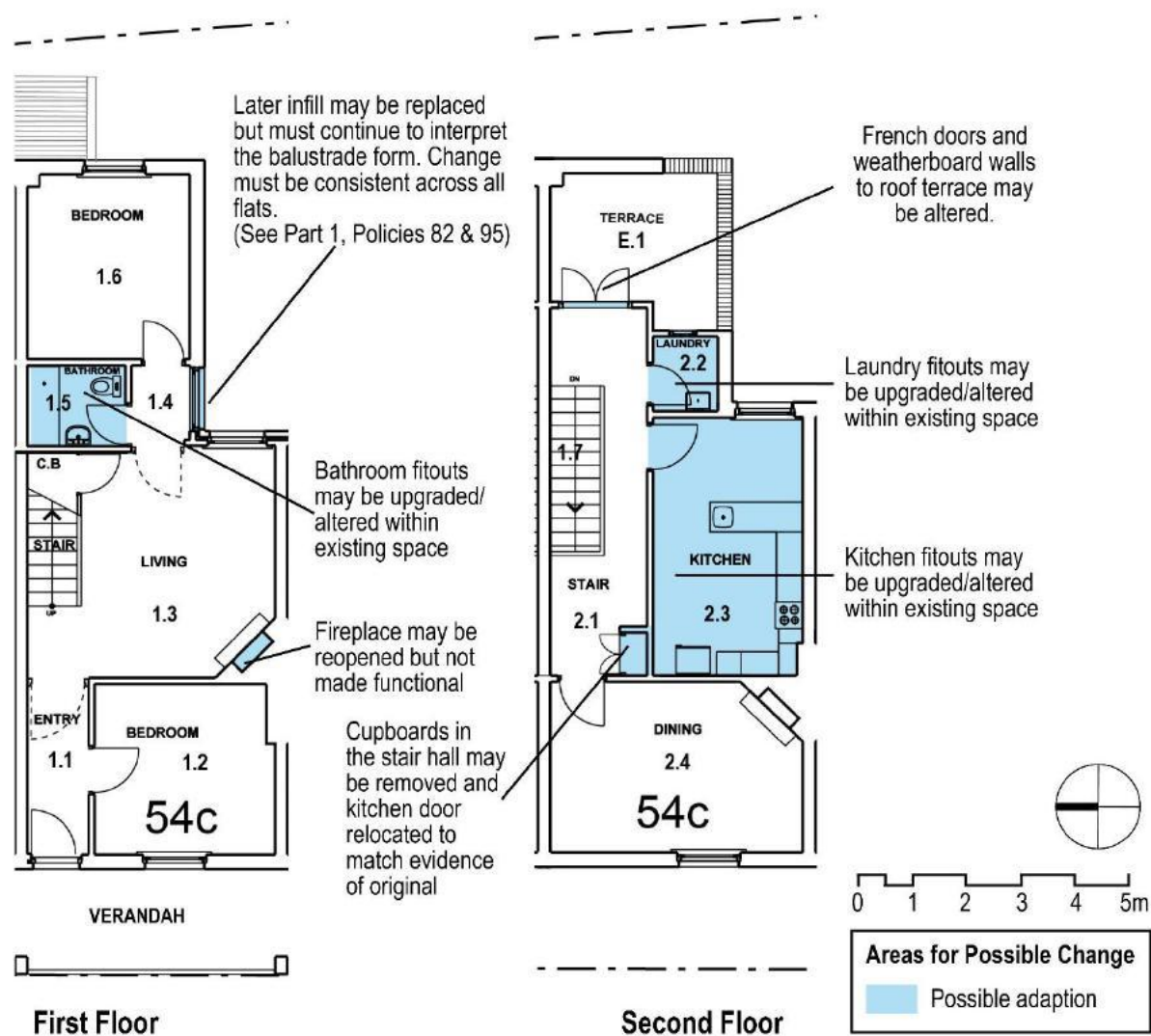


Figure 12.50 Elevations showing areas for possible change—Flat 54C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

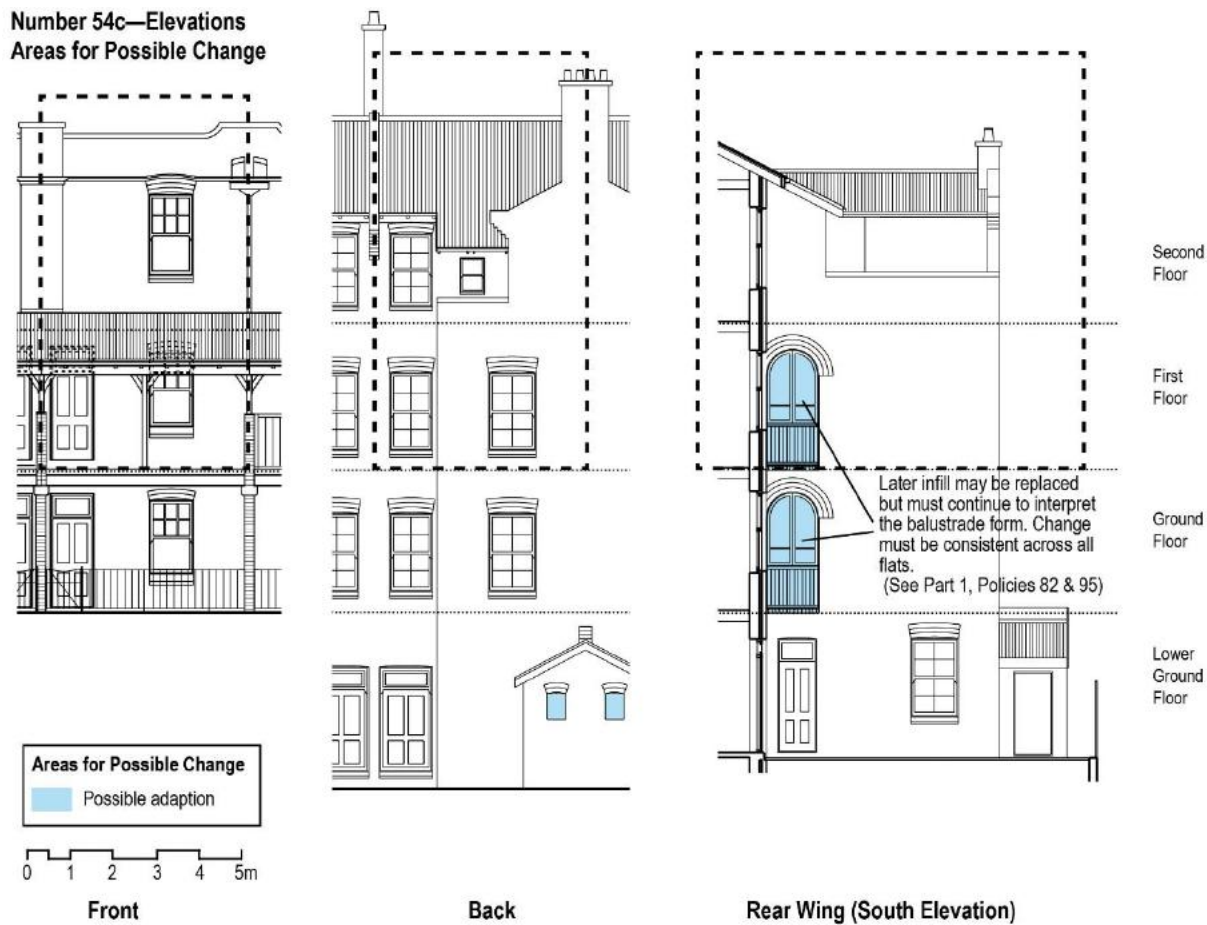
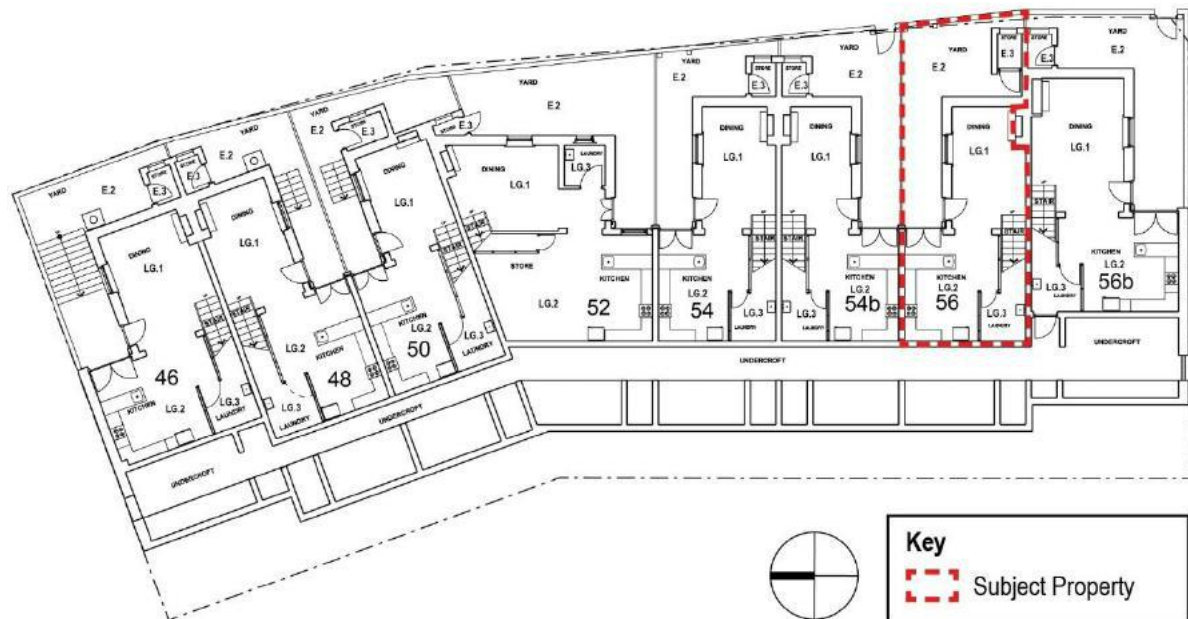


Figure 12.51 Plans showing areas for possible change—Flat 54C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

13.0 Flat 56 of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 56 Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 13.1 shows the location of the flat in the building. Figure 13.2 and Figure 13.3 show the configuration of Flat 56.

Number 56—Property Plan, Lower Ground Floor



Number 56—Property Plan, Ground Floor

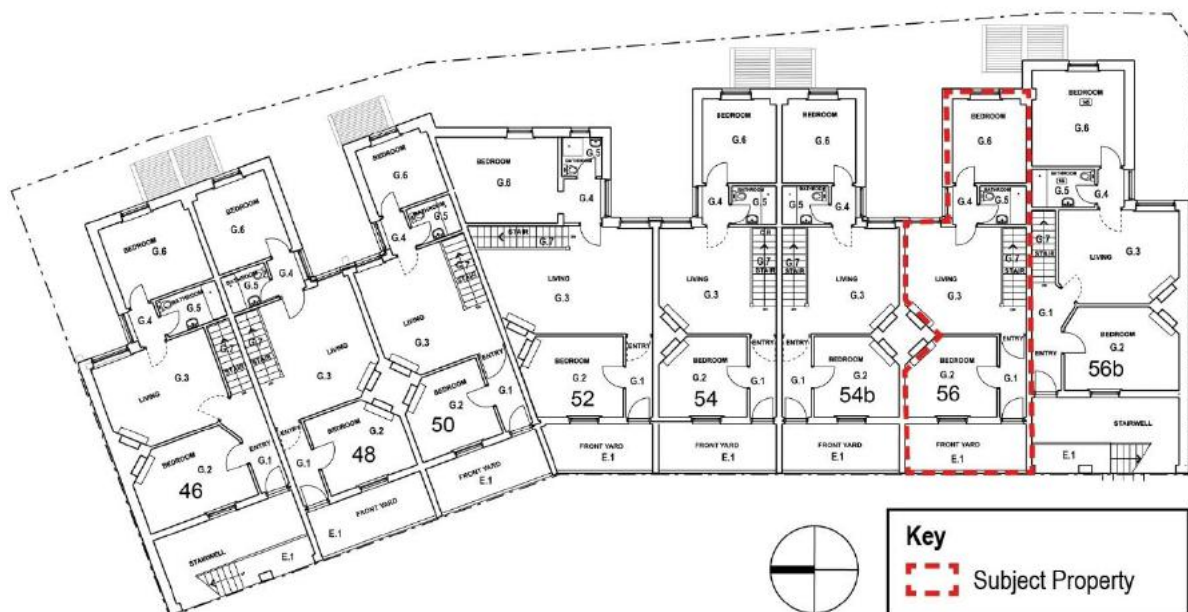


Figure 13.1 Location plan—Flat 56 / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 56—Plans

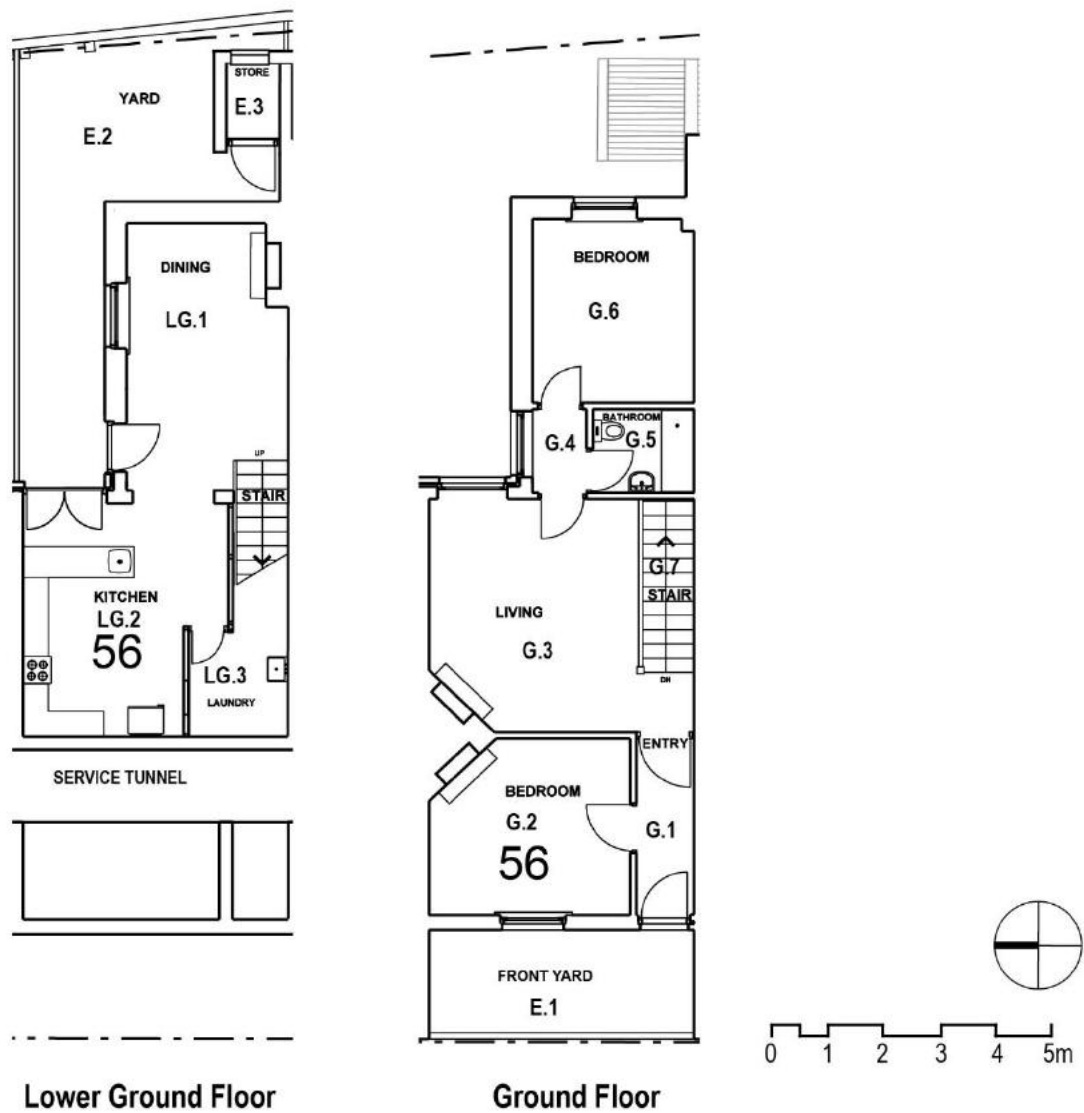


Figure 13.2 Plans of Flat 56 / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 56—Elevations



Figure 13.3 Elevations of Flat 56 / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

13.1 Summary of Heritage Significance

Flat 56 is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

13.2 Physical Description of Flat 56

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

13.2.1 Typology

Flat 56 is one of eight maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 56 is a Type 1 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 1 Flats have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 1 group. The flat was refurbished in c1988 in a way that is generally

consistent with other flats of the same type within the building. However, there are very minor differences of fabric (chiefly in joinery details) from one Type 1 to another.

13.2.2 External

The flat is separated from adjoining flats (Flats 54B and 56B) by structural party walls running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56b) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 13.6). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 13.8). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 13.6 and Figure 13.7). The four-panel, bolection moulded entry door has glazed upper panels in wired glass, a central brass knob, letterbox, spyhole, bell and modern mortise lock. There is a pivot fanlight over (Figure 13.7). The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a six-over-two double hung sash window, and has a chamfered brick sill. The door has a slate threshold (Figure 13.10).

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 13.38). There is no private access from Cambridge Street. The rear yard has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 13.41). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street, though all but one of the louvre glazing panels is missing.

The rear elevation is of common brick in stretcher bond, flush jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 13.39). The exception is the round-arched window of the former rear porch, which faces south towards the rear wing of Flat 54B (Figure 13.40). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground floor has a solid timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 13.36). At the rear, the property shares rainwater services with Flat 56A above (stainless steel square section downpipes) (Figure 13.40).

13.2.3 Internal—Ground Floor

As with other Type 1 flats, entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, fibrous plaster cornice and a timber door frame to the living room with pivot fanlight over. In Flat 56 the door between the hall (space G.1) and the living room (space G.3) has been removed, although the frame and fanlight survive (Figure 13.12). The front bedroom (on the right) has timber floor, cement run skirtings, fibrous plaster cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and one double-hung timber sash window (six lights over two) (Figure 13.13 and Figure 13.14). It has a corner fireplace (blocked up and mantel piece removed) with concrete hearth.

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth (with vinyl tiles added), cement run skirtings, fibrous plaster cornice, and timber double-hung sash window to the rear (Figure 13.19). There is a painted timber balustrade with square balusters to the staircase giving access to the lower ground floor.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a doorway Part-glazed door in original frame to rear wing, with original glass and fanlight over. The former porch (space G.4) has a timber floor, painted unrendered brick internal wall faces with no cornice, and modern timber skirting under the window only (Figure 13.20–Figure 13.22). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under.

The bathroom (space G.5) has a c1980s fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, and plasterboard ceiling (Figure 13.23 and Figure 13.24). The bathroom has a reproduction solid timber door in place of the original part glazed door, and fixed fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber picture rail and fibrous plaster cornice, scroll pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over four) (Figure 13.25)

13.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, original timber handrail and balustrade (to the lower section), newel posts, timber skirtings and stringers (Figure 13.26 and Figure 13.27). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 13.29) Part of the ceiling has had a void for services created behind a ceiling panel in matching ripple iron. The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), an original fireplace (boarded-out and converted to shelving) with concrete hearth (with vinyl tiles added), scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall (Figure 13.26). Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and fibrous plaster cornices have been retained. The laundry (space LG.3) has been divided from the kitchen by a modern partition wall. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 13.34 and Figure 13.35).

13.3 Phases of Development

Figures 56 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 56—Phases of Development, Plans



Figure 13.4 Plans showing phases of development—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

**Number 56—Elevations
Phases of Development**



Figure 13.5 Elevations showing phases of development—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

13.4 Significant Components of Flat 56

As with all the flats at 46–56 Gloucester Street, Flat 56 has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 56.

13.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures 13.6–13.40) document the elements and spaces of 56 Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat.



Figure 13.6 Overall façade of 46–56 Gloucester Street, showing front verandah (common property), shared guttering and downpipe on the boundary between 54C and 56, and flat 56 Gloucester Street marked with an arrow (Source: GML Heritage, July 2016)



Figure 13.7 Front porch of western façade showing original casement window and timber panel door with fanlight. The steel beam supports the verandah above—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.8 Entry to Flat 56 (space E.1) with four-panel timber front door with bolection moulds to bottom timber panels and wired glass to upper panels, and fanlight above. The opening has dark brick surround and arched brick head. A wrought iron fence and gate enclose the front yard located on the verandah—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

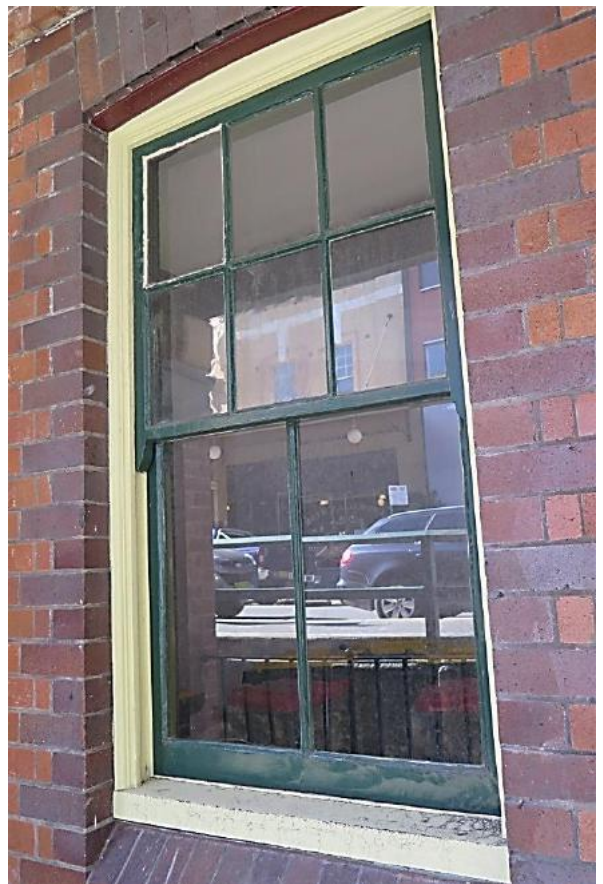


Figure 13.9 Double hung sash window with dark brick surround, chamfered brick sill and arched brick head. The two pane bottom sash varies from other windows on this elevation—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.10 Original slate threshold to front door—56 / 46–56 Gloucester Street. (Source: GML Heritage, May 2016)



Figure 13.11 Brass door knob and letter slot on front door—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.12 Entry (space G.1) of 56 / 46–56 Gloucester Street, showing carpeting over timber floor, cement run skirtings, and timber door frame with fanlight to the living room (space G.3). (Source: GML Heritage, June 2016)



Figure 13.13 Four-panel timber door with fanlight above with reproduction mechanism—located between front bedroom (space G.2) and entry (space G.1). the cement run skirting and timber picture rail are also visible—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.14 Front bedroom (space G.2)—56 / 46-56 Gloucester Street, showing fibrous plaster cornice, timber picture rail, decorative plaster wall vent and blocked up fireplace to far right of image. (Source: GML Heritage, July 2016)



Figure 13.15 Original corner fireplace blocked up with concrete hearth (space G.2). Note skirtings have not been continued across fireplace wall—56 / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.16 Original, now blocked off, corner fireplace (space G.2)—56 / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.17 Timber double-hung sash window, architrave and sill board in front bedroom (space G.2)—56 / 46-56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.18 Living room showing blocked off fireplace, skirting, picture rail and cornice (space G.3)—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.19 Living room (space G.3)—56 / 46–56 Gloucester Street, showing cement run skirtings, timber flooring, picture rail, and timber double-hung sash window and half-glazed timber door to rear porch (space G.4). (Source: GML Heritage, July 2016)



Figure 13.20 Infill to arched opening of former rear porch (space G.4) consisting of casement windows with textured and coloured glass, and modern T&G boarding below—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.21 Original timber threshold to doorway from living room (space G.3) to rear porch (space G.4). The half glazed door between space G.3 and G.4 is a modern reproduction. The timber floor of the porch has been raised—56 / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 13.22 Moulded skirting to the infilled former porch (space G.4)—56 / 46–56 Gloucester Street (space G.4) (Source: GML Heritage, July 2016)



Figure 13.23 Fanlight over door and decorative plaster wall vent in the bathroom (space G.5). The panel door to the bathroom (space G.5) is a modern reproduction—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.24 Bathroom (space G.5) showing modern fit-out—56 / 46—56 Gloucester Street. (Source: GML Heritage, July 2016).



Figure 13.25 Rear bedroom (space G.6) showing carpeted floor, original cement run skirtings, timber picture rail, plaster cornice (not original) and decorative plaster wall vent. The timber double-hung sash window is original and retains its original architrave, sill board and moulding. A chimney flue rises in the southeast corner—56 / 46—56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.26 Stair descends into dining area (space LG.1). Original steel beams support the walls above. The ceiling is ripple iron—56 / 46—56 Gloucester Street (Source: GML Heritage, July 2016).



Figure 13.27 Dining area (space LG.1). Original timber balustrade to stair consisting of square newel post, and balusters and moulded timber handrail. The stair has closed strings—56 / 46—56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.28 Fireplace in the dining room (space LG.1) with 1980s boarding, shelf and architrave—56 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 13.29 Original ripple iron ceiling and dropped ceiling over western portion of space LG.1—56 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 13.30 Four panel sunk-moulded external door (space LG.1). Large opening through to kitchen (space LG.2 is late 20th century). (Source: GML Heritage, July 2016)



Figure 13.31 original timber double hung sash window (space LG.1)—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.32 Kitchen showing modern fit-out and original ripple iron ceiling. The partition enclosing the laundry is late 20th century (space LG.2)—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.33 Kitchen ceiling (space LG.2) showing ripple iron ceiling with timber cornices around top of chimney flue—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.34 Laundry (space LG.3) showing modern fit-out—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.35 Laundry (space LG.3) showing boarded soffit to stair, with bottom of newel post extending down through ceiling. The ceiling is ripple iron—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.36 Painted concrete threshold to rear door (space LG.1)—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.37 Original terracotta subfloor vent, partially covered by brick paving—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.38 Brick paved rear yard and modern timber lapped and capped fencing (space E.2) —56 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 13.39 Exterior elevation (from space E.2) showing service pipes from flat above, part of reconstructed laundry hoist and later double doors to kitchen (space LG.2)—56 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)

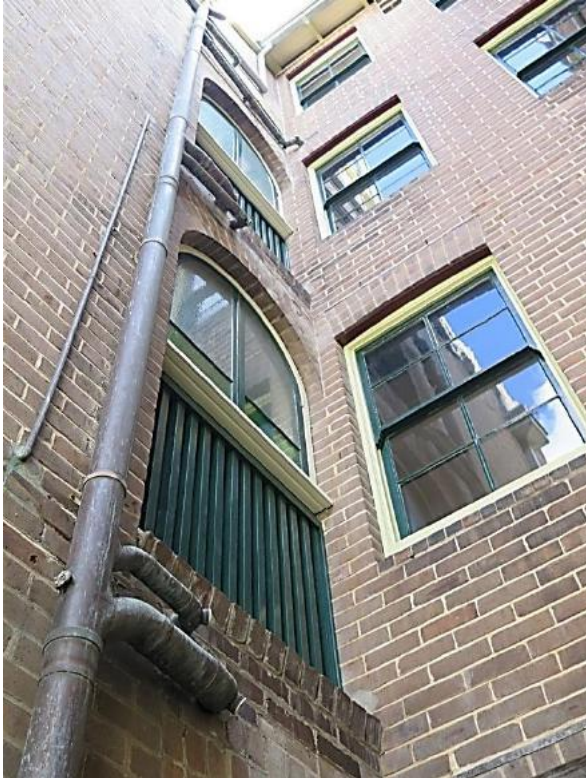


Figure 13.40 Rear wing and rear façade showing copper service pipes and later infill to arched opening of former rear porch—56 / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 13.41 External WC (space E.3) with skillion roof, timber ledged and sheeted door, brick parapet and copper rainwater goods—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 13.42 Reconstructed laundry hoist (space E.2) (In the background the rear of the Rendez-vous Hotel)—56 / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

13.4.2 Significance Grading Diagrams for Flat 56

Figure 13.43 and Figure 13.44 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 13.1–13.4).

Number 56—Plans, Gradings of Significance

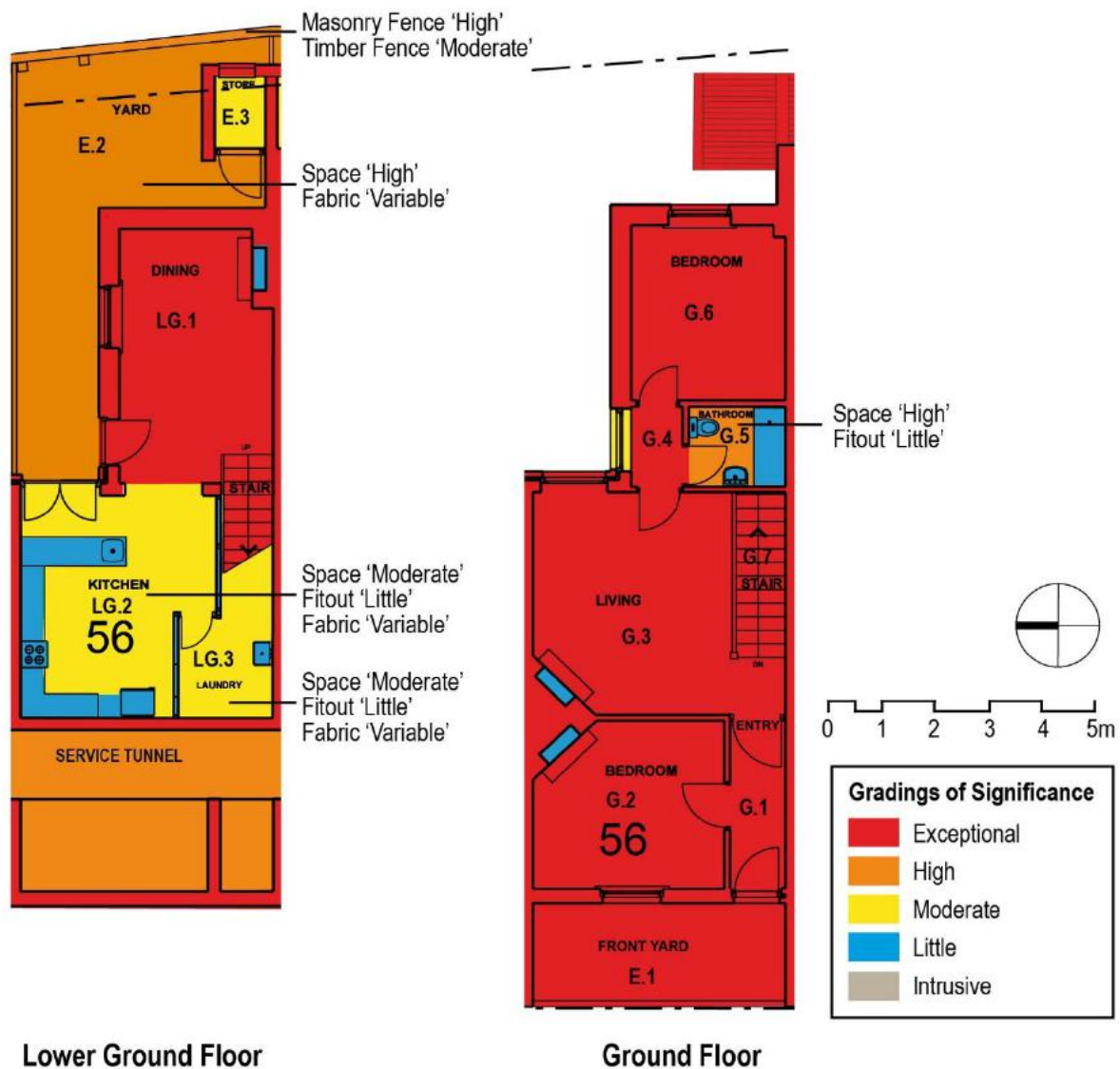


Figure 13.43 Plans showing gradings of significance—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 56—Elevations
Gradings of Significance



Figure 13.44 Elevations showing gradings of significance—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

13.4.3 Significant Fabric and Condition—Flat 56

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 13.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
Party walls	Cross walls between flats with sandstone bolsters supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th / Early 21 st	M	G
	Brass faceted knob, bell with turnbuckle, spyhole and letterbox	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Plain glass	O/L 20 th	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron bearers	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 13.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, east and south elevation	Common brick	O	E	G/F
Gutters and downpipes	Stainless steel	L 20 th	H	G
	Cast iron square downpipes	O	E	G
	Copper and cast iron downpipes/service pipes to rear wing north elevation	O / Early 21 st	E	G
Door threshold	Concrete thresholds to rear doors	L 20 th	M	G
Door set	Four-panel sunk moulded rear main door	L 20 th	E	G
	Half-glazed French doors with fixed fanlight to rear yard from kitchens	L 20 th	M	G
	Door furniture	L 20 th	M	G
Fanlight	Central pivot fanlights over rear main door	O	E	G
Window joinery	Timber double-hung sash window	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G
Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	E	F

Window and door heads	Arched brick heads over window and door openings, with hoop iron bearer	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 13.3 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	G
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
Space E.2—Rear Yard				
Fence—east	Timber paling	L 20 th	M	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence—north (shared)	Timber paling	L 20 th	M	P
Paving	Brick pavers	L 20 th	L	F
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Chute removed. Evidence of concrete table including chase in brickwork	O	E	G
Clothes hoist	Timber post-beam hoist frame and pulleys	L 20 th Reconstr.	H	F
Space E.3—External WC/Store				
External walls	Common brick	O	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: Early 21st	Form: O Sheeting: H	P
Eaves and verges	Exposed rafter, timber bargeboard	O	E	F
Gutters and downpipes	Copper	O	E	P
Door set	Ledged and braced timber door with strap hinges	O	E	G
Floors	Concrete	O	E	G
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber fixed louvre frame	O	E	F
	Wire mesh	L 20 th	I	P
Window heads	Common brick arch with hoop iron lintel bar	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Wall vents	Terracotta and galvanised steel vent grilles	O	E	G

Table 13.4 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
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Space G.1—Entrance Hall

Floor	Timber boards on timber joists	O/L 20 th	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Fibrous plaster quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	E	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over doorway to living room	O	E	G
Other	Light fittings	L 20 th	L	Not tested

Space G.2—Front Bedroom

Floor	Timber boards on timber joists	O/L 20 th	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado			G
Cornice	Fibrous plaster quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace blocked off	O	E	unknown
	Fireplace infill, rendered with skirting run but not grooved	L 20 th	L	G
	Concrete hearth (covered by carpet)	O	E	unknown
Door set	Repaired four-panel sunk moulded door in original frame (entry from hall)	O/L 20 th	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction lever mechanism	L 20 th	M	G
Window joinery	Timber double-hung sash window (six-over-two), inc. original glass, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	F

Space G.3—Living Room

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Floor	Timber boards on timber joists	O/L 20 th	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O	E	G G
Cornice	Fibrous plaster quarter round (plain section to N wall)	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace, blocked off Fireplace infill rendered with run skirting Concrete hearth Vinyl tiles	O L 20 th O Early 21 st	E L E I	unknown G G F
Door set	Part-glazed door in original frame to rear wing. Original glass	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O L 20 th	E M	G G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit under	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	L 20 th L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on timber joists (loose carpet) Timber step treads with nosings from adjacent rooms	O/L 20 th O	E E	G G
Skirting	Timber, under window and on opposite wall	L 20 th /O	L	G
Walls	Painted unrendered brick	L 20 th	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Double casement window with textured glass and chain winder	L 20 th	M	G
Architraves	Moulded timber to bathroom and rear bedroom	O/L 20 th	E	G

Space G.5—Bathroom

Floor	10cm ceramic tiles Original and repaired timber boards and joists beneath	L 20 th or Early 21 st O and Early 21 st	L E	G unknown
Skirting	Ceramic tile	L 20 th	L	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Walls	Painted render/plaster and ceramic tile	O/L 20 th	E/L	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Cornice	Timber	L 20 th	L	G
Door set	Reproduction solid timber four panel door in original frame to porch	Early 21 st	M	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Transom light	Fixed fanlight	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services, plastic ceiling vent	L 20 th / Early 21 st	L	G/F

Space G.6—Rear Bedroom

Floor	Timber boards on timber joists	O/L 20 th	E	G
	Carpet	Early 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado			G
Cornice	Fibrous plaster quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	M	G
Picture rail	Moulded timber	O	E	G
Door set	Reproduction four-panel sunk moulded door in original frame (entry from porch, no fanlight)	L 20 th / Early 21 st	E	G
	Modern door furniture		L	G
		L 20 th		
Architraves	Moulded timber	O	E	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Grille pattern	O	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	Not tested
	Light fittings	L 20 th	L	Not tested

Space G.7— Stairs

Floor	Timber	O	E	G
	Carpet	L 20 th	L	G
Stairs	Timber stair and balustrade with stop chamfered square newel posts with pendants, profiled handrail (balustrade side only) and square-section balusters ; timber skirting	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado Vertical T & G boarded lining behind handrail to staircase	L 20 th	M	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space LG.1—Dining Room				
Floor	Timber boards on timber joists	O / L 20 th	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado Cement render below dado	O	E	G G
Cornice	Timber/fibrous plaster quarter round	O/Early 21 st	E	G
Ceiling	Ripple iron	O	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
	Ripple iron false ceiling and timber boxing to trimmer	L 20 th	M	G
Fireplace and chimney piece	Vertical boarded alcove	L 20 th	L	G
	Concrete hearth	O	E	G
	Vinyl tiles	Early 21 st	I	F
Door set	Four-panel sunk moulded rear main door	L 20 th	E	G
	Door furniture	L 20 th	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G
Space LG.2—Kitchen				
Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Plasterboard partitions	L 20 th	L	G
	Large opening	L 20 th	M	n/a
Cornice	Timber/fibrous plaster quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Half-glazed French doors with fixed fanlight to rear yard from kitchens	L 20 th	L	G
Architraves	Moulded timber to double doors	L 20 th	L	G
Other	Kitchen fit-outs and services	L 20 th / Early 21 st	L	F
	Light fittings		L	F
Space LG.3—Laundry				
Floor	Concrete slab	O	E	G
	Ceramic tiles	L 20 th	L	G
Skirting	Ceramic tile	L 20 th	L	G
Walls	Painted unrendered brick	O	E	G
	Timber boarded & plasterboard partitions	L 20 th	L	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Cornice	Timber quarter round	O/L20th	L	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	L	G
Architraves	Timber door architrave	L 20 th	L	G
Door set	Reproduction four-panel sunk-moulded timber door	L 20 th	L	G
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	Early 21 st	L	G
	Electrical fixtures	L 20 th /Early 21 st	L	G

13.5 Priority Conservation Works

13.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

13.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

13.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 56 should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing and other services, repair as required.
- Repair/replace side fence shared with Flat 50 with a similar timber fence of the same height.
- Repair and make operable the timber clothes hoist.
- Check and repair galvanised iron roof covering and flashings, and reinstate missing gutter from external WC in rear yard using compatible materials. Check for timber decay, borer or termite damage.
- Refix loose original louvre glazing in external WC.
- Remove weeds and rubbish, and apply herbicide to rear yard.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and upgrade fire detection system.

High (Within 12 Months)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing
- Repair and/or renew fence panels, rails or palisades as needed.
- Inspect and test storm water drains and sewerage lines and pits, and clear/repair as required. Check paving condition and ensure runoff is directed away from the building.

Internal works:

- Although the annual pest inspection of the building as a whole is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- n/a.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn, chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs.

Low (Within Six Years)

External works:

- n/a.

Internal works:

- Replace unsympathetic flush doors with panel doors matching the original form and detail.

13.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.2 in this CMP.

13.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

13.7 Specific Conservation Policies for Flat 56

There are no specific policies for Flat 56 that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 56 must comply with the conservation policies set out in Part 1 Section 9.0.

13.8 Areas for Possible Change for Flat 56

Areas for possible change within the flat at 56 Gloucester Street are shown on Figure 13.45 and Figure 13.46.

Number 56—Plans, Areas for Possible Change

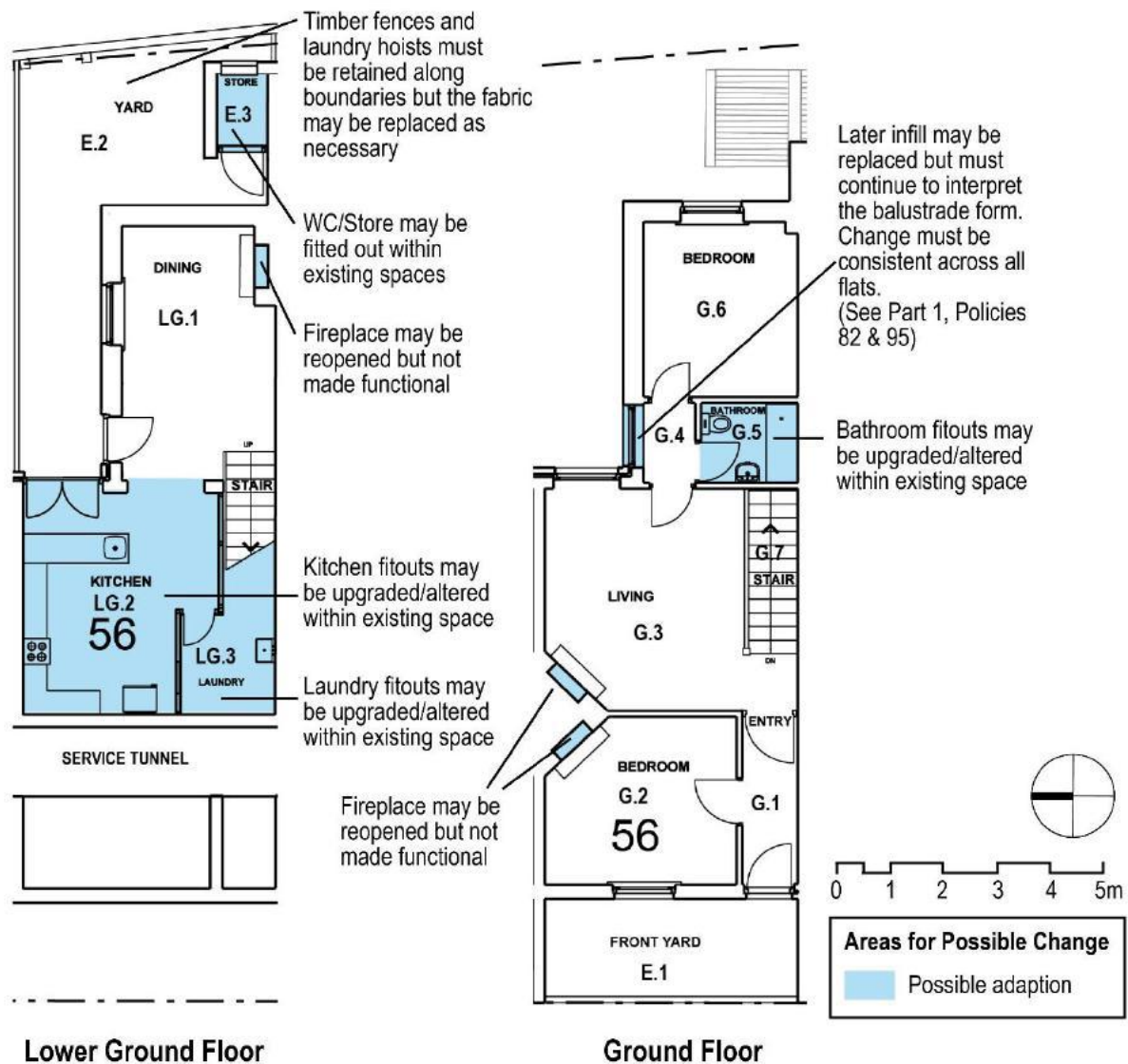


Figure 13.45 Elevations showing areas for possible change—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 56—Elevations
Areas for Possible Change

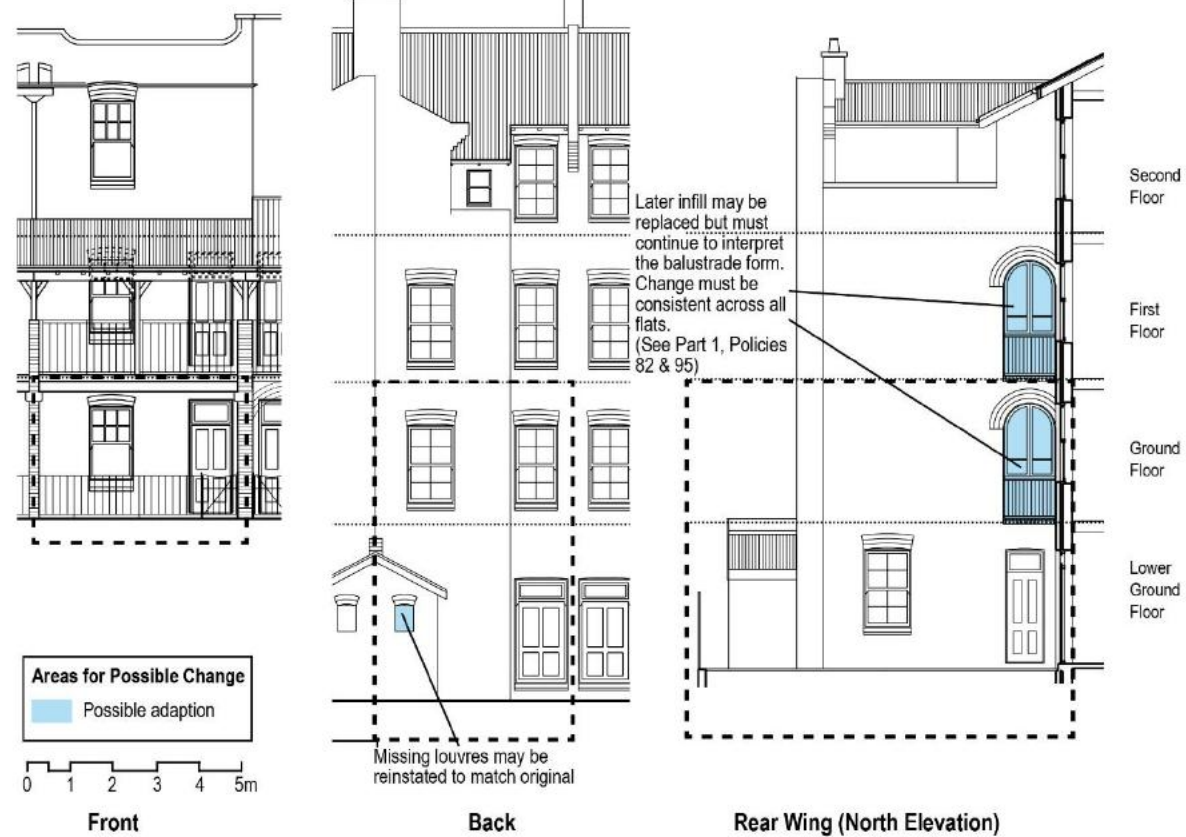


Figure 13.46 Plans showing areas for possible change—Flat 56 / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

14.0 Flat 56A of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 56A Gloucester Street. It should be read in conjunction with the preceding sections. Figure 14.1 shows the location of the flat within the building. Figure 14.2 and 14.3 show the configuration of Flat 56A.

Number 56a—Property Plan, First Floor



Number 56a—Property Plan, Second Floor

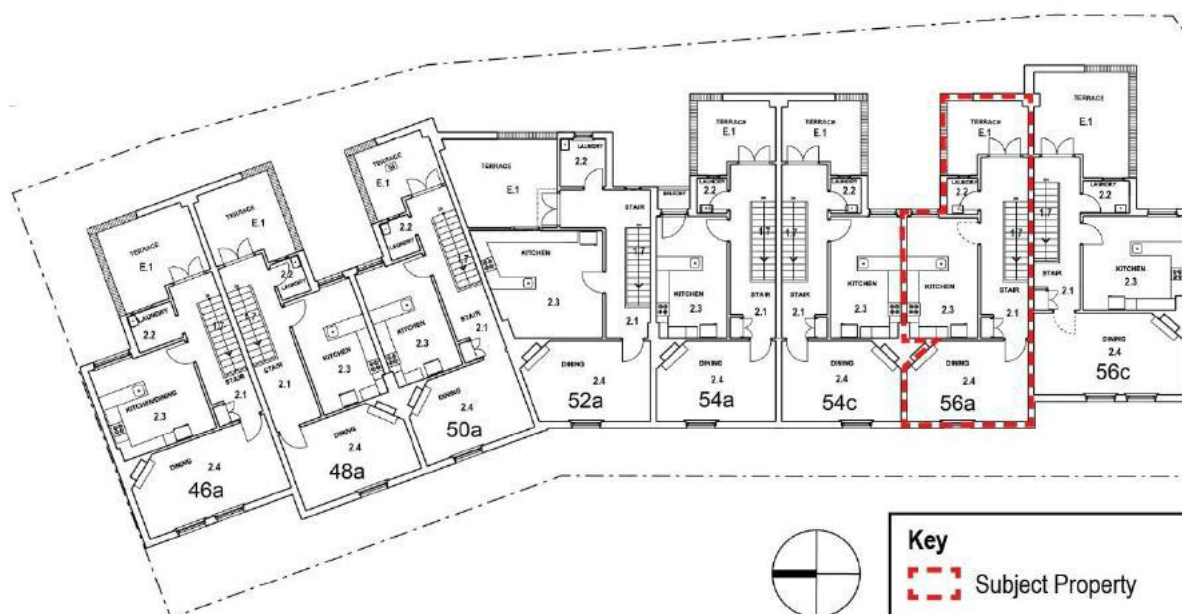


Figure 14.1 Location plan—Flat 56A / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 56a—Plans

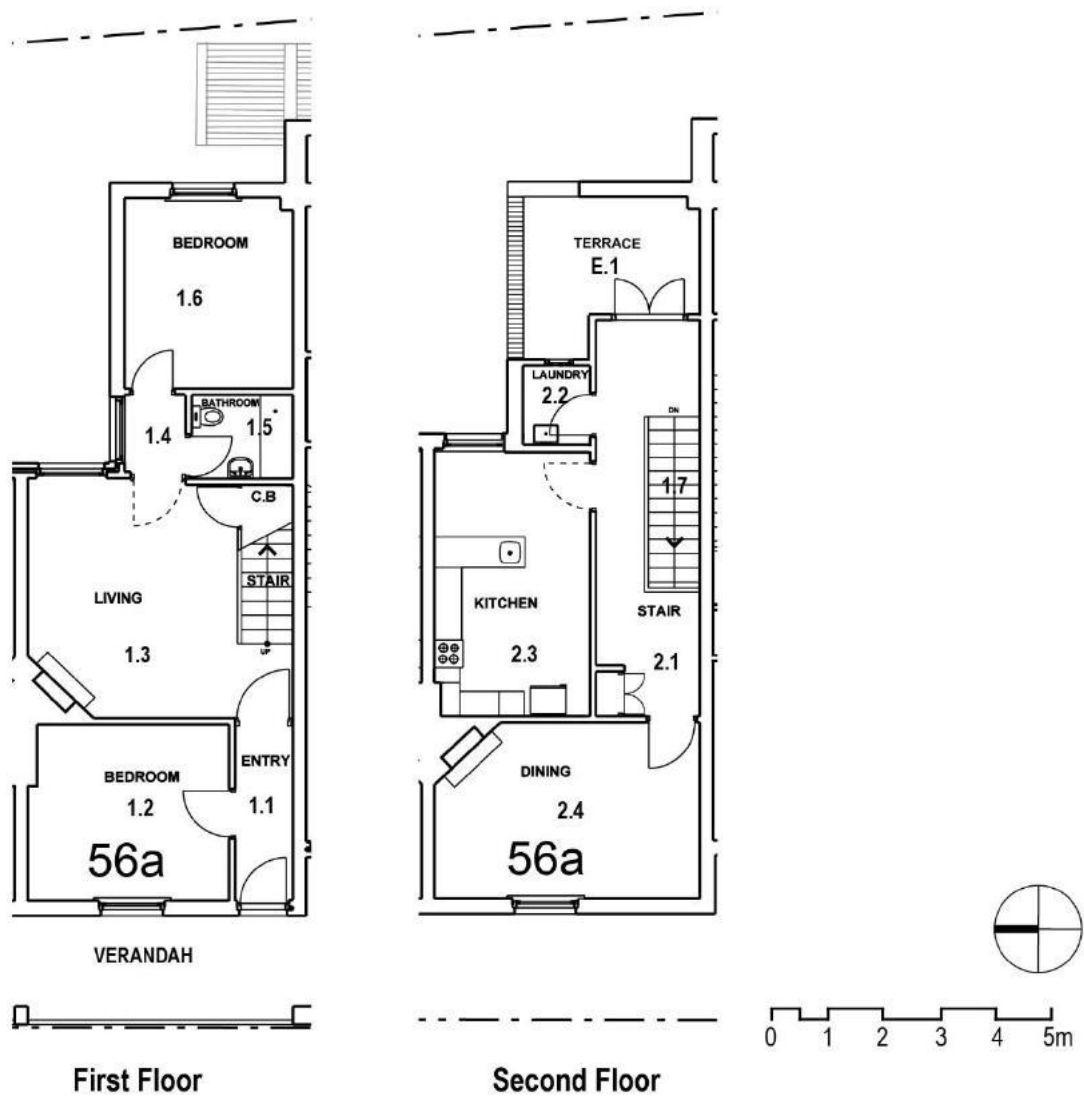


Figure 14.2 Floor Plans of Flat 56A / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

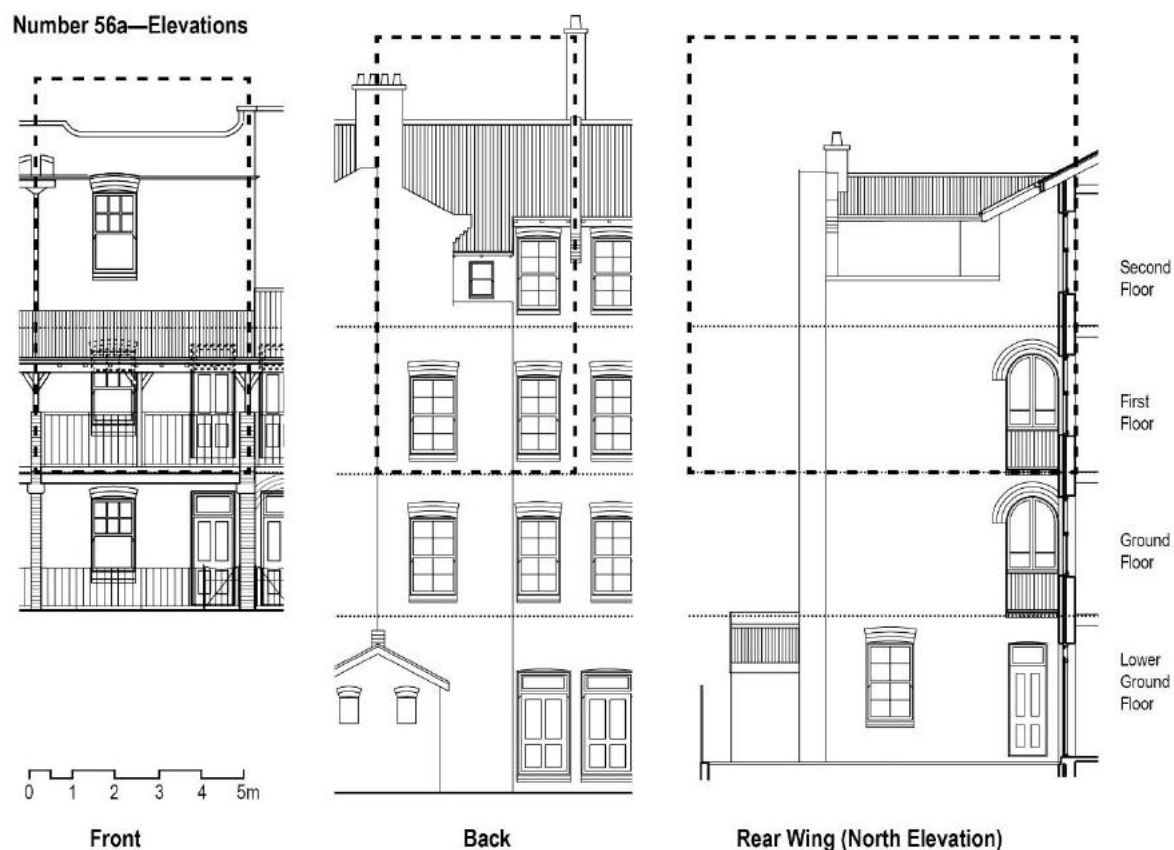


Figure 14.3 Elevations of Flat 56A / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

14.1 Summary of Heritage Significance

Flat 56A is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

14.2 Physical Description of Flat 56A

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

14.2.1 Typology

Flat 56A is one of eight maisonette flats occupying the first and second floors of the block of flats. Flat 56A is a Type 2 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4).

Flat 56A is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which are shared with Flats 54A, 54C and 56C. Type 2 flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, bedroom/dining and laundry on the second floor, with access to an external

roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 2 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building (refer to Section 2.3.3 – 2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 2 flat to another.

14.2.2 External

The flat is separated from adjoining flats (Flats 54C and 56C) by structural brick party walls. The flat is separated from the flat below (Flat 56) by a double timber floor. Flat 56A has a gabled corrugated sheet metal roof set behind a brick parapet on its western side (Figure 14.6) and with exposed rafters and boarded eaves on its eastern side (Figure 14.12). It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace (Figure 14.13). This area is semi-enclosed by a brick wall around two sides. The other part of the roof terrace is open and set behind a brick parapet (Figure 14.15). There is a chimney stack over the northern party wall at the ridge and another small chimney stack to the rear wing (Figure 14.13).

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof. (Figure 14.6, Figure 14.8). The entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers (Figure 14.7, Figure 14.8, Figure 14.9). There is a mauve brick band course at second floor window sill level, a projecting brick stringcourse at parapet level, and terracotta wall vents (Figure 14.6). The top of the parapet has is shaped and topped with a header capping course. The rainwater head and downpipe is shared with the adjoining flat (Flat 52A) (Figure 14.6).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (Figure 14.6). The flat has no private area in front of it. The verandah is common property. Entry is from the verandah via a four-panel door with fanlight over (Figure 14.7, Figure 14.9). The door has bolelection moulds. The upper panels are glazed in wired glass and the bottom panels are timber (Figure 14.16, Figure 14.17). The door is fitted with a central brass knob, brass letterbox flap, peep hole, modern rimlock and keeper, and a brass fanlight mechanism to the fanlight. The first and second floor windows have chamfered brick sills and the door a slate threshold (Figure 14.9). The windows to the front elevation are double hung with six pane sashes above single pane sashes (Figure 14.6, Figure 14.8).

The rear elevation is of common brickwork laid in running bond with struck joints (Figure 14.10). The doors and windows have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched window opening of the former rear porch on the first floor level of the rear wing, which faces north towards the rear wing of Flat 52A (Figure 14.11). The windows to the rear elevation are generally double hung timber windows with four pane sashes, top and bottom (Figure 14.11). The arched opening which framed the original rear porch (like most such windows on this floor of the block), has been infilled with timber casement windows with textured and coloured glass panes (Figure 14.26). The panel below the window consists of a timber balustrade (rectangular balusters and handrail) backed by a fibrous cement sheet. The rear wing has circular steel downpipes draining ogee profile steel gutters (Figure 14.12, Figure 14.13). The roof terrace drainage goes into a rectangular steel rainwater head, with square downpipes (Figure 14.10).

The roofed area of the roof top terrace is partially enclosed by two brick walls (Figure 14.13). The roof terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade (Figure 14.15). The opening to the former garbage chute previously located on the rear wall has been bricked up. There is evidence of the former laundry copper having been removed from the skillion roofed area

(Figure 14.15). The glass doors opening onto the terrace are set in a weatherboard wall (Figure 14.14). The side wall of the stair landing is rendered and painted (Figure 14.12, Figure 14.13). The hot water system is located on the roof terrace, outside the laundry (Figure 14.14).

14.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (Figure 14.16). Timber framed four panel doors with pivot fanlights over and original timber architraves lead to the front bedroom (space 1.2) and the main living room (space 1.3) (Figure 14.18).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (Figure 14.19 and Figure 14.20). There is a timber double-hung sash window (six panes over one) with original architraves, sill board and moulding.

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (Figure 14.21 and Figure 14.22). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding (Figure 14.22). There is a corner fireplace (blocked up) with concrete hearth (Figure 14.21).

A timber staircase with stop chamfered newel posts, a moulded timber handrail is set against the south wall (Figure 14.23). The bottom of the top newel post extends down below the ceiling of space 1.3 (Figure 14.33). The stair soffit is lined with V-joint timber boarding (Figure 14.30). The area under the stair is enclosed with timber vertical boarded wall to form a cupboard and is fitted with traditional timber shelving. A ledged and sheeted timber door, with air holes drilled through its top, is hung on strap hinges and provides access (Figure 14.23 and Figure 14.24). The side of the stair where it passes the bathroom (space 1.5) is lined with ripple iron (Figure 14.34).

All the walls in the front portion of the flat, including the stair above the stringer, show evidence of a dado line in the plaster wall surface.

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves and pivot fanlight over, the door is missing (Figure 14.22 and Figure 14.27). The former porch has a timber floor (carpeted), painted brick walls, ripple iron ceiling, moulded timber cornice and modern moulded timber skirting under the window only (Figure 14.25). The timber floor of space 1.4 has been raised to the level of the door thresholds. The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (2 by 2 panes with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (Figure 14.26).

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling and moulded timber cornice (Figure 14.30). The soffit of the stair which rises over the southern portion of the space is lined with timber V-joint boarding. The bottom of the newel post projects through into the space in the upper corner (Figure 14.30). The side of the stair is lined with ripple iron (Figure 14.30). The bathroom has a modern half-glazed timber door, which is fitted to the original door frame and retains its original pivot fanlight over (Figure 14.27, Figure 14.29).

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents (Figure 14.31,

Figure 14.32). It retains its original four-panel door and double-hung sash window (four panes over four) with original timber architraves, sill board and moulding (Figure 14.31). The chimney flue from the flat below rises in the southeast corner of the room (Figure 14.31).

14.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and front bedroom (or 'dining room') (space 2.4).

The principal rooms on this floor (spaces 2.1, 2.3 and 2.4) have timber floors, cement run skirtings, set plaster wall finishes, ripple iron ceilings and moulded timber cornices (Figure 14.37, Figure 14.38, Figure 14.43, Figure 14.47).

A timber balustrade with handrail and square balusters extends around the top edge of the stair void in space 2.1 (Figure 14.37, Figure 14.38). An early gas light bracket survives over the stair (Figure 14.35). A modern built-in cupboard has been built against the north wall adjacent to the entrance to the front bedroom (space 2.4) (Figure 14.40). The cupboard covers the original entrance to the kitchen (space 2.3) (Figure 14.38). The double glazed doors at the eastern end of the space, giving access to the roof terrace are not original, most likely introduced during the late twentieth century (Figure 14.39).

Some alterations have been made to incorporate the laundry (space 2.2) into what was most likely an external WC accessed from the roof terrace (Figure 14.39). A window has been introduced where the door originally was located (Figure 14.14, Figure 14.42). The laundry (space 2.2) and kitchen (space 2.3) have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain original cement run skirtings, ripple iron ceilings and moulded timber cornices (Figure 14.41, Figure 14.42, Figure 14.43, Figure 14.44). The door openings and joinery to the kitchen and laundry are modern. The original door opening to the kitchen (evidenced by the remaining timber door frame) has been blocked up (Figure 14.43). A chimney flue runs up the northwest corner of the kitchen from the fireplace and flat below.

The front bedroom (space 2.4) has almost identical features to the downstairs front bedroom but with no picture rail (Figure 14.47). It has a fireplace with a red marble chimney piece and cast iron grate with tiled side panels (Figure 14.48). It also retains its original concrete hearth. The room retains its original four panel timber door (bottom panels replaced) with original architraves and central pivot fanlight over (Figure 14.46) and double hung window with original architraves, sill board and moulding (Figure 14.45). It also has a decorative plaster wall vent similar to those in other rooms (Figure 14.49).

14.3 Phases of Development

Figure 14.4 and Figure 14.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 56a—Phases of Development, Plans



Figure 14.4 Plans showing phases of development—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 14.5 Elevations showing phases of development—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

14.4 Significant Components of Flat 56A

As with all the flats at 46–56 Gloucester Street, Flat 56A has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. These lists of elements are relevant to flat 56A as well as the block of flats as a whole.

14.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 14.6 to Figure 14.49) document the elements and spaces of 56A Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2016.



Figure 14.6 Western façade of flat 56A as viewed from Gloucester Street. The flat is accessed from the upper level verandah. (Source: GML Heritage, July 2016)



Figure 14.7 Fanlight over the front door showing the contrasting brick surround and segmental arch (supported on a metal arch bar) to the opening—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.8 Front façade of flat 56A showing face brick external wall with contrasting brick surround to window and door openings and chamfered brick window sill—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.9 Four-panel entrance door with bolection moulds, wired glass to upper panels, slate threshold and fanlight over—56A / 46–56 Gloucester Street. (source: GML Heritage, July 2016)



Figure 14.10 Rear elevation of flats 56A (left) and 54C (right)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.11 Original brick arched opening to former porch in rear wing (first floor level, now infilled with window and solid balustrade) and typical triple brick arched head over rear window opening—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.12 Rear elevation of Flat 56A showing corrugated metal roof, party walls and chimneys—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.13 Roof terrace viewed from Flat 54C, showing area covered by skillion roof, chimney over rear wing and brick balustrade to roof terrace—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.14 Rear wall of the flat opening onto the roof terrace (space E.1), showing recent weatherboard wall, pair of half glazed doors and rendered finish to stair hall wall. The window is also recent, replacing a previous door—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.15 Roof terrace (space E.1) showing tiled floor and evidence of the original garbage chute (blocked up) and removal of former laundry copper (under roofed area)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.16 Entrance hall (space 1.1) showing the ripple iron ceiling, moulded timber cornice and cement rendered skirting—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.17 Brass door knob and letter flap in front door (not original)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.18 Typical detail of original internal fanlight, ripple iron ceiling and moulded timber cornice—door between spaces 1.1 and 1.3—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.19 Front bedroom (space 1.2) showing timber double hung sash window, moulded timber picture rail and ripple iron ceiling with moulded timber cornice—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.20 Front bedroom (space 1.2) with cement rendered skirting, picture rail and original four panel timber door with sunk moulds, original architrave and fanlight over—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.21 Living room (space 1.3) showing cement rendered skirtings, timber picture rail, ripple iron ceiling and moulded timber cornice. Original door and fanlight with original architraves—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.22 Living room (space 1.3) showing the original double hung window with four pane sashes, and original doorframe with fanlight above—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.23 Living room (space 1.3) showing original timber stair with closed string, simple square balusters, moulded handrail and newel posts—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

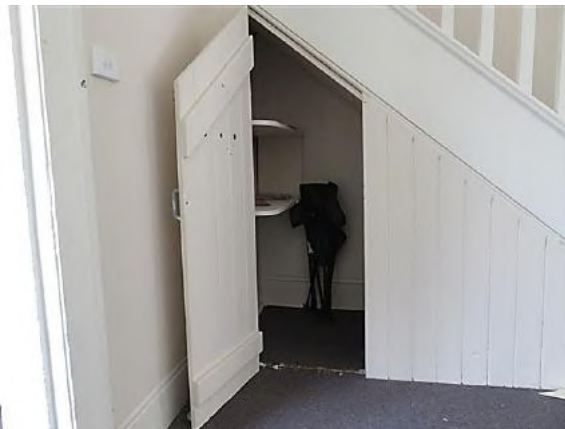


Figure 14.24 Cupboard under the stair (space 1.3) with v-jointed boarding, ledged and sheeted timber door and timber shelves—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.25 View from space 1.3 into space 1.4 showing floor of space 1.4 raised to same level as floors in surrounding rooms and timber skirting under arched window in north wall of space 1.4—56A / 46–56 Gloucester Street (Source: GML Heritage, July 2016)



Figure 14.26 Original arched opening to former porch in rear wing (space 1.4), infilled with pair of casement windows and vertical boarded panel below—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.27 Original ripple iron ceiling and original door frames with brick arched heads above the fanlights (space 1.4)—56A / 46–56 Gloucester Street. (Source: GML: Heritage, July 2016)



Figure 14.28 Original brick arched head above doorway opening to former porch (space 1.4) and ripple iron ceiling—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.29 Modern half-glazed door to the bathroom (space 1.5)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.30 Bathroom (space 1.5) showing modern fit out, v-jointed timber stair soffit with ripple iron to ceiling and side of stair above the string—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.31 Rear bedroom (space 1.6) showing the original double hung window with original architrave, sill board and moulding, moulded timber picture rail and decorative plaster wall vent. Chimney flue from flat below in corner of space—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.32 Ripple iron ceiling in the rear bedroom with moulded timber cornice (space 1.6)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.33 Living room (space 1.3) showing the ripple iron ceiling and newel post projecting below stair—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.34 Ripple iron cladding to outer face of balustrade enclosing bathroom (space 1.5)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.35 Early gaslight fitting over stair (space 1.7) and detail of bottom of newel post—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.36 Second floor landing ceiling (space 2.1) showing the ripple iron ceiling laid in different directions on either side of beam—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.37 Second floor landing (space 2.1) looking east showing timber balustrade with moulded handrail, square balusters and chamfered top to newel posts, cement rendered skirting and half glazed timber doors to the roof terrace—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.38 Second floor landing (space 2.1) looking west, showing the timber floors and modern built in cupboard at end of hall adjacent to bedroom (space 2.4)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.39 Half glazed door to the roof terrace (Space E.1)—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.40 Built-in cupboard with panel doors is recent addition. It covers original door opening to space 2.3—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

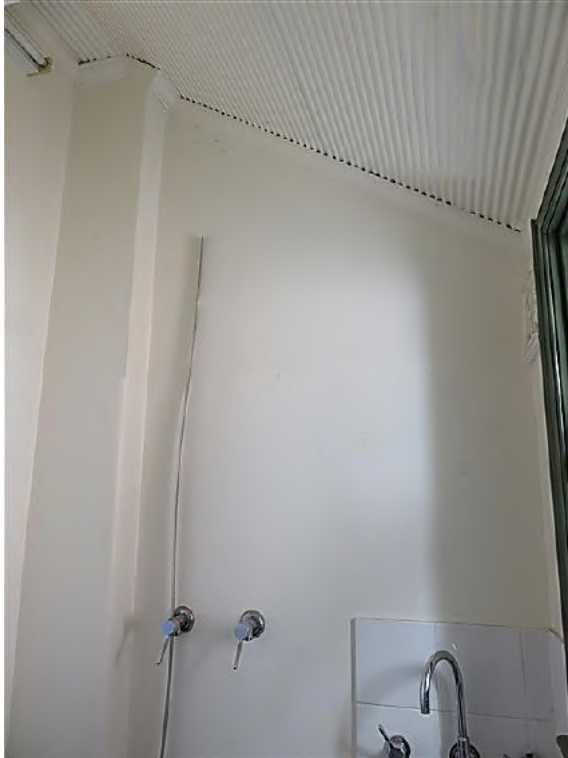


Figure 14.41 Laundry (space 2.2) showing original raked ripple iron ceiling—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.42 Laundry (space 2.2) showing the modern refit and window—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.43 Kitchen (space 2.3) showing the modern refit and location of original door frame to the stair hall—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.44 Kitchen (space 2.3) showing the original ripple iron ceiling, moulded timber cornice and original double hung window joinery. The fitout is modern—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.45 Original double hung sash window in the kitchen (space 2.3) with original architraves and sill board—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.46 Four panel door and fanlight to space 2.4, showing bottom panels replaced and original architrave. Original cement run skirting with timber quad mould—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.47 Front room on second floor (space 2.4) showing the original double hung window (complete with original architraves and sill board), ripple iron ceiling, timber cornice, timber floor and marble chimney piece to fireplace—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.48 Fireplace in the front room on second floor (space 2.4) with early cast iron grate with tiled sides, and red marble chimney piece—56A / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 14.49 Decorative wall vent (space 2.4)—56A / 46–56 Gloucester Street (Source: GML Heritage, July 2016)

14.4.2 Significance Grading Diagrams for Flat 56A

Figure 14.50 and **Figure 14.51** show the relative significance of the internal and exterior spaces of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 14.1 to 14.5).

Number 56a—Plans, Gradings of Significance



Figure 14.50 Plans showing gradings of significance—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 14.51 Elevations showing gradings of significance—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

14.4.3 Significant Fabric and Condition—Flat 56A

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking	Condition
O	Original Fabric	E Exceptional Significance	G Good condition
E 20 th	Early Twentieth Century Fabric	H High Significance	F Fair condition
M 20 th	Mid Twentieth Century Fabric	M Moderate Significance	P Poor condition
L 20 th	Late Twentieth Century Fabric	L Little Significance	
E 21 st	Early Twenty-first Century Fabric	I Intrusive	

Table 14.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and projecting brick stringcourse	O	E	G
Parapet	High fronted brick parapet with brick-on-edge coping to main façade, curving up to party walls	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Door threshold	Slate threshold to front door	O	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearers	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush mouldings	O	E	G
	Wired glass in upper panels	M 20 th	M	G
	Brass knob and letterbox flap	M–L 20 th	H	G
	Timber frame, transom and reveal linings	O	E	G
Fanlights	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanisms	L 20 th	M	G
Window joinery	Timber double-hung sash window including frame	O	E	G
	Clear glass	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G
Gutters and downpipes	Decorative rainwater head and square galvanised steel downpipe	E 21 st	H	G

Table 14.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north and east elevations	Common brickwork	O	E	G
Window sills	Chamfered brick	O	E	G
Window and door heads	Arched brick heads over window and door openings, with iron bearer (archbar)	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta vents	O	E	G
Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: timber balustrade with fibrous cement panel behind, timber casement windows	L 20 th	M	G
	Coloured and textured glass	L 20 th / E 21 st	M	G
Gutters and downpipes	Ogee gutters and circular downpipes, galvanised steel	L 20 th / E 21 st	H	G
	Rectangular rainwater heads and square section downpipes, galvanised steel (zinc coated?)	L 20 th / E 21 st	H	G
Service pipes	Copper service pipes to south elevation	L 20 th	H	G

Table 14.3 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Roofs (including	Gabled roof form over main body of building with corrugated	O (structure)	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
cappings and flashings)	galvanised steel roofing with lead flashings and cappings	E 21 st (roofing)	H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure)	E	G
		E 21 st (roofing)	H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Chimneys	Face brick with brick on edge capping	O	E	G
	Terracotta chimney pots	L 20 th replacements	H	G
Eaves	Exposed rafter to rear elevation and rear wing with boarded linings	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes and spreaders	L 20 th	M	G

Table 14.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Front Verandah (common access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Galvanised steel roof sheeting	E 21 st	H	G
	Timber rafters, purlins and verandah beam	O	E	G
Structure	Face brick piers	O	E	G
	Timber posts and brackets	O	E	G
Balustrade	Wrought iron balustrade	O	E	G
Space E.1—Roof Terrace				
Roof (including cappings and flashings)	Roof structure, including exposed rafters at eaves	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
Walls	Brick balustrade with brick-on-edge coping, evidence of former garbage chute opening which is blocked up	O	E	G
	Common brickwork to walls around terrace	O	E	G
	Brick infill to door opening in laundry wall	L 20 th	L	G
	Timber weatherboards to external wall of stair	L 20 th	M	G
	Painted render to external side wall of stair	L 20 th	M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round moulding	O	E	G
Door set	Half-glazed double doors to access roof terrace including door furniture	L 20 th	M	G
Paving	Modern concrete/ceramic tiles	E 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	E 21 st	L	G/F

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Services	Hot water tank	E 21 st	L	not tested
	Light fittings	E 21 st	L	not tested
	Metal clothes hoist	L 20 th	L	F

Table 14.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O / E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Refer to adjoining spaces	-	-	-
Architraves	None to front door	O	E	G
	Moulded timber architrave to doorways to spaces 1.2 and 1.3	O	E	G
Other	Light fittings	L 20 th	L	n/a
Space 1.2—Front Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Chimney flue against northern wall (no fireplace)	O	E	G
Door set	Four-panel sunk moulded door in original frame	O	E	G
	Modern door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction fanlight mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window (6 panes over single pane), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to door and window, with sill boards and mouldings	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	not tested

Space 1.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Vertical boarding enclosing space under stair	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Original fireplace, blocked up	O	E	unknown
	Rendered brick infill to fireplace with run skirting	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Timber frames and transoms	O	E	G
	Four-panel sunk moulded door (door to space 1.1)	O	E	G
	Door leaf missing in east wall (door to space 1.4)	Missing	-	Missing
	Ledged and sheeted door to cupboard under stair, with air holes drilled in door	O	E	G
Fanlight	Pivot fanlights over doors	O	E	G
	Reproduction fanlight mechanisms	L 20 th	M	F
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber to doors and window	O	E	G
Stair	Timber stair and balustrade—Refer to Space 1.7	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	not tested

Space 1.4—Rear Hall (Former Porch)

Floor	Timber	O / L 20 th	E	G
	Carpet	E 21 st	L	G
	Timber thresholds from adjacent rooms under carpet	O	E	G
Skirting	Timber, under window only	L 20 th	L	G
Walls	Brick walls	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over door openings	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Infill to porch opening	Timber V-jointed vertical boarding and handrail	L 20 th	M	G
Window joinery	Pair of round headed casement sashes with textured glass, green in bottom panes	L 20 th	M	G
Architraves	None, timber frame expressed	O	E	G
Wall vent	Decorative plaster (to bathroom wall)	L 20 th	M	G
Other	Light fittings	L 20 th	L	F

Space 1.5—Bathroom

Floor	10cm ceramic tiles	L 20 th or Early 21 st	L	G
	Original and repaired timber boards and joists beneath	O and Early 21 st	E	unknown
Skirting	Ceramic tile	L 20 th	L	G
Walls	Painted render/plaster	O / L 20 th	E/L	G
	Ceramic tile	E 21 st	L	G
	Ripple iron to side of stair	O	E	G
Cornice	Moulded timber quarter round	L 20 th	L	G
Ceiling	Ripple iron	L 20 th	E	G
Door set	Half-glazed door—four glass panes over one timber panel	L 20 th	M	G
	Frame	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction fanlight mechanism	E 21 st	M	F
Architraves	Moulded timber	O	E	G
Fit out	WC, wall cupboard, basin, shower kerb and services	L 20 th / E 21 st	L	G/F
	Lighting	L 20 th	L	not tested

Space 1.6—Rear Bedroom

Floor	Timber boards on timber joists	O / L 20 th repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Chimney flue against south wall	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel door with sunk mouldings and frame	O	E	G
	Door furniture	L 20 th	L	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	not tested
Space 1.7—Stairs				
Floor	Timber	O	E	G
	Carpet	L 20 th	L	G
Walls	Painted set plaster above dado, cement render below dado	O	E	G
	V-joint vertical boarding enclosing space below stringer to staircase, with ledged and sheeted door	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters and boarded soffit	O	E	G
	V-joint timber boarding to the stair soffit enclosure below the stairs	O	E	G
	Timber shelving in the cupboard	E 20 th	H	G
Other	Gas light fitting to stair	O	E	G, not functional
Space 2.1—Landing/Stair Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Moulded timber to east wall	L 20 th	L	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster, cement render below dado to south wall	O	E	G
	Light weight partition (possibly fly ash concrete) to north wall	O	E	G
	Infill to former kitchen door way (inside hall cupboard)	L 20 th	L	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Transverse I-beam	O	E	G
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Architraves	Moulded timber to opening in west wall	O	E	G
	Scotia mould to recent openings in north wall	L 20 th	L	G
	Moulded timber to opening in east wall	L 20 th	L	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Other	Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters	O	E	G
	Light fittings	L 20 th	L	not tested
	Built in cupboard	L 20 th	L	G
Space 2.2—Laundry				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Tiling	Early 21 st	L	G
Skirting	Modern tiles	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Frame, door missing	L 20 th	M	G
	Door furniture	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sill board and moulding	L 20 th	M	G
Architraves	Moulded timber	L 20 th	L	G
Wall vent	Decorative plaster	Late 20 th	M	G
Other	Water services, sink and water heater	E 21 st	L	G
	Electrical fixtures	L 20 th / E 21 st	L	G
Space 2.3—Kitchen				
Floor	Timber	O	E	G
	Vinyl covering	L 20 th	L	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber skirting (blocked up doorway)	L 20 th	L	G
Walls	Painted set plaster/cement render to north, east and west walls	O	E	G
	Light weight partition (possibly concrete with fly ash)	O	E	G
	Infill to former kitchen door way (SW corner)	L 20 th	L	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Chimney flue in northwest corner (no fireplace)	O	E	G
Door set	Original timber door frame in southwest corner	O	E	G
	Recent frame in southeast corner	L 20 th	L	G
	Door leaf	-	-	Missing
	Modern door furniture	L 20 th	L	G
Window joinery	Timber double-hung sash window, timber box frame, sill board and moulding	O	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Architraves	Moulded timber to window	O	E	G
	Scotia mould to hall door	L 20 th	L	G
	Expressed frame of original door opening (southwest corner)	O	E	G
Other	Fit-out	L 20 th / E21 st	L	G
	TV/communications service point in floor with brass cover plate	L 20 th / E21 st	L	not tested
	Light fittings	L 20 th	L	not tested
Space 2.4—Front bedroom				
Floor	Timber, oiled finish	O / E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado			G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Marble chimney piece and cast iron fire box with tiled side panels	O ?	H	G
	Concrete hearth	O	E	G
Door	Four-panel door with sunk moulds in original frame	O	E	G
	Bottom panels and central mullion of door replaced	E 21 st	L	G
	Modern door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over door	O	E	G
	Fanlight mechanism	L 20 th	M	F
Window joinery	Timber double-hung sash window, timber box frame and sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	L 20 th	L	G
	Light fittings	L 20 th	L	F

14.5 Priority Conservation Works

14.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

14.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

14.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 56A should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they are in good condition and have not decayed.
- Investigate possible causes of damp in walls. Undertake appropriate remedial action as required in consultation with heritage consultant.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.

- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing internal doors with four panel doors to original configuration and detail.
- Repair broken or replace missing fanlights. Rehang fanlights that have dropped off pivots.
- Repair or replace broken door and fanlight hardware.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)

External works:

- n/a.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.

Low (within six years)

External works:

- n/a

Internal works:

- Paint interiors
- Oil floors with natural tung oil

14.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

14.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

14.7 Specific Conservation Policies for Flat 56A

There are no specific policies for Flat 56A that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 56A must comply with the conservation policies set out in Part 1 Section 9.0.

14.8 Areas for Possible Change for Flat 56A

Areas for possible change within the flat at 56A Gloucester Street are shown on **Number 56a—Plans, Areas for Possible Change**

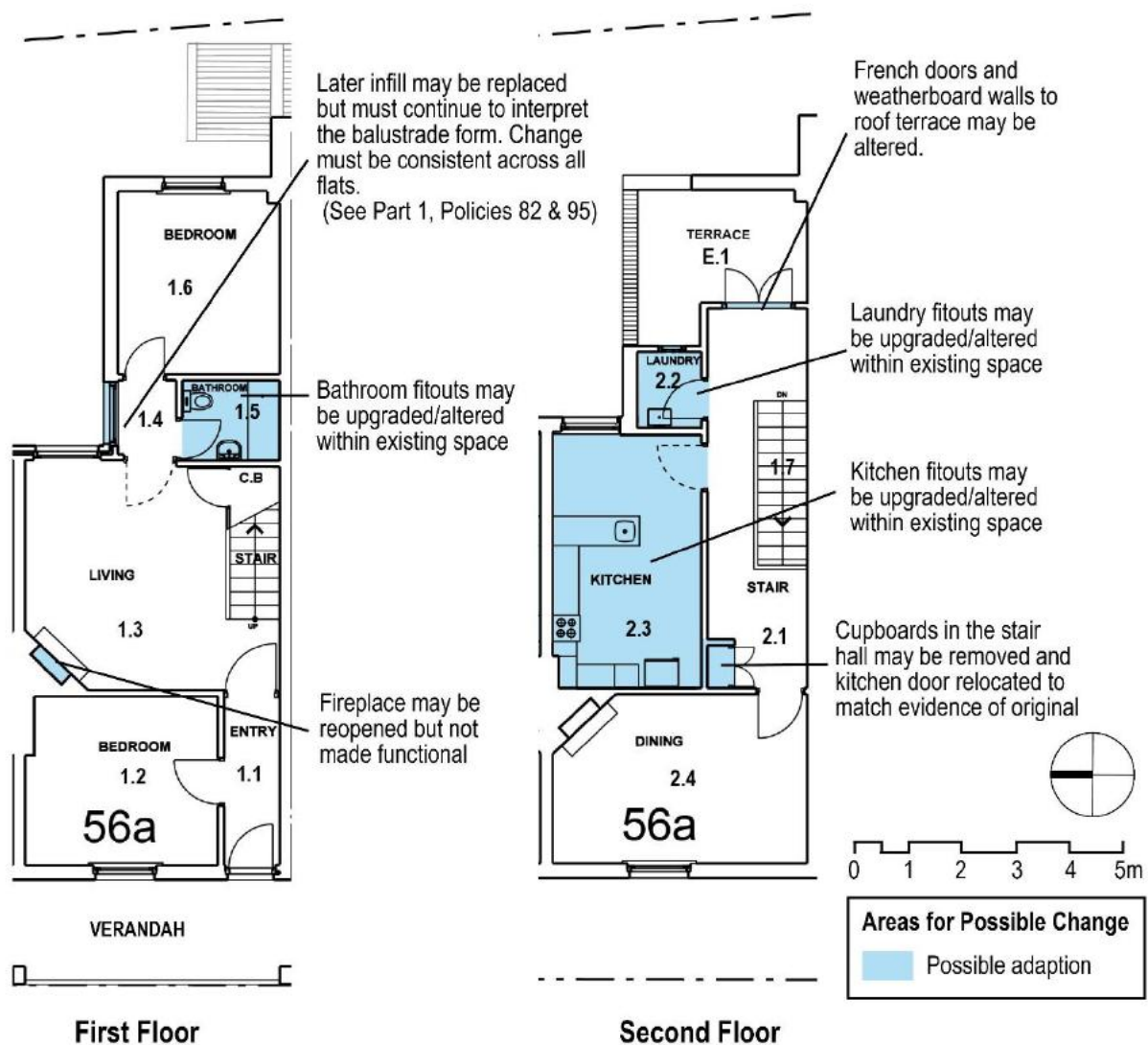


Figure 14.52 and

Figure 14.53.

Number 56a—Plans, Areas for Possible Change

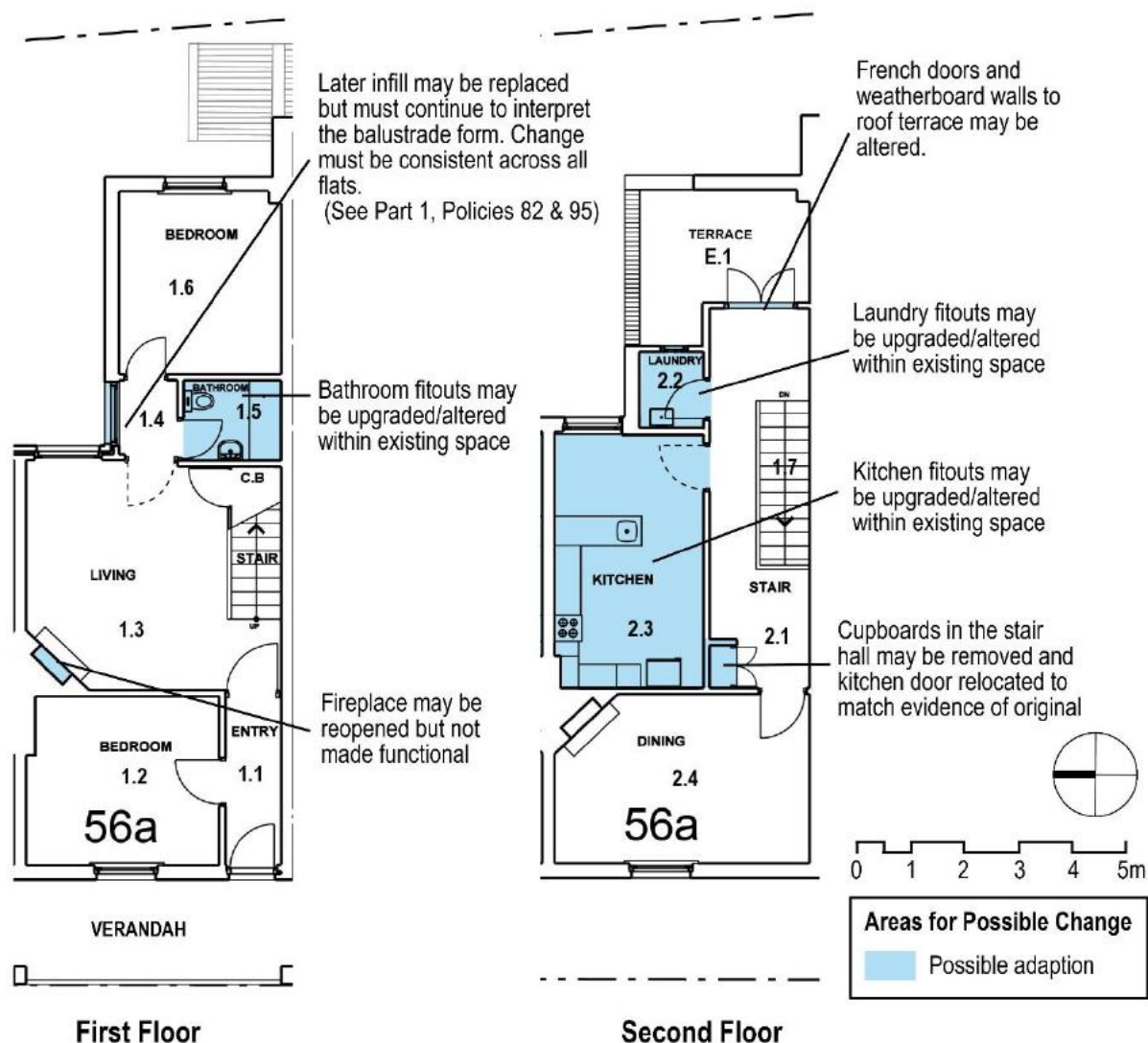


Figure 14.52 Plans showing areas for possible change—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

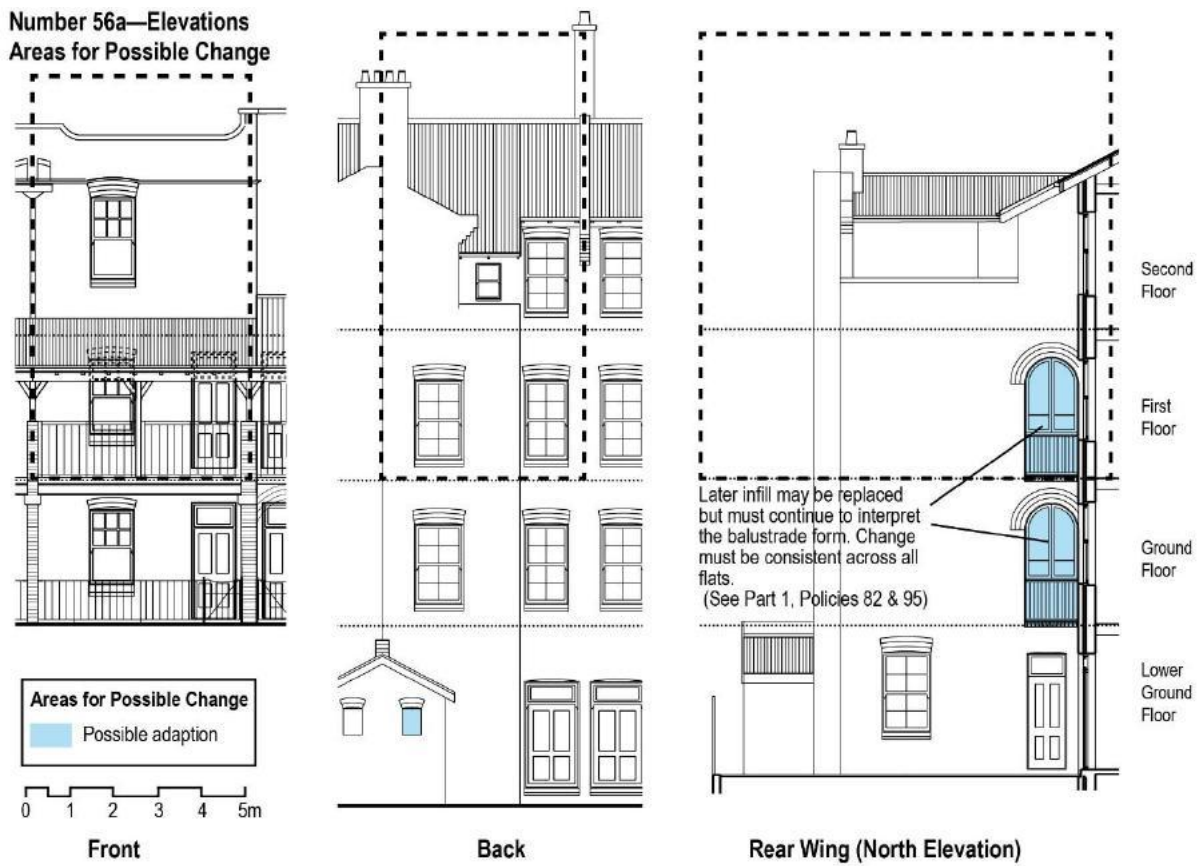
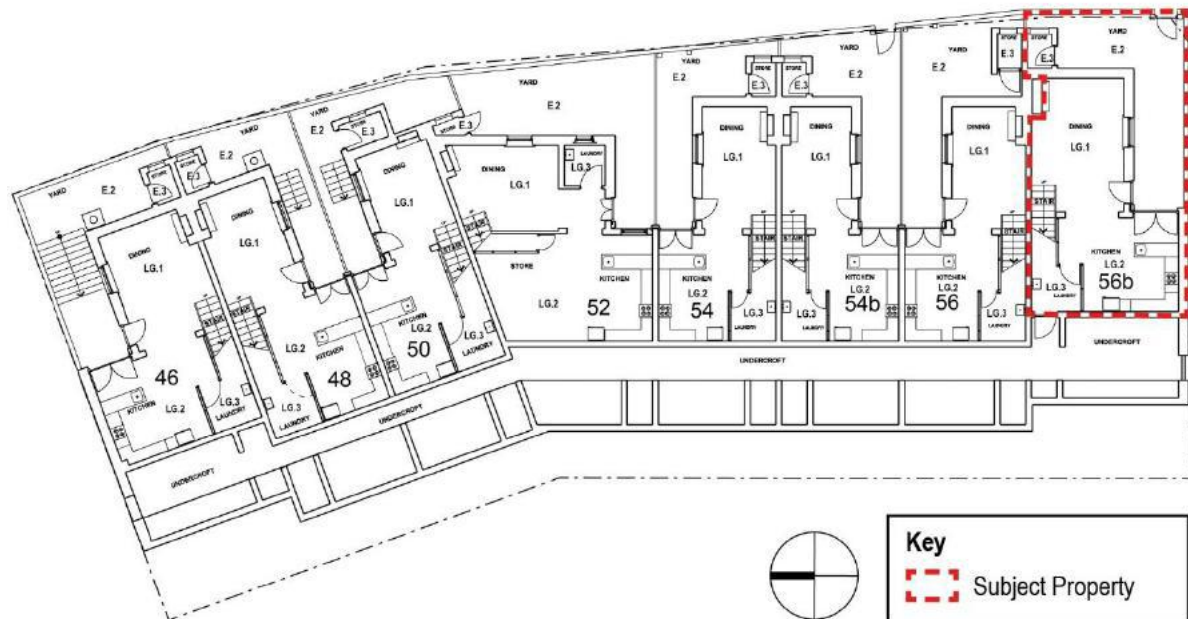


Figure 14.53 Elevations showing areas for possible change—Flat 56A / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

15.0 Flat 56B of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 56B Gloucester Street. It should be read in conjunction with the preceding sections including Part 1 of this CMP. Figure 15.1 shows the location of the flat within the building. Figure 15.2 and Figure 15.3 show the configuration of Flat 56B.

Number 56b—Property Plan, Lower Ground Floor



Number 56b—Property Plan, Ground Floor

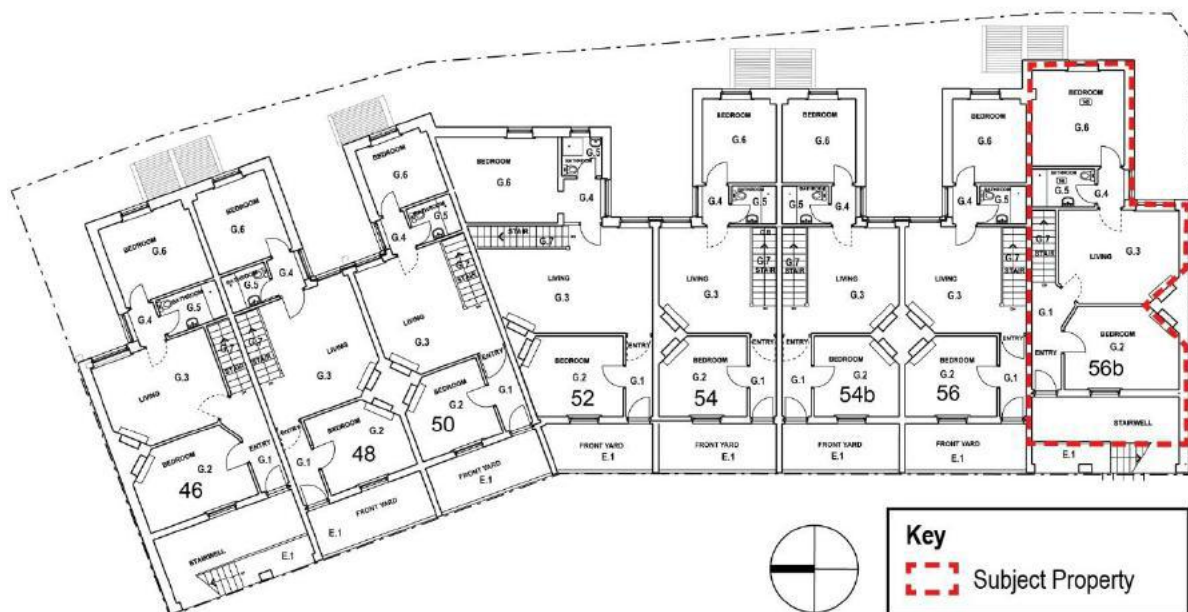


Figure 15.1 Subdivision plan—Flat 56B / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 56b—Plans

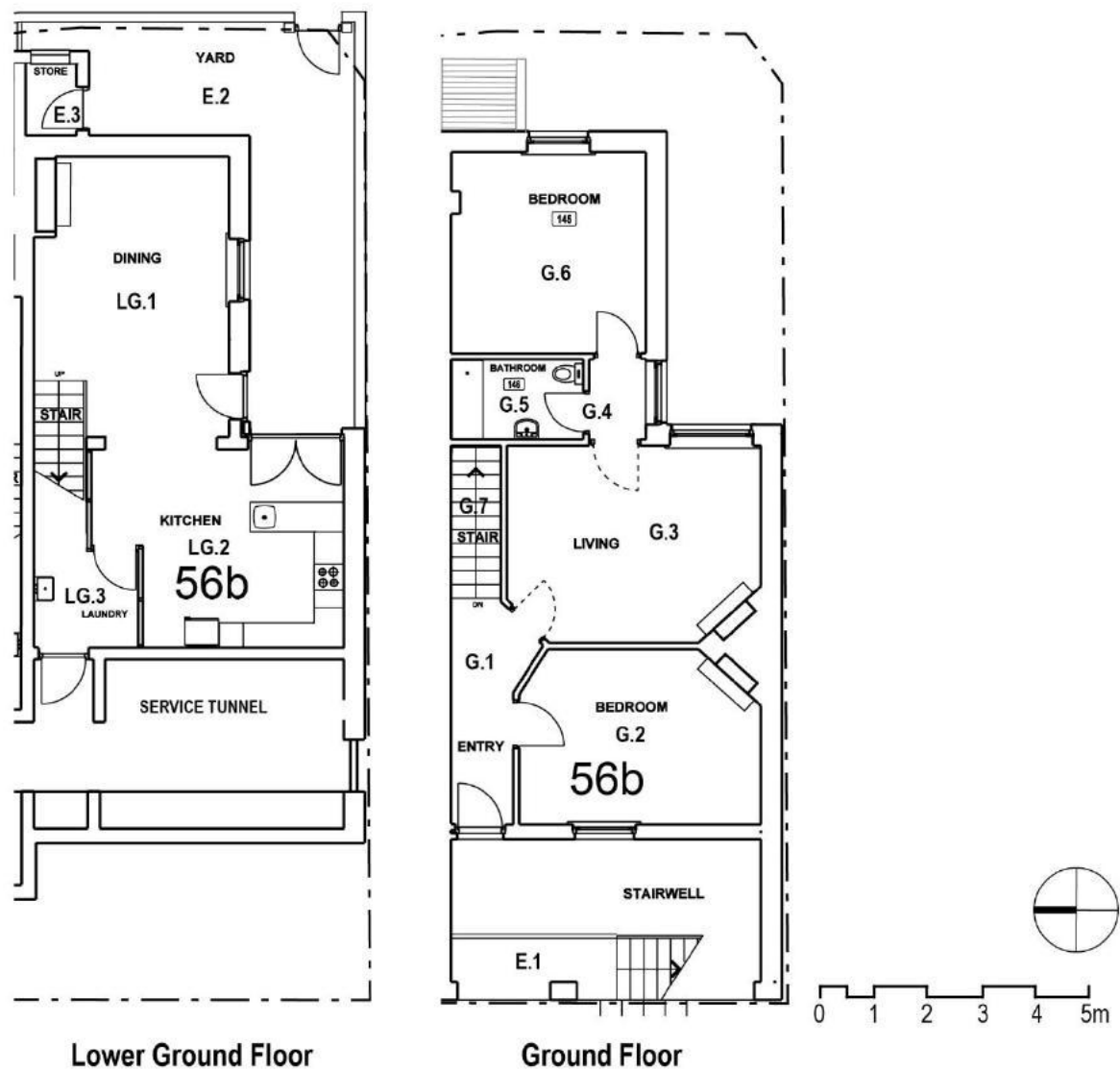


Figure 15.2 Plans of Flat 56B / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

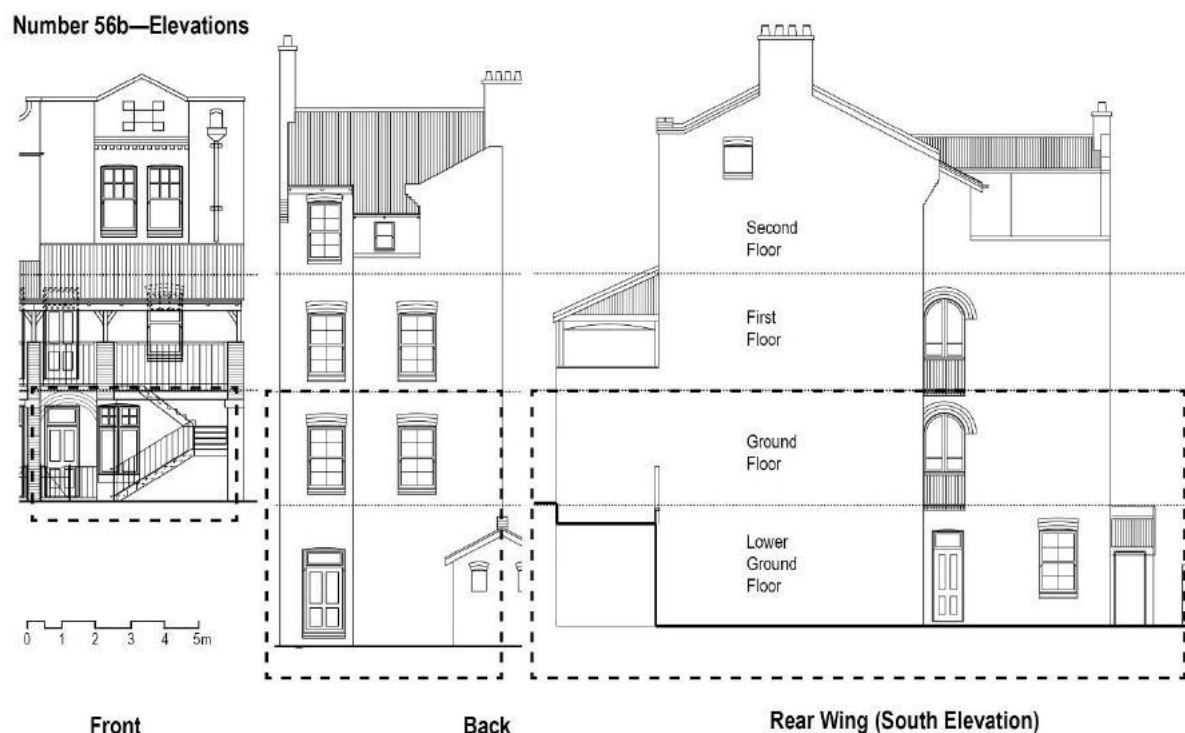


Figure 15.3 Elevations of Flat 56B / 46–56 Gloucester Street. Flat is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

15.1 Summary of Heritage Significance

Flat 56B is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual flat owners and the owners' corporation.

15.2 Physical Description of Flat 56B

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

15.2.1 Typology

Flat 56B is one of 8 maisonette flats occupying the ground and lower ground floors of the block of flats. Flat 56B is a Type 3 Flat (as identified in Part 1 Section 3.0 of this CMP, Figures 3.1–3.2). It is a single-fronted flat on two levels (ground and lower ground), with its principal access from Gloucester Street (ground level). Type 3 Flats are the end flats. They have an L-shaped plan with two bedrooms, a living room and bathroom on the ground floor, and kitchen, dining and laundry on the lower ground floor, which opens to a rear yard with an external WC (toilet now removed). There are minor dimensional variations in the internal spaces of the Type 3 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of the same type within the building.

15.2.2 External

The flat is separated from adjoining flat (Flat 56) by a structural party wall running from the street boundary (curtilage line) at the front of the block to the rear wall of the block. The south wall is the external gable wall of the block of flats. The flat is built partly over the common land of the service tunnel on the Gloucester Street boundary. It shares a wall with the service tunnel (lower ground floor, spaces LG.1 and LG.2) and the ceiling of the tunnel forms the floor of the front bedroom (space G.2) and hallway (space G.1) of the flat. The upper limit of the flat is defined by the double floor (or, in the case of the verandah, the concrete slab) that divides the lower row of flats (46, 48, 50, 52, 54, 54b, 56 and 56B) from the upper row of flats (46A, 48A, 50A, 52A, 54A, 54c, 56A and 56C).

The front yard (ground level, space E.1), is located on the lower level of the western verandah of the building, which is on the same level as Gloucester Street (Figure 15.6). The yard is enclosed by a wrought iron palisade fence and accessed by a wrought iron gate leading to the front door (Figure 15.8 and Figure 15.10). The fence is set back and flows into the handrail of the common stairway to the verandah.

The rear yard (space E.2) of the property is a brick paved area bordered by a timber paling fence to its rear and side boundaries (Figure 15.47–Figure 15.50). The yard is on one level, and has an external (former) WC (space E.3). It has a traditional timber clothes hoist inside the fence. There is private access from Cambridge Street via a timber gate.

At the rear, the property shares rainwater services with Flat 56A above (stainless steel square section downpipes) (Figure 15.51).

The front elevation, which presents only the ground floor to the street, is single-fronted, in fair-faced brickwork in English bond, flush jointed in grey mortar (Figure 15.8–Figure 15.10). The flat has its own ornamental wrought iron gate with mid-rail and diagonal brace, with a hinge fixed to the flank wall and a socket fixing for the hinge-stile (Figure 15.10). The gate has an original wrought iron latch and latch plate with iron rivets. A wrought iron palisade fence with square section pales and top and bottom rail extends to the opposite flank wall, the uprights having ball finials (matching the stiles of the gate). The four-panel, bolelection moulded entry door has glazed upper panels in wired glass, a central brass knob and letterbox slot, and modern mortise lock. There is a pivot fanlight over (Figure 15.8). The entry door and window have dark brick surrounds. Both have arched heads supported on flat iron arch bars. The window is a mullion and transom style casement with side-hinged four-light top casements and single light lower casements, and has a chamfered brick sill. The door has a slate threshold (Figure 15.12).

The rear yard (space E.2), as described above, has a brick-built external WC (space E.3, now a 'store') with galvanised iron skillion roof and exposed rafters at the eaves (Figure 15.50). The WC shares a party wall/parapet with the WC of the neighbouring flat. It has a concrete floor, and segmental-arched door opening with single-ledged, braced and sheeted timber door. It has a single light window facing Cambridge Street. The louvre glazing panels are missing and replaced with wire mesh.

The rear elevation is of common brick in stretcher bond, struck jointed (the ground floor rear elevation has been re-pointed with a pale buff mortar). Doors and windows have segmental-arched brick heads with flat iron arch bars, as on the front elevation (Figure 15.49 and Figure 15.53). The exception is the round-arched window of the former rear porch, which faces south towards the city (Figure 15.51). This window (like all such windows on this floor of the block) has been infilled, in this case with a timber casement window, wooden T & G boarded spandrel and false balustrade externally. The lower ground

floor has a solid timber bolection moulded-four panel door to the rear wing dining room, and half-glazed double doors with fanlight to the kitchen, both of which have concrete thresholds (Figure 15.45 and Figure 15.46).

15.2.3 Internal—Ground Floor

As with the other Type 3 flat (Flat 46), entering via the front door on Gloucester Street, the entry hall (space G.1) has timber floors, cement run skirtings, timber cornice and a timber door frame to the front bedroom and living room with pivot fanlights over. The doorway between the hall (space G.1) and the living room (space G.3) is angled at 45 degrees from the hallway axis and the door has been removed, although the frame and fanlight survive. There is a transverse beam across the hallway (Figure 15.16). The front bedroom (G.2, on the right) has timber floor, cement run skirtings, timber cornice, timber picture rail, scroll pattern fibrous plaster wall vents, four-panel solid timber door with fanlight over, and double casement window (as described above) (Figure 15.17–Figure 15.20). It has a corner fireplace with cast iron grate and mantel piece, with concrete hearth.

The living room (space G.3) has timber floor, corner fireplace (blocked up) with concrete hearth, cement run skirtings, timber cornice, and timber double-hung sash window to the rear (Figure 15.21). Between the stairs (G.7) and the living room is a coke breeze partition wall.

The rear wing contains the former rear porch (space G.4), bathroom (space G.5) and rear bedroom (space G.6). Access to the former porch is via a timber door frame (door removed). The former porch (space G.4) has a timber floor, painted unrendered brick internal wall faces with no cornice, and timber skirting under the window only (Figure 15.25–Figure 15.27). The timber floor has been raised to the level of the former timber thresholds of the living room and rear bedroom. The opening opposite the bathroom (space G.5) has been infilled (c.1988) and consists of a round-headed double casement window with textured glass, with modern vertical tongue-and-groove boarded panelling under.

The bathroom (space G.5) has a modern fit-out with modern ceramic tiled floor and walls, modern or repaired original plaster above, plasterboard ceiling and scroll pattern wall vent (Figure 15.28–Figure 15.30). The bathroom has a half-glazed timber door in the original frame, with moulded sunk panels (flush panels inside), assorted opaque glass (some may be original), and fixed fanlight over.

The rear bedroom (space G.6) has features similar to the front bedroom: cement run skirtings, timber picture rail and timber cornice, scroll pattern vents, timber floor (carpeted), four-panel solid timber door, and one timber double-hung sash window (four lights over one) (Figure 15.31–Figure 15.33).

15.2.4 Internal—Lower Ground Floor

The staircase (space G.7) has vertical timber boarding on the handrail side, with coke breeze partition above, original timber handrail and balustrade with newel post (to the lower section), timber skirtings and stringers (Figure 15.34 and Figure 15.37). The downstairs dining room (space LG.1) has a ripple iron ceiling and exposed steel transverse I-beam connected to secondary steel beam supporting the floor above (Figure 15.38). The dining room (space LG.1) has timber floor and cement run skirtings (with modern quad bead edging to the floor), and an original cooking range and flue, with concrete hearth in front and early gas light fitting adjacent. It has scroll pattern fibrous plaster wall vents, four-over-four double-hung timber sash window, and four-panel timber external door with fanlight.

Access to the kitchen (space LG.2) has been created through a wide opening formed in the brickwork of the transverse wall (Figure 15.39). Kitchen and laundry fit-outs and floor and wall finishes are recent. Original ripple iron ceilings and timber cornices have been retained. The laundry (space LG.3)

has been divided from the kitchen by a modern partition wall and door. It has unrendered painted brickwork on the party wall and boarded soffit lining to the staircase (Figure 15.42–Figure 15.44). A modern flush door and original step gives access to the service tunnel.

15.3 Phases of Development

Figure 15.4 and Figure 15.5 show the changes that have been made to the flat over time. A description of the alterations and restoration works during the two phases of work in c1988 and 2010–11 is provided in Part 1 Section 2.0 of this CMP.

Number 56b—Phases of Development, Plans

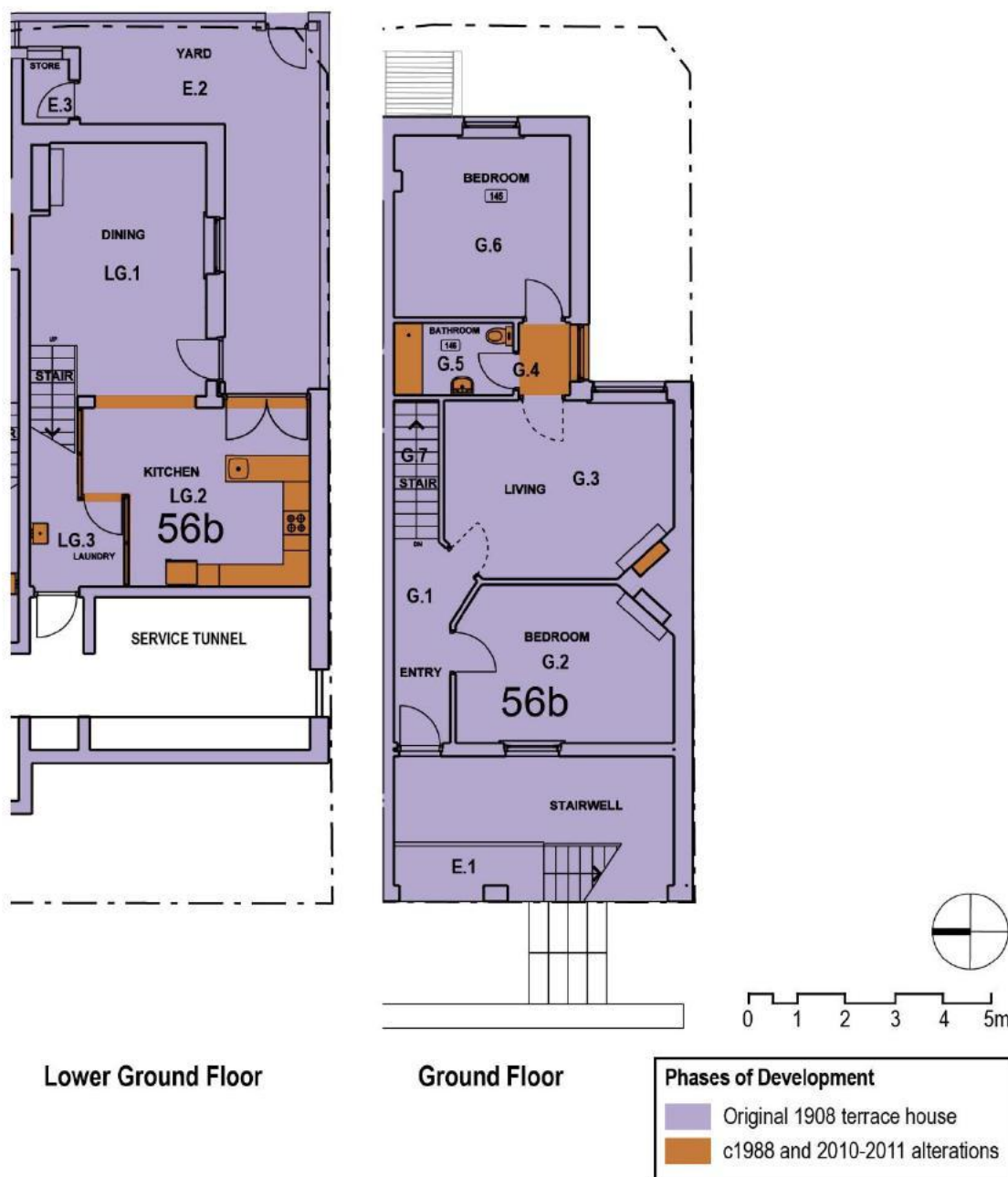


Figure 15.4 Plans showing phases of development—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)



Figure 15.5 Elevations showing phases of development—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

15.4 Significant Components of Flat 56B

As with all the flats at 46–56 Gloucester Street, Flat 56B has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. The following list of elements is relevant to Flat 56B.

15.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figures Figure 15.6–Figure 15.53) document the elements and spaces of 56B Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat.



Figure 15.6 Western (front) façade of 56B Gloucester Street, showing front verandah (common property), guttering and downpipe and face brick chimney—6B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.7 Southern façade (flat 56B exterior wall concealed behind the side gate and neighbouring building)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.8 Front entry porch showing wrought iron gate with original gate latch, entry door with fanlight, slate threshold, brick arched heads over—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.9 Detail of western elevation to Flat 56B at ground-floor level, showing original casement window—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.10 Detail of the wrought iron gate with original gate latch—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.11 The front yard (space E.1) showing the chamfered brick sill to the window, terracotta wall vent as typical in all external spaces and concrete yard paving—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.12 Original slate threshold to front door—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.13 Detail of exterior staircase to first floor at the southern end of the building. Sandstone bolsters supporting the steelwork—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.14 Front yard area (space E.1) showing steel downpipes and face brick end wall—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

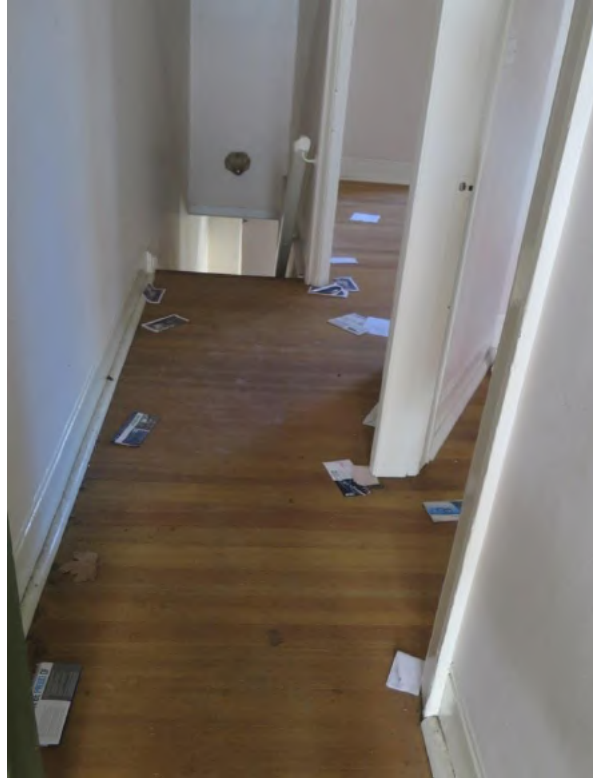


Figure 15.15 Entry (space G.1) showing timber floor, cement run skirtings, timber cornice, ripple iron ceiling and timber door frame to the living room (space G.3)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

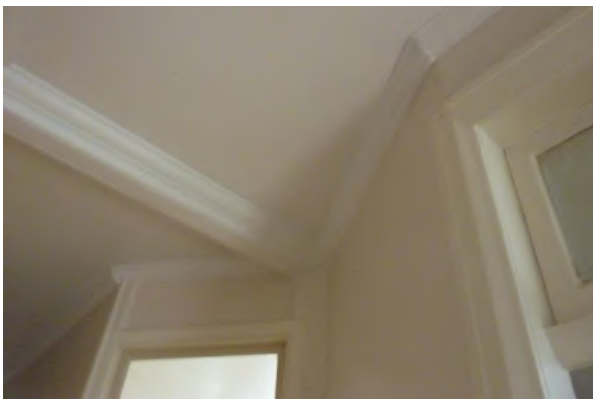


Figure 15.16 Ceiling of entry hall (G.1) showing beaded timber beam and cornices, lightweight concrete wall, finlights and architrave—56B / 46–56 Gloucester Street. (Source: GML Heritage, May 2015)

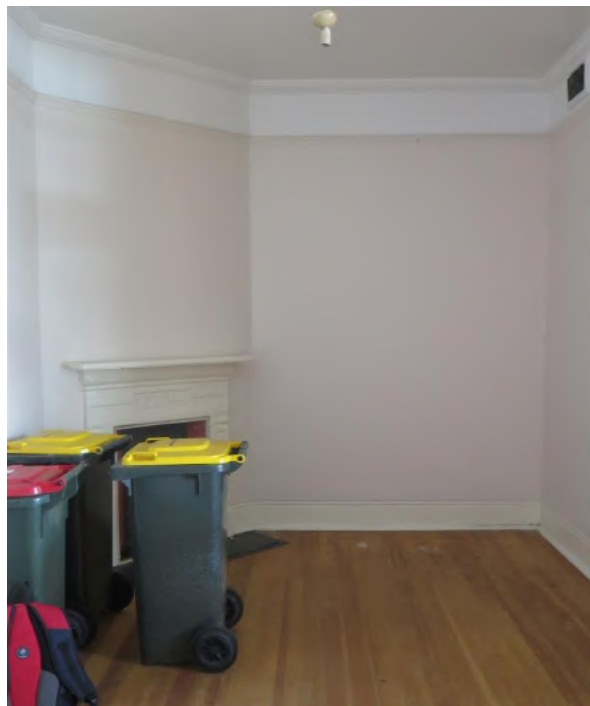


Figure 15.17 Front bedroom (space G.2) showing timber floors, rendered wall finishes, rendered cement skirting, timber picture rail and cast iron chimney piece—56B / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 15.18 Front bedroom (space G.2) showing the casement window—56B / 46–56 Gloucester Street, (Source: GML Heritage, November 2015)



Figure 15.19 Front bedroom (space G.2) showing the moulded timber picture rail, plasterboard ceiling and wall vent with fly wire cover—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.20 Original cast-iron chimney piece and grate in the front bedroom (space G.2). The skirting is run in the wall render—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

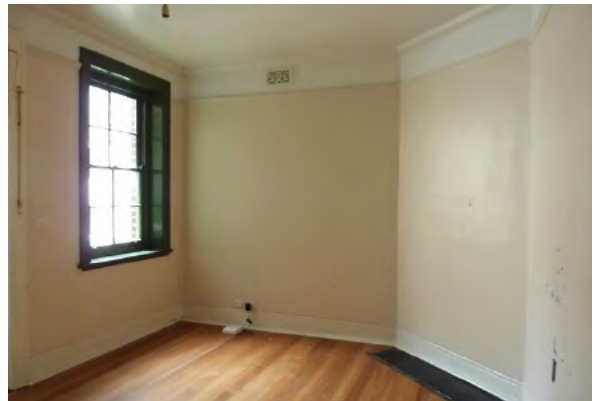


Figure 15.21 Living room (space G.3) showing the timber floors, double-hung window, moulded timber picture rail and plasterboard ceiling—56B / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 15.22 Living area (space G.3) showing blocked up fireplace with original concrete hearth—56B / 46–56 Gloucester Street, Source: GML Heritage, June 2016)



Figure 15.23 Living room (space G.3) showing new opening with the repurposed original fanlight of removed door to entry hall—56B / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 15.24 Living room (space G.3) looking through the original doorframe, with fanlight, to the rear bedroom (space G.6)—56B / 46–56 Gloucester Street. (Source: GML Heritage, November 2016)



Figure 15.25 Infilled former rear porch opening (space G.4). The original arched opening has been infilled with vertical boarding and casement windows—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

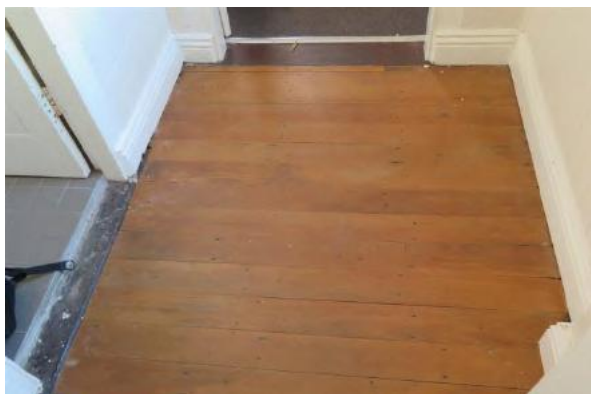


Figure 15.26 Infilled former rear porch opening (space G.4) with timber flooring and original timber step treads—56B/46–56 Gloucester Street—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.27 Infilled former porch area, showing the arched brick heads above the original fanlights to bathroom (space G.5) and living room (space G.43)—56B / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 15.28 Bathroom (space G.5) showing the plasterboard ceiling and decorative plaster wall vent as typical to the flat—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.29 Modern half-glazed timber door to the bathroom (space G.5) with modern fit-out—56B / 46–56 Gloucester Street. (Source: GML Heritage, November 2015)



Figure 15.30 Bathroom (space G.5) showing modern fit-out—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.31 Rear bedroom (space G.6) showing timber double hung sash window, modern carpet over original timber floor boards, cement rendered skirting and decorated wall vent—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.32 Original four-panel sunk moulded timber door in the rear bedroom (space G.6)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

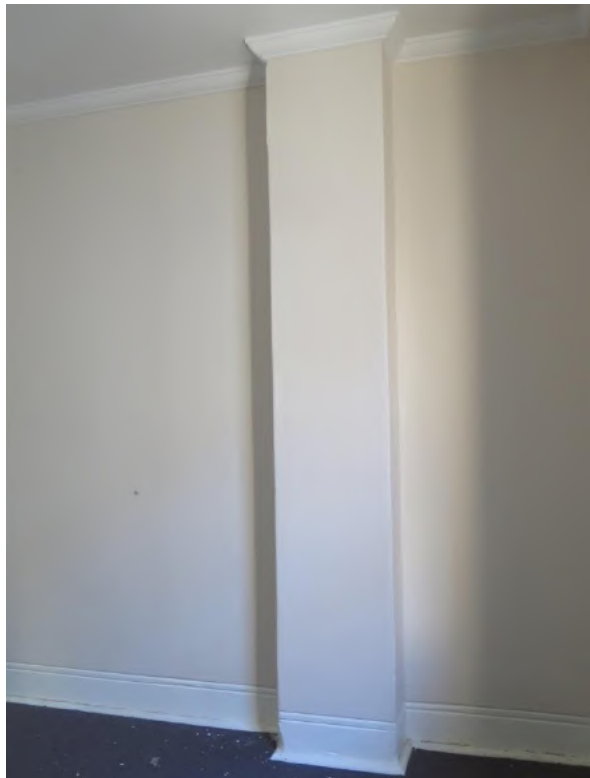


Figure 15.33 Rear bedroom (space G.6) showing chimney flue, modern carpet over original timber floor boards, cement rendered skirting and timber cornices—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

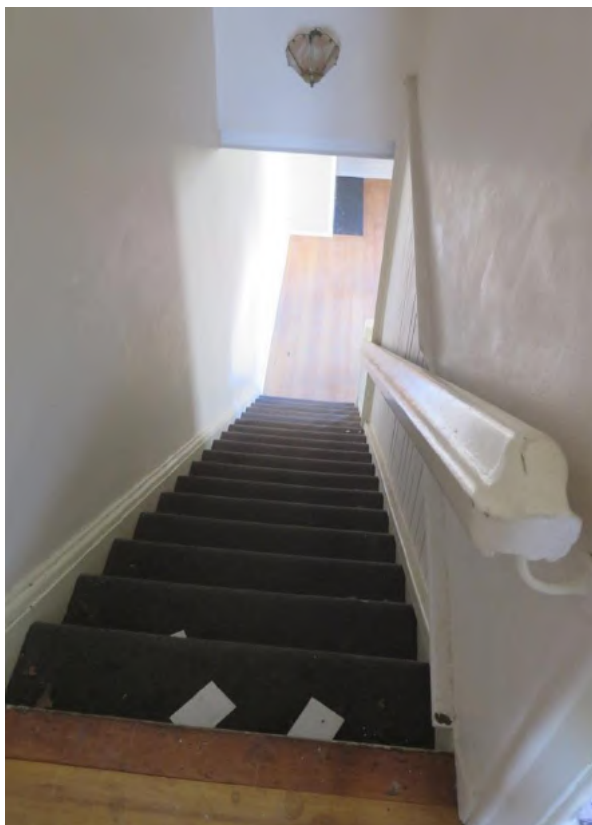


Figure 15.34 Staircase (space G.7) leading from ground floor entry hall to lower ground dining room (space LG.1)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

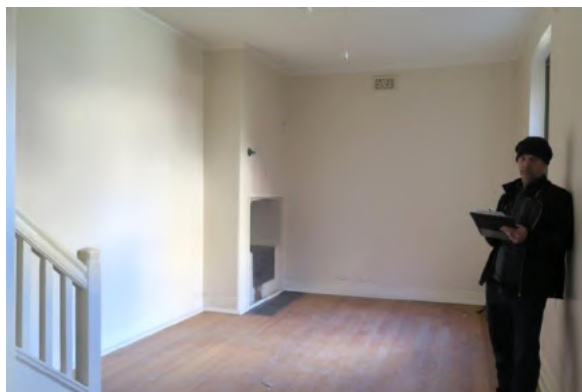


Figure 15.35 Dining area (space LG.1) showing timber floors cement run skirting, plaster board ceiling, original stove and concrete hearth—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.36 Cast-iron cooking range in fireplace (LG.1) (former kitchen). The range is covered by a perspex screen—56B/46–56 Gloucester Street—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.37 Original stair (space LG.1) with closed string, simple square balusters and newel posts, and moulded handrail—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.38 Original double-hung timber window, four panelled door with external beaded panels, with fanlight over in the dining room (space LG.1)—56B / 46–56 Gloucester Street. (Source: GML Heritage 2015)



Figure 15.39 Lower ground-floor level showing original timber stair, large opening cut through to kitchen (space LG.2) and enclosure to create laundry under stairs c1988 (space LG.3)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.40 Kitchen (space LG.2) showing modern fit-out—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.41 Kitchen ceiling (space LG.2) showing the original ripple iron ceiling and timber cornice—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.42 Laundry (space LG.3) showing modern fit-out)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.43 Modern half-glazed door to laundry (space LG.3)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

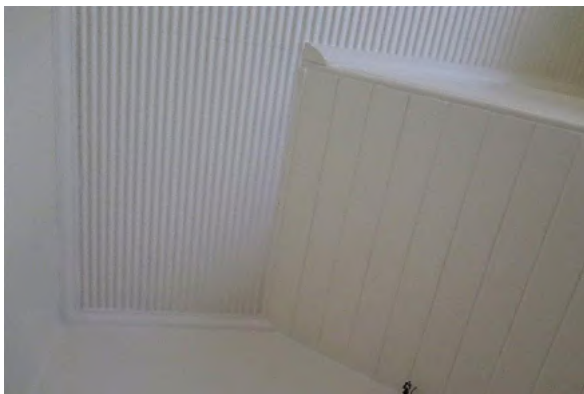


Figure 15.44 Laundry (space LG.3) showing boarded soffit to stair and ripple iron ceiling—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.45 Painted concrete threshold to rear door—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.46 Lower ground-floor (LG.1) showing four panelled timber door with fanlight above—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.47 Rear yard with brick paving (space E.2), timber fencing, downpipe, external double hung sash window and reconstructed laundry hoist—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.48 Eastern aspect of 56B Gloucester Street, as viewed from Cambridge Street, showing external WC and missing glass in louvres—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.49 Rear yard with brick paving (space E.2), timber fencing and boarded up double doors—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.50 External WC or store in common brick (space E.3) with skillion roof and timber door with brick arch above—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.51 Southeastern rear elevation of Flat 56B showing rear porch window infill—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.52 Eastern elevation showing window of space G.6 (left)—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 15.53 Eastern elevation as viewed from Cambridge Street showing timber double-hung window of space G.3—56B / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

15.4.2 Significance Grading Diagrams for Flat 56B

Figure 15.54 and Figure 15.55 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 15.1–15.5).

Number 56b—Plans, Gradings of Significance



Figure 15.54 Plans showing gradings of significance—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 56b—Elevations
Gradings of Significance



Figure 15.55 Elevations showing gradings of significance—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

15.4.3 Significant Fabric and Condition—Flat 56B

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 15.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings and brick cornice	O	E	G
	Dark face brick round arch over front yard	O	E	G
	Sandstone bolsters supporting the arch	L 20 th	E	G

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Party walls	Cross wall adjoining flat 56 with sandstone bolster supporting steel structural I-beams and concrete verandah floor slabs	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Downpipes	Galvanised steel downpipe to southern end of front elevation	E 21 st	L	G
Door set	Four-panel entry door with external bolection mouldings and internal flush moulds	O	E	G
	Wired and textured glass in upper panels	L 20 th / E 21 st	M	G
	Brass knob and letterbox	O?	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction mechanism	Early 21 st	M	G
Window joinery	Timber double mullion & transom style casement window	O	E	G
	Plain glass (original glass in the top lights of the casements)	O/L 20 th	E	G
Window sills	Chamfered brick sills	O	E	G
Window and door heads	Arched brick heads over window and door openings, with hoop iron arch bar	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 15.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—north, south and east elevation	Common brick	O	E	G
Gutters and downpipes	Steel	L 20 th	H	G
	Cast iron square downpipes	O	E	G
	Copper and cast iron downpipes/service pipes to rear wing south elevation	O / E 21 st	E	G
Door threshold	Concrete threshold to rear door	L 20 th	M	G
Door set	Reproduction four-panel sunk-moulded rear main door	L 20 th	E	G
	Half-glazed French doors with fixed fanlights to rear yard from kitchens	L 20 th	M	F
	Door furniture	L 20 th	M	G
Fanlight	Central pivot fanlight over rear door	O	E	G
	Reproduction mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: timber vertical boarded with external timber balustrade, timber casement window	L 20 th	M	G
Window sills	Brick sills	O	E	G
	Brick sill under former porch opening	L 20 th	M	F

Window and door heads	Arched brick heads over window and door openings, with hoop iron arch bar	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta subfloor and cavity vents	O	E	G

Table 15.3 Exterior (South elevation)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—south elevation	Common brick	O	E	G
Door set	Timber sheeted gate and frame to passageway (NB the gate is on Susannah Place land)	L 20 th	L	G
Door heads	Arched brick head to service tunnel door has been removed	n/a	n/a	n/a
Other	Galvanised steel staircase giving access to tunnel (NB stair is on Susannah Place land)	L 20 th	L	G

Table 15.4 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
Space E.1—Front Yard				
Front yard	Concrete with modern paving paint	O	E	F
Front fence	Wrought iron palisade, square section pales, wrought iron stays	O	E	G
Front gate	Wrought iron gate, latch and latch plate with iron rivets	O	E	G
Other	Light fittings	L 20 th	L	G
	Electrical services and ducting	L 20 th / E 21 st	L	F
Stairs	Steel stairway	O	E	G
Space E.2—Rear Yard				
Fence—east	Timber paling	L 20 th	M	F
Gate—east	Timber	L 20 th	M	F
Retaining wall—east	Squared, rock faced sandstone	L 20 th on original fence line	H	G
Fence—south (shared)	Timber paling	L 20 th	M	F
Paving	Brick pavers	L 20 th	L	F
Drains	Sumps to receive storm water	L 20 th	L	F
Garbage chute	Chute removed. Evidence of concrete table including a strip of galvanised flashing in the brickwork	O	E	G
Clothes hoist	Timber post-beam hoist frame with pulleys	L 20 th Reconstr.	H	P
Space E.3—External WC/Store				

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls	Common brick	O	E	F
Internal walls	Painted brick	O (paint L 20 th)	E	F
Parapets (party)	Common brick	O	E	F
Roof (incl cappings and flashings)	Pitched roof clad with corrugated galvanised iron	Structure: O Sheeting: E 21 st	Form: O Sheeting: H	F
Eaves and verge	Exposed rafter, timber bargeboard	O	E	F
Gutters and downpipes	Copper (missing)	O	E	P
Door set	Ledged and braced timber door with strap hinges and original door furniture	O	E	F
Floors	Concrete	O	E	F
Door heads	Common brick arch with hoop iron lintel bar	O	E	G
Window joinery	Timber fixed louvre frame (glass missing)	O	E	F
Window heads	Common brick arch with hoop iron lintel bar	O	E	G
Wall vents	Terracotta and galvanised vent grilles	O	E	G

Table 15.5 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Space G.1—Entrance Hall				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Modern quad mould	O Early 21 st	E M	G G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Front door (see Exterior (front))	O	E	G
	Internal door frame to stair hall (door leaf removed)	O	E	G
Architraves	Moulded timber architrave to doorway to living room	O	E	G
Fanlight	Pivot fanlight over door to stair hall	O	E	G
	Reproduction mechanism	E 21 st	M	G
Other	Light fittings	L 20 th	L	not tested
Space G.2—Front Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Skirting	Grooved/beaded run cement render Timber quad mould	O E 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Cast iron fire surround (painted) and grate, red tiled margins. Perspex cover to grate Concrete hearth	O E 21 st O	E L E	G F G
Door set	Four-panel sunk moulded door in original frame (entry from hall) Modern door furniture	O L 20 th	E L	G G
Architraves	Moulded timber	O	E	G
Fanlight	Pivot fanlight over door Reproduction mechanism	O E 21 st	E M	G G
Window joinery	Timber double casement window, timber frame and sill board with moulded timber architrave. Orig. glass in upper lights. Door furniture: pendant catches Door furniture: brass stays	O O E 21 st	E E L	G G G
Wall vents	Covered with plastic sheet (pattern unknown)	O	E	unknown
Other	TV/communications service point in floor with brass cover plate Light fittings	E 21 st L 20 th	L L	G F

Space G.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Timber quad mould	O E 21 st	E M	G G
Walls	Painted set plaster above dado Cement render below dado	O O	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Fireplace blocked off Fireplace infill, rendered and skirted over Concrete hearth	O L 20 th O	E L E	unknown G G
Door set	Timber frame Door leaf removed to rear porch	O	E	G
Architraves	Moulded timber door architraves	O	E	G
Fanlight	Pivot fanlight over doorway Reproduction mechanism	O L 20 th	E M	G G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Window joinery	Timber double hung sash window (six-over-one), timber box frame, sillboard and moulding with moulded timber architrave	O	E	G
Stairs	Timber stair with timber stop chamfered newel posts, moulded handrail, closed strings, balustrade with square section balusters	O	E	G
Other	TV/communications service point in floor with brass cover plate Light fittings	E 21 st L 20 th	L L	G F

Space G.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	O, E 21 st repairs	E	G
	Original floor (construction unknown)	O	E	unknown
	Timber step treads with nosings from adjacent rooms	O	E	G
Skirting	Timber, under window	L 20 th	L	G
	Timber, against bathroom wall	O?	E	G
Walls	Painted finish	L 20 th	L	G
	Original brickwork	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Infill to porch opening	Timber vertical jointed T & G boarding below window	L 20 th	M	G
Window joinery	Round headed double casement window with textured glass; modern chain winder	L 20 th	M	G
Architraves	None, timber frame expressed to bathroom and rear bedroom	O	E	G
Wall vent	Grill type (to bathroom wall)	O	E	G

Space G.5—Bathroom

Floor	10cm ceramic tiles	L 20 th / E 21 st	L	G
	Original and repaired timber joists and boards beneath	O, E 21 st	E	unknown
Skirting	Ceramic tile	E 21 st	L	G
Walls	Painted render/plaster	O	E	G
	Ceramic tile	E 21 st	L	G
Ceiling	Fire rated plasterboard (possibly with orig. ripple iron behind)	L 20 th	M	G
Cornice	Timber quarter round	L 20 th	L	G
Door set	Half-glazed timber door in original frame to porch, with moulded sunk panels (flush panels inside) and assorted opaque glass (some may be original)	O	E	G
	Door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Wall vent	Decorative plaster	O	E	G
Transom light	fanlight (fixed closed)	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services; lighting and plastic vent	L 20 th / E 21 st	L	G/F
Space G.6—Rear Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	M	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	timber quarter round	O	E	G
Ceiling	Fire rated plasterboard	L 20 th	L	G
Door set	Four-panel sunk moulded door in original frame (entry from porch, no fanlight)	O	E	G
	Modern door furniture	L 20 th	L	G
Architraves	Moulded timber	O	E	G
Window joinery	Timber four-over-one double-hung sash window, timber frame, sash boxes and sill board with moulded timber architrave	O	E	G
Wall vents	Decorative plaster scroll type	O	E	G
Other	Light fittings	L 20 th	L	F
Space G.7— Stairs				
Floor	Timber	O	E	G
	Carpet	E 21 st	L	G
Stairs	Timber stair, moulded handrail (balustrade side only), closed strings, balustrade with square section balusters (dining room), timber skirtings.	O	E	G
	Boarded soffit under stairs in space LG.3	L 20 th	H	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Coke breeze partition wall between stair and living room	O	E	G
	Vertical T & G boarded lining to staircase	L 20 th	M	G
Other	Light fitting & shade	L 20 th	L	F
Space LG.1—Dining Room				
Floor	Timber boards on timber joists	O, 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Timber quarter round	O	E	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Ceiling	Ripple iron	O	E	G
	Internal steel I-beams and trimmers (over lower ground-floor level)	O	E	G
Fireplace and chimney piece	Cast iron range and flue	O	E	G
	Concrete hearth	O	E	G
	Modern Perspex cover	E 21 st	I	G
Door set	Four-panel sunk moulded rear main door	L 20 th	E	G
	Door furniture	L 20 th	M	G
Window joinery	Timber double-hung sash window, timber frame, sash boxes, moulded timber architrave, rendered brick sill	O	E	G
Wall vents	Scroll pattern	O	E	G
Other	Early gas light fitting	O	E	G

Space LG.2—Kitchen

Floor	Concrete slab	O	E	G
	Vinyl tiles	L 20 th	L	G
Skirting	Modern timber (to stair partition)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Timber and plasterboard partitions	L 20 th	L	G
	Large opening	L 20 th	M	n/a
Cornice	Timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Half-glazed French doors with fixed fanlight to rear yard from kitchens	L 20 th	L	G
Architraves	Moulded timber to double doors	L 20 th	L	G
Other	Kitchen fit-outs and services	L 20 th or E 21 st	L	F
	Light fittings	L 20 th or E 21 st	L	F

Space LG.3—Laundry

Floor	Concrete slab	O	E	G
	Ceramic tiles	L 20 th	L	G
	Stone/concrete step down to service tunnel	O	E	P
Skirting	Ceramic tile	L 20 th	L	G
Walls	Paint	E 21 st	L	G
	Original brick	O	E	G
	Timber stud and plasterboard partitions	L 20 th	L	G
Cornice	Timber quarter round to partitions	E 21 st ?	L	G
	Timber quarter round to brick walls	O?	E	G
Ceiling	Ripple iron	O	E	G
	Timber boarded soffit to staircase	L 20 th	H	G

Element	Description (Material, form, type, construction, missing)	Date	Significance Ranking	Condition
Architraves	Timber door architrave	L 20 th	L	G
Door set	Reproduction part glazed timber door	L 20 th	L	G
	Modern flush hollow core timber door to service tunnel	L 20 th	L	F
Wall vent	Plastic	L 20 th	L	G
Other	Water services, sink and water heater	E 21 st	L	G
	Electrical fixtures	L 20 th / E 21 st	L	G

15.5 Priority Conservation Works

15.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

15.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

15.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 56B should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.
- Repair or replace damaged rear double doors to kitchen.

Internal works:

- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Reinstate missing door furniture to rear bedroom using appropriate components, matching others in the flat.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing.
- Repair missing glass to external WC.
- Inspect and test storm water drains and sewerage lines and clear/repair as required.
- Check paving condition to roof terrace.
- Reinstate copper gutter and downpipe to external WC as found in other flats, and directing runoff away from the building.
- Repair and make operable the timber clothes hoist.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Repair the stone/concrete step down to service tunnel.
- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.

Medium (Within Two to Four Years)

External works:

- n/a.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Ease and adjust sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks. Reinstall broken or missing internal door knobs

Low (within six years)*External works:*

- n/a.

Internal works:

- n/a.

15.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

15.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

15.7 Specific Conservation Policies for Flat 56B

There are no specific policies for Flat 56B that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 56B must comply with the conservation policies set out in Part 1 Section 9.0.

15.8 Areas for Possible Change for Flat 56B

Areas for possible change within the flat at 56B Gloucester Street are shown on Figure 15.56 and Figure 15.56

Number 56b—Plans, Areas for Possible Change

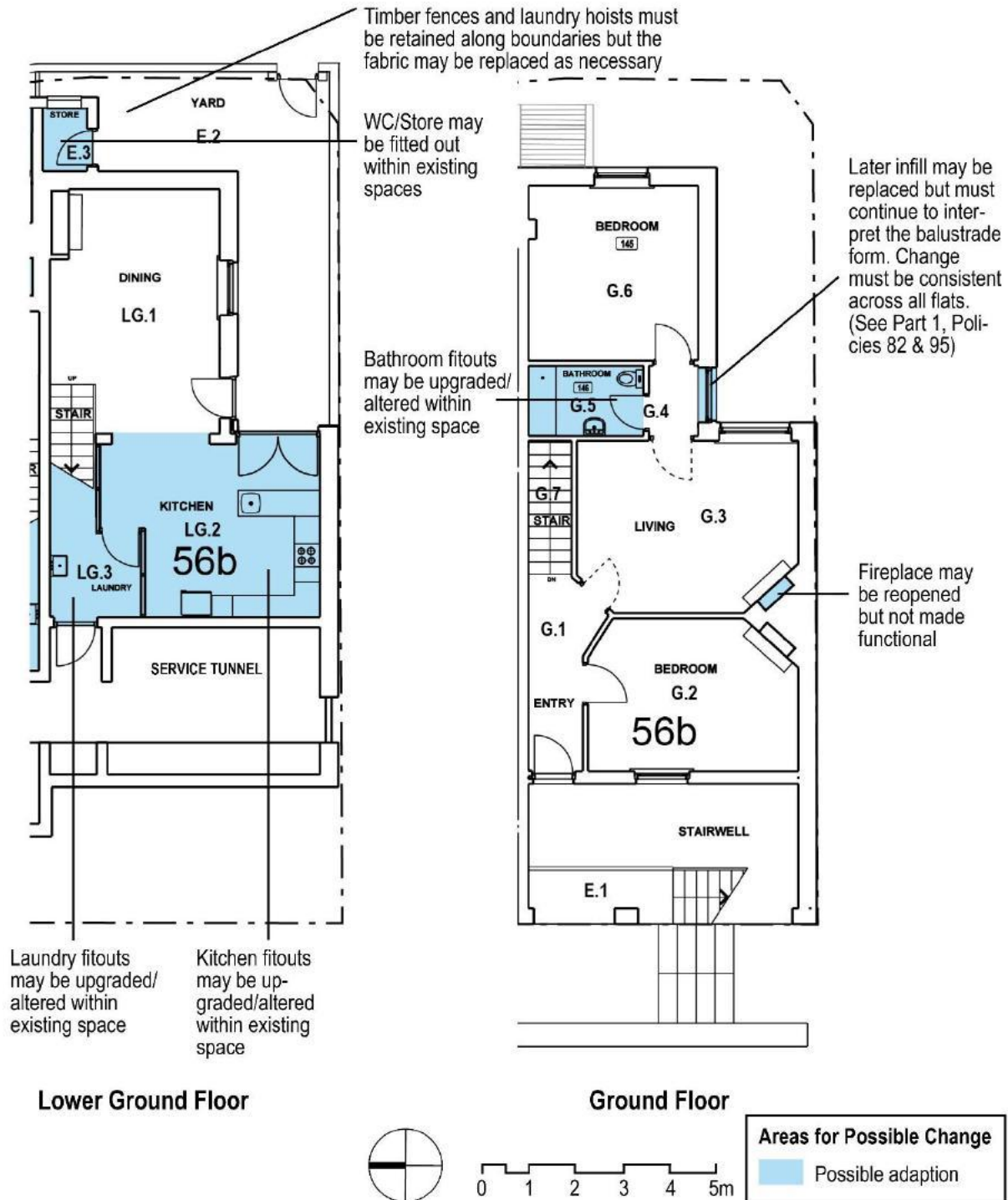


Figure 15.56 Elevations showing areas for possible change—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

**Number 56b—Elevations
Areas for Possible Change**

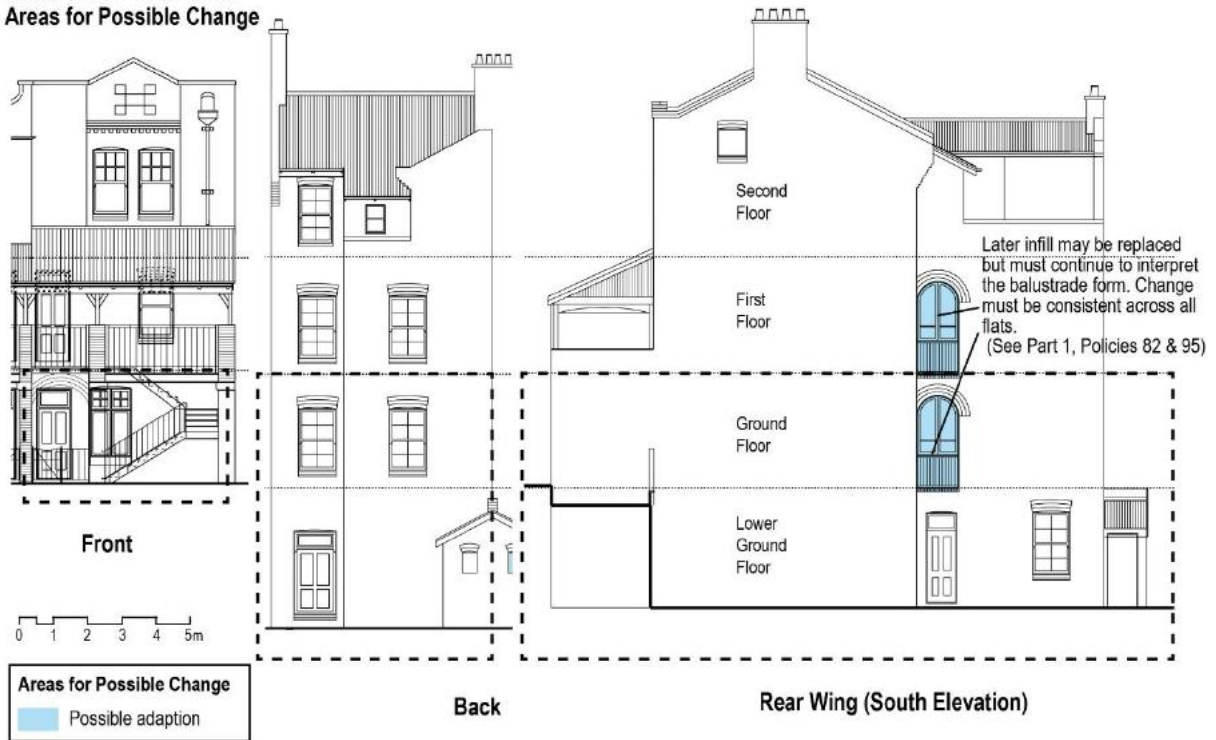
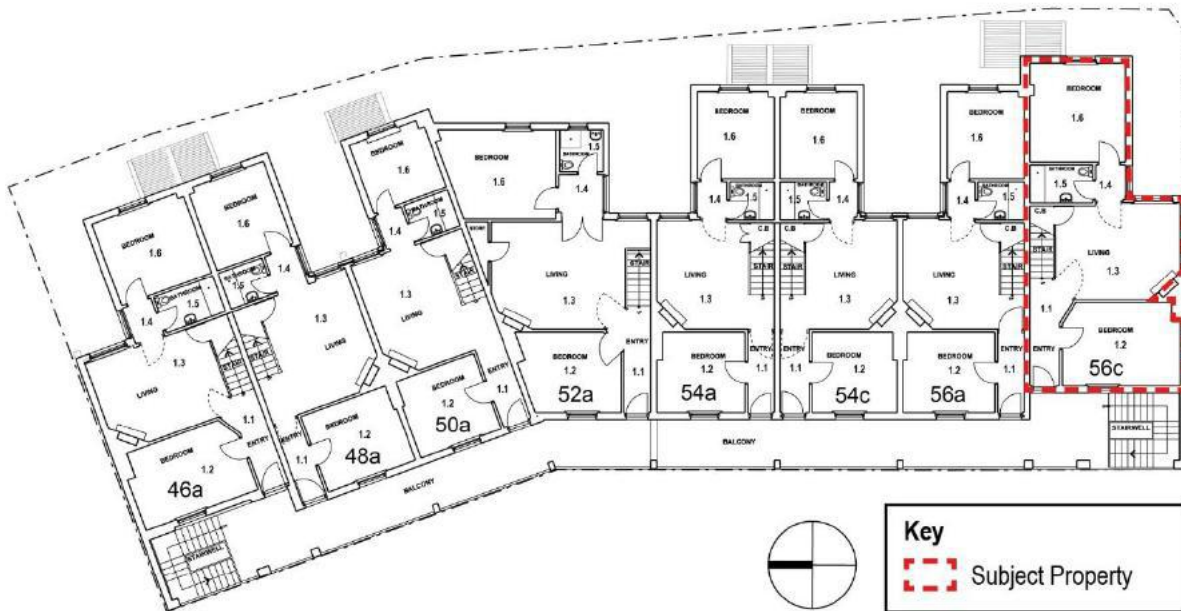


Figure 15.57 Plans showing areas for possible change—Flat 56B / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

16.0 Flat 56C of 46–56 Gloucester Street

This Section of the 46–56 Gloucester Street Conservation Management Plan (CMP) refers only to Flat 56C Gloucester Street. It should be read in conjunction with the preceding sections included in Part 1 of this CMP. Figure 16.1 shows the location of the flat within the building. Figure 16.2 and Figure 16.3 show the configuration of Flat 56C.

Number 56c—Property Plan, First Floor



Number 56c—Property Plan, Second Floor

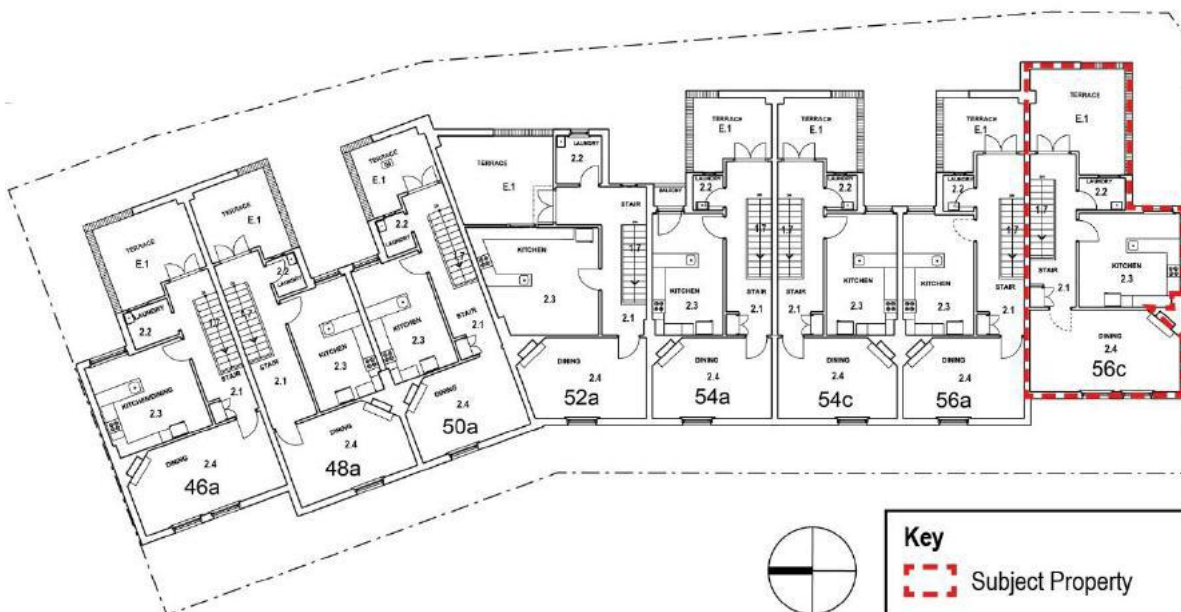


Figure 16.1 Location plan—Flat 56C / 46–56 Gloucester Street is indicated by red dashed outline. (Source: LAHC, with GML overlay 2016)

Number 56c—Plans

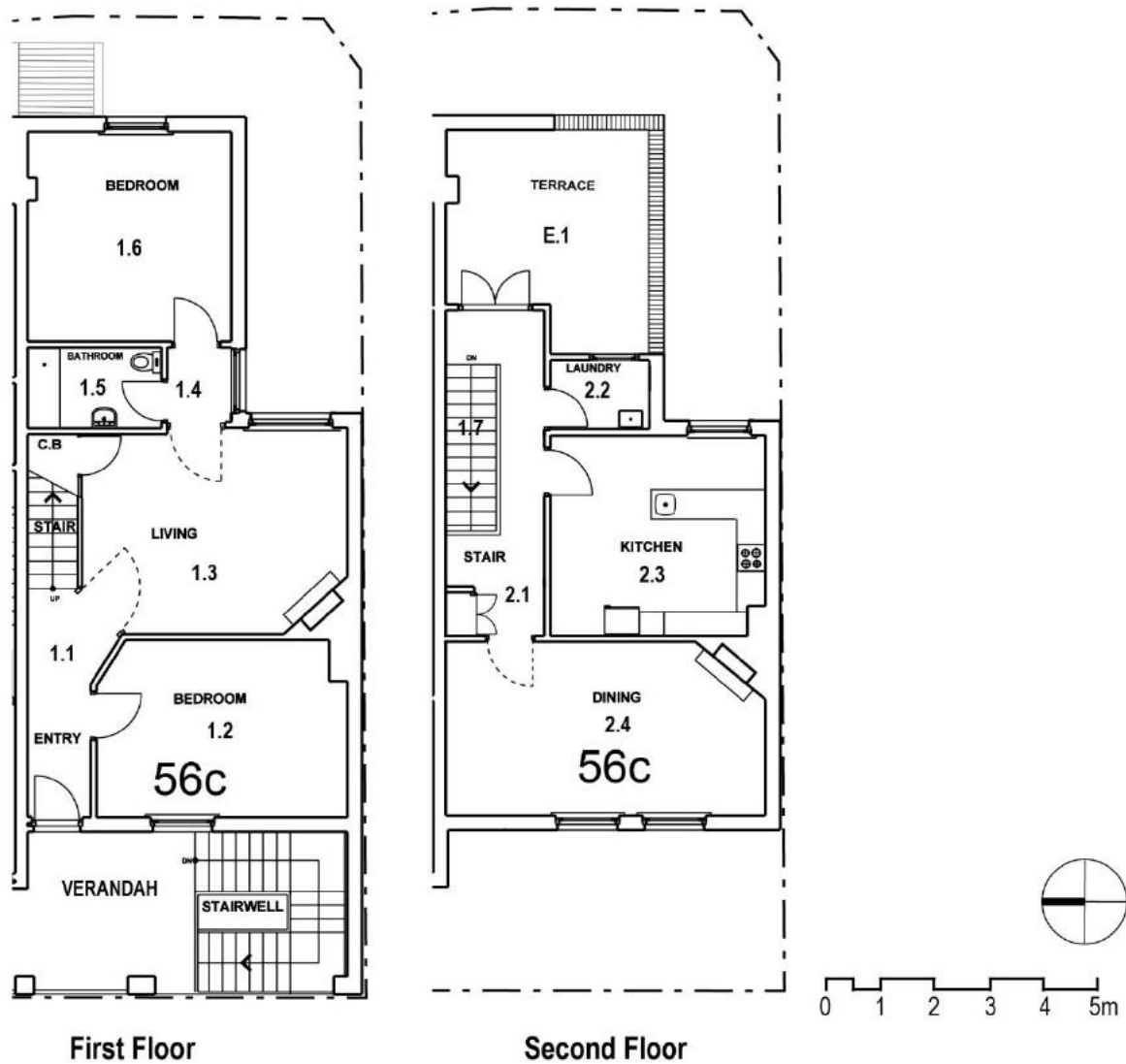


Figure 16.2 Floor Plans of Flat 56C / 46–56 Gloucester Street showing layout of flat and space numbers, for the first and second floors. (Source: LAHC, with GML overlay 2016)

Number 56c—Elevations



Figure 16.3 Elevations of Flat 56C / 46–56 Gloucester Street. Flat 56C is indicated by dashed outline. (Source: LAHC, with GML overlay 2016)

16.1 Summary of Heritage Significance

Flat 56C is one of a group of 16 flats located within a residential flat building that was designed and purpose built as a model for worker housing by the NSW Government Architect. An analysis of the heritage significance of the site is provided in Part 1 Section 6.0 of the CMP. It is essential to understand that significance is derived from the values of the block of flats as a whole. Piecemeal changes to the exterior of individual flats should be avoided and a coordinated approach, managed through consultation with the owners' corporation and in accordance with policies set out in Part 1 Section 9.0 of this CMP, should be implemented at all times by individual unit owners and the owners' corporation.

16.2 Physical Description of Flat 56C

A more detailed description of the block of flats as a whole is provided in Part 1 Section 3.0 of the CMP.

16.2.1 Typology

Flat 56C is one of 8 maisonette flats occupying the first and second floors of the block of flats. Flat 56C is a Type 4 dwelling (as identified in Part 1 Section 3.0 of this CMP, Figures 3.3–3.4).

Flat 56C is a single-fronted two-storey flat with its principal entrance from Gloucester Street via communal stairs and the upper level of the western verandah, which are shared with Flats 54A, 54C and 56A. Type 4 flats have an L-shaped plan with two bedrooms, a living room and bathroom on the first floor, and a kitchen, bedroom/dining and laundry on the second floor, with access to an external roof terrace (former drying yard). There are minor dimensional variations in the internal spaces of the Type 4 group. The flat was refurbished in c1988 in a way that is generally consistent with other flats of

the same type within the building (refer to Part 1, Section 2.3.3 – 2.3.5). However, there are very minor differences of fabric (chiefly in joinery details) from one Type 4 flat to another.

16.2.2 External

The flat is located at the southern end of the block and is separated from the adjoining flat (Flat 54A) by a structural brick party wall. The flat is separated from the flat below (Flat 56B) by a double timber floor. Flat 56C has a gabled corrugated sheet metal roof set behind a high brick parapet, which is gabled in form, on its western side (**Figure 16.6, Figure 16.7**) and with exposed rafters and boarded eaves on its eastern side (**Figure 16.11, Figure 16.13, Figure 16.14**). It has a skillion corrugated sheet metal roof to its rear wing which partially covers the roof terrace (**Figure 16.11, Figure 16.12, Figure 16.14**). This area is semi-enclosed by a brick wall around two sides. The other part of the roof terrace is open and set behind a brick parapet (**Figure 16.12, Figure 16.16**). There is a chimney stack with terra cotta chimney pots over the southern party wall at the ridge and another small chimney stack to the rear wing (**Figure 16.11, Figure 16.13**).

The front elevation is two storeys in height in fair-faced brickwork laid in running bond with flush joints in grey mortar below the verandah roof and under-struck joints above the verandah roof (**Figure 16.6**). At first floor level the entry door and windows have dark brick surrounds and segmental arched heads supported on flat iron bearers (**Figure 16.9 and Figure 16.10**). The central portion of the front wall is recessed and has a pebble dash finish to the second floor (**Figure 16.6**). This is topped by a corbelled brick cornice with brick dentils, which provides the base to a triangular shaped parapet with brick checker board pattern detailing. The parapet is topped with a header capping course. A downpipe with a cast rainwater head above runs down the southern side of the front façade (**Figure 16.6, Figure 16.7**).

The lower storey is set behind the timber frame, skillion roof, metal balustrade and brick piers of the western verandah (**Figure 16.6, Figure 16.7**). The flat has no private area in front of it. The verandah structure and access stairs, which rise immediately in front of the flat, are common property (**Figure 16.8**). Entry is from the verandah via a four-panel door with fanlight over (**Figure 16.9**). The door has bolelection moulds externally and sunk moulds internally. The upper panels are glazed (one in wired glass and one clear glass) and the bottom panels are timber. The door is fitted with a central brass knob, brass letterbox flap, modern rimlock and keeper, and a brass fanlight mechanism (**Figure 16.19**). The first and second floor windows have sloping brick sills and the door has a slate threshold (**Figure 16.6, Figure 16.9, Figure 16.10**).

The side and rear elevations are of common brickwork laid in running bond with struck joints (**Figure 16.11 and Figure 16.12**). The doors and windows in these elevations have brick segmental arched heads with flat iron bearers, as on the front elevation, except for the round-arched opening of the former rear porch on the first floor level of the rear wing, which faces south (**Figure 16.11**). This opening (like most such windows on this floor of the block) has been infilled with timber casement windows with textured and coloured glass panes. The panel below the window consists of a timber balustrade (rectangular balusters and handrail) backed by fibrous cement sheet (Part 1, **Figure 4.14, Figure 16.28**). A timber louvre in the southern wall provides ventilation to the roof space over the flat (**Figure 16.11, Figure 4.3**). The steel rainwater goods, which consist of a rectangular rainwater head and circular and square section downpipes, extend down the walls of Flat 56 below (**Figure 16.11, Figure 16.14**).

The roof top terrace has a modern tiled floor, which drains to a floor drain adjacent to the balustrade. The opening to the former garbage chute previously located on the rear wall has been bricked up

(**Figure 16.16**). There is some evidence of the former laundry copper having been removed from the skillion roofed area in the patching of the wall and remnant fixings (**Figure 16.16**).

16.2.3 Internal—First Floor

Entering via the front door from the verandah, the entry hall (space 1.1) has timber floors (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice (**Figure 16.18**). Timber framed four panel doors with pivot fanlights over provide access to the front bedroom (space 1.2) and the living room (space 1.3). The bedroom door has original timber architraves (**Figure 16.20**, **Figure 16.23**) and the living room door, which is set at an angle has an expressed frame and fixed panel above (original detail) (**Figure 16.18**, **Figure 16.24**). The hall widens at the living room door where the two walls are splayed. A timber beam extends over the hall at the junction between these walls to support the wall on the floor above (**Figure 16.18**).

The front bedroom (space 1.2) has timber floor (carpeted), cement run skirtings, ripple iron ceiling and moulded timber cornice, a timber picture rail and decorative plaster wall vents (**Figure 16.20**, **Figure 16.21** and **Figure 16.22**). There is a timber double-hung sash window (each six panes over one) with original architraves, sill board and moulding in the west wall (**Figure 16.20**) and a modern built in wardrobe along the southern wall enclosing the chimney flue from the flat below (**Figure 16.21**).

The living room (space 1.3) has timber floor (carpeted), cement run skirtings, ripple iron ceiling, moulded timber cornice and timber picture rail (**Figure 16.24** and **Figure 16.26**). The northern wall to the stair and splayed door is of light-weight construction (concrete with fly ash). The door frame is expressed (no architrave) with a fixed panel above the door and fanlight (original detail) (**Figure 16.24**). There is a timber double-hung sash window (four panes over four) to the rear with original architraves, sill board and moulding (**Figure 16.26**). There is a corner fireplace (blocked up) with concrete hearth (**Figure 16.26**).

The rear wing contains the former rear porch (space 1.4), bathroom (space 1.5) and rear bedroom (space 1.6). Although the opening to the rear wing retains its original door frame with its original timber architraves (on side of space 1.3) and pivot fanlight over, the door is missing (**Figure 16.26**, **Figure 16.28**). The former porch has a timber floor (carpeted), painted brick walls, ripple iron ceiling, moulded timber cornice and modern moulded timber skirting under the window only (**Figure 16.29**, **Figure 16.30**). The timber floor of space 1.4 has been raised to the level of the door thresholds. The doors opening into this space have no architraves covering the frames as this space was originally external (**Figure 16.28**). The arched opening opposite the bathroom has been infilled (c1988) and consists of a pair of casement window sashes with textured glass (two by two panes, with green glass in the bottom panes), above a timber handrail and modern vertical V-jointed boarding (**Figure 16.29**).

The bathroom (space 1.5) has a recent fit-out with modern ceramic tiled floor and walls, with plaster above, ripple iron ceiling, moulded timber cornice and decorative plaster wall vent (**Figure 16.31**, **Figure 16.32**). The stair stringer is expressed and the soffit of the stair, which rises over the northern portion of the space, is lined with timber V-joint boarding (**Figure 16.32**). The bottom of the stair newel post projects through the ceiling. The bathroom retains its original half-glazed timber door and pivot fanlight over, and architraves internally (**Figure 16.33**).

The rear bedroom (space 1.6) has features similar to the front bedroom: carpeted timber floor, cement run skirtings, ripple iron ceiling, moulded timber cornice and decorative plaster vents (**Figure 16.34**, **Figure 16.35**). A reproduction four-panel door is hung in the original door frame leading into the space (**Figure 16.35**). The space retains its original double-hung sash window (four panes over four) with

original timber architraves, sill board and moulding. A chimney flue from the flat below rises against the north wall (**Figure 16.34**).

A timber staircase rises to the upper floor between two walls (space 1.7) (**Figure 16.18**). It has a moulded timber handrail supported on metal brackets mounted on timber wall roses (**Figure 16.38**). The bottom of the top newel post extends down the southern wall below the floor above (**Figure 16.37**). The stair soffit is lined with V-joint timber boarding (**Figure 16.32**). A ledged and sheeted timber door, with air holes drilled through the top, is hung on strap hinges (space 1.3) and provides access to the storage space below the stair, which is fitted with timber shelves supported on traditional timber brackets. (**Figure 16.24** and **Figure 16.25**).

All the walls in the front portion of the flat, including the stair, show evidence of a dado line in the plaster wall surface.

16.2.4 Internal—Second Floor

The second floor landing (space 2.1) gives access to the roof terrace (space E.1), laundry (space 2.2), kitchen (space 2.3) and dining room (space 2.4). The principal rooms on this floor (spaces 2.1, 2.3 and 2.4) have timber floors, cement run skirtings, set plaster wall finishes and ripple iron ceilings with moulded timber cornices (**Figure 16.48**, **Figure 16.49**, **Figure 16.50**).

A timber balustrade with handrail and square balusters extends around the top edge of the stair void in space 2.1 (**Figure 16.39**, **Figure 16.40**). An early gas light bracket survives over the stair (**Figure 16.38**). A modern built-in cupboard has been built against the north wall adjacent to the entrance to the front bedroom (space 2.4) (**Figure 16.39**). The double glazed doors at the eastern end of the space, giving access to the roof terrace are not original, most likely introduced during the late twentieth century (**Figure 16.40**).

Some alterations have been made to incorporate the laundry (space 2.2) into what was most likely an external WC accessed from the roof terrace (**Figure 16.42**). A window has been introduced where the door originally was located (**Figure 16.14**, **Figure 16.43**). The laundry (space 2.2) and kitchen (space 2.3) have modern fit-outs and floor/wall finishes (tiled floor in the laundry and vinyl squares in the kitchen), but retain ripple iron ceilings and moulded timber cornices. The kitchen retains its original cement run skirting (**Figure 16.42**, **Figure 16.44**, **Figure 16.45**). The door opening and joinery to the laundry is modern, but that to the kitchen is original. It features an expressed timber frame with a fanlight over the door (fanlight sash replaced with fixed glass), four panel door (**Figure 16.46**). The kitchen retains its original double hung window, with original architrave, sill board and moulding, although the bottom sash has been replaced with a single paned sash (**Figure 16.47**).

The front bedroom (space 2.4) has almost identical features to the downstairs front bedroom, but with no picture rail. It has two original double hung windows in its western wall, complete with architraves, sill board and moulding (**Figure 16.49**). The corner fireplace is blocked up, but retains its original concrete hearth (**Figure 16.48**). The door to this room has been removed, although the original frame, fanlight and architraves remain (**Figure 16.50**).

16.3 Phases of Development

Figure 16.4 and Figure 16.5 show the changes that have been made to the flat over time. A description of alterations and restoration work during the two phases of work carried out c1988 and 2010–2011 is provided in Part 1 Section 2.0 of this CMP.

Number 56c—Phases of Development, Plans



Figure 16.4 Plans showing phases of development—Flat 56c / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 56c—Elevations, Phases of Development



Figure 16.5 Elevations showing phases of development—Flat 56C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

16.4 Significant Components of Flat 56C

As with all the flats at 46–56 Gloucester Street, Flat 56C has a high degree of integrity in terms of its layout, internal and external fabric, finishes and detailing. As with publicly managed housing property nearby in Millers Point, long-term public ownership has contributed to the retention of distinctive architectural detailing. Conservation and repair work in recent decades has also adopted a consistent approach to minimise ad hoc change within individual flats and retain a homogeneous character within the block as a whole.

Part 1 Section 4.0 of the CMP identifies significant external and internal elements of the building. These lists of elements are relevant to flat 56C as well as the block of flats as a whole.

16.4.1 Photographic Survey of Significant Elements and Spaces

The following photographs (Figure 16.6 to Figure 16.51) document key elements and spaces of 56C Gloucester Street that are identified as being of high or exceptional significance. The photographs also record the condition of elements within the flat in 2016.



Figure 16.6 Western (front) façade of 56C Gloucester Street, showing western verandah and stair access (common property), pebble dash render to central portion of second floor wall, and decorative brick cornice and checkerboard pattern panel to triangular parapet. A cast metal rainwater head and downpipe extend down the face of the wall. (Source: GML Heritage, July 2016)



Figure 16.7 Southern elevation (partially concealed behind the neighbouring building) showing timber louvre to roof space and brick chimney stack with terra cotta pots—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.8 Detail of exterior staircase to ground floor at the southern end of the building. The brickwork corbels out over the stair to the south of the front window of Flat 56C—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.9 Four-panel entrance door with bolelection moulds, wired glass to upper panels and fanlight over, slate threshold and contrasting brick trim—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.10 Front façade of flat 56C showing face brick external wall with contrasting brick surround to window, arched brick head and chamfered brick window sill—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.11 Southern elevation of the flat 56C—46–56 Gloucester Street. (source: GML Heritage, July 2016)



Figure 16.12 Rear elevation of Flat 56C (left) and 56A (right), showing arched brick heads to window openings and wall enclosing roofed over area of roof terrace—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.13 Rear elevation from roof terrace (space E.1) showing the corrugated metal roof, and the corbelled brick eaves to the party wall, and chimney stack with terracotta pots—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.14 Rear wall of the flat opening onto the roof terrace (space E.1), showing recent weatherboard wall and pair of half glazed doors opening onto terrace and exposed rafters to eaves—56C / 46–56 Gloucester Street. (source: GML Heritage, July 2016)



Figure 16.15 Roof over terrace (space E.1) showing the ripple iron ceiling, timber cornice. Patching of brickwork provides evidence of former laundry copper which has been removed—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.16 Roof terrace (space E.1) showing evidence of the original garbage chute (blocked up) and drain—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.17 Top of brick balustrade around roof terrace (space E.1) showing decorative metal bracket for the clothesline—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.18 Entrance hall (space 1.1) showing stair (space 1.7), ripple iron ceiling and beam over where walls are splayed—entrances to spaces 1.2 and 1.3 on right—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

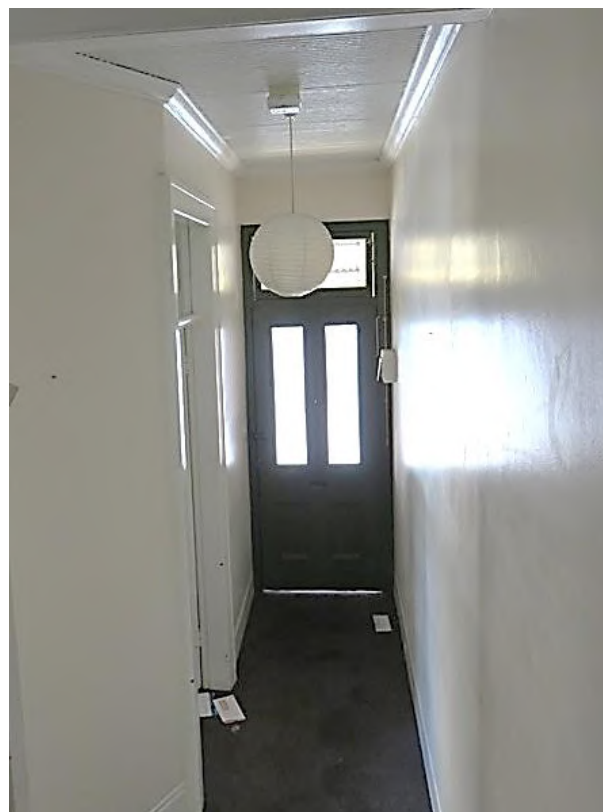


Figure 16.19 Entrance hall (space 1.1) looking back towards the front door, showing moulded timber cornice and ripple iron ceiling—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.20 Front bedroom (space 1.2) showing the cement rendered skirting, picture rail, cornice and ripple iron ceiling, as well as decorative plaster wall vent, timber double-hung sash window with original architrave, sill board and moulding and original four panel door. The fanlight over has been removed, but the architraves have been retained—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.21 Front bedroom (space 1.2) showing the cement rendered skirting, moulded timber picture rail, timber cornice and ripple iron ceiling. The modern wardrobe is not significant—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.22 Front bedroom (space 1.2) showing moulded timber picture rail, cornice, ripple iron ceiling and decorative plaster wall vent—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.23 Original architrave, picture rail and cornice details. Pivot fanlight sash missing from above front bedroom door (space 1.2)—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.24 Living room (space 1.3) showing the original door frame, with fanlight dislodged from pivot fitting and broken fanlight mechanism. The room has run cement skirtings, picture rail, cornice and ripple iron ceiling. The small door opens to the space under the enclosed stairs—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.25 Cupboard under the stairs in the living room (space 1.3) with timber shelves, showing the v-jointed timber board soffit to the stair and ledged and sheeted door to the cupboard with air holes drilled in it—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.26 Living room (space 1.3) showing the ripple iron ceiling, moulded timber picture rail and cornice, and original double-hung sash window with original architrave, sill board and moulding. The fireplace has been removed, hearth remains under the carpet—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.27 Glazing bar detail of window in living room (space 1.3). The balustrade element below the window infill to the arched opening of the former rear porch is visible through the window—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.28 The original timber door frames with central pivot fanlights over open into space 1.4 (former porch). Walls are painted brickwork. Arched brick heads are visible over the door openings—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.29 Original arched opening to former porch in rear wing (space 1.4), infilled with pair of casement windows and vertical boarded panel below. The space has a moulded timber skirting (not original)—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.30 Original triple brick arched head above doorway opening onto former porch (space 1.4) and ripple iron ceiling—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.31 Decorative plaster wall vent in the bathroom (space 1.5)—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.32 Bathroom (space 1.5) showing modern fit out, expressed stair stringer and bottom of newel post protruding through ceiling, v-jointed timber stair soffit and ripple iron ceiling with timber cornice—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

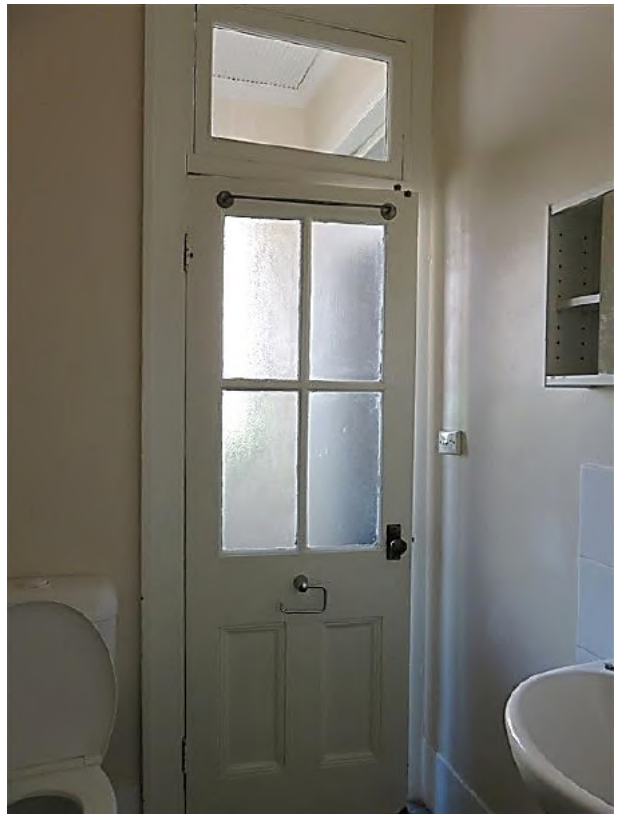


Figure 16.33 Original half-glazed door to bathroom (space 1.5), with original fanlight and architrave—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.34 Rear bedroom (space 1.6) showing original double-hung window, complete with original architrave, sill board and moulding, chimney flue against north wall, decorative plaster wall vent and ripple iron ceiling with timber cornice—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.35 Rear bedroom (space 1.6) showing cement rendered skirtings and four panel door (reproduction) and original architrave—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.36 Ripple iron ceiling and moulded timber cornice in south-west corner of the rear bedroom (space 1.6)—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.37 Original gas light fixture over the stairs (space 1.7). Bottom of stair newel post extends down stair hall wall below ceiling—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.38 Staircase (space 1.7) showing closed moulded timber stringer and timber handrail supported on metal brackets mounted on timber roses fixed to wall—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.39 Second floor landing (space 2.1) looking west, showing the timber balustrade with moulded handrail, square balusters and chamfered top to newel post, cement rendered skirting with quad moulding—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.40 Upper stair hall (space 2.1) showing ceiling beam over space, ripple iron ceiling and timber cornice, half glazed timber doors to roof terrace (recent), and original timber frame to kitchen door on right—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.41 Modern cupboard built into the second floor landing (space 2.1) with flush timber doors—56C / 46–56 Gloucester Street. (Source: GML Heritage, June 2016)



Figure 16.42 Laundry (space 2.2) showing the original raked ripple iron ceiling and modern fitout—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)

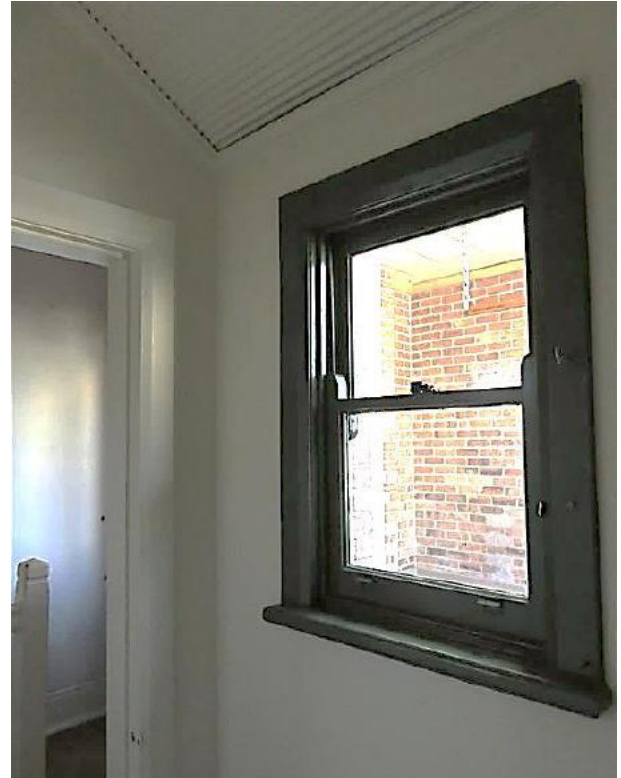


Figure 16.43 Laundry (space 2.2) showing the double-hung window from the 1980s refurbishment—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.44 Kitchen (space 2.3) showing original window with architrave, sill board and moulding, cement run skirting, timber cornice and ripple iron ceiling—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.45 Kitchen (space 2.3) showing late twentieth century fitout and chimney flue in corner of room—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.46 Original door in light weight concrete wall and original four panel door (space 2.3). Fanlight is missing—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.47 Original double hung window with four-pane upper sash (original) and single pane bottom sash (replaced), and original architrave—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.48 Front room on the second floor (space 2.4). The fireplace has been blocked up and chimney piece removed. Concrete hearth remains—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.49 Front room on the second floor (space 2.4) showing the original double hung sash windows, cement rendered skirting, ripple iron ceiling and timber cornice—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.50 Original door frame, fanlight and architrave (door is missing) (space 2.4)—56C / 46–56 Gloucester Street. (Source: GML Heritage, July 2016)



Figure 16.51 Timber floors to the second floor, with oiled finish. Metal keeper in doorway is not significant and can be removed—56C / 46–56 Gloucester Street. (source: GML Heritage, July 2016)

16.4.2 Significance Grading Diagrams for Flat 56C

Number 56c—Plans, Gradings of Significance



Figure
Number 56c—Elevations, Gradings of Significance

16.52

and



Figure 16.53 show the relative significance of internal spaces and exteriors of the flat, with certain key fabric elements also graded for reference. Grading of spaces is based on intactness (the extent of subdivision or overall integrity of layout) and use (service spaces having been upgraded or refurbished more extensively). Specific fabric within the spaces (which cannot be shown in detail on the diagram) may be graded differently from the space itself (refer to Tables 16.1 to 16.6).

Number 56c—Plans, Gradings of Significance



Figure 16.52 Plans showing gradings of significance of spaces—Flat 56C / 46–56 Gloucester Street. The fabric is graded in Tables 23.1–23.4. (Source: LAHC, with GML overlay 2016)

Number 56c—Elevations, Gradings of Significance



Figure 16.53 Elevations showing gradings of significance—Flat 56C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

16.4.3 Significant Fabric and Condition—Flat 56C

The following tables describe, date and rank the significance of the building elements and give a brief condition description (where known). The following abbreviations have been used:

Date		Significance Ranking		Condition	
O	Original Fabric	E	Exceptional Significance	G	Good condition
E 20 th	Early Twentieth Century Fabric	H	High Significance	F	Fair condition
M 20 th	Mid Twentieth Century Fabric	M	Moderate Significance	P	Poor condition
L 20 th	Late Twentieth Century Fabric	L	Little Significance		
E 21 st	Early Twenty-first Century Fabric	I	Intrusive		

Table 16.1 Exterior (Front)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls	Face brickwork with dark brick surrounds to window and door openings.	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
	Pebbledash render to recessed portion of wall between verandah roof and parapet, paint finish.	O	E	G
Parapet	Gabled form parapet with corbelled brick cornice and dentils to recessed central panel, brick-on-edge coping and checkerboard pattern to triangular parapet	O	E	G
Door threshold	Slate threshold to front door	O	E	G
Window sills	Chamfered brick sills	O	E	G
Brick window and door heads	Arched brick heads over window and door openings, with flat iron bearers (archbars)	O	E	G
Wall vents	Terracotta vents	O	E	G
Door set	Four-panel entry door with external bolection mouldings and internal flush mouldings	O	E	G
	Wired and textured glass	M 20 th	M	G
	Clear glass	E 21 st	M	G
	Brass knob and letterbox flap	O ?	E	G
	Timber frame, transom and reveal linings	O	E	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanism	L 20 th	M	P
Window joinery	Timber double-hung sash windows including frame	O	E	G
	Clear glass	O	E	G
Gutters and downpipes	Decorative rainwater head and square section galvanised steel downpipe	E 21 st	H	G

Table 16.2 Exterior (Rear)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
External walls—south and east elevations	Common brickwork	O	E	G
Window sills	Chamfered brick	O	E	G
Window and door heads	Arched brick heads over window and door openings, with flat iron bearer (archbar)	O	E	G
	Round-headed brick arched opening to rear wing former porch	O	E	G
Wall vents	Terracotta vents	O	E	G
Window joinery	Timber double-hung sash windows	O	E	G
	Infill to rear porch opening: casement windows and external timber balustrade with fibrous cement back panel	L 20 th	M	G
	Coloured and textured glass	L 20 th C	M	G
Gutters and downpipes	Ogee gutters and circular downpipes, galvanised steel	L 20 th / E 21 st	H	G
	Rectangular rainwater heads and square section downpipes, galvanised steel (zinc coated?)	L 20 th / E 21 st	H	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Service pipes	Copper service pipes to south elevation	L 20 th	H	G

Table 16.3 Exterior (south elevation)—Rankings of Significance and Condition.

Element	Description (Material, form, type, construction)	Date	Significance Ranking	Condition
External walls—south elevation	Common brick	O	E	G
Window joinery	Timber louvred roof vent (S gable)	O ?	E	G
Window sills	Brick sill	O	E	G
Window and door heads	Arched brick head to roof vent	O	E	G

Table 16.4 Exterior (Roof)—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Roofs (including cappings and flashings)	Gabled roof form over main body of building with corrugated galvanised steel roofing with lead flashings and cappings	O (structure)	E	G
		E 21 st (roofing)	H	G
	Skillion roofs over rear wings with corrugated galvanised steel roofing with galvanised and lead flashings and cappings	O (structure)	E	G
		E 21 st (roofing)	H	G
Party walls	Brick party walls projecting through roof with brick-on-edge coping and corbelled brick eaves detail	O	E	G
Chimneys	Face brick with brick on edge capping	O	E	G
	Terracotta chimney pots	L 20 th replacements	H	G
Eaves	Exposed rafter detail to rear elevation and rear wing with boarded linings	O	E	G
Gutters and downpipes	Galvanised steel ogee gutters, circular downpipes and spreaders	L 20 th	M	G

Table 16.5 Exterior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Front Verandah (Common Access)				
Floor	Concrete	O	E	G
Roof (including cappings and flashings)	Roof structure	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
	Timber rafters, purlins and beam	O	E	G
	Timber valance and boarded gable to south end	O / Late 20 th repairs	E	G
Structure	Face brick piers	O	E	G
	Timber verandah posts and brackets	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Balustrade	Wrought iron balustrade	O	E	G
Stairs	Steel stairway	O	E	G

Space E.1—Roof Terrace

Roof (including cappings and flashings)	Roof structure, including exposed rafters at eaves	O	E	G
	Galvanised steel sheeting and flashings	E 21 st	H	G
Walls	Brick balustrade with brick-on-edge coping, evidence of former garbage chute opening which is blocked up	O	E	G
	Common brickwork to walls around terrace, including chimney flue	O	E	G
	Brick infill to door opening in laundry wall	L 20 th	L	G
	Timber weatherboards to external wall of stair	L 20 th	M	G
	Painted render to external side wall of stair	L 20 th	M	G
Ceiling	Ripple iron to covered area	O	E	G
Cornice	Timber quarter round moulding	O	E	G
Door set	Half-glazed double doors to access the terrace including door furniture	L 20 th	M	G
Paving	Modern concrete/ceramic tiles	E 21 st	L	G/F
Drains	Stainless steel sumps and grills for stormwater	E 21 st	L	G/F
Services	Hot water tank	E 21 st	L	not tested
	Light fittings	E 21 st	L	not tested
	Clothesline	L 20 th	L	F

Table 16.6 Interior Spaces—Rankings of Significance and Condition.

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Space 1.1—Entrance Hall				
Floor	Timber boards on timber joists	O / E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
	Beaded beam	O	E	G
Door set	Refer to adjoining spaces	-	-	-

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Architraves	None to front door	O	E	G
	Moulded timber architrave to doorway to front room (space 1.2)	O	E	G
	Expressed timber door frame to entrance door and living room door (space 1.3)	O	E	G
Other	Light fittings	L 20 th	L	not tested

Space 1.2—Front Bedroom

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Picture rail	Moulded timber	O	E	G
Fireplace/Hearth	Chimney flue against southern wall (no fireplace)	O	E	G
Door set	Four-panel sunk moulded door in original frame	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway	O	E	G
	Reproduction fanlight mechanism	E 21 st	M	G
Window joinery	Timber double-hung sash window (6 panes over single pane), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	not tested
	Built in wardrobe	Early 21 st	I	F

Space 1.3—Living Room

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
	Light weight partition (possibly concrete with fly ash) to north side of room	O	E	G
Cornice	Moulded timber quarter round	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Ceiling	Ripple iron	O	E	G
Picture Rail	Moulded timber	O	E	G
Fireplace/Hearth	Original fireplace	O	E	unknown
	Rendered brick infill to fireplace with run skirting	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Expressed timber door frame to space 1.1 with fixed panel above fanlight, fanlight intact and door missing	O	E	G
	Original frame and fanlight to door opening to space 1.4, door missing	O	E	G
	Ledged and sheeted door to cupboard under stair, with air holes drilled in door	O	E	G
Fanlights	Pivot fanlight over doors to entrance hall and former porch	O	E	F
	Reproduction fanlight mechanisms	L 20 th	M	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Expressed frame to entrance hall door	O	E	G
	Moulded timber architraves to rear porch door and window	O	E	G
Timber shelving in cupboard under stair	Timber shelves on timber brackets and wall plates	O ?	E	G
Other	TV/communications service point in floor with brass cover plate	Early 21 st	L	G
	Light fittings	L 20 th	L	not tested

Space 1.4—Rear Porch

Floor	Timber boards on modern joists (raised to adjacent floor level)	L 20 th	E	G
	Original floor below (construction unknown)	O	E	unknown
	Timber or slate door thresholds under carpet (?)	O	E	G
	Carpet	E 21 st	L	G
Skirting	Moulded timber	L 20 th	L	G
Walls	Brick walls	O	E	G
	Paint	E 21 st	L	G
	Arched brick heads over doors	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Infill to arched porch opening	Timber V-jointed vertical boarding and handrail	L 20 th	M	G
Window joinery	Pair of casement windows with textured glass, green glass in bottom panes, and chain winder	L 20 th	M	G
Architraves	None, expressed frames	O	E	G
Wall vent	Decorative plaster (to bathroom wall)	L 20 th	M	G
Other	Light fittings	L 20 th	L	F

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Space 1.5—Bathroom				
Floor	10cm ceramic tiles Original and repaired timber joists and boards beneath	E, 21 st O, E 21 st	L E	G unknown
Skirting	Ceramic tiles	L 20 th	L	G
Walls	Painted render/plaster	O, later repair	E	G
	Ceramic tile	E 21 st	L	G
	Ripple iron to side of stair	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron to side of stair	O or L 20 th	E	G
Door set	Half-glazed door in original frame to porch, four glass panes above two panels with sunk moulds	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway (no mechanism)	O	E	G
Window joinery	Timber double hung sash window with timber box frame, architrave and sill board	O	E	G
Architraves	Moulded timber	O	E	G
Other	Fit-out: WC, wall cupboard, basin, shower kerb and services Lighting	L 20 th / E 21 st L 20 th	L L	G/F not tested
Space 1.6—Rear Bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Carpet	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
Walls	Painted set plaster above dado	O	E	F
	Cement render below dado	O	E	F
	Chimney flue against north wall	O	E	F
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Door set	Four panel door with sunk moulds	L 20 th	M	G
	Frame	O	E	G
	Door furniture	L 20 th	L	G
Window joinery	Timber double-hung sash window (4 over 4 panes), timber box frame, sill board and moulding	O	E	G
Architraves	Moulded timber	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	Light fittings	L 20 th	L	not tested
Space 1.7—Stairs				

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Floor	Timber Carpet	O L 20 th	E L	G G
Walls	Painted set plaster above dado, cement render below dado to north side Light weight partition (possibly concrete with fly ash) to south side of stair	O O	E E	G G
Stairs	Timber stair with closed strings and moulded handrail, and boarded soffit Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters, timber roses to handrail brackets Traditional timber shelving in the cupboard under stair	O O O ?	E E E	G G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Other	Gas lamp fitting	O	E	F, not functional

Space 2.1—Landing/Stair Hall

Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render Moulded timber to east wall Timber quad mould	O L 20 th E 21 st	E L L	G G G
Walls	Painted set plaster, cement render below dado (north) Light weight partition (possibly fly ash concrete) to kitchen and laundry (south)	O O ?	E E	G G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron Transverse I-beam	O O	E E	G G
Door set	Pair of half-glazed timber doors with single glass pane above single panel For other doors refer to spaces 2.2, 2.3 and 2.4	L 20 th	M	G
Architraves	Moulded timber to western door Moulded timber to eastern doors Moulding to laundry door Expressed door frame to kitchen door	O L 20 th L 20 th O	E M L E	G G G G
Other	Timber stair balustrade consisting of moulded handrail, stop chamfered newel posts, square section balusters Light fittings Built in cupboard	O L 20 th L 20 th	E L L	G not tested G

Space 2.2—Laundry

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
	Tiling	E 21 st	L	G
Skirting	Modern tiles	E 21 st	L	G
Walls	Painted set plaster/cement render	O	E	G
	Lightweight partition to landing	O	E	G
Cornice	Moulded timber quarter round	O?	E	G
Ceiling	Ripple iron	O?	E	G
Door set	Half glazed door with sunk lower panels and single glass panel (entry from landing).	L 20 th	M	G
	Door furniture	L 20 th	L	G
Window joinery	Modern timber sash window with spiral balance, timber frame, sill board and moulding	L 20 th	M	G
Architraves	Moulded timber	L 20 th	L	G
Wall vent	Terracotta (external only)	O	M	G
Other	Water services, sink and water heater	E 21 st	L	G
	Electrical fixtures	L 20 th / E 21 st	L	G

Space 2.3—Kitchen

Floor	Timber boards (?) on timber joists	O, E 21 st repairs	E	G
	Vinyl covering	E 21 st	L	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber skirting (blocked up doorway)	L 20 th	L	G
Walls	Painted set plaster/cement render	O	E	G
	Light weight partition (possibly coke breeze) to north wall	O?	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/flue	Chimney flue in southwest corner (no fireplace)	O	E	G
Door set	Four panel sunk moulded door in original frame (entry from landing).	O	E	G
	Modern door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over doorway—missing	O	E	P
Window joinery	Timber double-hung sash window (4 panes over 1 pane—bottom sash replaced), timber box frame, sill board and moulding	O	E	G
	Replacement window sash	L 20 th	H	G
Architraves	Expressed frame to door	O	E	G
	Moulded timber to window	O	E	G

Element	Description (Material, Form, Type, Construction)	Date	Significance Ranking	Condition
Other	Fit-out	L 20 th / E 21 st	L	G
	TV/communications service point in floor with brass cover plate	L 20 th / E 21 st	L	not tested
	Light fittings	L 20 th / E 21 st	L	not tested
Space 2.4—Front bedroom				
Floor	Timber boards on timber joists	O, E 21 st repairs	E	G
Skirting	Grooved/beaded run cement render	O	E	G
	Timber quad mould	E 21 st	L	G
Walls	Painted set plaster above dado	O	E	G
	Cement render below dado	O	E	G
Cornice	Moulded timber quarter round	O	E	G
Ceiling	Ripple iron	O	E	G
Fireplace/Hearth	Original fireplace (blocked off)	O	E	unknown
	Rendered brick infill to fireplace with run skirting	L 20 th	L	G
	Concrete hearth	O	E	G
Door set	Original frame, door missing	O	E	G
	Door furniture	L 20 th	L	G
Fanlight	Pivot fanlight over door	O	E	G
	Reproduction fanlight mechanism	L 20 th	M	G
Window joinery	Timber double-hung sash windows, timber box frames and sill board and moulding	O	E	G
Architraves	Moulded timber to window and door	O	E	G
Wall vents	Decorative plaster	O	E	G
Other	TV/communications service point in floor with brass cover plate	E 21 st	L	G
	Light fittings	L 20 th	L	F

16.5 Priority Conservation Works

16.5.1 Limitation of Priority Conservation Works Schedules

The following priority conservation works have been identified following inspection of the flat, but without opening up of the fabric. The flat was vacant but carpets and fit-outs prevented more detailed inspection. Ceiling voids were not inspected and doors and some external doors/windows could not be opened.

The following schedule should be reviewed once the area is opened up, and any cost estimate based on this schedule should allow for a substantial contingency provision for additional work. All works are to be carried out under the direction of an experienced heritage architect and meet the minimum standards for maintenance and repair set in Section 118 of the Heritage Act.

The schedule is a response to the existing condition and anticipated continuing residential use of the building by private owners.

16.5.2 Skilled Tradespersons and Architectural Supervision

All work is to be carried out by tradespersons who are experienced in conservation and with appropriate skills for each particular trade. The supervision of a heritage architect will be necessary.

Note that any fabric that requires demolition is to be removed and prepared for new work by tradespersons experienced in heritage conservation.

16.5.3 Summary of Priority Conservation Works

A general schedule of Priority Conservation Works is included in Part 1 Table 7.2 of this CMP. It provides a checklist of inspection, repair and maintenance works required for the block as a whole. This table indicates where works relate to common property and require a coordinated approach managed by the owners' corporation to ensure change does not occur in a piecemeal fashion and the individual flats are managed in accordance with their significance as a group.

In addition to works coordinated by the owners' corporation, the owner or occupier of Flat 56C should regard the following actions as priority actions for which the individual owner is likely to be responsible in a staged program of preventive and remedial work for the individual flat (including where fabric is shared with adjoining flats). Clarification should be sought with the owners' corporation by individual owners regarding their maintenance responsibilities.

Urgent (Within Three Months)

External works:

- Inspect and test external electrical wiring, plumbing, hot water and other services, repair as required.

Internal works:

- Rehang fanlight over door to space 1.3.
- Inspect concealed services where accessible (in ceiling voids) to ensure they remain in good condition and have not decayed.
- Investigate possible causes of damp in walls. Undertake appropriate remedial action as required in consultation with heritage consultant.
- Check and repair/replace as necessary window and door locks and catches for security. Retain all surviving original hardware.
- Service and/or upgrade fire detectors.

High (Within 12 Months)

External works:

- Check over, service and repair as necessary existing exterior joinery and glazing
- Check paving condition to roof terrace.
- Inspect and clean storm water gratings and rainwater heads to the roof terrace, as well as eaves gutters and spreaders, downpipes and rainwater heads to the main roofs.

Internal works:

- Although the annual pest inspection is the responsibility of the owners' corporation, the owner should monitor any activity or damage within their own flat.
- Replace missing internal doors with four panel doors to original configuration and detail.
- Repair broken or replace missing fanlights. Rehang fanlights that have dropped off pivots.
- Repair or replace broken door and fanlight hardware.
- Ease and adjust window sashes, sash cords/weights and casements. Check and repair existing window catches, stays and locks.

Medium (Within Two to Four Years)

External works:

- n/a.

Internal works:

- Prepare and repaint internal wall surfaces and joinery where worn/chipped or flaking.
- Oil floors with natural tung oil

Low (within six years)

External works:

- n/a

Internal works:

- Paint interiors

16.5.4 Ongoing Works—Cyclical maintenance

In addition to these works, cyclical maintenance is necessary in accordance with Part 1 Table 7.3 in this CMP.

16.6 General Conservation Policies

The Conservation Policies in Part 1 Section 9.0 of the CMP for 46–56 Gloucester Street guide the management of change for the building, the individual flats within the building and the common areas. They emphasise the importance of a unified, building-wide approach to managing change to ensure retention of heritage values and minimise impacts on visual integrity and cohesiveness.

Ensure that all relevant personnel involved in undertaking works to the property attend a heritage-awareness induction that reflects the content and intent of this CMP.

16.7 Specific Conservation Policies for Flat 56C

There are no specific policies for Flat 56C that differ from or are additional to the general policies included in Part 1 Section 9.0 of this CMP. All works to Flat 56C must comply with the conservation policies set out in Part 1 Section 9.0.

16.8 Areas for Possible Change for Flat 56C

Areas for possible change within the flat at 56C Gloucester Street are shown on Figure 16.54 and Figure 16.55.

Number 56c—Plans, Areas for Possible Change

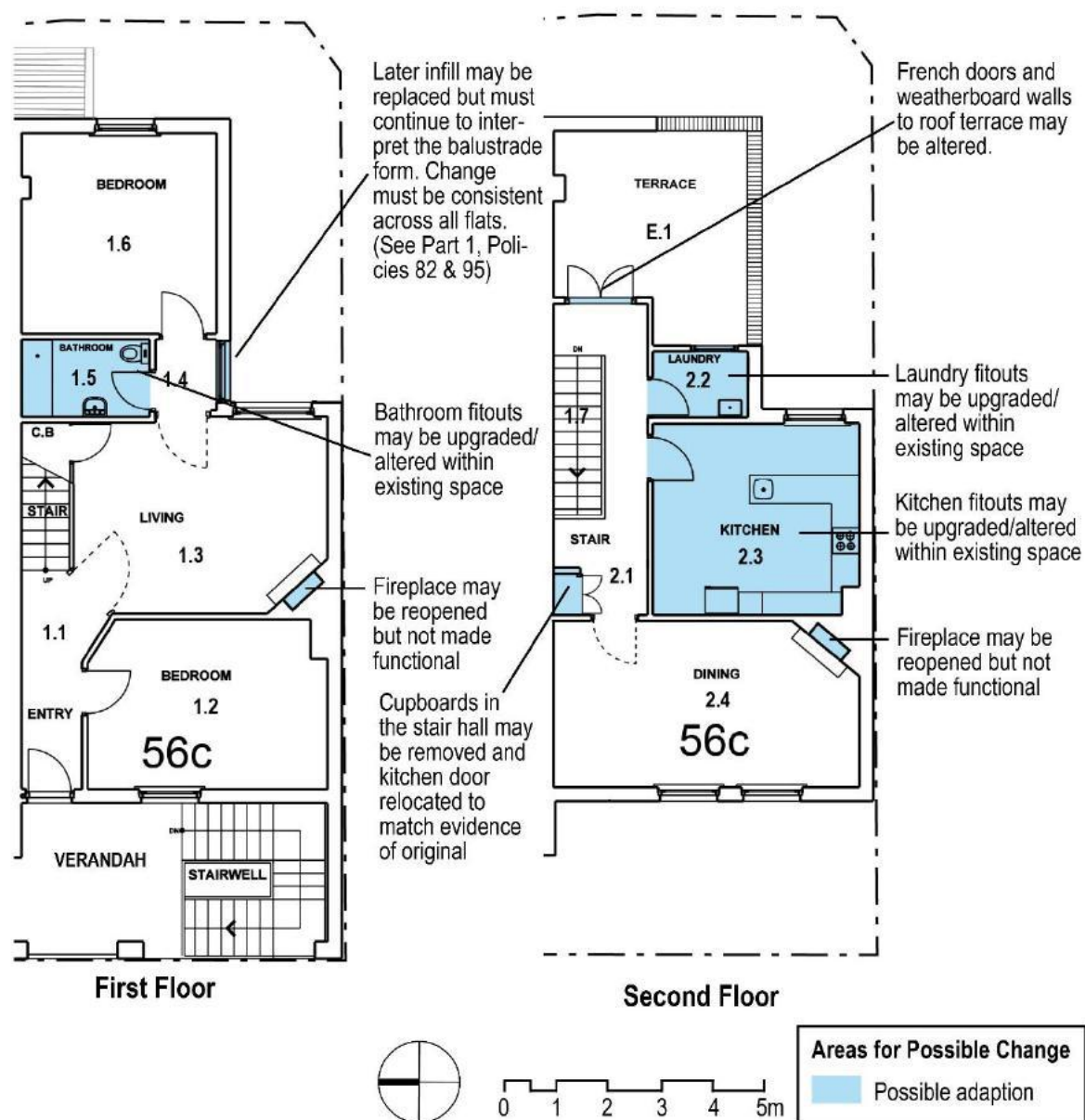


Figure 16.54 Plans showing areas for possible change—Flat 56C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)

Number 56c—Elevations, Areas for Possible Change



Figure 16.55 Elevations showing areas for possible change—Flat 56C / 46–56 Gloucester Street. (Source: LAHC, with GML overlay 2016)